



**PARK CITY PLANNING DEPARTMENT ADMINISTRATIVE PUBLIC HEARING MEETING
SUMMIT COUNTY, UTAH
October 12, 2023**

The Planning Commission of Park City, Utah, will hold its regular meeting in person at the Marsac Municipal Building, Council Chambers, at 445 Marsac Avenue, Park City, Utah 84060. Meetings will also be available online with options to listen, watch, or participate virtually. Click [here](#) for more information.

1. REGULAR AGENDA - 12:00PM

- 1.A. **1171 Empire Avenue – Steep Slope Conditional Use Permit Modification of Approval**
– The Applicant Proposes Modifications to the Existing Steep Slope Conditional Use Permit for a New Single-Family Dwelling. PL-23-05848.
(A) Public Hearing; (B) Continuation to October 19, 2023
- 1.B. **1171 Empire Avenue – Historic District Design Review Modification of Approval–**
The Applicant Proposes Modifications to the Existing Historic District Design Review Approval for a New Single-Family Dwelling. PL-23-05847.
(A) Public Hearing; (B) Continuation to October 19, 2023
- 1.C. **103 Alice Court - Modification to a Historic District Design Review -** The Applicant Proposes to Reduce a Tandem Garage to a Single Car Garage and Add and Adjacent Second Garage Entrance. PL-23-05805
(A) Public Hearing; (B) Action

Pursuant to the Americans with Disabilities Act, individuals needing special accommodations during the meeting should notify the Planning Department at 435-615-5060 or planning@parkcity.org at least 24 hours prior to the meeting.

***Parking is available at no charge for Council meeting attendees who park in the China Bridge parking structure.**

Planning Department Continuation Report



Subject: 1171 Empire Avenue
Application: PL-23-05848
Author: Jack Niedermeyer
Date: October 12, 2023
Type of Item: Steep Slope Conditional Use Permit Modification

Recommendation

Staff recommends the Planning Director (1) conduct a public hearing, and (2) consider continuing the Steep Slope Conditional Use Permit Modification to October 19, 2023.

Description

Applicant: Jasmine Roth
Location: 1171 Empire Avenue

Zoning District: Historic Residential – 1

Adjacent Land Uses: Residential

Reason for Review: The Planning Department reviews and takes final action on Steep Slope Conditional Use Permit Modification applications.¹

Summary

The Applicant is proposing to modify the existing SSCUP approval (PL-23-05551). Staff did not follow the required noticing procedures and is seeking consideration to continue the item to October 19, 2023.

¹ LMC § [15-11-12](#)

Planning Department Continuation Report



Subject: 1171 Empire Avenue
Application: PL-23-05847
Author: Jack Niedermeyer
Date: October 12, 2023
Type of Item: Historic District Design Review Modification

Recommendation

Staff recommends the Planning Director (1) conduct a public hearing, and (2) consider continuing the Historic District Design Review Modification to October 19, 2023.

Description

Applicant: Jasmine Roth
Location: 1171 Empire Avenue

Zoning District: Historic Residential – 1

Adjacent Land Uses: Residential

Reason for Review: The Planning Department reviews and takes final action on Steep Slope Conditional Use Permit Modification applications.¹

Summary

The Applicant is proposing to modify the existing HDDR approval (PL-23-05579). Staff did not follow the required noticing procedures and is seeking consideration to continue the item to October 19, 2023.

¹ LMC § [15-11-12](#)

Planning Department Staff Report



Subject: 103 Alice Court
Application: PL-23-05805
Author: Lillian Zollinger, Planner II
Date: October 12, 2023
Type of Item: Modification of a Historic District Design Review

Recommendation

(I) Review the Historic District Design Review (HDDR) at 103 Alice Court, (II) conduct a public hearing, and (III) take action on the proposal based on the Findings of Fact, Conclusions of Law, and Conditions of Approval outlined in the Draft Final Action Letter (Exhibit A).

Description

Applicant: Gavin Steinberg
Location: 103 Alice Court
Zoning District: Historic Residential - 1 (HR-1) District
Adjacent Land Uses: Single Family Dwellings, Recreation and Open Space
Reason for Review: The Planning Director reviews, conducts a public hearing, and takes Final Action on Historic District Design Review Applications.¹

DRT	Design Review Team
HDDR	Historic District Design Review
HR-1	Historic Residential - 1
LMC	Land Management Code
SFD	Single Family Dwelling
SSCUP	Steep Slope Conditional Use Permit

Terms that are capitalized as proper nouns throughout this staff report are defined in LMC § [15-15-1](#).

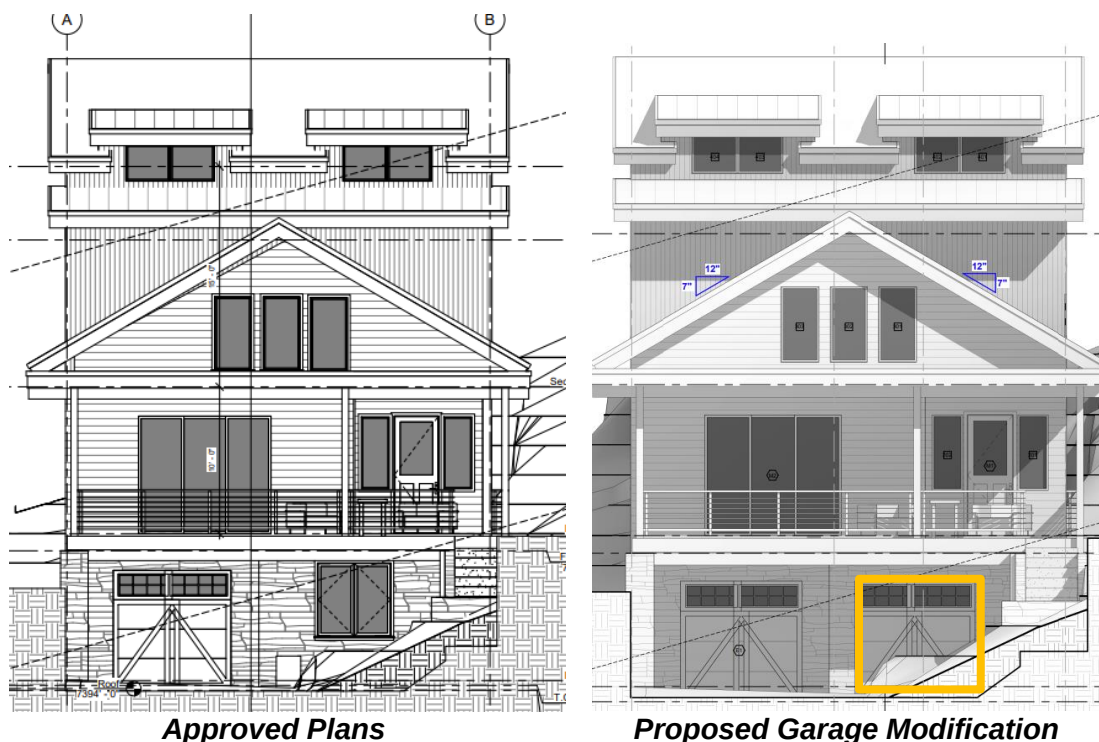
Background

103 Alice Court is Lot 6 of the Alice Claim Subdivision and is vacant (Exhibit C). The Applicant submitted a SSCUP and a Historic District Design Review (HDDR) application and proposes construction of a new Single-Family Dwelling (SFD) within the Historic Residential-1 (HR-1) Zoning District.

The Applicant proposes to reduce the tandem garage to a single car garage, and to add a second garage adjacent to the first. The proposed second garage will take the place of livable space, and the space behind the first garage will become livable space. The

¹ LMC § [15-2.1-6\(B\)\(2\)](#)

building will stay the same in location, height, volume, building footprint, and cut into the hillside.



The review of the Alice Claim Subdivision began in 2006 and took 12 years to approve. The Alice Claim Subdivision had 15 meetings since 2014, with the Planning Commission or City Council reviewing the proposal. In 2015, the Planning Commission recommended denial of the Alice Claim Subdivision/Plat Amendment and Conditional Use Permit (CUP). The City Council then sent the application back to the Planning Commission for further review. In 2016, with an updated proposal, the Planning Commission approved a CUP for three retaining walls up to ten feet to help with slope stabilization. The CUP was appealed, but after an access agreement was obtained, the new access did not require walls greater than six feet. One appeal was withdrawn, and the other appeal was not pursued with the updated retaining wall height included in the Subdivision and Plat Amendment proposal. In 2017, the Planning Commission forwarded a positive recommendation to the City Council for the Alice Claim Subdivision with conditions to create developable lots with proper water access and to protect sensitive lands. On March 8, 2018, the City Council adopted [Ordinance No. 2018-08](#) approving the Alice Claim Subdivision ([Staff Report, p. 60-167](#); [Meeting Minutes, p. 8-13](#)).

The Design Review Team reviewed the original proposal on September 7, 2022, October 5, 2022, November 30, 2022, and found the design to be compliant with the Design Guidelines, but recommended the Applicant reduce the two-car garage to a one-car tandem garage proposal. On January 4, 2023, the Applicant submitted new plans with a tandem garage proposal, instead of the two-car garage.

On January 25, 2023, the Planning Commission approved the SSCUP (see Exhibit C) for the construction of the SFD. On February 16, 2023, the Planning Director approved the HDDR with a one-car tandem garage (see Exhibit D) for the construction of the SFD.

The Applicant applied for a Modification to the SSCUP and HDDR on August 16, 2023, requesting approval of a two-car garage.

The Applicant currently has an active building permit for the approved SFD.

Analysis

(I) The proposal to construct a new Single-Family Dwelling complies with HR-1 Zoning District requirements outlined in LMC Chapter 15-2.2.

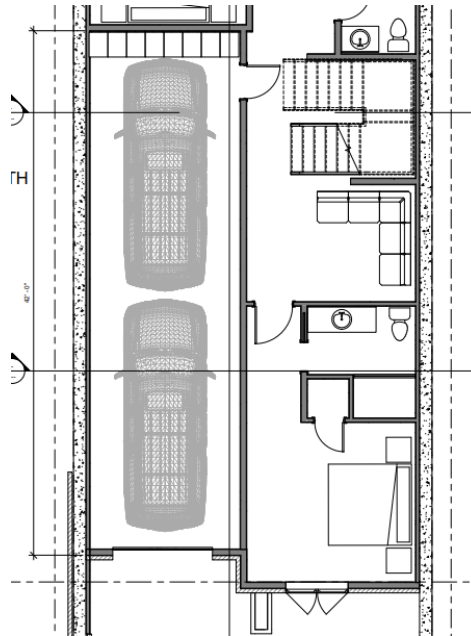
The proposed SFD is an Allowed Use in the HR-1 Zoning District, pursuant to LMC [§ 15-2.2-2\(1\)](#). The proposal was found compliant with LMC [§ 15-2.2-3](#) and site requirements for the HR-1 Zoning District. The proposal was found compliant with LMC [§ 15-2.2-5](#) and building height requirements.

(II) The proposal to construct a new Single-Family Dwelling complies with the Design Guidelines For New Residential Infill Construction In Historic Districts outlined in LMC § 15-13-8.

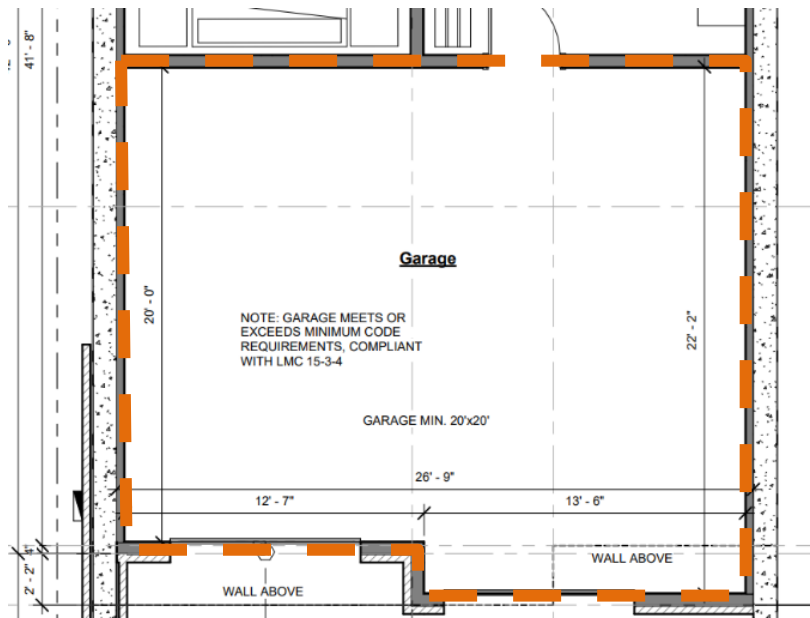
B. Specific Guidelines

1. Site Design	Analysis of Proposal
c) Landscaping and Vegetation	• See Condition of Approval 18: The proposed vegetation shall be at least 50% waterwise and compliant with § 15-5-5(N).
h) Parking Area & Driveways Pursuant to LMC § 15-3-6(A) , Single-Family Dwellings in the HR-1 Zone require two parking spaces.	Complies: The proposed home will have two parking spaces with two garage entrances. LMC § 15-3-4(A) requires a minimum 11 feet by 20 feet for a single-car garage space. The garages are compliant – the dimensions are 12 feet, 7 inches by 20 feet, and 13 feet, six inches by 22 feet. LMC § 15-13-8(B)(1)(h)(7) sets the maximum width for driveways in Historic Zoning Districts to 12 feet and the proposed driveway is compliant at 12 feet in maximum width at the curb. The applicant shall split the driveway at the garages into two 12' driveways by using pavers (see Condition of Approval 8. LMC § 15-13-8(B)(6)(a)(3) requires, "Garages featuring a side-by-side parking configuration shall maintain a 2 foot horizontal offset in the front wall plane." The proposal has a two-foot, two-inch horizontal offset.

Previous Plan



Proposed Garage Modification



a) Garages

Complies: The proposed home will have two parking spaces with two garage entrances. LMC [§ 15-3-4\(A\)](#) requires a minimum 11 feet by 20 feet for a single-car garage space. The garages are compliant – the dimensions are 12 feet, 7 inches by 20 feet, and 13 feet, six inches by 22 feet.

(III) The Development Review Committee² reviewed the proposal on October 3, 2023, and identified the following:

The Engineering Department requires Condition of Approval 19:

The Applicant shall record an encroachment agreement with the Engineering Department for the stairs and retaining walls in the Public Utility Easement.

Notice

Staff published notice on the City's website and the Utah Public Notice website and posted notice to the property on September 27, 2023. Staff mailed courtesy notice to property owners within 100 feet on September 27, 2023. LMC [§ 15-1-21](#).

Public Input

Staff did not receive any public input at the time this report was published.

Alternatives

- The Planning Director may approve the HDDR Modification Application;
- The Planning Director may deny the HDDR Modification Application and direct staff to make Findings for the denial; or
- The Planning Director may request additional information and continue the discussion to a date certain.

Exhibits

Exhibit A: Draft Final Action Letter

Exhibit B: Proposed Plans

Exhibit C: SSCUP Staff Report Dated January 25, 2023

Exhibit D: SSCUP Final Action Letter Dated January 25, 2023

Exhibit E: HDDR Staff Report Dated February 16, 2023

Exhibit F: HDDR Final Action Letter Dated February 16, 2023

² The Development Review Committee meets the first and third Tuesday of each month to review and provide comments on Planning Applications, including review by the Building Department, Engineering Department, Sustainability Department, Transportation Planning Department, Code Enforcement, the City Attorney's Office, Local Utilities including Rocky Mountain Power and Dominion Energy, the Park City Fire District, Public Works, Public Utilities, and the Snyderville Basin Water Reclamation District (SBWRD).



Planning Department

October 12, 2023

Gavin Steinberg
13 Club Road
Riverside, CT 06878

NOTICE OF PLANNING DIRECTOR ACTION

Description

Address: 103 Alice Court

Zoning District: Historic Residential – 1 (HR-1)

Application: Modification to Historic District Design Review

Project Number: PL-23-05805

Action: APPROVED WITH CONDITIONS (See Below)

Date of Final Action: October 12, 2023

Project Summary: The Applicant Proposes to Modify the Proposed Single-Family Dwelling and Add a Second Garage Entrance.

Action Taken

On October 12, 2023, the Planning Director conducted a public hearing and approved the Historic District Design proposal for a new Single-Family Dwelling at 103 Alice Court built into a Steep Slope, on a vacant lot according to the following Findings of Fact, Conclusions of Law, and Conditions of Approval.

Findings of Fact

1. The Site is located at 103 Alice Court, Lot 6 of the Alice Claim Subdivision, and is a vacant lot.
2. The Site is located within the Historic Residential – 1 (HR-1) Zoning District.
3. The Applicant proposes construction of a new Single-Family Dwelling (SFD) on the vacant lot.
4. The proposed SFD is an Allowed Use in the HR-1 Zoning District.
5. On January 25, 2023, the Planning Commission approved the SSCUP for the construction of the SFD.
6. On February 16, 2023, the Planning Director approved the HDDR for the construction of the SFD.
7. The Applicant applied for a Modification to the SSCUP and HDDR on August 16, 2023.



Planning Department

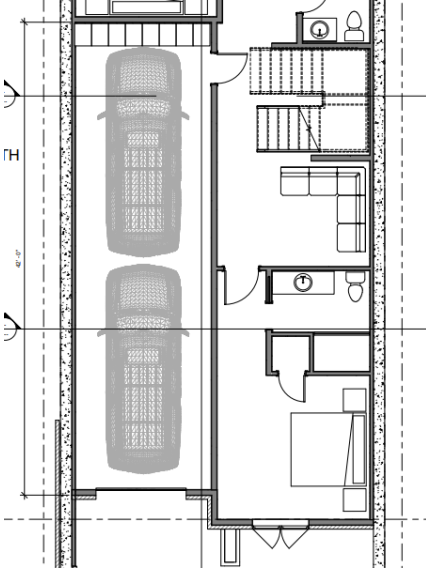
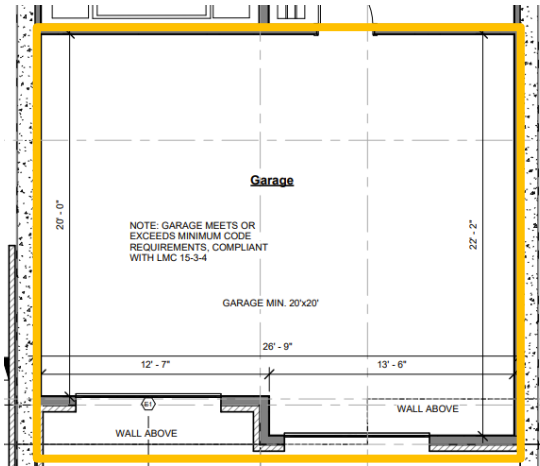
8. The Applicant proposes to reduce the tandem garage to a single car garage, and to add a second garage adjacent to the first.
9. The proposed second garage will take the place of livable space, and the space behind the first garage will become livable space.
10. The building will stay the same in location, height, volume, building footprint, and cut into the hillside.
11. The proposed driveway is 12' wide.
12. The Applicant Proposes to change the approved tandem garage to a side-by-side garage with two separate entrances on the same façade.
13. Historic District Design Review applications require the Planning Director evaluation of the Design Guidelines For Historic Districts And Historic Sites:

B. Specific Guidelines

1. Site Design	Analysis of Proposal
c) Landscaping and Vegetation	• See Condition of Approval 18: The proposed vegetation shall be at least 50% waterwise and compliant with § 15-5-5(N).
h) Parking Area & Driveways Pursuant to LMC § 15-3-6(A) , Single-Family Dwellings in the HR-1 Zone require two parking spaces.	Complies: The proposed home will have two parking spaces with two garage entrances. LMC § 15-3-4(A) requires a minimum 11 feet by 20 feet for a single-car garage space. The garages are compliant – the dimensions are 12 feet, 7 inches by 20 feet, and 13 feet, six inches by 22 feet. LMC § 15-13-8(B)(1)(h)(7) sets the maximum width for driveways in Historic Zoning Districts to 12 feet and the proposed driveway is compliant at 12 feet in maximum width at the curb. The applicant shall split the driveway at the garages into two 12' driveways by using pavers (see Condition of Approval X. LMC § 15-13-8(B)(6)(a)(3) requires, "Garages featuring a side-by-side parking configuration shall maintain a 2 foot horizontal offset in the front wall plane." The proposal has a two-foot, two-inch horizontal offset.



Planning Department

	Previous Plan  Proposed Garage Modification 
a) Garages	Complies: The proposed home will have two parking spaces with two garage entrances. LMC § 15-3-4(A) requires a minimum 11 feet by 20 feet for a single-car garage space. The garages are compliant – the dimensions are 12 feet, 7 inches by 20 feet, and 13 feet, six inches by 22 feet.

14. Staff published notice on the City's website and posted notice to the property on September 27, 2023.

15. Staff mailed courtesy notice to property owners within 100 feet and posted notice to the property on September 27, 2023.



Planning Department

Conclusions of Law

1. The proposal complies with the Land Management Code requirements pursuant to Chapter 15-2.2, Historic Residential – 1 (HR-1) District.
2. The proposal complies with the Land Management Code requirements pursuant to Chapter 15-2.2-6, Development on Steep Slopes in the HR-1 District.
3. The proposal complies with the Land Management Code requirements pursuant to Section 15-13-8, Design Guidelines For New Residential Infill Construction In Historic Districts.

Conditions of Approval

1. Final building plans and construction details shall reflect substantial compliance as indicated on the plans dated September 22, 2023, as part of the Historic District Design Review and public meeting on October 12, 2023. Any changes, modifications, or deviations from the approved design that have not been approved in advance by the Planning and Building Departments may result in a stop work order.
2. All conditions of approval and plat notes of the Alice Court Subdivision shall continue to apply.
3. The applicant is responsible for notifying the Planning Department prior to making any changes to the approved plans.
4. Any changes, modifications, or deviations from the approved scope of work shall be submitted in writing for review and approval/denial in accordance with the applicable standards by the Planning Director or designee prior to construction.
5. Retaining walls cannot exceed the height proposed/reviewed as part of this SSCUP without modifying the SSCUP. Additionally, walls more than four feet in height in the front setback, or more than six feet in the rear or side setbacks will require an Administrative Conditional Use Permit.
6. New construction activity shall not physically damage nearby Historic Sites.
7. Final plans shall call out final grade within 4' of existing grade.
8. At the front of the garage, the Applicant shall divide the driveway into two- 12' driveways.

If you have questions or concerns regarding this Final Action Letter, please call 435-615-5068 or email lillian.zollinger@parkcity.org.

Sincerely,

Rebecca Ward, Interim Planning Director

CC: Lillian Zollinger, Planner II

1 Basement
1/8" = 1'-0"

Building Area Legend

- Garage
- Lower Level

2 Main Level
1/8" = 1'-0"

Building Area Legend

- Front Porch
- Main Level

3 Upper Level
1/8" = 1'-0"

Building Area Legend

- Second Level
- Second Level Patio

4 Loft Level
1/8" = 1'-0"

Building Area Legend

- Loft Deck
- Loft Level

Square Footage - Living		
Number	Name	Area
A1	Lower Level	1112 SF
A2	Main Level	1611 SF
A3	Second Level	1153 SF
A4	Loft Level	709 SF
		4586 SF

Square Footage - Non Living		
Number	Name	Area
B1	Garage	635 SF
		635 SF

Square Footage - Exterior		
Number	Name	Area
C1	Loft Deck	109 SF
C2	Second Level Patio	493 SF
C3	Front Porch	255 SF
		857 SF

LOT SIZE:	4,510 SF
ALLOWED FOOTPRINT:	1,750 SF
PROPOSED FOOTPRINT:	1,750 SF
DRIVEWAY FOOTPRINT:	458 SF

9/22/2023 11:58:52 AM

New Residence
Alice Claim
Subdivision, Lot 6
103 Alice Court
Park City, UT 84060

Area Calculation Plan

SCALE:
1/8" = 1'-0"

DATE
22 SEP 2023

SHEET
A1.03

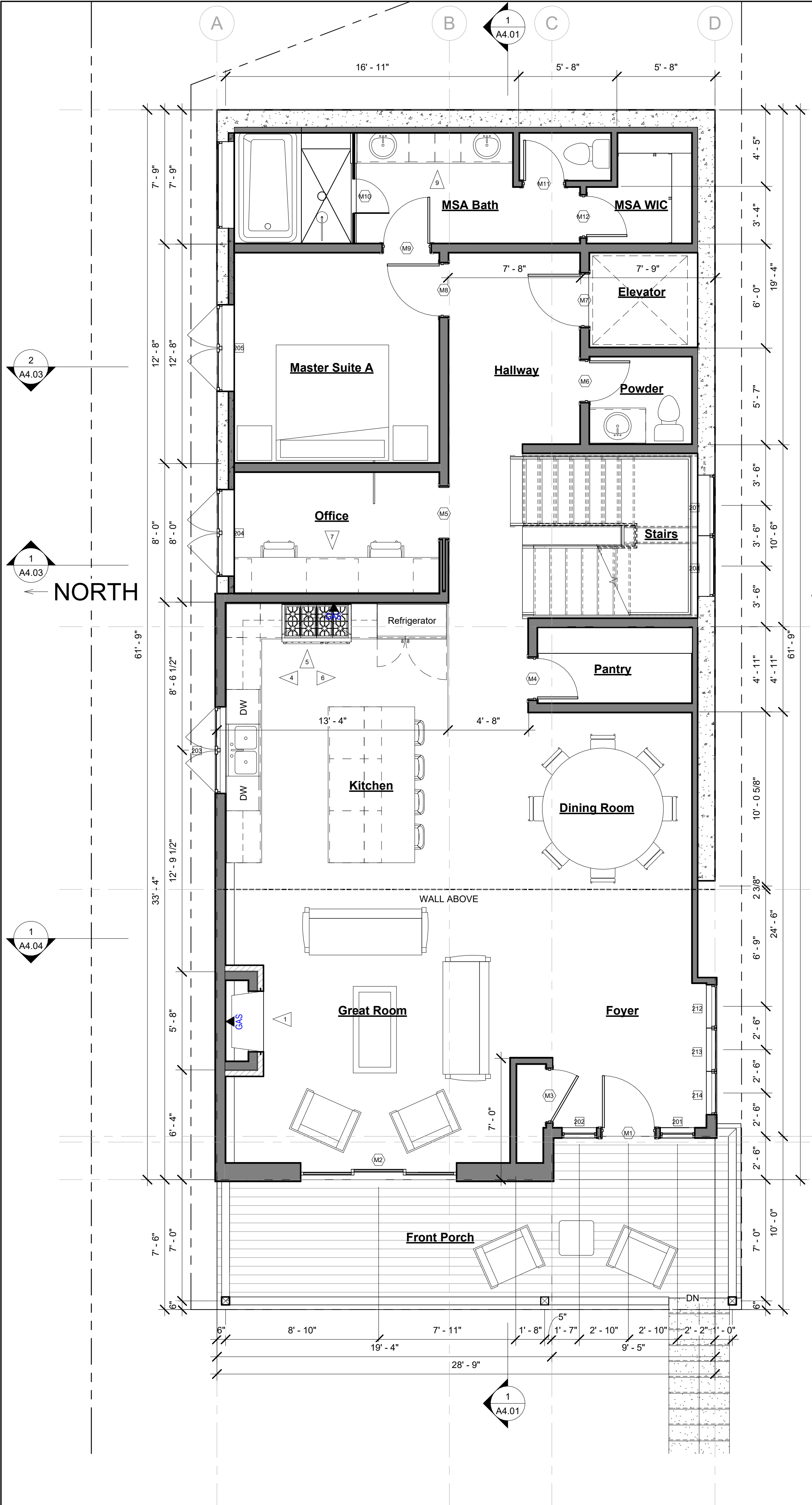
Revision Schedule	
Revision Number	Revision Date

VAN SICKLE

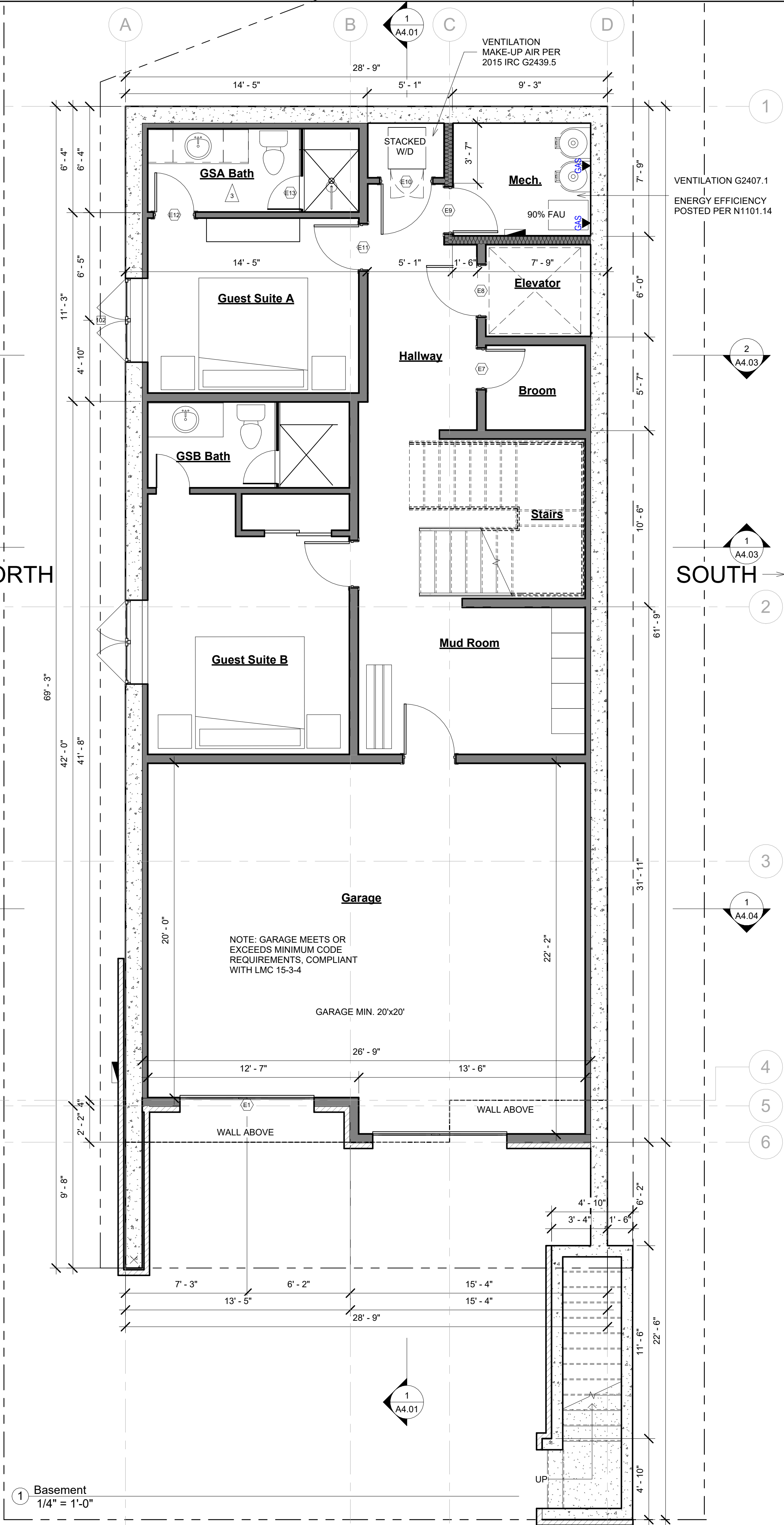
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② Main Level
1/4" = 1'-0"



① Basement
1/4" = 1'-0"

WALL LEGEND

4" PARTITION WALL

4 1/2" PARTITION WALL

6 1/2" PARTITION WALL

WOOD SHINGLE ON WOOD STUD WALL

WOOD SIDING ON WOOD STUD WALL

STONE ON WOOD STUD WALL

4" STONE WALL

8" FOUNDATION WALL

3 1/2" GLASS SHOWER WALL

1" GLASS WALL

THE ARCHITECT'S DRAWINGS AND SPECIFICATIONS ARE THE SOLE BASIS FOR CONSTRUCTION. ANY CHANGES TO THE DRAWINGS OR SPECIFICATIONS SHALL BE MADE BY THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DRAWINGS AND SPECIFICATIONS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY ANY OTHER PERSON OR ENTITY. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY ANY OTHER PERSON OR ENTITY. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY ANY OTHER PERSON OR ENTITY.

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Revision Schedule	
Revision Number	Revision Date

New Residence

Alice Claim

Subdivision, Lot 6

103 Alice Court

Park City, UT 84060

Floor Plans

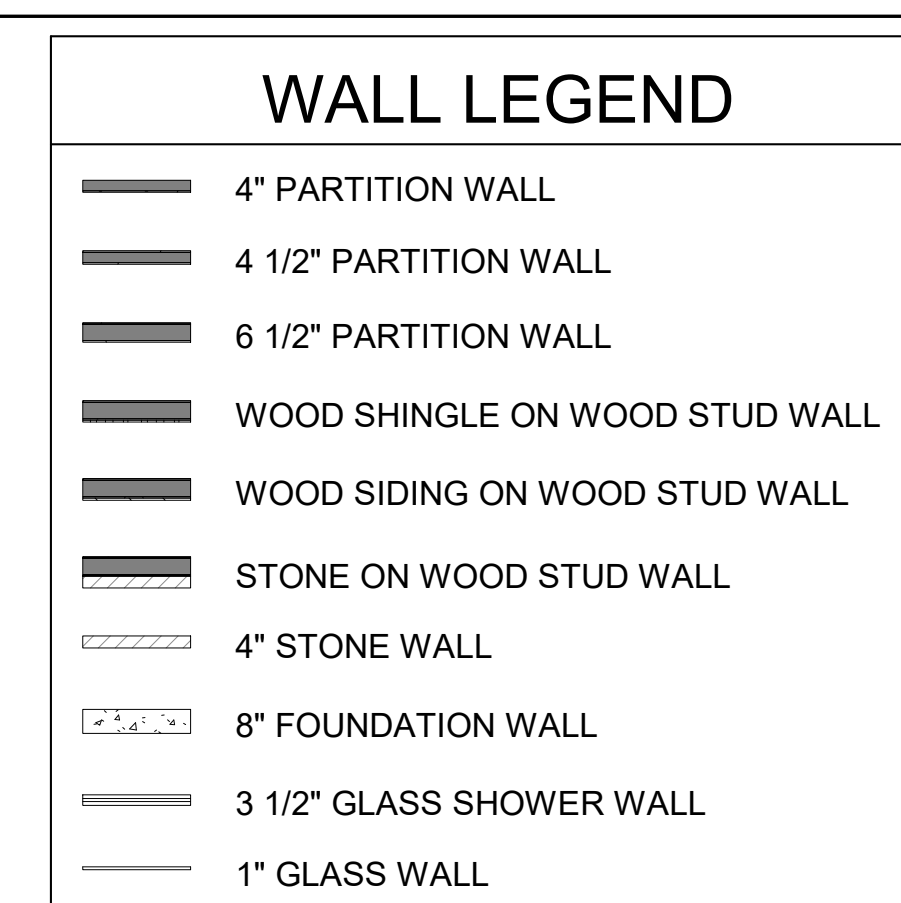
SCALE:
As indicated

DATE
22 SEP 2023

SHEET

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9/22/2023 11:58:53 AM



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WARRANTY

BY ACCEPTING THIS CONTRACT, THE CONTRACTOR AND SERVICES OBTAINED IN PLAN DOCUMENTS, THE CLIENT, THEIR CLIENTS, BUILDER, ARCHITECTS, ENGINEERS, INSURERS, AND OTHERS SHALL BE RELEASED AND FULLY AND EXCLUSIVELY INDICATED BY THE CONTRACTOR TO B.T. HARRIS, INC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL DOCUMENTS AND SERVICES OBTAINED IN PLAN DOCUMENTS AND TO BE A LOST OF LIABILITY OF B.T. HARRIS, INC. THE CONTRACTOR AND FIRM SHALL BE RESPONSIBLE FOR THE PROTECTION, CUSTODY, AND MAINTENANCE OF ALL DOCUMENTS OBTAINED FROM B.T. HARRIS, INC.

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New Residence
Alice Claim
Subdivision, Lot 6
103 Alice Court
Park City, UT 84060

Floor Plans

SCALE:

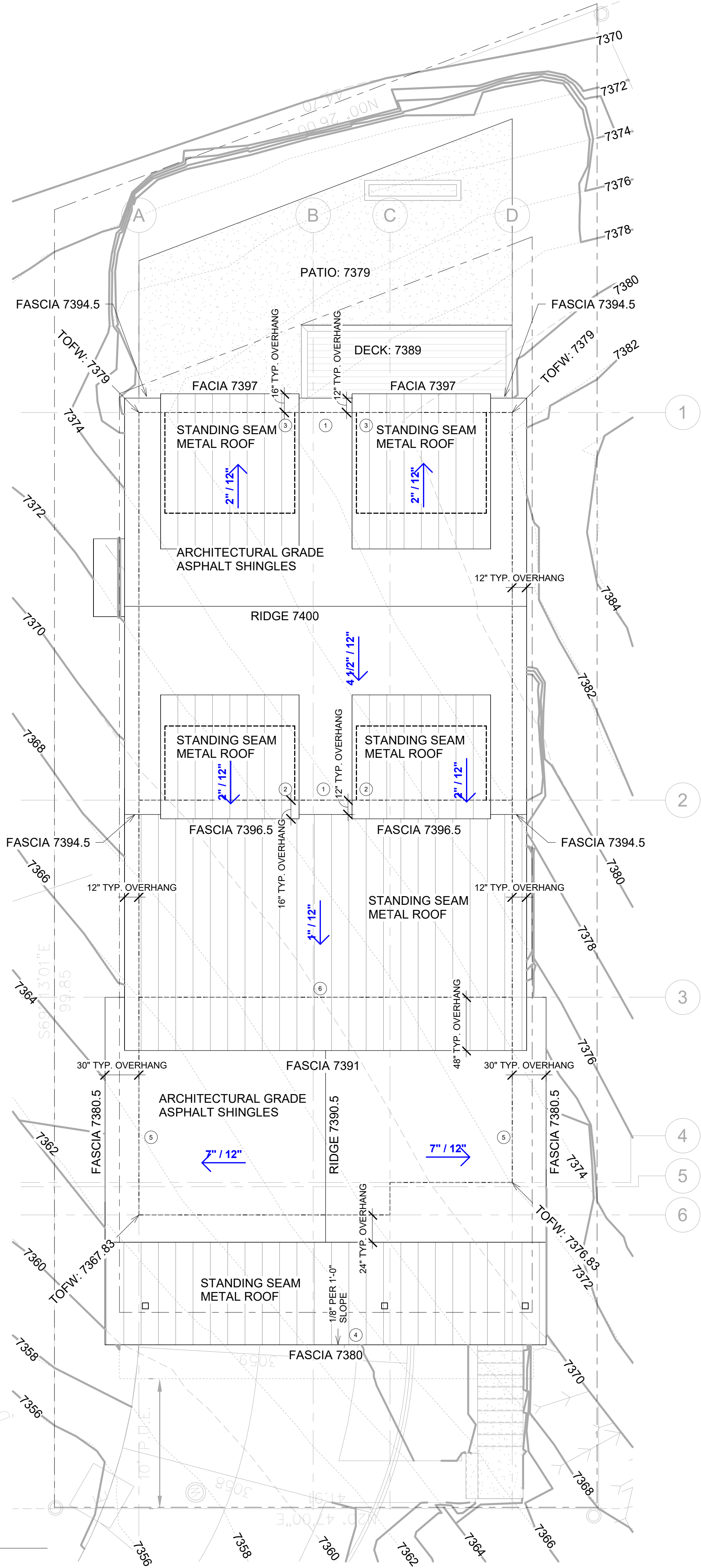
As indicated

DATE
10 AUG 2023

SHEET

A2.02

9/22/2023 8:44:05 AM



1 Roof Plan
3/16" = 1'-0"

PLATE HEIGHT SCHEDULES

1. 5'-0"
2. 6'-9"
3. 7'-3"
4. 10'-0"
5. 11'-0"
6. 11'-3"

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BY ACCEPTING THESE PLANS, THE CONTRACTOR UNDERSTANDS THAT THESE ARE OFFERS CONTAINED IN THIS SET AND WILL HOLD THIS OFFICE FOR ANY OVERSIGHTS OR ERRORS AND WILL NOTIFY THIS OFFICE OF ERRORS THAT ARISE DURING CONSTRUCTION.

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Revision Schedule	
Revision Number	Revision Date

New Residence

Alice Claim
Subdivision, Lot 6
103 Alice Court
Park City, UT 84060

Roof Plan

SCALE:
3/16" = 1'-0"

DATE

10 AUG 2023

SHEET

A2.04

9/22/2023 8:44:06 AM

Room Finish Schedule							
Room Number	Room Name	Finish					Comments
		Floor	Base	Wall	Ceiling	Ceiling Height	
53	Mud Room						
A39	Guest Suite B						
A61	Bath						
BL-101	Guest Suite A						12'-6" x 10'-6"
BL-102	GSA Bath						12'-6" x 5'-0"
BL-103	Mech.						8'-3" x 6'-9"
BL-104	Elevator						6'-3" x 5'-6"
BL-105	Hallway						6'-6" x 14'-9"
BL-106	Broom						6'-0" x 5'-0"
BL-107	Stairs						10'-3" x 9'-6"
BL-108	Guest Suite Flex						13'-6" x 9'-6"
BL-109	GSB Bath						8'-6" x 9'-0"
BL-110	GSB WIC						3'-3" x 3'-3"
BL-111	Guest Suite B						13'-6" x 12'-3"
BL-112	(2) Car Tandem						12'-0" x 41'-6"
ML-201	Foyer						9'-0" x 13'-9"
ML-202	Great Room						19'-0" x 15'-9"
ML-203	Dining Room						15'-0" x 10'-3"
ML-204	Kitchen						13'-0" x 16'-6"
ML-205	Pantry						9'-9" x 4'-5"
ML-206	Office						12'-4" x 7'-0"
ML-207	Hallway						7'-6" x 20'-3"
ML-208	Powder						6'-3" x 5'-0"
ML-209	Master Suite A						12'-4" x 12'-2"
ML-210	MSA Bath						20'-6" x 6'-9"
ML-211	MSA WIC						6'-6" x 6'-9"
ML-212	Front Porch						30'-3" x 10'-0"
UL-301	Family/Game Room						27'-9" x 24'-9"
UL-302	Powder						10'-2" x 5'-0"
UL-303	Master Suite B						14'-3" x 14'-8"
UL-304	MSB Bath						13'-0" x 11'-0"
UL-305	MSB WIC						9'-0" x 7'-6"
UL-306	Patio						28'-9" x 16'-0"
LL-401	Gym/Flex/Game						27'-9" x 11'-3"
LL-402	Bunk Room						13'-0" x 11'-8"
LL-403	Bunk WIC						2'-3" x 4'-6"
LL-404	Storage						6'-9" x 5'-0"
LL-405	Bunk Bath						13'-8" x 5'-2"
LL-406	Mech.						3'-4" x 5'-2"
LL-407	Loft Deck						16'-2" x 6'-8"

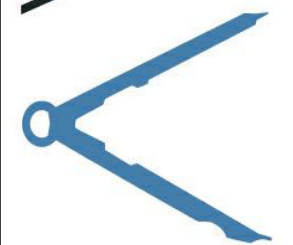
Window Schedule						
Mark	Rough Opening		Sill Height	Type	Tempered	Comments
	Width	Height				
102	5' - 0"	5' - 0"	3' - 0"	Window-Casement-Double		
201	2' - 0"	5' - 0"	3' - 0"	Window-Fixed	Tempered	
202	2' - 0"	5' - 0"	3' - 0"	Window-Fixed	Tempered	
203	5' - 0"	5' - 0"	3' - 0"	Window-Casement-Double		
204	5' - 0"	5' - 0"	3' - 0"	Window-Casement-Double		
205	5' - 0"	5' - 0"	3' - 0"	Window-Casement-Double		
206	5' - 0"	1' - 6"	6' - 6"	Window-Fixed		
207	3' - 6"	7' - 0"	7' - 0"	Window-Fixed	Tempered	
208	3' - 6"	7' - 0"	7' - 0"	Window-Fixed	Tempered	
212	2' - 6"	5' - 0"	3' - 0"	Window-Fixed		
213	2' - 6"	5' - 0"	3' - 0"	Window-Fixed	Tempered	
214	2' - 6"	5' - 0"	3' - 0"	Window-Fixed	Tempered	
301	2' - 6"	5' - 0"	1' - 6"	Window-Fixed		
302	2' - 6"	5' - 0"	1' - 6"	Window-Fixed		
303	2' - 6"	5' - 0"	1' - 6"	Window-Fixed		
304	5' - 0"	5' - 0"	3' - 0"	Window-Casement-Double	Tempered	
305	5' - 0"	5' - 0"	3' - 0"	Window-Casement-Double		
306	3' - 0"	6' - 0"	1' - 0"	Window-Fixed	Tempered	
307	3' - 0"	6' - 0"	1' - 0"	Window-Fixed	Tempered	
308	2' - 6"	5' - 0"	3' - 0"	Window-Casement-Single_Left		
309	2' - 6"	5' - 0"	3' - 0"	Window-Fixed		
310	2' - 6"	5' - 0"	3' - 0"	Window-Casement-Single_Right		
401	3' - 0"	2' - 6"	4' - 0"	Window-Fixed		
402	3' - 0"	2' - 6"	4' - 0"	Window-Fixed		
403	3' - 0"	2' - 6"	4' - 0"	Window-Fixed		
404	3' - 0"	2' - 6"	4' - 0"	Window-Fixed		
405	5' - 0"	5' - 0"	2' - 0"	Window-Casement-Double		
406	5' - 0"	5' - 0"	2' - 0"	Window-Casement-Double		
407	6' - 0"	6' - 0"	1' - 0"	Window-Casement-Double	Tempered	
408	5' - 0"	5' - 0"	0"	Window-Casement-Double		
409	5' - 0"	5' - 0"	3' - 0"	Window-Casement-Double		

Door Schedule - Lower				
Door Number	Width	Height	Family	Finish
				Comments
182	3' - 0"	7' - 0"	Door-Interior-Single-5_Panel_Vert-Wood	
294	2' - 8"	6' - 8"	Door-Interior-Single-5_Panel_Vert-Wood	
296	4' - 0"	6' - 8"	Sliding-Closet	
L11	8' - 0"	8' - 0"	9 x 8 Alice Claim Door	
L12	2' - 4"	6' - 8"	Door-Interior-Single-5_Panel_Vert-Wood	
E1	8' - 0"	8' - 0"	9 x 8 Alice Claim Door	
E7	2' - 4"	6' - 8"	Door-Interior-Single-5_Panel_Vert-Wood	
E8	3' - 0"	7' - 0"	Door-Interior-Single-5_Panel_Vert-Wood	
E9	2' - 8"	6' - 8"	Door-Interior-Single-5_Panel_Vert-Wood	
E10	3' - 0"	6' - 8"	Door-Interior-Single-5_Panel_Vert-Wood	
E11	2' - 8"	6' - 8"	Door-Interior-Single-5_Panel_Vert-Wood	
E12	2' - 4"	6' - 8"	Door-Interior-Single-5_Panel_Vert-Wood	
E13	2' - 0"	7' - 0"	Door-Interior-Shower-Glass	Tempered
M1	3' - 0"	8' - 0"	Door-Exterior-Single-Entry-Half Flat Glass-Wood_Clad	
M2	9' - 0"	8' - 0"	Sliding-3 panel No Trim	Tempered
M3	3' - 0"	6' - 8"	Door-Interior-Single-5_Panel_Vert-Wood	
M4	2' - 4"	6' - 8"	Door-Interior-Single-5_Panel_Vert-Wood	
M5	3' - 0"	6' - 8"	Door-Interior-Single-Pocket-2_Panel-Wood	
M6	2' - 4"	6' - 8"	Door-Interior-Single-5_Panel_Vert-Wood	
M7	3' - 0"	7' - 0"	Door-Interior-Single-5_Panel_Vert-Wood	
M8	3' - 0"	6' - 8"	Door-Interior-Single-5_Panel_Vert-Wood	
M9	2' - 8"	6' - 8"	Door-Interior-Single-5_Panel_Vert-Wood	
M10	2' - 0"	7' - 0"	Door-Interior-Shower-Glass	Tempered
M11	2' - 4"	6' - 8"	Door-Interior-Single-5_Panel_Vert-Wood	
M12	2' - 4"	6' - 8"	Door-Interior-Single-5_Panel_Vert-Wood	
U1	7' - 0"	7' - 0"	Sliding-2 panel	Tempered
U2	3' - 0"	7' - 0"	Door-Interior-Single-5_Panel_Vert-Wood	
U3	2' - 4"	6' - 8"	Door-Interior-Single-5_Panel_Vert-Wood	
U4	2' - 0"	7' - 0"	Door-Interior-Shower-Glass	Tempered
U5	3' - 0"	7' - 0"	Door-Interior-Single-5_Panel_Vert-Wood	
U6	2' - 8"	6' - 8"	Door-Interior-Single-5_Panel_Vert-Wood	
U7	3' - 0"	6' - 8"	Door-Interior-Single-Pocket-2_Panel-Wood	
U8	2' - 0"	7' - 0"	Door-Interior-Shower-Glass	Tempered
U9	2' - 4"	6' - 8"	Door-Interior-Single-5_Panel_Vert-Wood	
L1	7' - 0"	7' - 0"	Sliding-2 panel	Tempered
L2	3' - 0"	7' - 0"	Door-Interior-Single-5_Panel_Vert-Wood	
L3	2' - 4"	6' - 8"	Door-Interior-Single-5_Panel_Vert-Wood	
L4	2' - 8"	6' - 8"	Door-Interior-Single-5_Panel_Vert-Wood	
L5	2' - 4"	6' - 8"	Door-Interior-Single-5_Panel_Vert-Wood	
L6	2' - 4"	6' - 8"	Door-Interior-Single-5_Panel_Vert-Wood	
L7	2' - 0"	6' - 8"	Door-Interior-Shower-Glass	Tempered
L8	2' - 4"	6' - 8"	Door-Interior-Single-5_Panel_Vert-Wood	
L9	2' - 8"	6' - 8"	Door-Interior-Single-5_Panel_Vert-Wood	

THE NOTES, DIMENSIONS AND SPECIFICATIONS AND THE LEGAL RECORD, ARRANGEMENTS REPRESENTED THEREIN ARE AND SHALL REMAIN THE PROPERTY OF B.L. HAMPS INC. NO PART HEREOF SHALL BE COPIED, REPRODUCED OR USED IN CONNECTION WITH ANY OTHER WORK OR PROJECT FOR ANY OTHER PERSON FOR ANY PURPOSES OTHER THAN THE SPECIFIC PURPOSE FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE CONSENT OF B.L. HAMPS INC. LEGAL COUNSEL HAS REVIEWED THESE DRAWINGS AND CONSENTS TO THE ISSUANCE OF THESE DRAWINGS.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE SHALL NOT BE RESPONSIBLE FOR ANY DISCREPANCIES BETWEEN THE DIMENSIONS SHOWN BY THESE DRAWINGS AND ALL DIMENSIONS SHOWN BY ANY OTHER DOCUMENTS OR SERVICES OBTAINED BY THE BUILDING THESE PLANS. THE CONTRACTOR UNDERSTANDS THAT THESE PLANS ARE NOT TO BE USED FOR ANY OTHER PURPOSES AND THAT ANY DISCREPANCIES OR ERRORS AND WILL NOTIFY THIS OFFICE OF ANY SUCH DISCREPANCIES OR ERRORS.

BY ACCEPTING THESE PLANS, THE CONTRACTOR UNDERSTANDS THAT THESE PLANS ARE NOT TO BE USED FOR ANY OTHER PURPOSES AND THAT ANY DISCREPANCIES OR ERRORS AND WILL NOTIFY THIS OFFICE OF ANY SUCH DISCREPANCIES OR ERRORS.



VAN SICKLE

DESIGN & DRAFTING

4383 FOREST DALE ROAD, SUITE 205
PARK CITY, UTAH 84098

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Revision Schedule	
Revision Number	Revision Date

New Residence

Alice Claim
Subdivision, Lot 6
103 Alice Court
Park City, UT 84060

Schedules

SCALE:

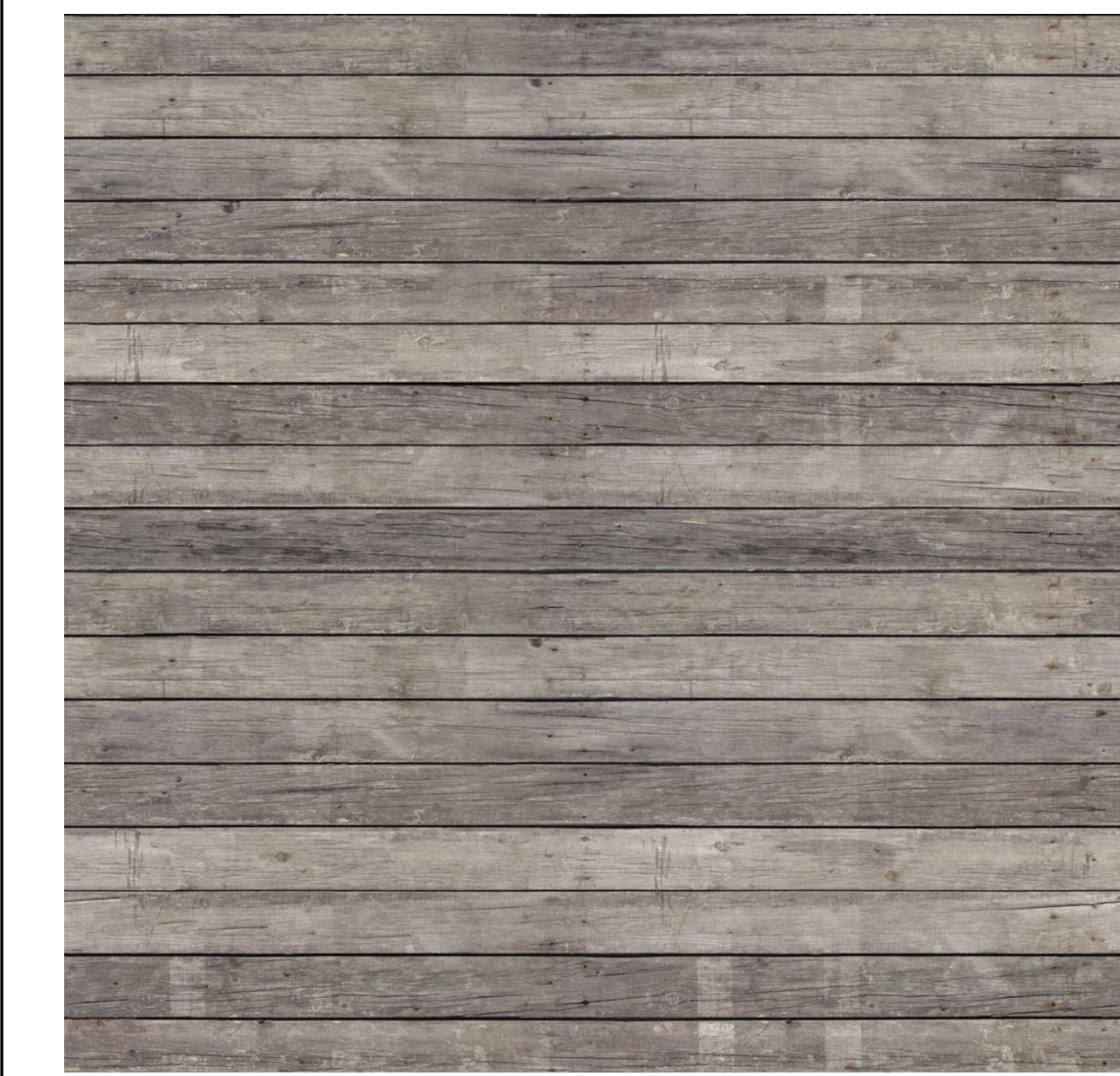
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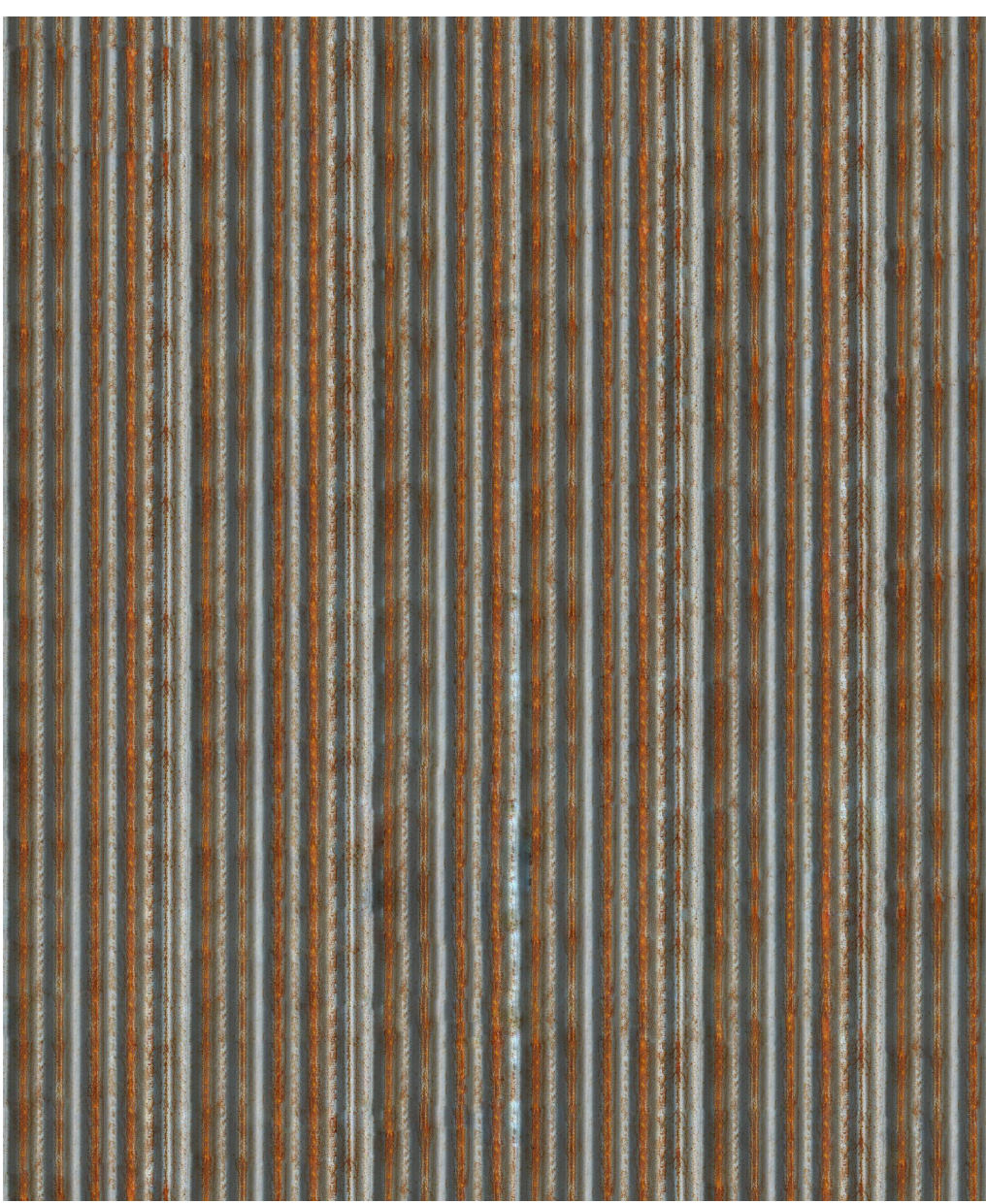
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MATERIAL: HORIZONTAL WOOD SIDING	COLOR: GREY NATURAL WEATHERED
MANUF: MONTANA SNOW FENCE	SPEC: 3/4" T&G RANDOM 4" TO 6"



MATERIAL: VERTICAL CORTEN METAL	COLOR: SEMI OXIDIZED CLEAR COAT
MANUF: LOCAL DISTRIBUTOR	SPEC: CORRUGATED



MATERIAL: DECK SURFACE	COLOR: HONEY WHEAT
MANUF: TIMBERTECH	SPEC: 6" HIDDEN FASTENERS



MATERIAL: GUARDRAIL / HANDRAIL	COLOR: POWDER COATED BLACK
MANUF: LOCAL FABRICATOR	SPEC: STEEL BAR STOCK



MATERIAL: STONE VENEER	COLOR: SHALE
MANUF: LOCAL SUPPLIERS	SPEC: 2" VENEER



MATERIAL: EXTERIOR COLUMNS	COLOR: ESPRESSO
MANUF: LOCAL SUPPLIERS	SPEC: 6x6 POST STAINED



MATERIAL: STANDING SEAM ROOFING	COLOR: MATTE BLACK
MANUF: CMG METAL	SPEC: 24 GUAGE, 26.8% REFLECTIVITY



MATERIAL: WINDOWS	COLOR: MATTE-BLACK
MANUF: TBD	SPEC: 24 GUAGE, 26.8% REFLECTIVITY



MATERIAL: SHINGLED ROOF	COLOR: CHARCOAL BLACK
MANUF: CERTAINTEED	SPEC: TL PRESIDENTIAL 30 YR



MATERIAL: FRONT DOOR	COLOR: GREY NATURAL CEDAR
MANUF: LOCAL SUPPLIERS	SPEC: STAINED WOOD DOOR



MATERIAL: GARAGE DOORS	COLOR: DARK ESPRESSO
MANUF: LOCAL SUPPLIERS	SPEC: STAINED WOOD DOOR



MATERIAL: EXTERIOR CONCRETE	COLOR: TAN / BROWN
MANUF: LOCAL SUPPLIERS	SPEC: COLORED AND TEXTURED

THE ABOVE FINISHES AND SPECIFICATIONS ARE THE IDEAL SECOND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF B.T. HARRIS INC. NO PART THEREOF SHALL BE COPIED, REPRODUCED OR USED IN CONNECTION WITH ANY OTHER WORK OR PROJECT FOR ANY OTHER PERSON FOR ANY PURPOSE OTHER THAN THE SPECIFIC FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE CONSENT OF B.T. HARRIS INC. WRITTEN CONSENT WITH THESE DRAWINGS CONSTITUTE CONCLUSIVE EVIDENCE OF THESE.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE LOCAL DIMENSIONS. CONSTRUCTION SHALL VERIFY AND BE RESPONSIBLE ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE SHALL NOT BE RESPONSIBLE FOR ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. ALL SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL PRIOR TO PROCEEDING WITH ANY BUILDING THESE PLANS. THE CONTRACTOR UNDERSTANDS THAT THESE ARE OFFERS CONTAINED IN THIS SET AND MAY NOT HAVE THE OFFICE FOR ANY OVERSIGHTS OR ERRORS AND WILL NOTIFY THIS OFFICE OF ERRORS THAT ARISE DURING.

BY ACCEPTING THESE PLANS, THE CONTRACTOR AGREES TO THE SERVICES OUTLINED IN THESE PLANS. THE CLIENT, THEIR SUBS, DESIGNERS, ARCHITECTS AND ALL PRESENT AND FUTURE PERSONS OR PARTIES DIRECTLY OR INDIRECTLY INVOLVED IN THE PLANS DOCUMENTS OR SERVICES OUTLINED IN THESE PLANS DOCUMENTS AGREE TO A LIMIT OF LIABILITY OF B.T. HARRIS INC. AND EMPLOYEES AND PRINCIPALS TO THE AMOUNT OF THE ORIGINAL FEE. (SIGNED ADDRESS)

VAN SICKLE

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Revision Schedule	
Revision Number	Revision Date

New Residence

Alice Claim
Subdivision, Lot 6
103 Alice Court
Park City, UT 84060

Exterior
Materials Board

SCALE:

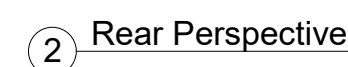
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AND INFORMATION SHALL BE AND SHALL REMAIN THE PROPERTY OF THE UNITED STATES GOVERNMENT. ANY AND ALL INFORMATION CONTAINED HEREIN IS UNCLASSIFIED EXCEPT WHERE SHOWN OTHERWISE BY OTHERS OR USED IN CONNECTION WITH ANY OTHER WORK OR PRODUCT OR FOR ANY OTHER PURPOSE. THIS DOCUMENT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT PERMISSION IN WRITING FROM THE NATIONAL ARCHIVES. THIS DOCUMENT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT PERMISSION IN WRITING FROM THE NATIONAL ARCHIVES.

WRITTEN ENDORSEMENTS ON THESE FRAMINGS SHALL HAVE PRECEDENCE OVER ANY OTHER WRITTEN ENDORSEMENTS OR COMMENTS. ANY AND ALL WRITTEN ENDORSEMENTS AND COMMENTS ON THIS AND THESE OTHER FRAMES SHALL BE MADE IN THE MANNER SPECIFIED IN THE FRAMING INSTRUCTIONS. ANY WRITTEN ENDORSEMENTS OR COMMENTS ON THESE FRAMINGS, ALL SHIP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL PRIOR TO PROCEEDING WITH BY BUILDING THESE PLANS. THE CONTRACTOR UNDERSTANDS THAT THERE WILL BE NO CHARGE FOR THE REVIEW OF ANY WRITTEN ENDORSEMENTS OR COMMENTS FOR ANY OVERSEAS OR CONSIGNEES AND WILL NOTIFY THIS OFFICE OF REVIEW RESULTS.

UNCLASSIFIED

BY ACCEPTING THESE PLANS, DRAWINGS OR SERVICES OUTLINED IN THESE PLANS, DRAWINGS OR SERVICES, THE USER, BY THESE OTHER FRAMES, THE USER AND ANY PRESENT AND FUTURE PERSONS OR PARTIES IN CONNECTION WITH THE PLAN, DRAWING OR SERVICE, HEREBY AGREES TO A LIMIT OF LIABILITY OF \$1.00, ORDINARY AND SPECIAL DAMAGES AND PROCEEDS FROM ANY LITIGATION TO THE NATIONAL ARCHIVES, UNITED STATES GOVERNMENT.

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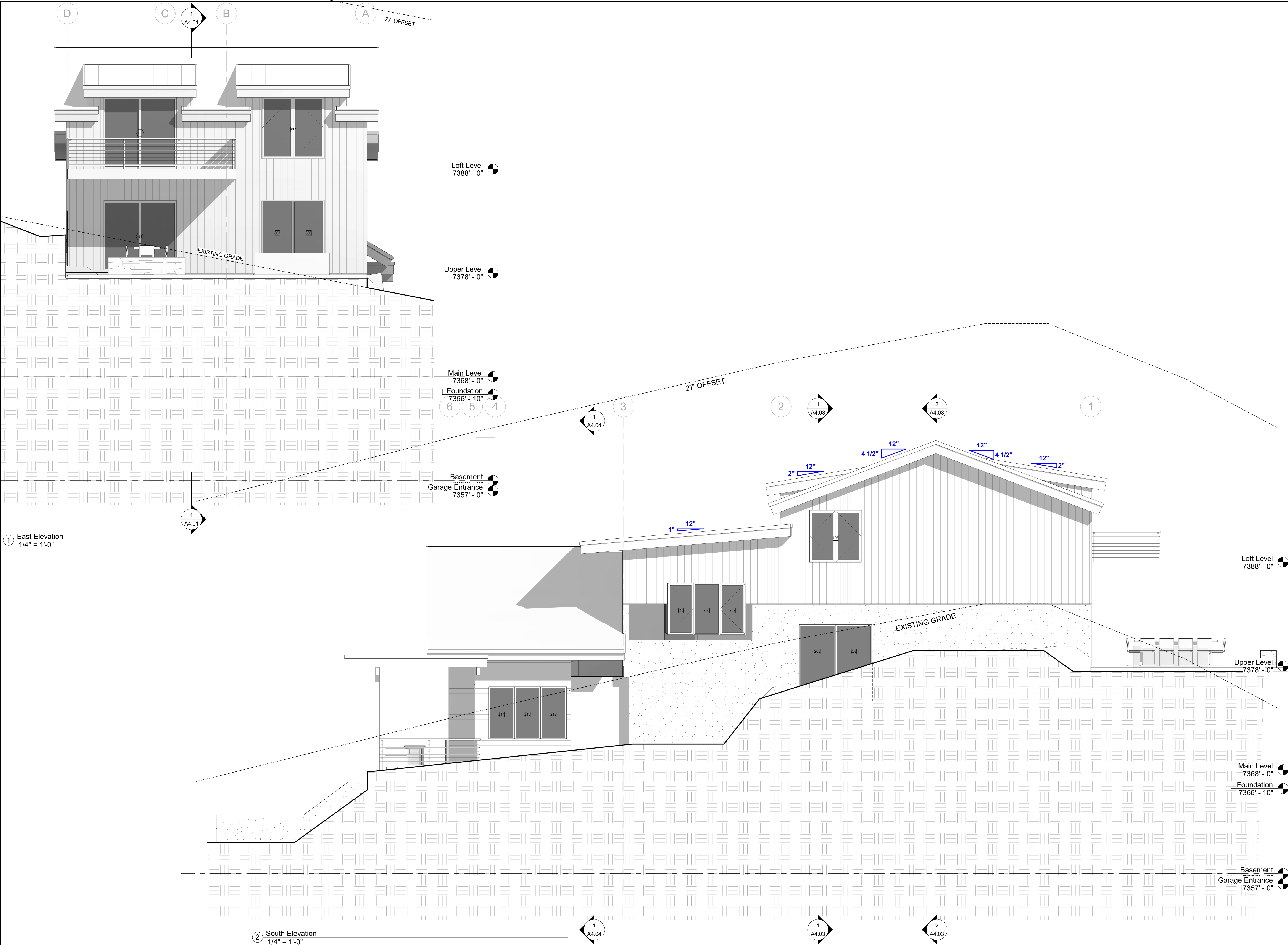
New Residence
Alice Claim
Subdivision, Lot 6
103 Alice Court
Park City, UT 84060

Isometric Elevations

SCALE:

DATE
10 AUG 2023

SHEET
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THE NOTES, DIMENSIONS AND SPECIFICATIONS AND THE SCALE, RECORD, OR PLANS, HEREIN, ARE NOT TO BE USED FOR ANY OTHER PROJECT OR FOR ANY OTHER PURPOSE FOR ANY PURPOSE OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE CONSENT OF S.T. HARRIS, INC. ANY CONTACT WITH THESE DRAWINGS CONSTITUTE CONCLUSIVE EVIDENCE OF THESE.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE SHALL NOT BE RESPONSIBLE FOR ANY DIMENSIONS OR CONDITIONS NOT SHOWN ON THESE DRAWINGS. ALL DIMENSIONS SHALL BE SHOWN ON THESE DRAWINGS. ALL DIMENSIONS SHALL BE SHOWN ON THESE DRAWINGS. ALL DIMENSIONS SHALL BE SHOWN ON THESE DRAWINGS.

BY BUILDING THESE PLANS, THE CONTRACTOR UNDERSTANDS THAT THERE ARE NO OTHER CONDITIONS OR CONDITIONS ON THE JOB AND THIS OFFICE SHALL NOT BE RESPONSIBLE FOR ANY DIMENSIONS OR CONDITIONS NOT SHOWN ON THESE DRAWINGS. ALL DIMENSIONS SHALL BE SHOWN ON THESE DRAWINGS. ALL DIMENSIONS SHALL BE SHOWN ON THESE DRAWINGS. ALL DIMENSIONS SHALL BE SHOWN ON THESE DRAWINGS.

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Revision Schedule	
Revision Number	Revision Date

New Residence

Alice Claim
Subdivision, Lot 6
103 Alice Court
Park City, UT 84060

Elevations

SCALE:
1/4" = 1'-0"

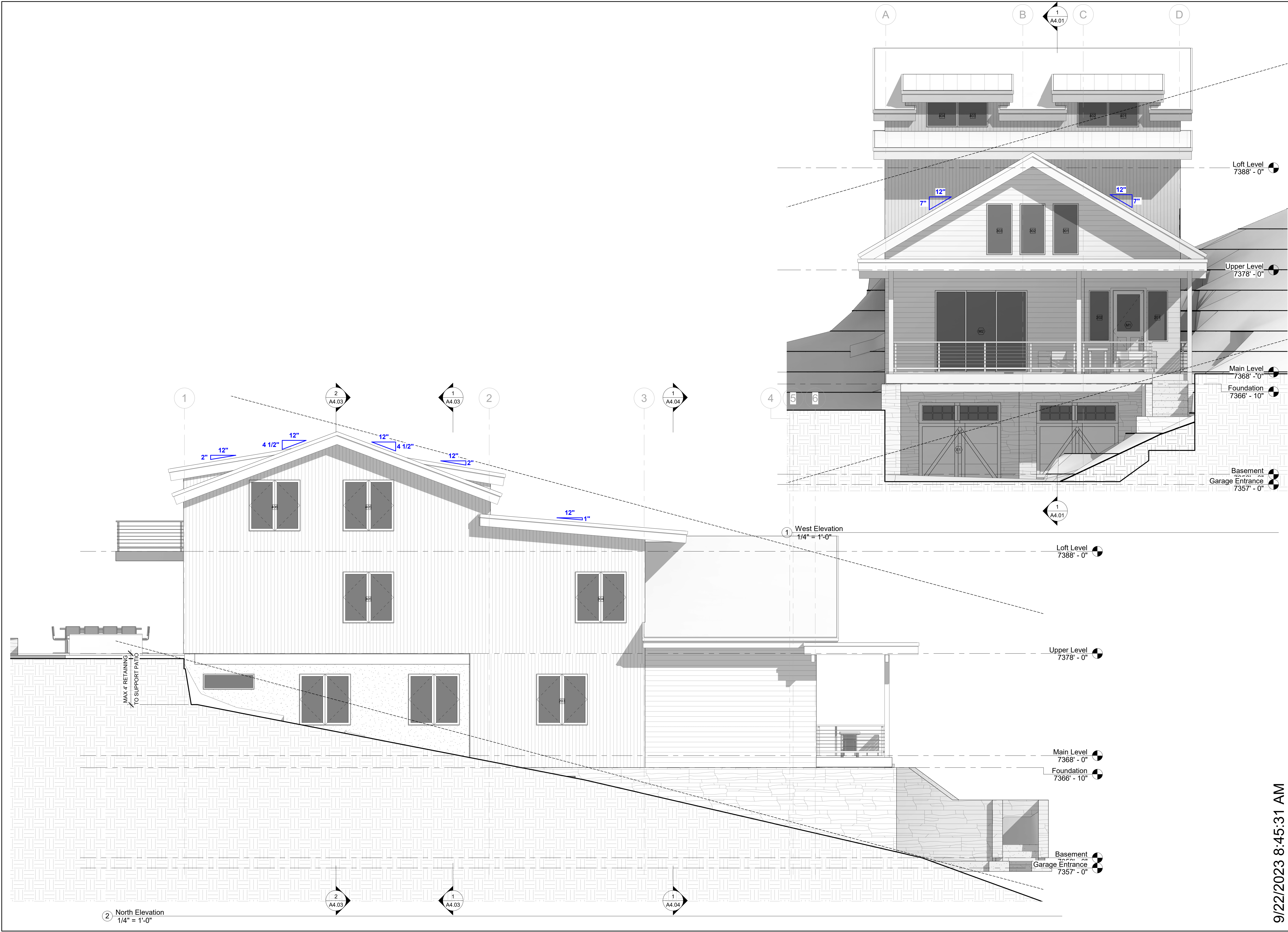
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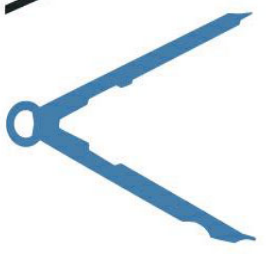
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WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE SHALL NOT BE RESPONSIBLE FOR ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. ALL SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL PRIOR TO PROCEEDING WITH ANY BUILDING THESE PLANS. THE CONTRACTOR UNDERSTANDS THAT THESE ARE DRAWINGS CONTAINED IN THIS SET AND WILL HOLD THIS OFFICE RESPONSIBLE FOR ANY OVERSIGHTS OR ERRORS AND WILL NOTIFY THIS OFFICE OF ERRORS THAT ARISE DURING CONSTRUCTION.

BY ACCEPTING THESE PLANS, THE CONTRACTOR AGREES TO BE BOUND BY THE TERMS AND CONDITIONS OF THESE PLANS AND TO HOLD THIS OFFICE HARMLESS FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, THAT MAY BE ASSERTED AGAINST OR INCURRED BY THIS OFFICE OR ITS EMPLOYEES AND PROVIDING TO THE EXTENT OF THE PROCEEDING, VERBALLY SIGNED AND DATED.

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Revision Schedule	
Revision Number	Revision Date

New Residence
Alice Claim
Subdivision, Lot 6
103 Alice Court
Park City, UT 84060

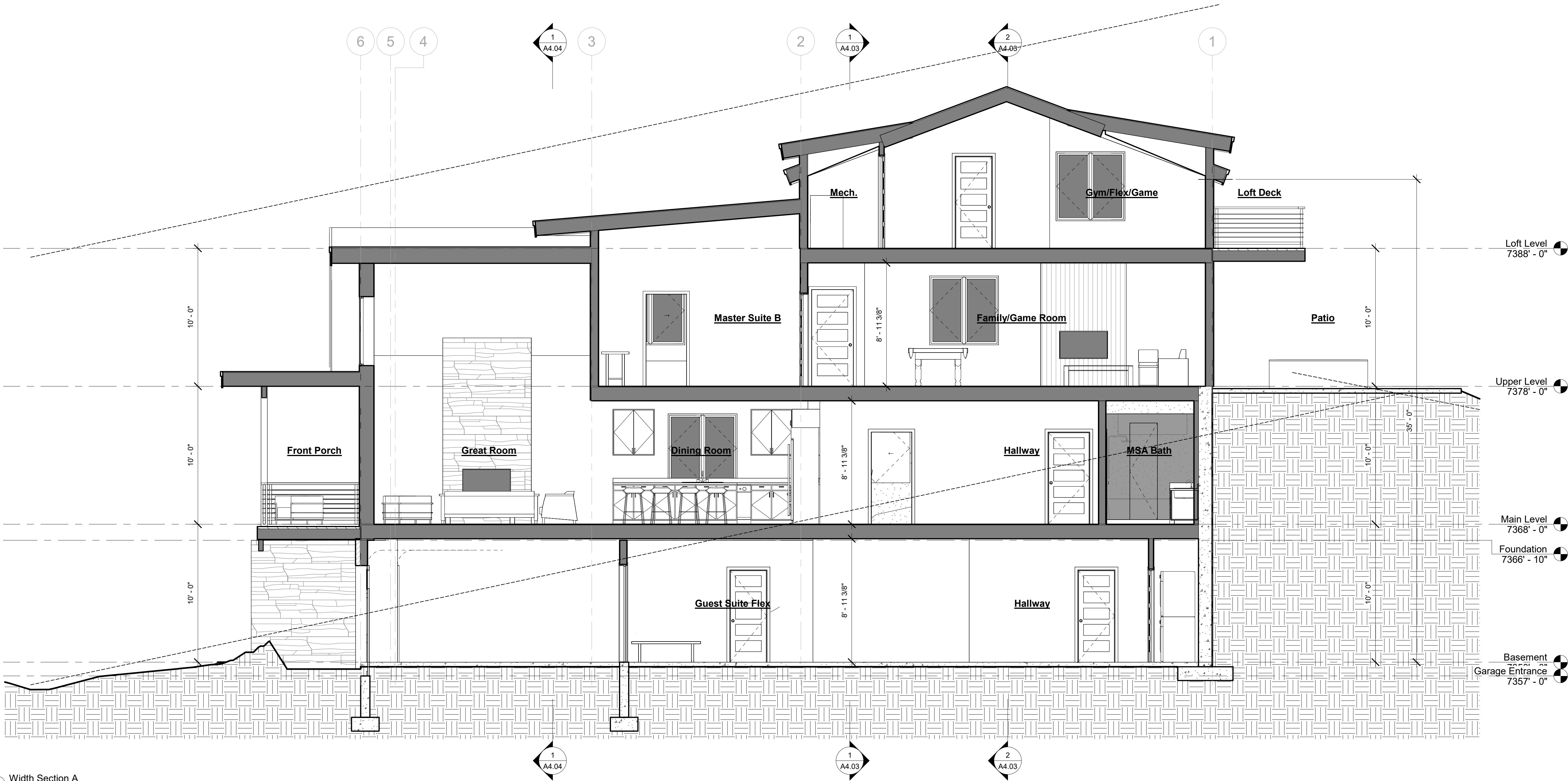
Elevations

SCALE:
1/4" = 1'-0"

DATE
10 AUG 2023

SHEET
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① Width Section A
1/4" = 1'-0"

THE NOTES, DIMENSIONS AND SPECIFICATIONS AND THE ROAD, ELEVATION, ARRANGEMENTS REPRESENTED THEREIN ARE AND SHALL REMAIN THE PROPERTY OF R.T. HARRIS, INC. NO PART HEREOF SHALL BE COPIED, REPRODUCED, EITHER OR USED IN CONNECTION WITH ANY OTHER WORK OR PROJECT OR FOR ANY OTHER PURPOSE FOR ANY PURPOSE OTHER THAN THE SPECIFIC PURPOSE FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF R.T. HARRIS, INC. ANY SUCH VIOLATION SHALL BE CONSIDERED A BREACH OF CONTRACT AND SHALL BE SUBJECT TO LEGAL ACTION.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS FROM THE DIMENSIONS SHOWN BY THESE DRAWINGS. ALL SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL PRIOR TO PROCEEDING WITH ANY BUILDING THESE PLANS. THE CONTRACTOR UNDERSTANDS THAT THESE ARE DRAWINGS CONTAINED IN THIS SET AND WILL NOT BE USED FOR ANY OTHER PURPOSE OR FOR ANY OVERSIGHTS OR ERRORS AND WILL NOTIFY THIS OFFICE OF ANY SUCH VIOLATION OF THESE DRAWINGS.

BY ACCEPTING THESE PLANS, THE CONTRACTOR AND/OR SERVICES OUTLINED IN THESE DRAWINGS, THE CLIENT, THEIR AGENTS, SUBS, AND ALL PRESENT AND FUTURE PERSONS OR PARTIES DIRECTLY OR INDIRECTLY INVOLVED IN THE CONSTRUCTION OF THE PROJECT, HEREBY AGREE TO A LIMIT OF LIABILITY OF R.T. HARRIS, INC. AND EMPLOYEES AND PRINCIPALS TO THE AMOUNT OF THE ORIGINAL FEE PAID TO R.T. HARRIS, INC. FOR THESE SERVICES.

VAN SICKLE

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PARK CITY, UTAH 84098
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Revision Schedule	
Revision Number	Revision Date

New Residence

Alice Claim
Subdivision, Lot 6
103 Alice Court
Park City, UT 84060

Building
Sections

SCALE:
1/4" = 1'-0"

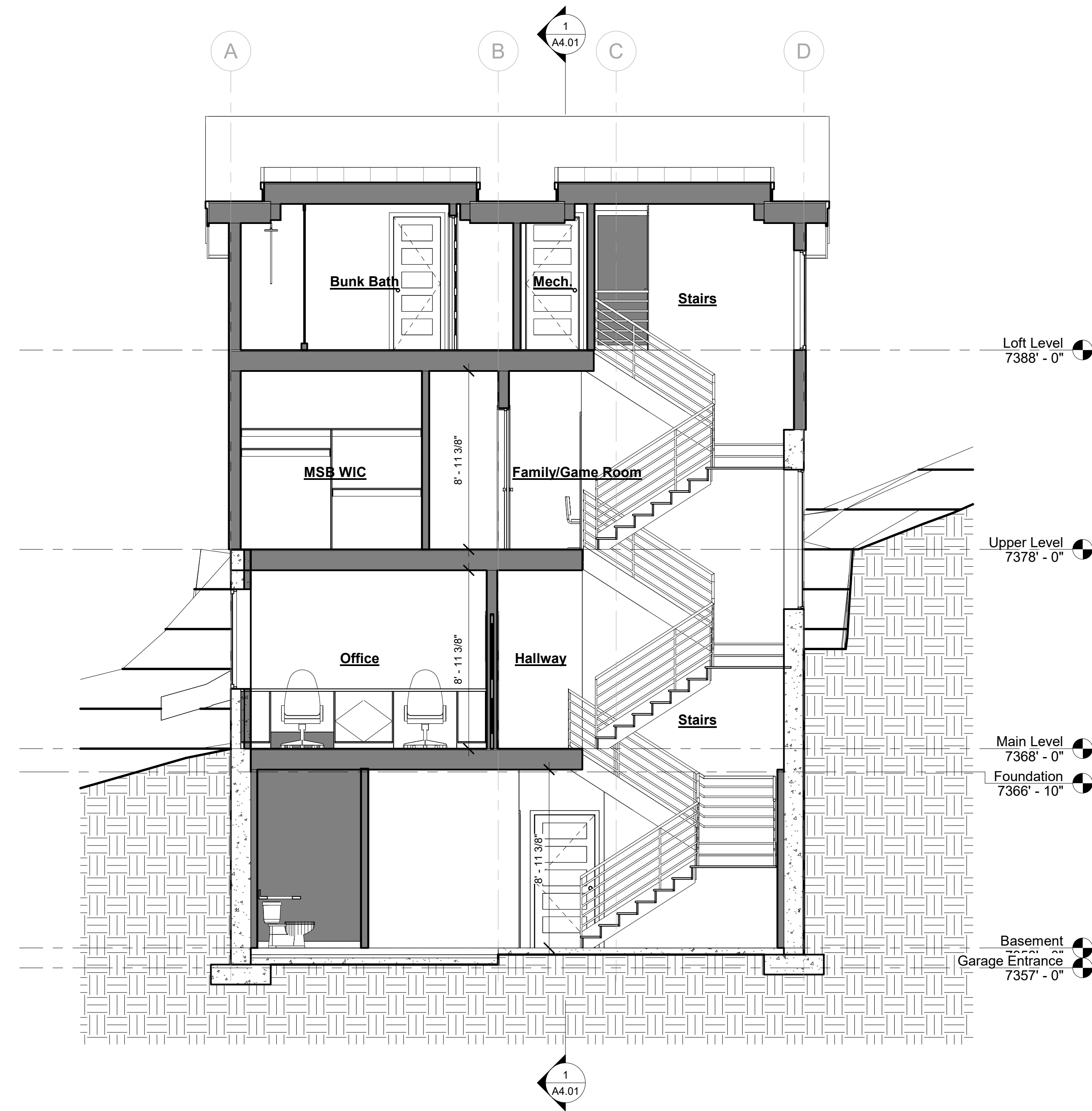
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10 AUG 2023

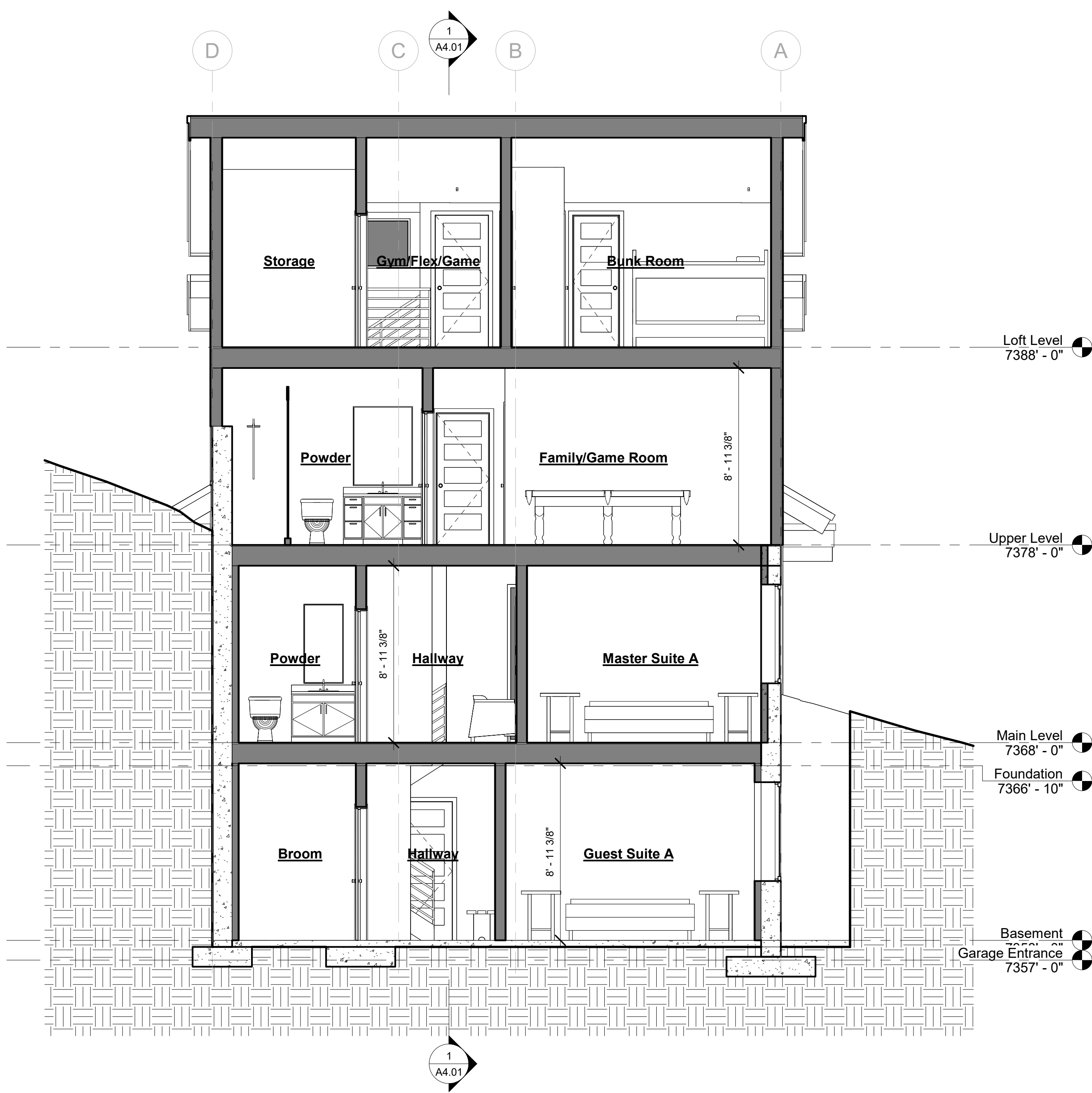
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1 Depth Section A
1/4" = 1'-0"



2 Depth Section B
1/4" = 1'-0"

THE ABOVE DRAWING AND SPECIFICATIONS AND THE ASSOCIATED
ARRANGEMENTS REPRESENTED THEREIN ARE AND SHALL REMAIN THE
PROPERTY OF R.T. HARRIS INC. AND NO PART THEREOF SHALL BE COPIED, REPRODUCED,
OR USED IN CONNECTION WITH ANY OTHER WORK OR PROJECT FOR
ANY OTHER PERSON FOR ANY PURPOSE OTHER THAN THE SPECIFIC
FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE
CONSENT OF R.T. HARRIS INC. ANY CONTACT WITH THESE DRAWINGS
CONSTITUTE CONCLUSIVE EVIDENCE OF THESE.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE
OVER ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE SHALL
NOT BE RESPONSIBLE FOR ANY DIMENSIONS OR CONDITIONS NOT
SHOWN BY THESE DRAWINGS. ALL SHOP DETAILS MUST
BE SUBMITTED TO THIS OFFICE FOR APPROVAL PRIOR TO PROCEEDING WITH
THE BUILDING THESE PLANS. THE CONTRACTOR UNDERSTANDS THAT THERE
ARE ERRORS CONTAINED IN THIS SET AND WILL NOTIFY THIS OFFICE
FOR ANY OVERSIGHTS OR ERRORS AND WILL NOTIFY THIS OFFICE OF
ERRORS THAT ARISE DURING
THE BUILDING OF
THE PROJECT.

BY ACCEPTING THESE PLANS, THE CONTRACTOR AND/OR SERVICES OUTLINED IN
THESE PLANS, THE CLIENT, THEIR AGENTS, SUBS, AND
USERS AND ALL PRESENT AND FUTURE PERSONS OR PARTIES DIRECTLY
OR INDIRECTLY INVOLVED IN THE DESIGN OR SERVICES OUTLINED IN
THESE PLANS, AGREE TO A LIMIT OF LIABILITY OF R.T. HARRIS INC. AND
EMPLOYEES AND PRINCIPALS TO THE EXTENT OF THE PROCEEDING, VERBALLY
AND IN WRITING.

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DESIGN & DRAFTING

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PARK CITY, UTAH 84098

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Revision Schedule	
Revision Number	Revision Date

New Residence

Alice Claim
Subdivision, Lot 6
103 Alice Court
Park City, UT 84060

Building
Sections

SCALE:
1/4" = 1'-0"

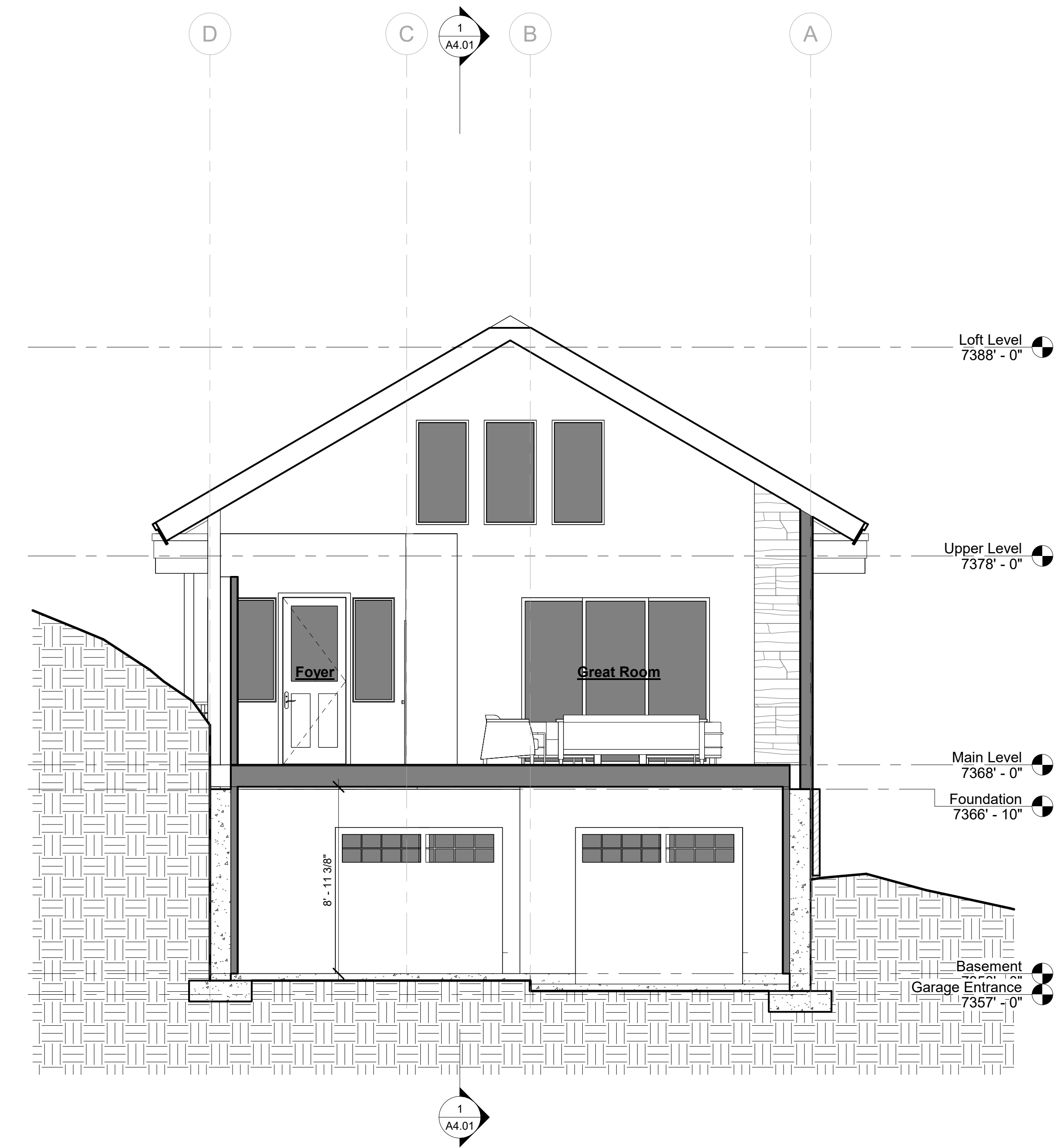
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10 AUG 2023

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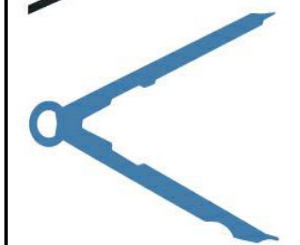


1 Depth Section C
1/4" = 1'-0"

THE ABOVE DRAWINGS AND SPECIFICATIONS AND THE LOGS, RECORDS, AND REVISIONS REPRESENTED THEREIN ARE AND SHALL REMAIN THE PROPERTY OF B.T. HARRIS INC. AND NO PART THEREOF SHALL BE COPIED, REPRODUCED, OR USED IN CONNECTION WITH ANY OTHER WORK OR PROJECT FOR ANY OTHER PERSON FOR ANY PURPOSE OTHER THAN THE SPECIFIC PURPOSE FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF B.T. HARRIS INC. VERBAL CONTACT WITH THESE DRAWINGS CONSTITUTE CONCLUSIVE EVIDENCE OF THESE.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS FROM THE DIMENSIONS SHOWN BY THESE DRAWINGS. ALL SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL PRIOR TO PROCEEDING WITH ANY BUILDING THESE PLANS. THE CONTRACTOR UNDERSTANDS THAT THESE ARE DRAWINGS CONTAINED IN THIS SET AND NOT HEREIN THIS OFFICE FOR ANY OVERSIGHTS OR ERRORS AND WILL NOTIFY THIS OFFICE OF ERRORS THAT ARISE DURING CONSTRUCTION.

BY ACCEPTING THESE PLANS, THE CONTRACTOR AND/OR SERVICES OUTSOURCED TO THEM, THE USER, THEIR CLIENTS, SUBS, AND ALL PRESENT AND FUTURE PERSONS OR PARTIES DIRECTLY OR INDIRECTLY INVOLVED IN THE DESIGN OR SERVICES PROVIDED BY THESE PLANS, DOCUMENTS, AGREES TO A LIMIT OF LIABILITY OF B.T. HARRIS INC. AND EMPLOYEES AND PRINCIPALS TO THE EXTENT OF THE ORIGINAL VERBALLY AGREED AMOUNT.



VAN SICKLE

DESIGN & DRAFTING

4383 FOREST DALE ROAD, SUITE 205
PARK CITY, UTAH 84098

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Revision Schedule	
Revision Number	Revision Date

New Residence

Alice Claim
Subdivision, Lot 6
103 Alice Court
Park City, UT 84060

Building Sections

SCALE:
1/4" = 1'-0"

DATE

10 AUG 2023

SHEET

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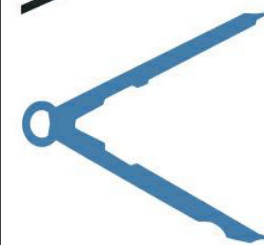


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THE ABOVE DRAWINGS AND SPECIFICATIONS AND THE SEALS, RECORDS, ARRANGEMENTS REPRESENTED THEREIN ARE AND SHALL REMAIN THE PROPERTY OF B.T. HARRIS INC. AND NO PART THEREOF SHALL BE COPIED, REPRODUCED, EITHER OR USED IN CONNECTION WITH ANY OTHER WORK OR PROJECT OR BY ANY OTHER PERSON FOR ANY PURPOSES OTHER THAN THE SPECIFIC PURPOSE FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE CONSENT OF B.T. HARRIS INC. VERBAL CONTACT WITH THESE DRAWINGS CONSTITUTE CONCLUSIVE EVIDENCE OF THESE.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE SHALL NOT BE RESPONSIBLE FOR ANY VARIATIONS FROM THE DIMENSIONS SHOWN BY THESE DRAWINGS. ALL SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL PRIOR TO PROCEEDING WITH ANY BUILDING THESE PLANS. THE CONTRACTOR UNDERSTANDS THAT THESE ARE DRAWINGS CONTAINED IN THESE SETS AND MAY NOT HAVE THE OFFICIAL SEAL OR ANY OVERSIGHTS OR ERRORS AND WILL NOTIFY THIS OFFICE OF ANY ERRORS THAT ARISE DURING.

BY ACCEPTING THESE PLAN DOCUMENTS AND/OR SERVICES OUTLINED IN THESE DOCUMENTS, THE CLIENT, THEIR AGENTS, SUBS, SUBS' AGENTS AND ALL PRESENT AND FUTURE PERSONS OR PARTIES DIRECTLY OR INDIRECTLY INVOLVED IN THE PLAN DOCUMENTS OR SERVICES OUTLINED IN THESE DOCUMENTS AGREE TO A LIMIT OF LIABILITY OF B.T. HARRIS INC. AND EMPLOYEES AND PRINCIPALS TO THE EXTENT OF THE ORIGINAL VERBALLY AGREED AGREED.



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PARK CITY, UTAH 84098

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Revision Schedule	
Revision Number	Revision Date

New Residence

Alice Claim
Subdivision, Lot 6
103 Alice Court
Park City, UT 84060

Stair Sections

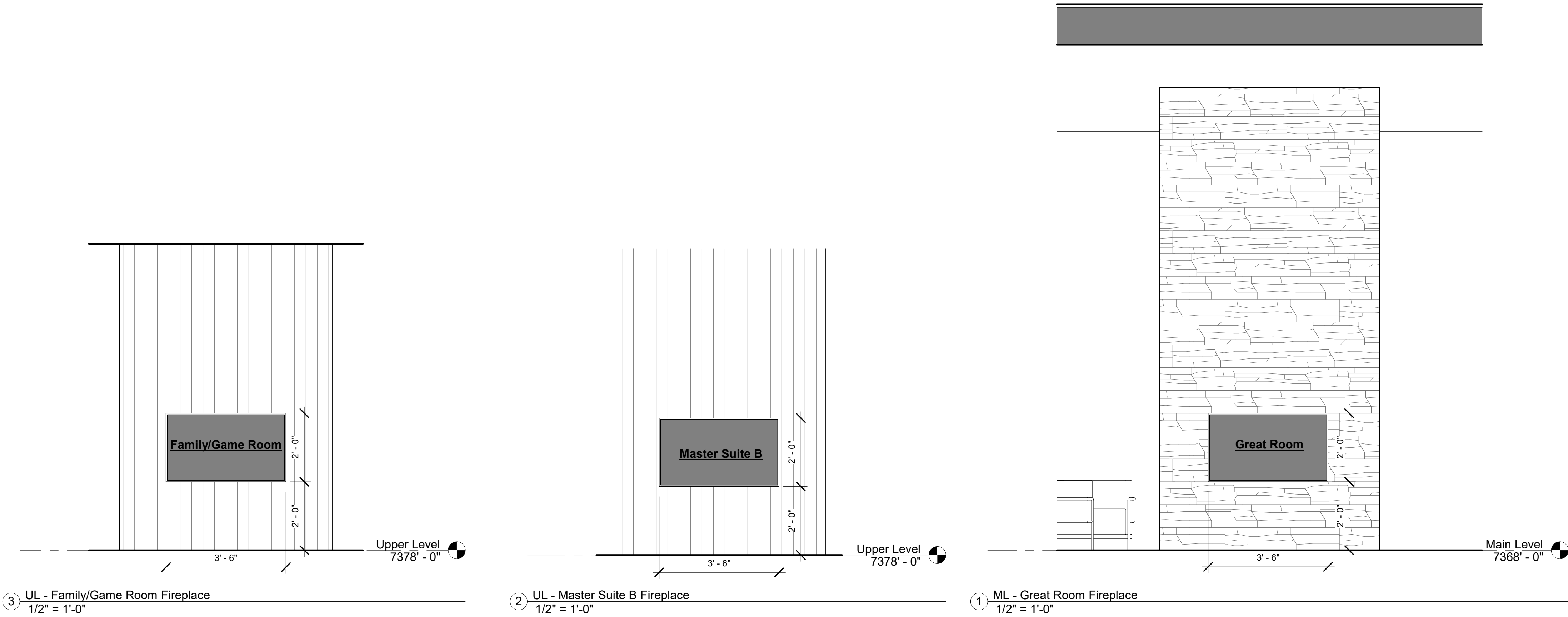
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DATE

10 AUG 2023

SHEET

A4.06

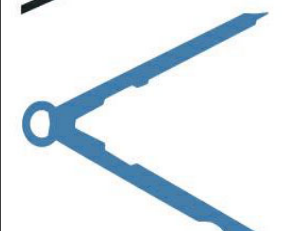


9/22/2023 8:45:39 AM

THE ABOVE DRAWINGS AND SPECIFICATIONS ARE THE SOLE PROPERTY OF B.T. HARRIS INC. AND SHALL REMAIN THE PROPERTY OF B.T. HARRIS INC. AND SHALL NOT BE REPRODUCED OR USED IN CONNECTION WITH ANY OTHER WORK OR PROJECT FOR ANY OTHER PERSON FOR ANY PURPOSE OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF B.T. HARRIS INC. ANY VIOLATION OF THESE TERMS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF BREACH.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER ANY DIMENSIONS SHOWN ON THE DRAWINGS. ALL DIMENSIONS SHALL BE NOTED IMMEDIATELY OF ANY VIOLATIONS FROM THE DIMENSIONS SHOWN BY THESE DRAWINGS. ALL SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL PRIOR TO PROCEEDING WITH ANY BUILDING THESE PLANS. THE CONTRACTOR UNDERSTANDS THAT THESE ARE DRAWINGS CONTAINED IN THIS SET AND NOT HIDE THE OFFICE FOR ANY OVERSIGHTS OR ERRORS AND WILL NOTIFY THIS OFFICE OF ERRORS THAT ARISE DURING CONSTRUCTION.

BY ACCEPTING THESE PLANS, THE CONTRACTOR AGREES TO HOLD THE USER AND ALL PRESENT AND FUTURE PERSONS OR PARTIES DIRECTLY OR INDIRECTLY INVOLVED IN THE DESIGN OF THESE PLANS, INCLUDING ANY PLAN DOCUMENTS, AGREE TO A LIMIT OF LIABILITY OF B.T. HARRIS INC. AND EMPLOYEES AND PRINCIPALS TO THE EXTENT OF THE ORIGINAL VERBALLY AGREED AGREEMENT.



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PARK CITY, UTAH 84098

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Revision Schedule	
Revision Number	Revision Date

New Residence

Alice Claim
Subdivision, Lot 6
103 Alice Court
Park City, UT 84060

Fireplace Details

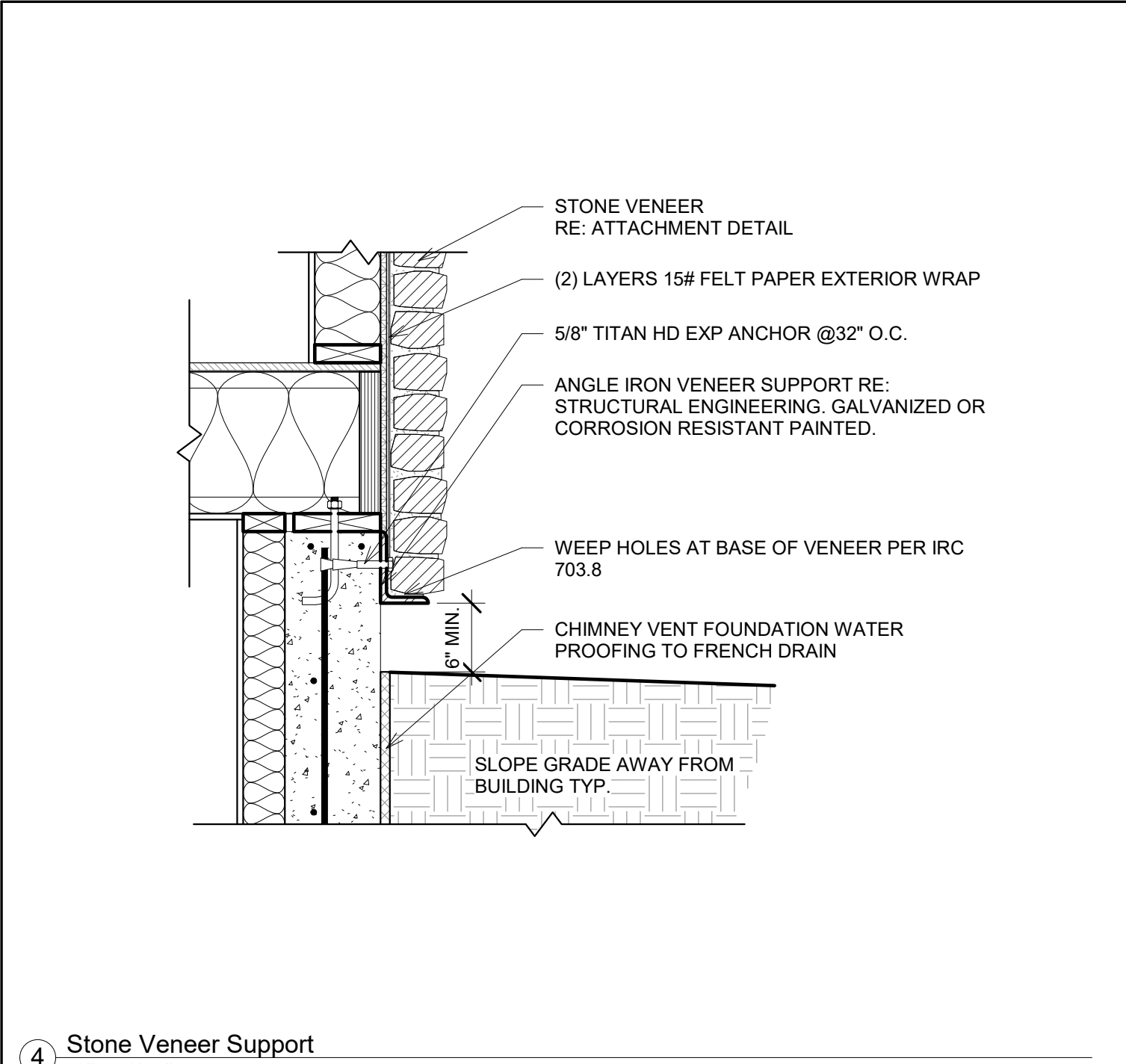
SCALE:
1/2" = 1'-0"

DATE

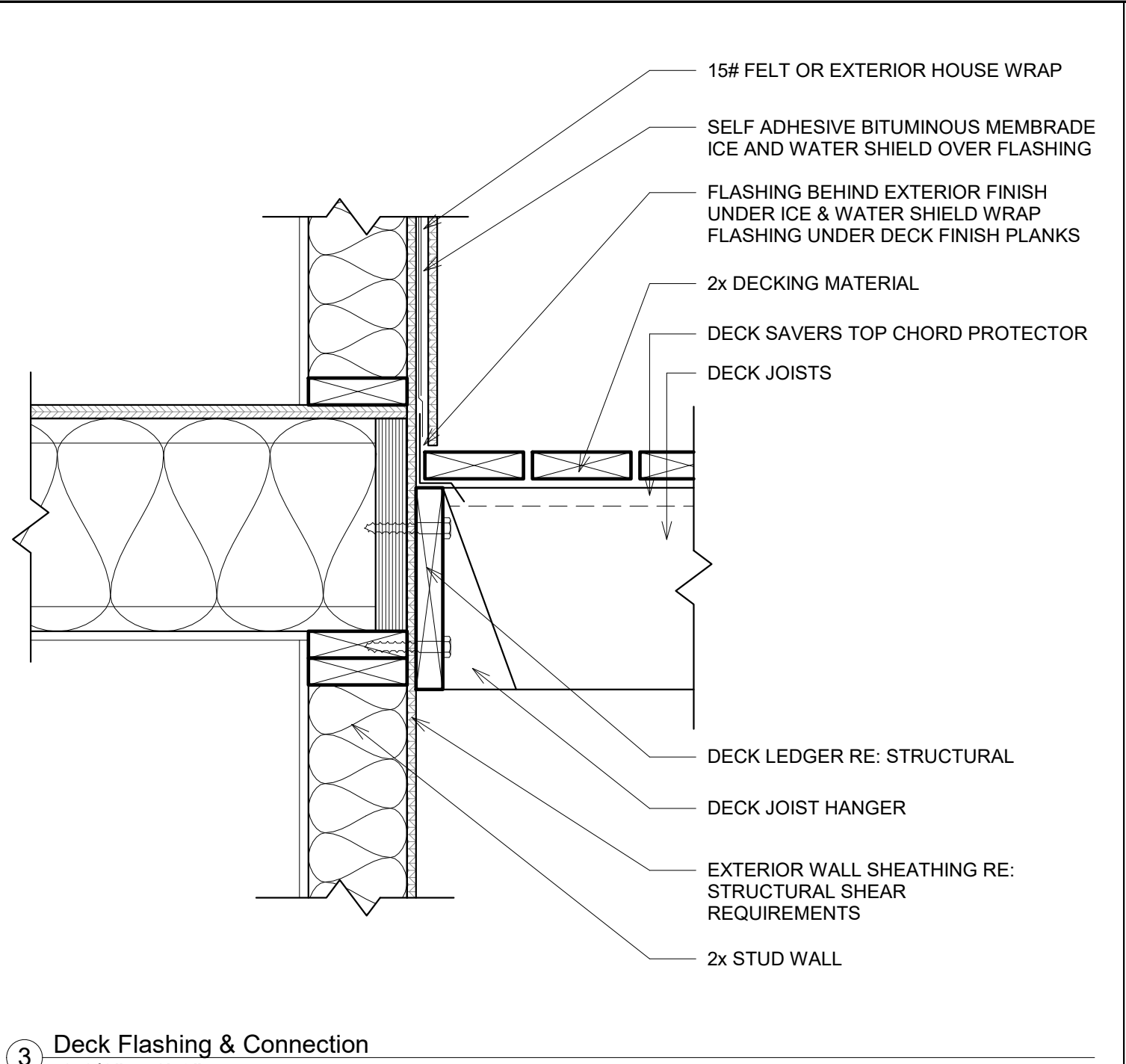
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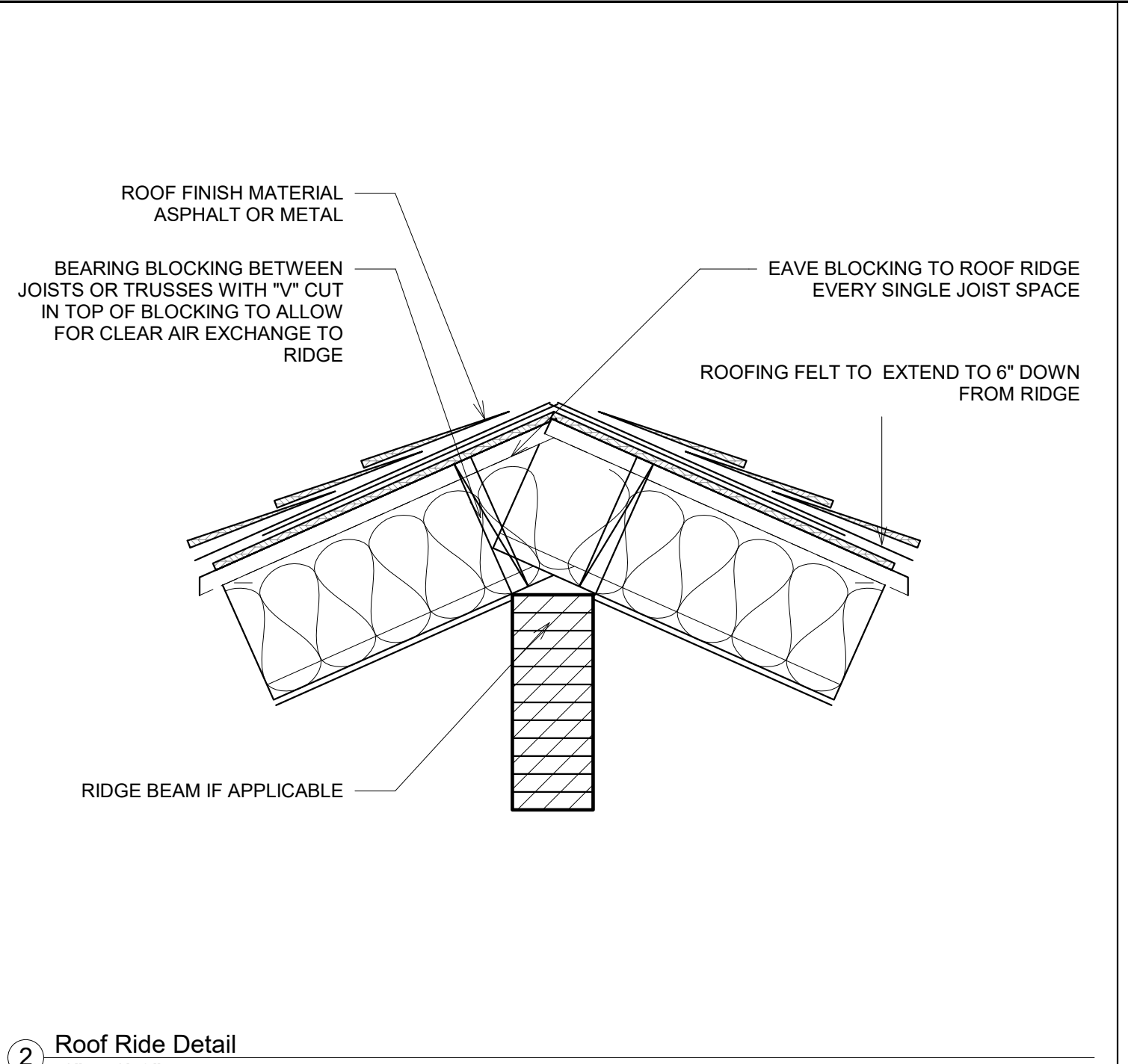
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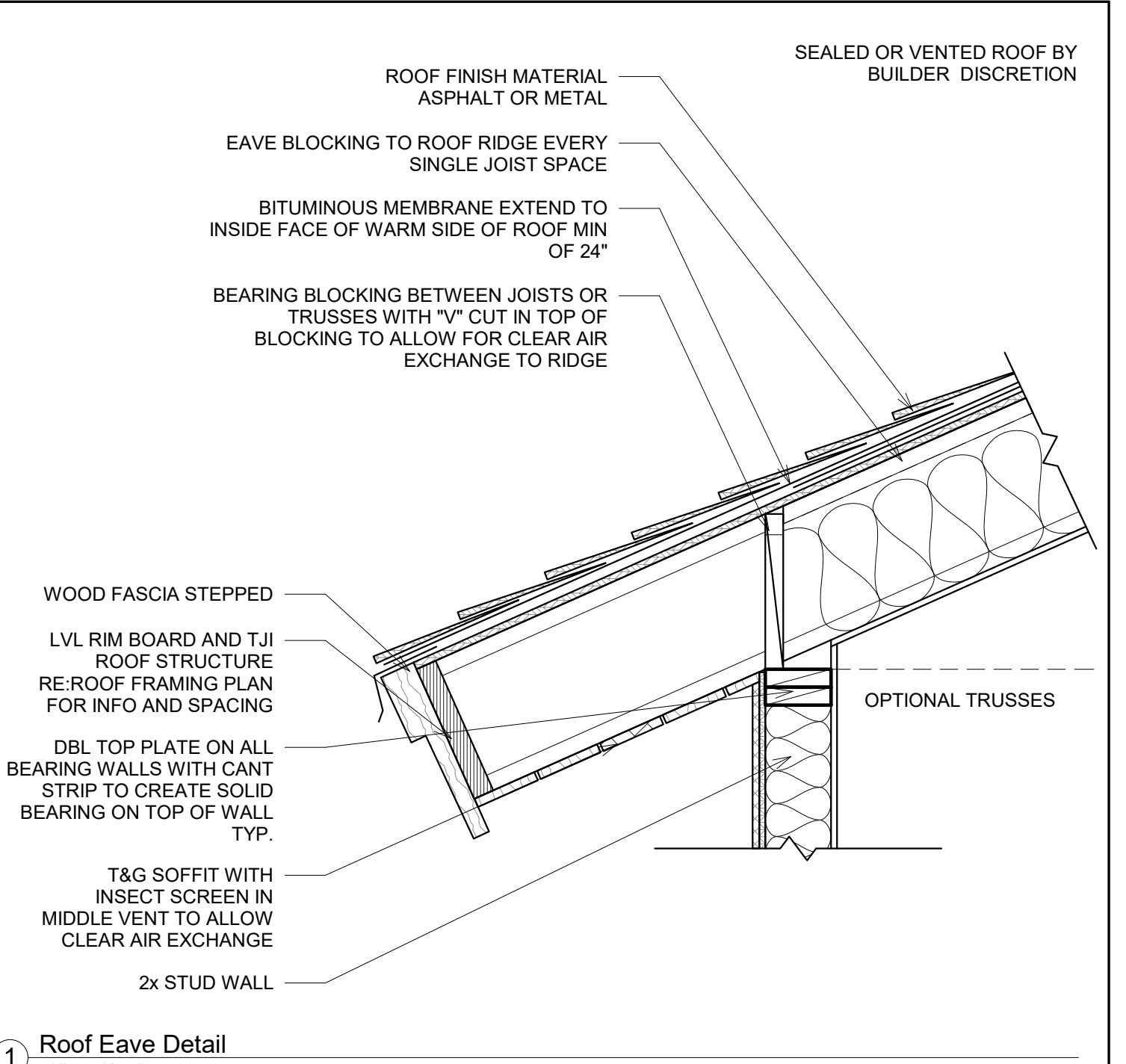
④ Stone Veneer Support
1" = 1'-0"



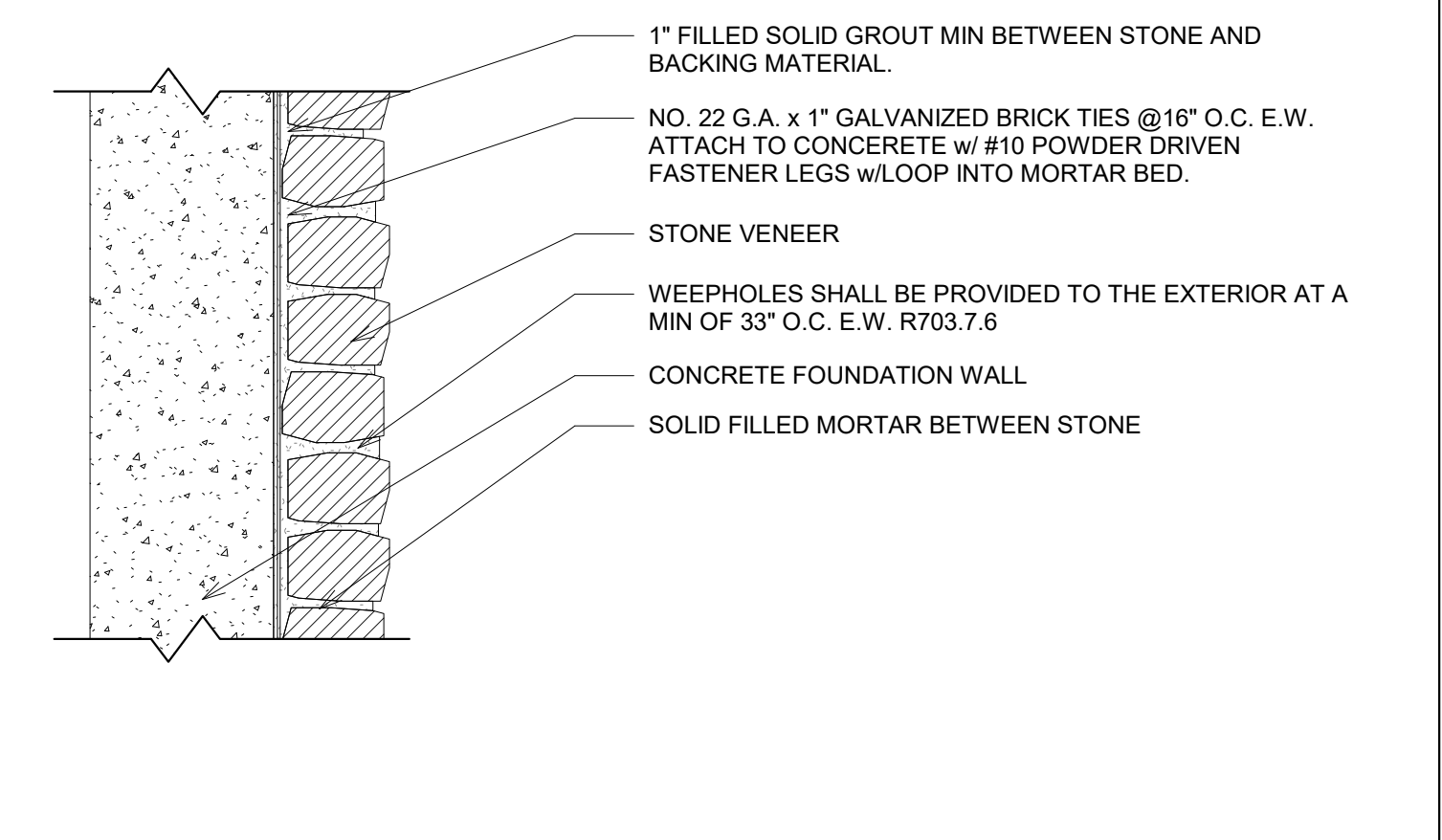
③ Deck Flashing & Connection
1 1/2" = 1'-0"



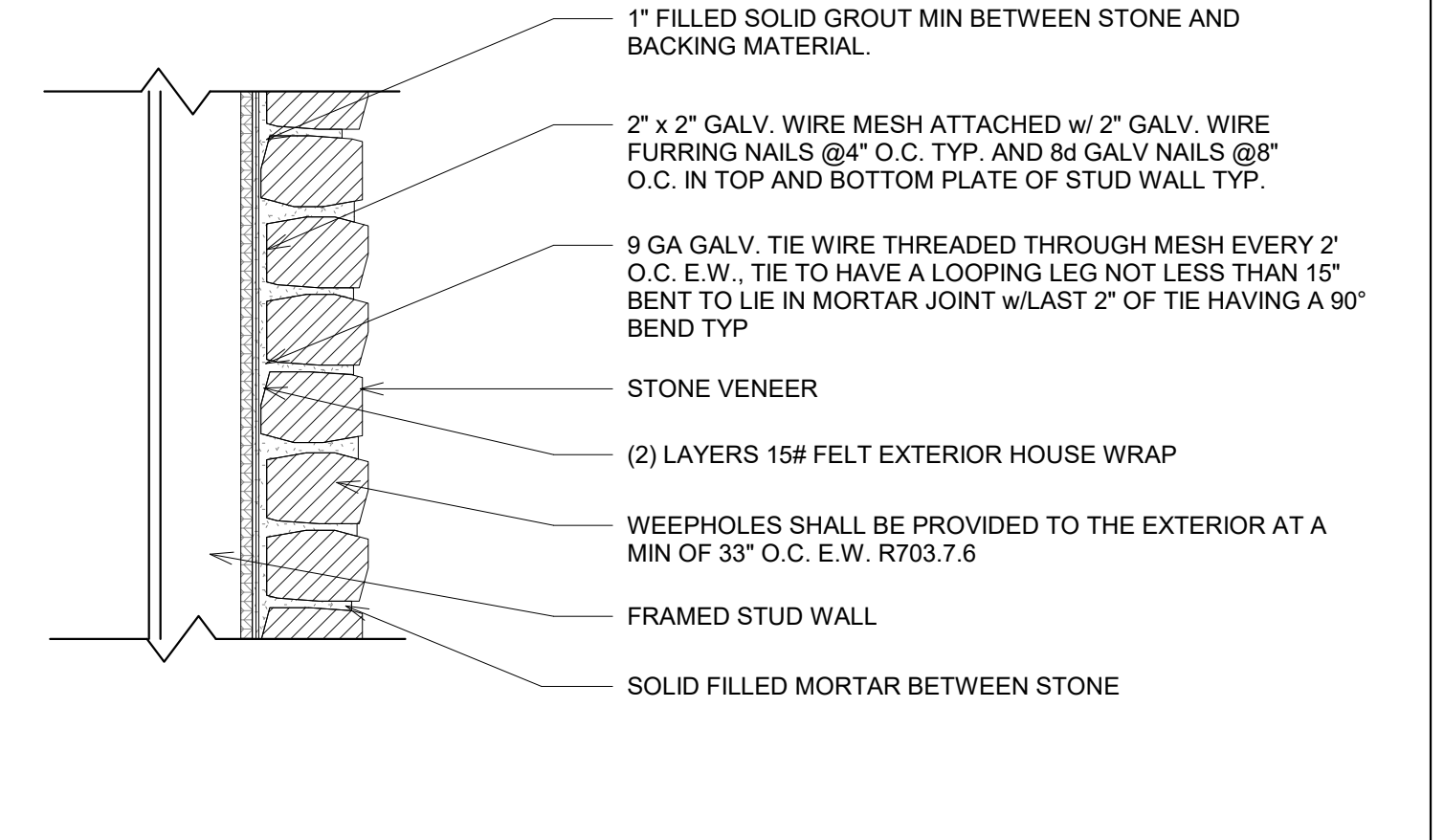
② Roof Ride Detail
1" = 1'-0"



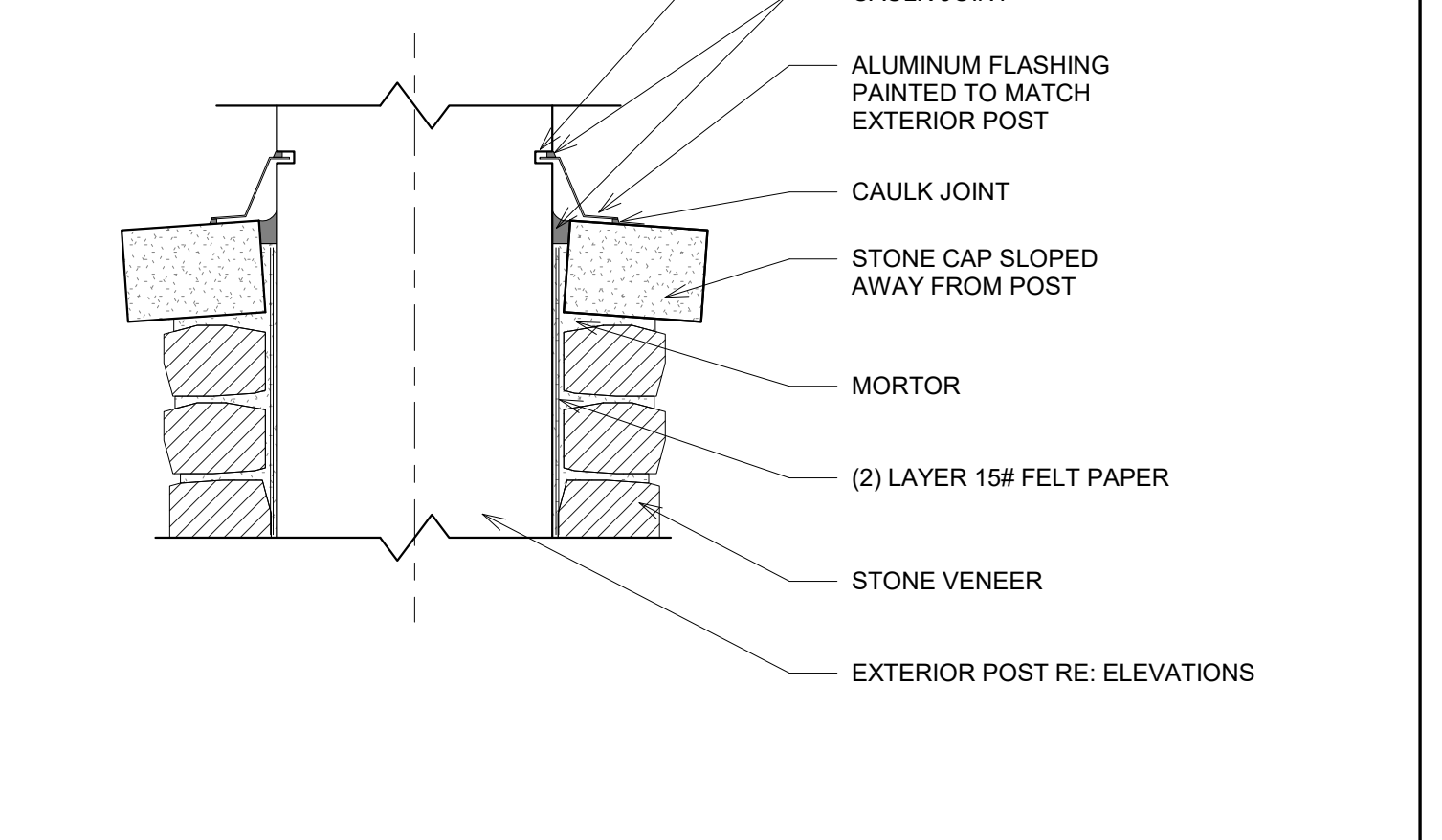
① Roof Eave Detail
1" = 1'-0"



⑦ Stone Veneer Attachment - Concrete
1 1/2" = 1'-0"



⑥ Stone Veneer Attachment - Framing
1 1/2" = 1'-0"

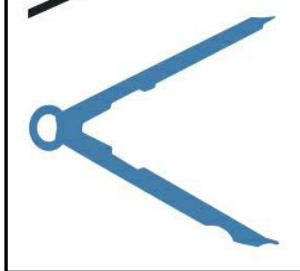


⑤ Column to Cap Flashing
1 1/2" = 1'-0"

THE NOTES, DIMENSIONS AND SPECIFICATIONS AND THE ROAD/SECTION
ARRANGEMENTS REPRESENTED THEREIN ARE AND SHALL REMAIN THE
PROPERTY OF S.T. HARRIS INC. NO PART THEREOF SHALL BE COPIED, REPRODUCED
OR USED IN CONNECTION WITH ANY OTHER WORK OR PROJECT FOR
ANY OTHER PERSON FOR ANY PURPOSES OTHER THAN THE SPECIFIC
FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE
CONSENT OF S.T. HARRIS INC. ANY VIOLATION OF THESE PROVISIONS
CONSTITUTE CONCLUSIVE EVIDENCE OF NEGLIGENCE.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE
OVER ALL OTHER DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE SHALL
NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS FROM THE DIMENSIONS
NOTED ON THESE DRAWINGS. ALL SHOP DETAILS MUST
BE SUBMITTED TO THIS OFFICE FOR APPROVAL PRIOR TO PROCEEDING WITH
THE BUILDING THESE PLANS. THE CONTRACTOR UNDERTAKES THAT THESE
PLANS SHALL BE CONSIDERED AS THE BASIS FOR THE WORK AND SHALL NOT BE
FOR ANY SUBSEQUENT OR CORRECTIONS AND WILL NOTIFY THIS OFFICE OF
ANY ERRORS THAT MAY OCCUR.

BY ACCEPTING THESE PLANS, THE CONTRACTOR UNDERTAKES THAT THESE
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VAN SICKLE
DESIGN & DRAFTING

4383 FOREST DALE ROAD, SUITE 205
PARK CITY, UTAH 84098

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Revision Schedule	
Revision Number	Revision Date

New Residence

Alice Claim
Subdivision, Lot 6
103 Alice Court
Park City, UT 84060

Typical Details

SCALE:
As indicated

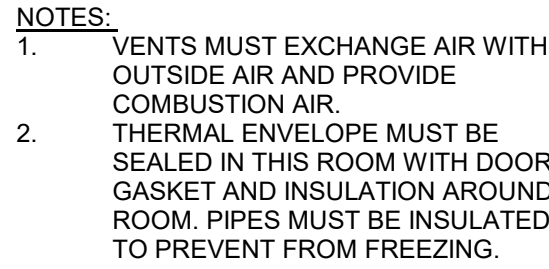
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10 AUG 2023

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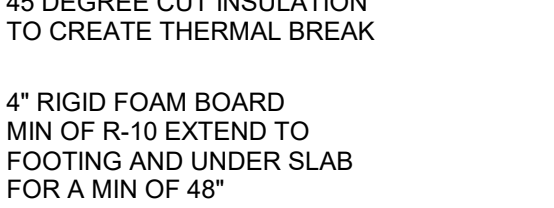
④ Mechanical Venting
1/2" = 1'-0"



③ Thermal Envelope - Foundation Wall
1 1/2" = 1'-0"



② Thermal Envelope - Floor Line
1 1/2" = 1'-0"



① Thermal Envelope - Basement Slab
1" = 1'-0"



5 Water Heater Seismic Strap
1" = 1'-0"

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE. SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY, AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE SHALL NOTIFIED IMMEDIATELY OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. ALL SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL PRIOR TO PROCEEDING WITH THE WORK.

BY BUILDING THESE PLANS THE CONTRACTOR UNDERSTANDS THAT THERE BE ERRORS CONTAINED IN THIS SET, AND WILL NOT HOLD THIS OFFICE RESPONSIBLE FOR ANY OVERSIGHTS OR ERRORS AND WILL NOTIFY THIS OFFICE OF ANY ERRORS THAT ARISE DURING THE CONSTRUCTION OF THE PROJECT.

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PARK CITY, UTAH 84098

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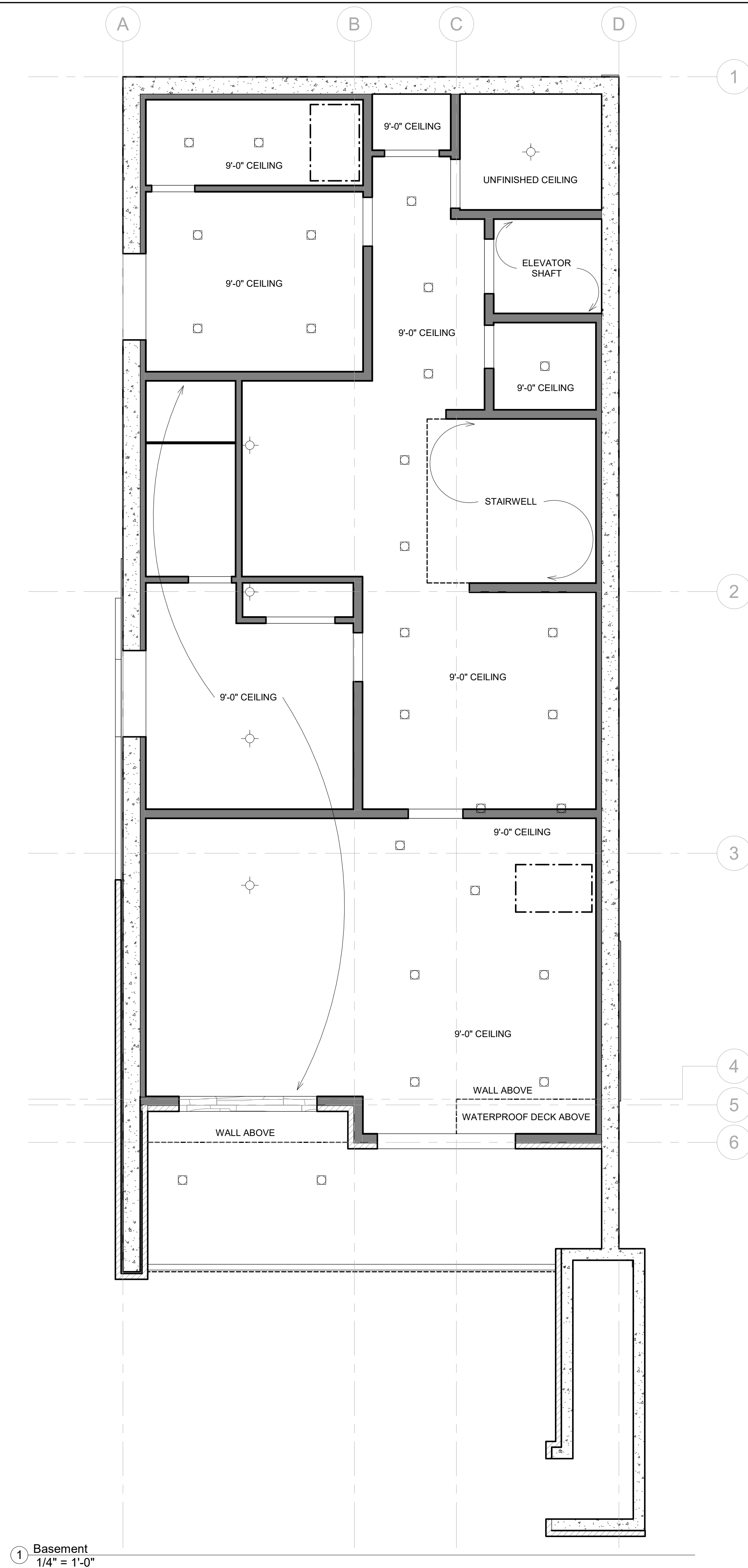
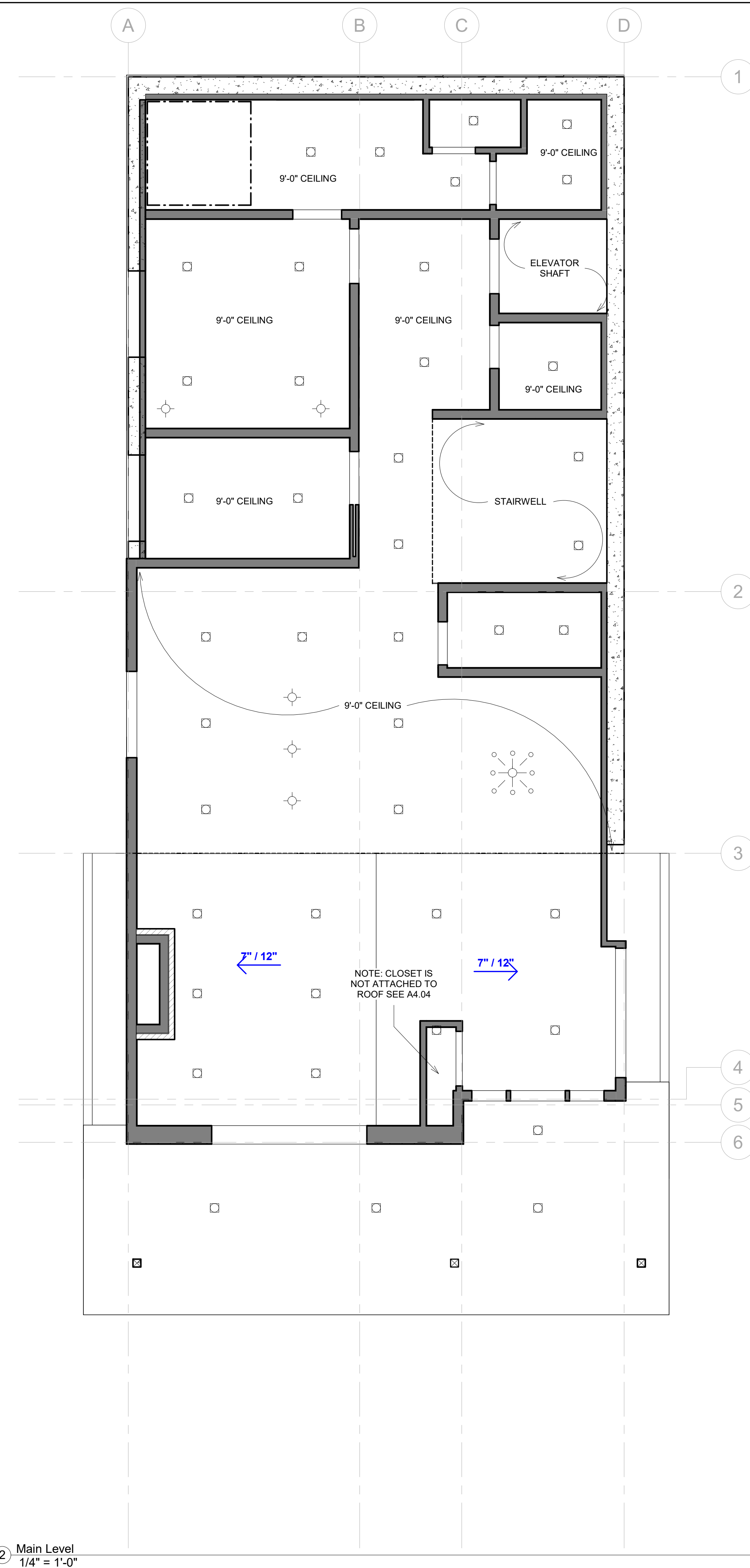
New Residence
Alice Claim
Subdivision, Lot 6
103 Alice Court
Park City, UT 84060

Code Compliance Details
SCALE:
As indicated

DATE
10 AUG 2023

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A4.09

9/22/2023 8:45:41 AM



NOTE: DO NOT USE
CEILING PLANS TO
CALCULATE PLATE
HEIGHTS. SEE A2.04 FOR
PLATE HEIGHT SCHEDULE.

[illegible]

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PARK CITY, UTAH 84098

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[illegible]

New Residence
Alice Claim
Subdivision, Lot 6
103 Alice Court
Park City, UT 84060

Ceiling Plans

SCALE:

1/4" = 1'-0"

DATE
10 AUG 2023

SHEET
A5.01

9/22/2023 8:45:42 AM

This architectural floor plan depicts a building section with a grid system (A-D horizontally, 1-6 vertically). The plan includes several rooms and corridors. A large room in the upper left is labeled '9'-0" CEILING'. A smaller room in the upper right is labeled 'ELEVATOR SHAFT'. A room in the middle right is labeled '9'-0" CEILING'. A room in the middle left is labeled '9'-0" CEILING' and 'WALL ABOVE'. A room in the lower left is labeled '9'-0" CEILING'. A room in the lower right is labeled '9'-0" CEILING'. A room in the middle right is labeled 'STAIRWELL'. The plan also shows a brick wall section at the top, a dashed line indicating a 'WALL ABOVE', and various structural elements like columns and beams. The grid lines are labeled A, B, C, D horizontally and 1, 2, 3, 4, 5, 6 vertically.

NOTE: DO NOT USE
CEILING PLANS TO
CALCULATE PLATE
HEIGHTS. SEE A2.04 FOR
PLATE HEIGHT SCHEDULE.

[illegible][illegible]

SHEET
A5.02

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE
SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY, AND BE RESPONSIBLE
ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE SHALL
NOTIFIED IMMEDIATELY OF ANY VARIATIONS FROM THE DIMENSIONS
CONDITIONS SHOWN BY THESE DRAWINGS. ALL SHOP DETAILS MUST
SUBMITTED TO THIS OFFICE FOR APPROVAL PRIOR TO PROCEEDING WITH
BY BUILDING THESE PLANS THE CONTRACTOR UNDERSTANDS THAT THERE
BE ERRORS CONTAINED IN THIS SET, AND WILL NOT HOLD THIS OFFICE
FOR ANY OVERSIGHTS OR ERRORS AND WILL NOTIFY THIS OFFICE OF
ERRORS THAT ARISE DURING

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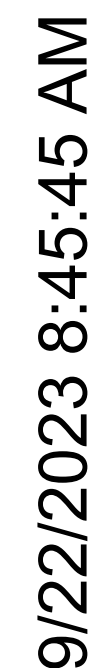
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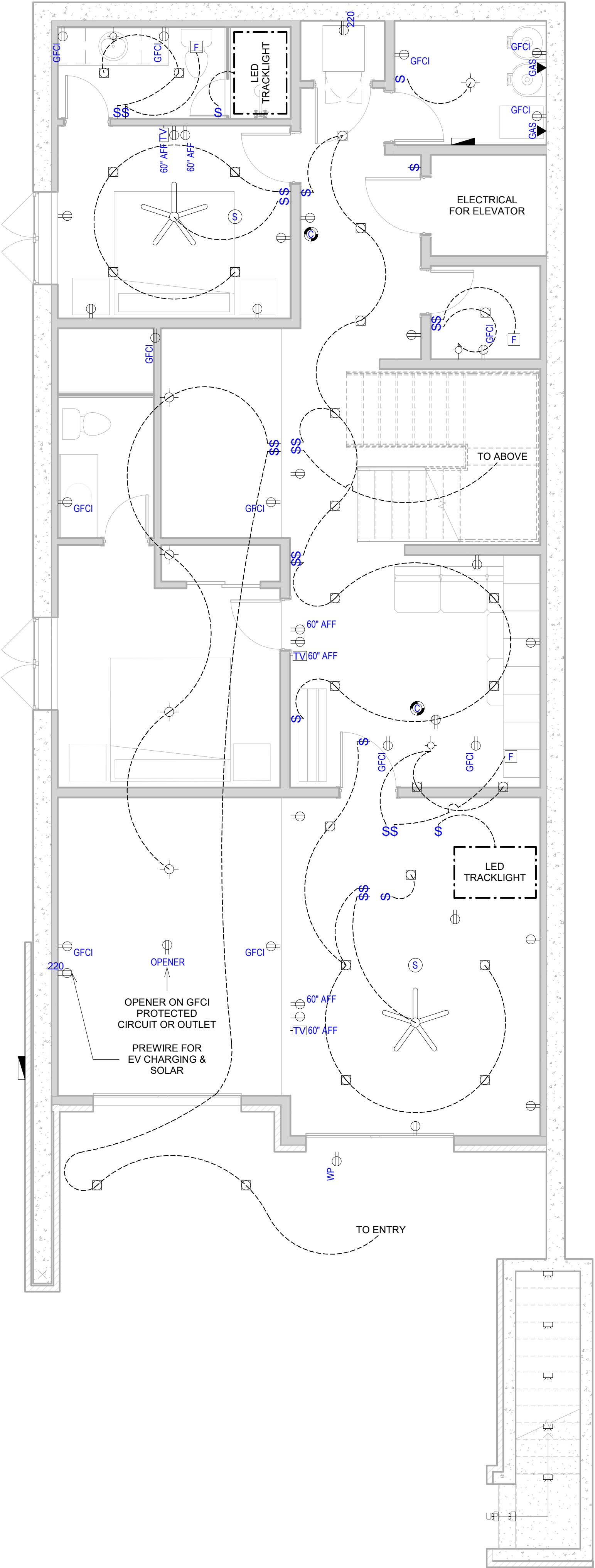
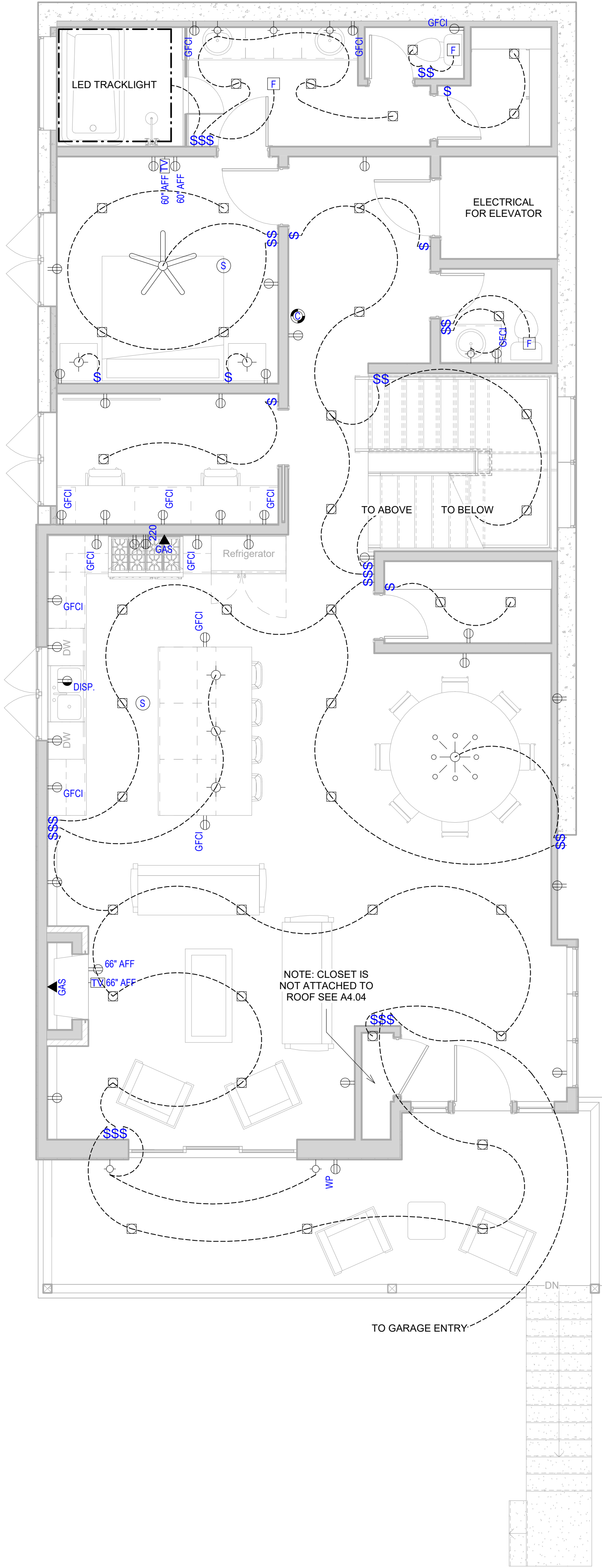


1

DATE

A6 01





	Duplex wall outlet		Switch
	GFCI outlet		Switch 3-way
	Weatherproof GFCI outlet with cover		Thermostat
	Dishwasher GFCI		Exhaust fan
	Switched outlet GFCI for garbage disposal		Television jack
	220 V outlet		Phone jack
	Floor/Ceiling outlet		Gas appliance hookup
	Garage door opener		Ceiling-mounted heat register
	Light Fixture		Floor-mounted heat register
	Wall-mounted light fixture		Smoke detector
	Recessed light fixture		Smoke & Carbon monoxide detector
	Light - step		Electrical panel

- NOTES:
- TAMPER RESISTANT OUTLETS SHALL BE USED FOR ALL 15 AND 20 AMP OUTLETS WITH IN THE DWELLING
 - IN KITCHEN A MIN OF (2) 20 AMP SMALL APPLIANCE BRANCH CIRCUITS SHALL SERVE ALL WALL AND FLOOR OUTLETS. BUBBLE COVERS ARE REQUIRED IF OUTLETS ARE EXPOSED TO WEATHER. TYP.
 - M1503.4 RANGE HOOD THAT ARE CAPABLE OF EXHAUSTING 400 CFM REQUIRE MAKE UP AIR WITH OUTSIDE AIR.
 - E3902.9 ALL 125V SINGLE PHASE, 15 AND 20 AMP RECEPTALS INSTALLED IN LAUNDRY AREA SHALL HAVE GFCI PROTECTION.
 - BATHROOM EXHAUST FANS SHALL BE 50 CFM MODELS TYP. U.N.O.
 - R3901.9 BRANCH CIRCUIT IN THE GARAGE SHALL NOT SUPPLY OUTSIDE OF THE GARAGE.
 - R3902.10 225 VOLT SINGLE PHASE 15 AND 20 AMP OUTLEST IN LAUNDRY SHALL BE GFCI PROTECTED.
 - VERIFY ALL PLUG HEIGHTS AND LOCATIONS WITH OWNER PRIOR TO INSTALL.
 - VERIFY WHICH OUTLES ARE USB ENABLED OUTLETS.
 - U.C. LIGHTING AND KICK BOARD LIGHTING THROUGHOUT TO BE LOCATED BY OWNER AT TIME OF ELECTRICAL PREINSTALL WALKTHROUGH.

THE NOTES, DIMENSIONS AND SPECIFICATIONS AND THE LEGAL RECORD, ARRANGEMENTS REPRESENTED THEREIN ARE AND SHALL REMAIN THE PROPERTY OF E.T. HARRIS INC. AND NO PART THEREOF SHALL BE REPRODUCED OR USED IN CONNECTION WITH ANY OTHER WORK OR PROJECT FOR ANY OTHER PERSON FOR ANY PURPOSE OTHER THAN THE SPECIFIC CONDITIONS SHOWN BY THESE DRAWINGS. ALL SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL PRIOR TO PROCEEDING WITH ANY BUILDING THESE PLANS. THE CONTRACTOR UNDERSTANDS THAT THESE PLANS ARE FOR INFORMATION ONLY AND NOT FOR CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY OVERSIGHTS OR ERRORS AND WILL NOTIFY THIS OFFICE OF ANY SUCH OVERSIGHTS OR ERRORS PRIOR TO PROCEEDING WITH ANY BUILDING THESE PLANS. THE CONTRACTOR UNDERSTANDS THAT THESE PLANS ARE FOR INFORMATION ONLY AND NOT FOR CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY OVERSIGHTS OR ERRORS PRIOR TO PROCEEDING WITH ANY BUILDING THESE PLANS.

DESIGN & DRAFTING

4383 FOREST DALE ROAD, SUITE 205
PARK CITY, UTAH 84098
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Revision Schedule	
Revision Number	Revision Date

New Residence

Alice Claim
Subdivision, Lot 6
103 Alice Court
Park City, UT 84060

Electrical Plans

SCALE:
As indicated

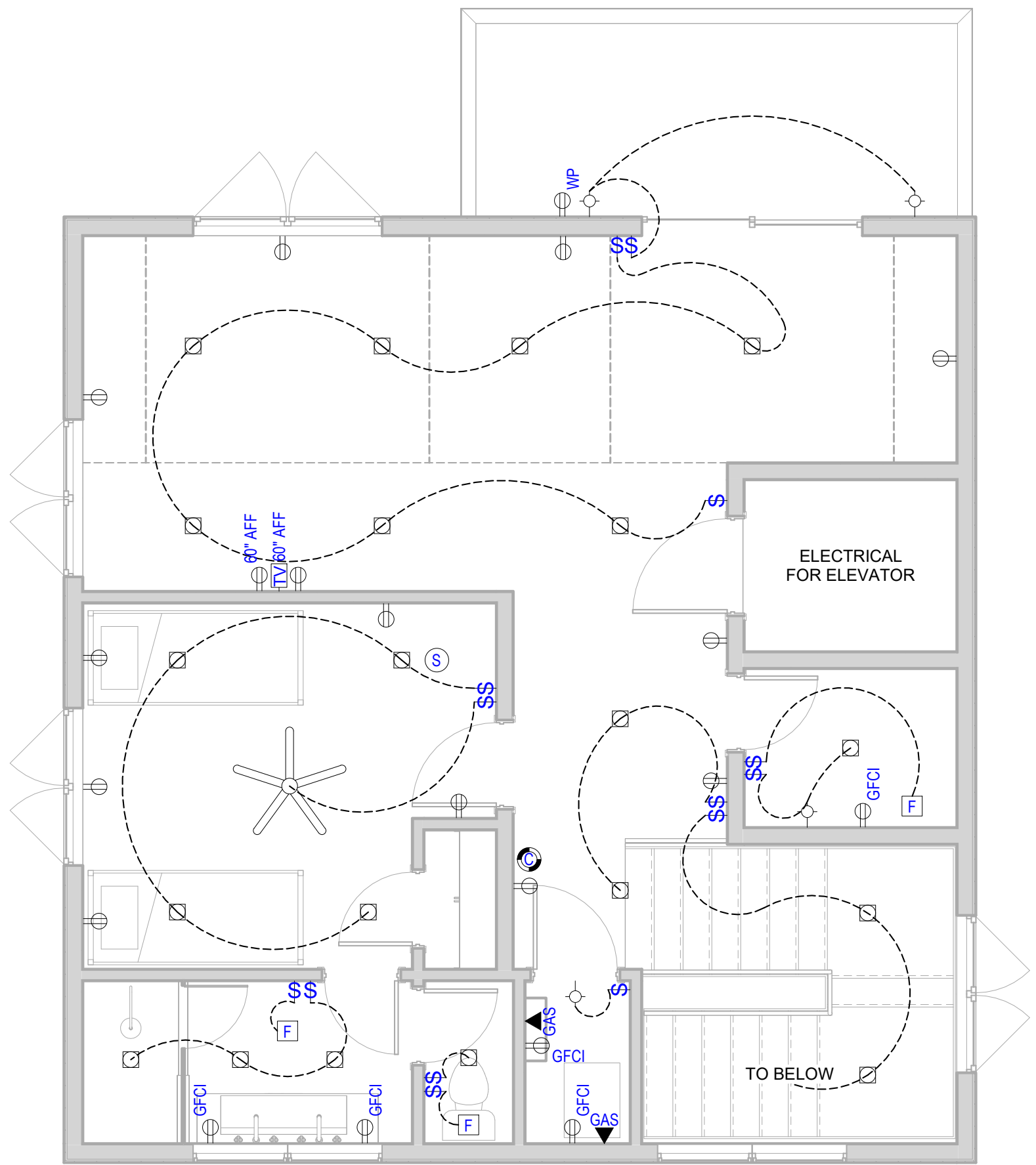
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10 AUG 2023

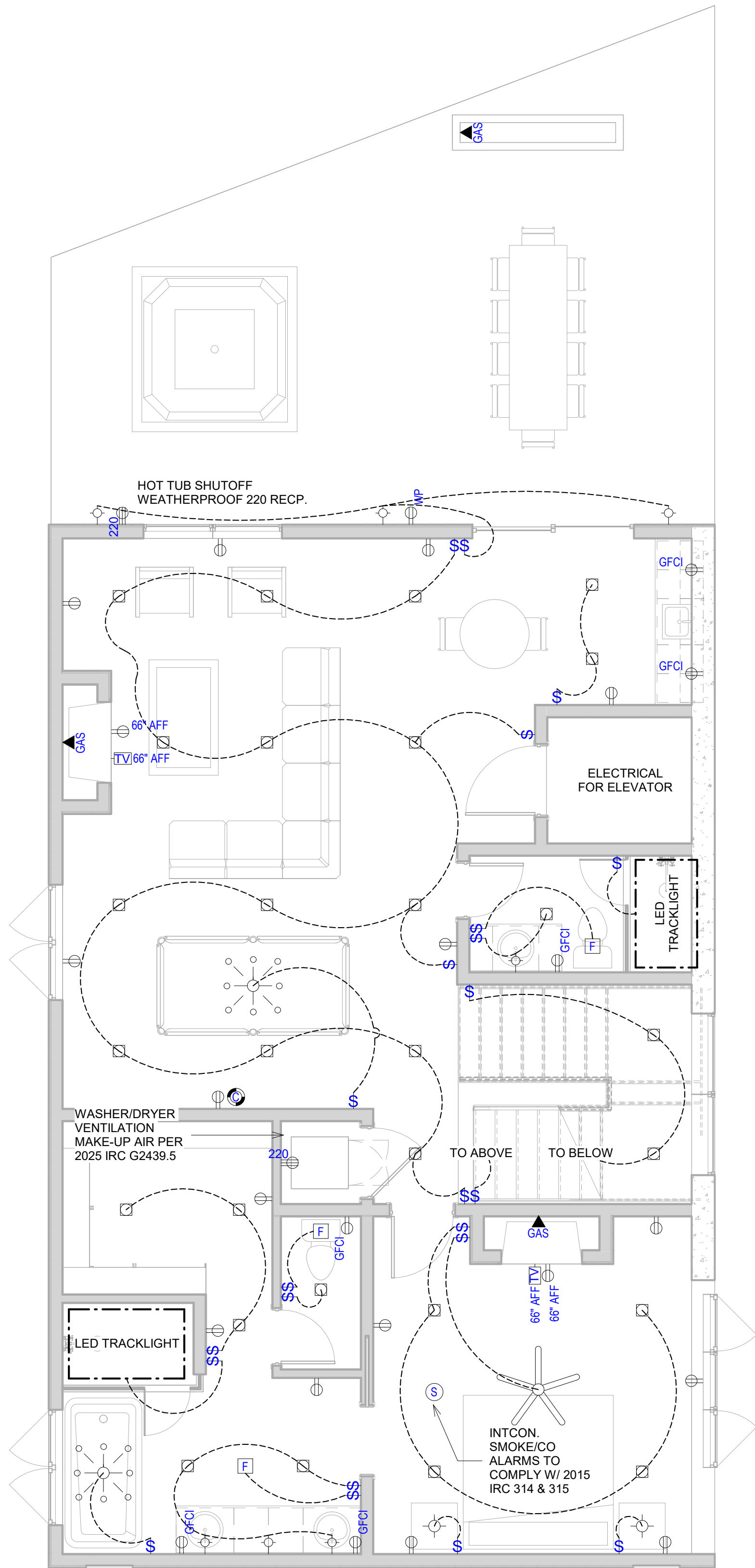
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E1.01

9/22/2023 8:45:50 AM



② Loft Level Electrical
1/4" = 1'-0"



① Upper Level Electrical
1/4" = 1'-0"

	Duplex wall outlet		Switch
	GFCI outlet		Switch 3-way
	Weatherproof GFCI outlet with cover		Thermostat
	Dishwasher GFCI		Exhaust fan
	Switched outlet GFCI for garbage disposal		Television jack
	220 V outlet		Phone jack
	Floor/Ceiling outlet		Gas appliance hookup
	Garage door opener		Ceiling-mounted heat register
	Light Fixture		Floor-mounted heat register
	Wall-mounted light fixture		Smoke detector
	Recessed light fixture		Smoke & Carbon monoxide detector
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- NOTES:
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 - E3902.9 ALL 125V SINGLE PHASE, 15 AND 20 AMP RECEPTALS INSTALLED IN LAUNDRY AREA SHALL HAVE GFCI PROTECTION.
 - BATHROOM EXHAUST FANS SHALL BE 50 CFM MODELS TYP. U.N.O.
 - R3901.9 BRANCH CIRCUIT IN THE GARAGE SHALL NOT SUPPLY OUTSIDE OF THE GARAGE.
 - R3902.10 225 VOLT SINGLE PHASE 15 AND 20 AMP OUTLEST IN LAUNDRY SHALL BE GFCI PROTECTED.
 - VERIFY ALL PLUG HEIGHTS AND LOCATIONS WITH OWNER PRIOR TO INSTALL.
 - VERIFY WHICH OUTLES ARE USB ENABLED OUTLETS.
 - U.C. LIGHTING AND KICK BOARD LIGHTING THROUGHOUT TO BE LOCATED BY OWNER AT TIME OF ELECTRICAL PREINSTALL WALKTHROUGH.

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VAN SICKLE

DESIGN & DRAFTING

4383 FOREST DALE ROAD, SUITE 205
PARK CITY, UTAH 84098

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Revision Schedule	
Revision Number	Revision Date

New Residence

Alice Claim

Subdivision, Lot 6

103 Alice Court

Park City, UT 84060

Electrical Plans

SCALE:

As indicated

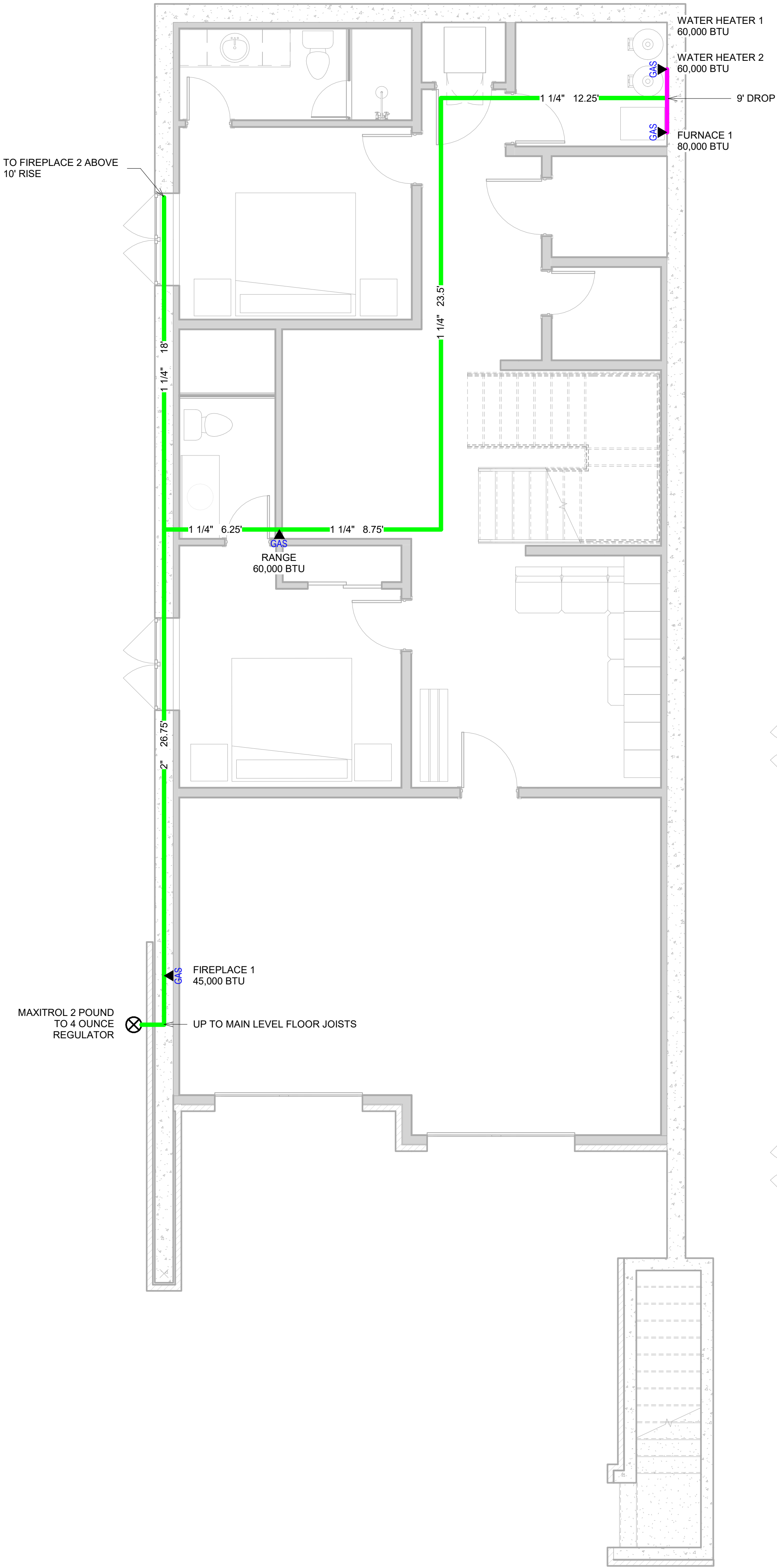
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10 AUG 2023

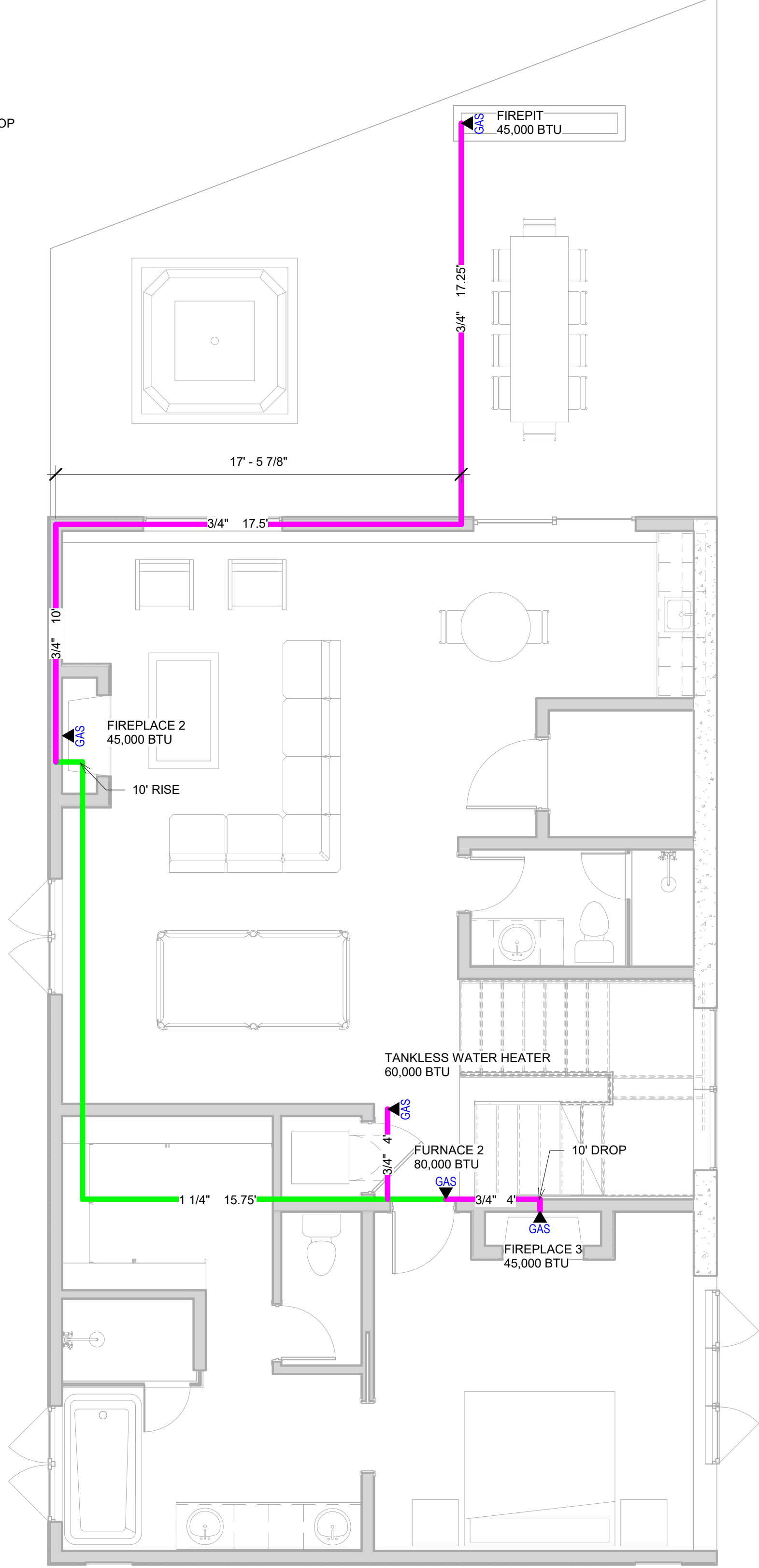
SHEET

E1.02

9/22/2023 8:45:53 AM



1 Gas Piping Diagram - Basement
1/4" = 1'-0"



2 Gas Piping Diagram - Upper Level
1/4" = 1'-0"

BTU LEGEND	
APPLIANCE	BTU
FURNACE 1	80,000
FURNACE 2	80,000
WATER HEATER 1	60,000
WATER HEATER 2	60,000
TANKLESS W.H.	60,000
RANGE	60,000
FIREPLACE 1	45,000
FIREPLACE 2	45,000
FIREPLACE 3	45,000
FIREPIT	45,000

LONGEST RUN 113'

TOTAL OF 580,000 BTU

- = BLACK PIPE
- = TRAL PIPE

THE ABOVE DRAWING AND SPECIFICATIONS AND THE ASSOCIATED
ARRANGEMENTS REPRESENTED THEREIN ARE AND SHALL REMAIN THE
PROPERTY OF B.T. HARRIS INC. AND NO PART THEREOF SHALL BE REPRODUCED,
COPIED, OR USED IN CONNECTION WITH ANY OTHER WORK OR PROJECT FOR
ANY OTHER PERSON FOR ANY PURPOSES OTHER THAN THE SPECIFIC
PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE
CONSENT OF B.T. HARRIS INC. WRITTEN CONSENT BEING THE ONLY
CONSTITUTIONAL EVIDENCE OF THESE
BY BUILDING THESE PLANS THE CONTRACTOR UNDERSTANDS THAT THESE
PLANS CONTAINED IN THIS SET AND WILL NOT BE USED FOR ANY OTHER
PURPOSES AND WILL NOT BE USED FOR ANY OTHER PROJECTS
FOR ANY OVERSIGHTS OR ERRORS AND WILL NOTIFY THIS OFFICE OF
ERRORS THAT ARISE DURING
BY ACCEPTING THESE PLANS THE CONTRACTOR UNDERSTANDS THAT THESE
PLANS CONTAINED IN THIS SET AND WILL NOT BE USED FOR ANY OTHER
PURPOSES AND WILL NOT BE USED FOR ANY OTHER PROJECTS
FOR ANY OVERSIGHTS OR ERRORS AND WILL NOTIFY THIS OFFICE OF
ERRORS THAT ARISE DURING

VAN SICKLE

DESIGN & DRAFTING

4383 FOREST DALE ROAD, SUITE 205
PARK CITY, UTAH 84098
www.vansickledesignanddrafting.com

Revision Schedule	
Revision Number	Revision Date

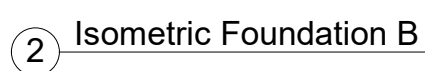
New Residence
Alice Claim
Subdivision, Lot 6
103 Alice Court
Park City, UT 84060

Gas Piping
Diagram
SCALE:
1/4" = 1'-0"

DATE
10 AUG 2023

SHEET
M1.01

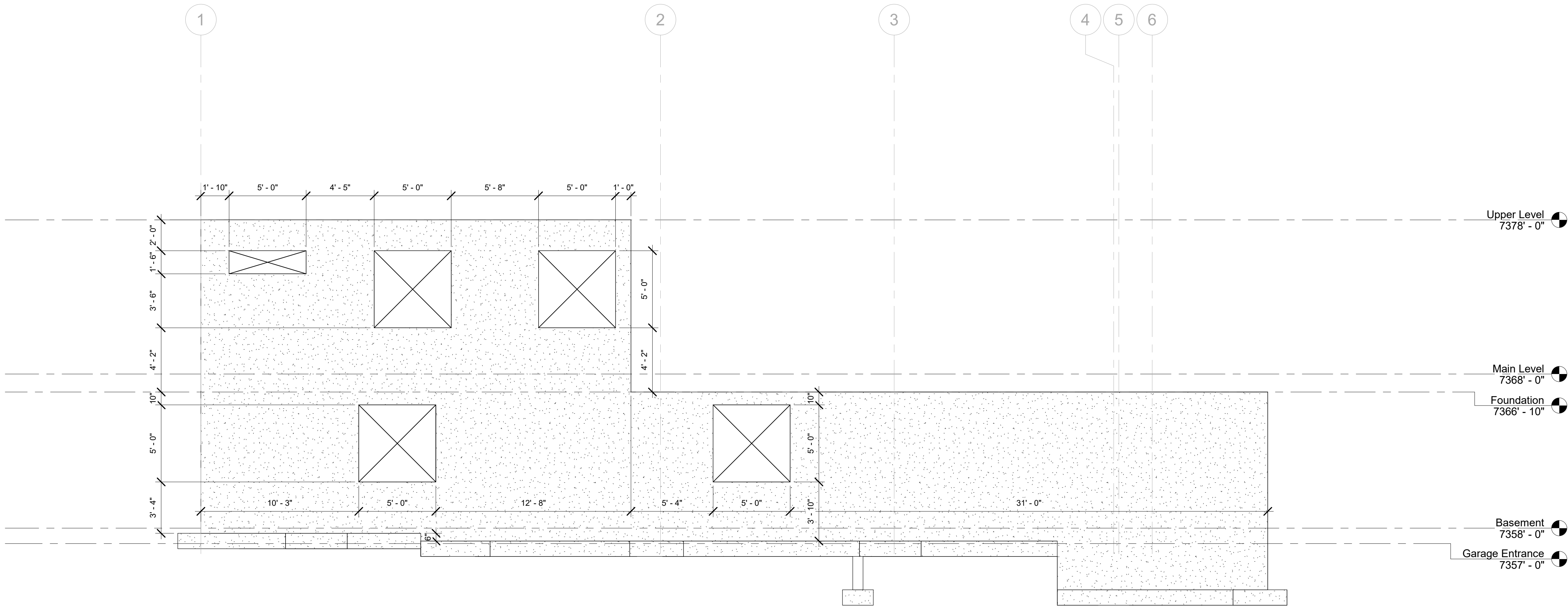
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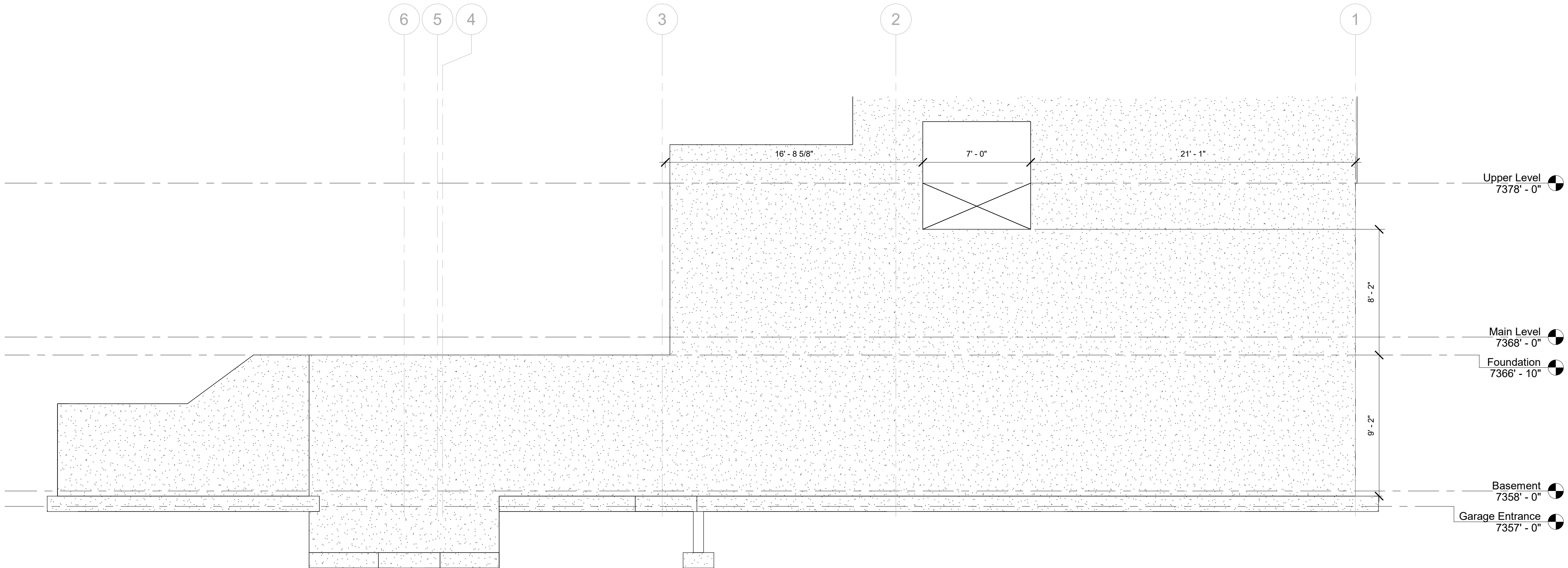
9/22/2023 8:46:04 AM

SHEET

S1.01



① Foundation Elevation North
1/4" = 1'-0"



② Foundation Elevation South
1/4" = 1'-0"

THE NOTES, DIMENSIONS AND SPECIFICATIONS AND THE LEGAL RECORD, ARRANGEMENTS REPRESENTED THEREIN ARE AND SHALL REMAIN THE PROPERTY OF R.T. HARRIS INC. NO PART HEREOF SHALL BE COPIED, REPRODUCED, EITHER OR USED IN CONNECTION WITH ANY OTHER WORK OR PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE CONSENT OF R.T. HARRIS INC. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS. ANY CHANGES MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL PRIOR TO PROCEEDING WITH THE WORK. BY BUILDING THESE PLANS THE CONTRACTOR UNDERSTANDS THAT THERE ARE ERRORS CONTAINED IN THESE PLANS AND WILL NOTIFY THIS OFFICE FOR ANY OVERSIGHTS OR ERRORS AND WILL NOTIFY THIS OFFICE OF ERRORS THAT ARISE DURING CONSTRUCTION. BY ACCEPTING THESE PLANS, THE CONTRACTOR AND/OR SERVICES OUTLINED IN THESE PLANS, THE CLIENT, THEIR AGENTS, SUBS, AND ALL PRESENT AND FUTURE PERSONS OR PARTIES DIRECTLY OR INDIRECTLY INVOLVED IN THE DESIGN OR CONSTRUCTION OF THE PROJECT, HEREBY AGREE TO A LIMIT OF LIABILITY OF R.T. HARRIS INC. AND EMPLOYEES AND PRINCIPALS TO THE EXTENT OF THE ORIGINAL VERBALLY AGREED AMOUNT.

VAN SICKLE

DESIGN & DRAFTING

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PARK CITY, UTAH 84098
www.vansickledesignanddrafting.com

Revision Schedule	
Revision Number	Revision Date

New Residence

Alice Claim
Subdivision, Lot 6
103 Alice Court
Park City, UT 84060

Foundation Elevations

SCALE:
1/4" = 1'-0"

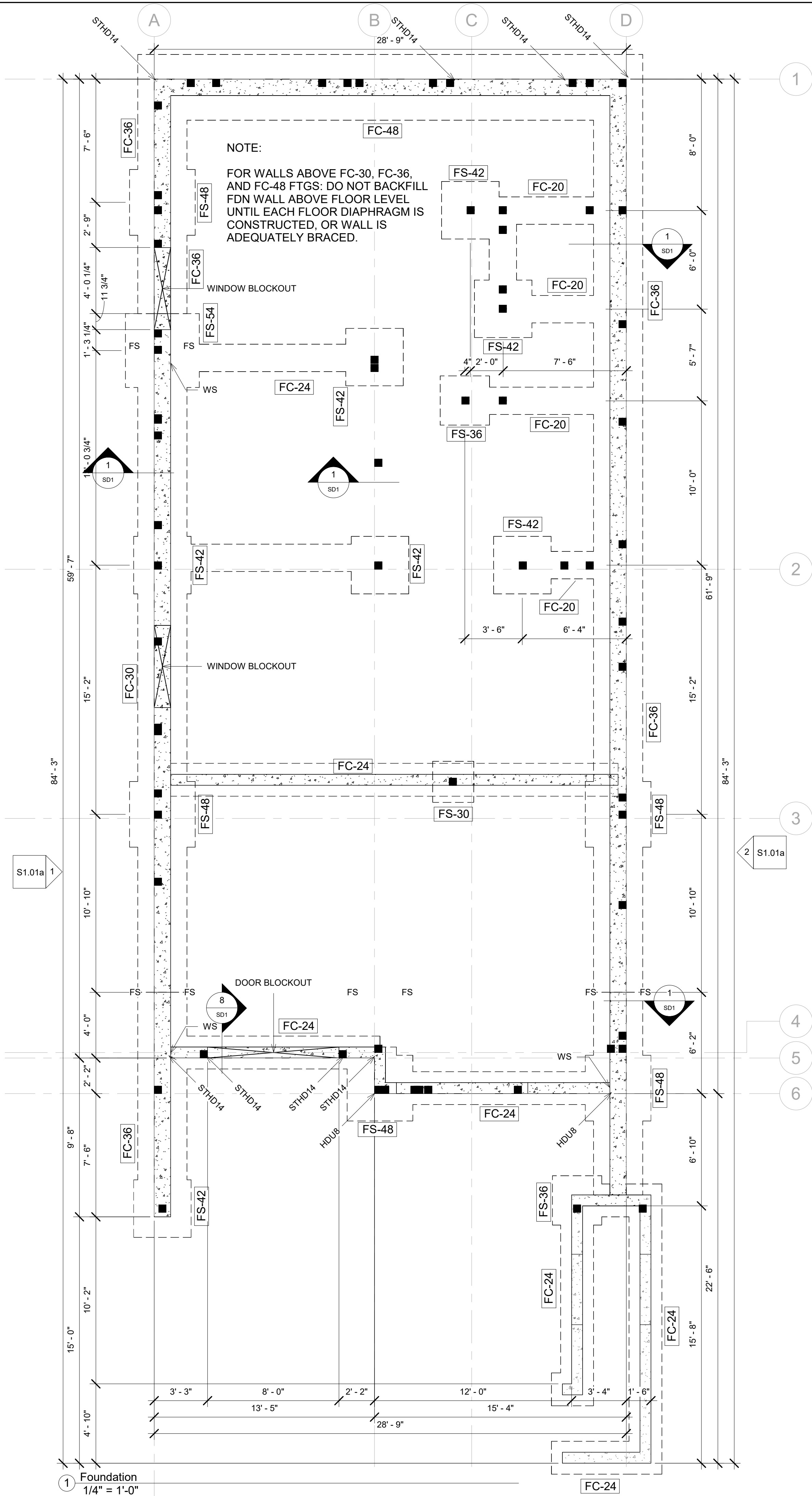
DATE

10 AUG 2023

SHEET

S1.01a

9/22/2023 8:46:06 AM



NOTE:
FOR WALLS ABOVE FC-30,
FC-36, AND FC-48 FTGS:
MINIMUM 12" THICK WALL
WITH DBL MAT #5 @ 12"
O.C. VERT. AND HORZ.

- NOTE:
1. ALL SHEAR WALLS HAVE 5/8" ANCHOR BOLTS @ 32" O.C. UNLESS OTHERWISE NOTED.
 2. ALL CONCRETE PIERS ARE TO BE 3" WIDER THAN POST OR BASE PLATE ON ALL SIDES. UPSIZE AS REQUIRED.
 3. SEE GENERAL STRUCTURAL NOTES FOR FOOTING AND FOUNDATION REQUIREMENTS.
 4. SEE SHEET SCH FOR FOOTING AND FOUNDATION SCHEDULES

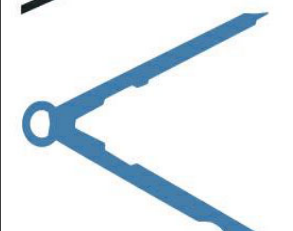
NOTE:
SEE S1.01a FOUNDATION ELEVATIONS FOR ALL WINDOW
BLOCKOUTS

THE NOTES, DIMENSIONS AND SPECIFICATIONS AND THE FOUNDATION
ARRANGEMENTS REPRESENTED THEREIN ARE AND SHALL REMAIN THE
PROPERTY OF S.I. HARRIS INC. AND NO PART THEREOF SHALL BE COPIED, REPRODUCED,
OR USED IN CONNECTION WITH ANY OTHER WORK OR PROJECT FOR
ANY OTHER PERSON FOR ANY PURPOSES OTHER THAN THE SPECIFIC
FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE
CONSENT OF S.I. HARRIS INC. ANY VIOLATION OF THESE PROVISIONS
CONSTITUTE CONCLUSIVE EVIDENCE OF NEGLIGENCE.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE
OVER ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE SHALL
NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS FROM THE DIMENSIONS
NOTED ON THESE DRAWINGS. ALL SHOP DETAILS MUST BE
SUBMITTED TO THIS OFFICE FOR APPROVAL PRIOR TO PROCEEDING WITH
CONSTRUCTION.

BY BUILDING THESE PLANS, THE CONTRACTOR UNDERSTANDS THAT THESE
PLANS ARE FOR INFORMATION ONLY AND ARE NOT TO BE USED FOR ANY OTHER
PURPOSES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ERRORS OR
OMISSIONS ON THE JOB AND SHALL NOTIFY THIS OFFICE OF ANY SUCH
VIOLATIONS PRIOR TO THE START OF CONSTRUCTION.

BY ACCEPTING THESE PLANS, THE CONTRACTOR UNDERSTANDS THAT THESE
PLANS ARE FOR INFORMATION ONLY AND ARE NOT TO BE USED FOR ANY OTHER
PURPOSES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ERRORS OR
OMISSIONS ON THE JOB AND SHALL NOTIFY THIS OFFICE OF ANY SUCH
VIOLATIONS PRIOR TO THE START OF CONSTRUCTION.



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PARK CITY, UTAH 84098

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Revision Schedule	
Revision Number	Revision Date

New Residence

Alice Claim
Subdivision, Lot 6
103 Alice Court
Park City, UT 84060

Foundation Plan

SCALE:
1/4" = 1'-0"

DATE

10 AUG 2023

SHEET

S1.02

9/22/2023 8:46:07 AM

[illegible]

New Residence
Alice Claim
Subdivision, Lot 6
103 Alice Court
Park City, UT 84060

Isometric
Framing

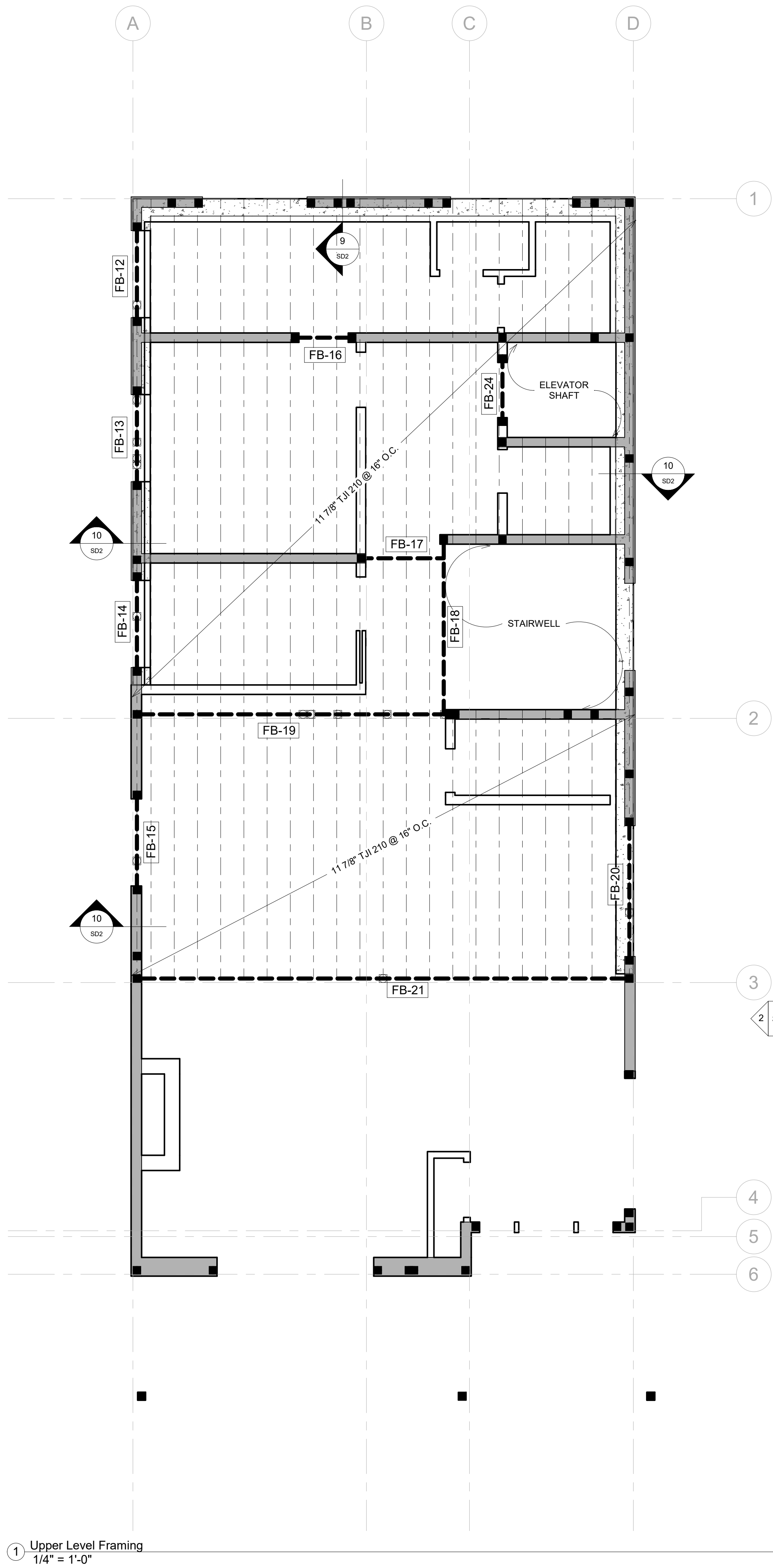
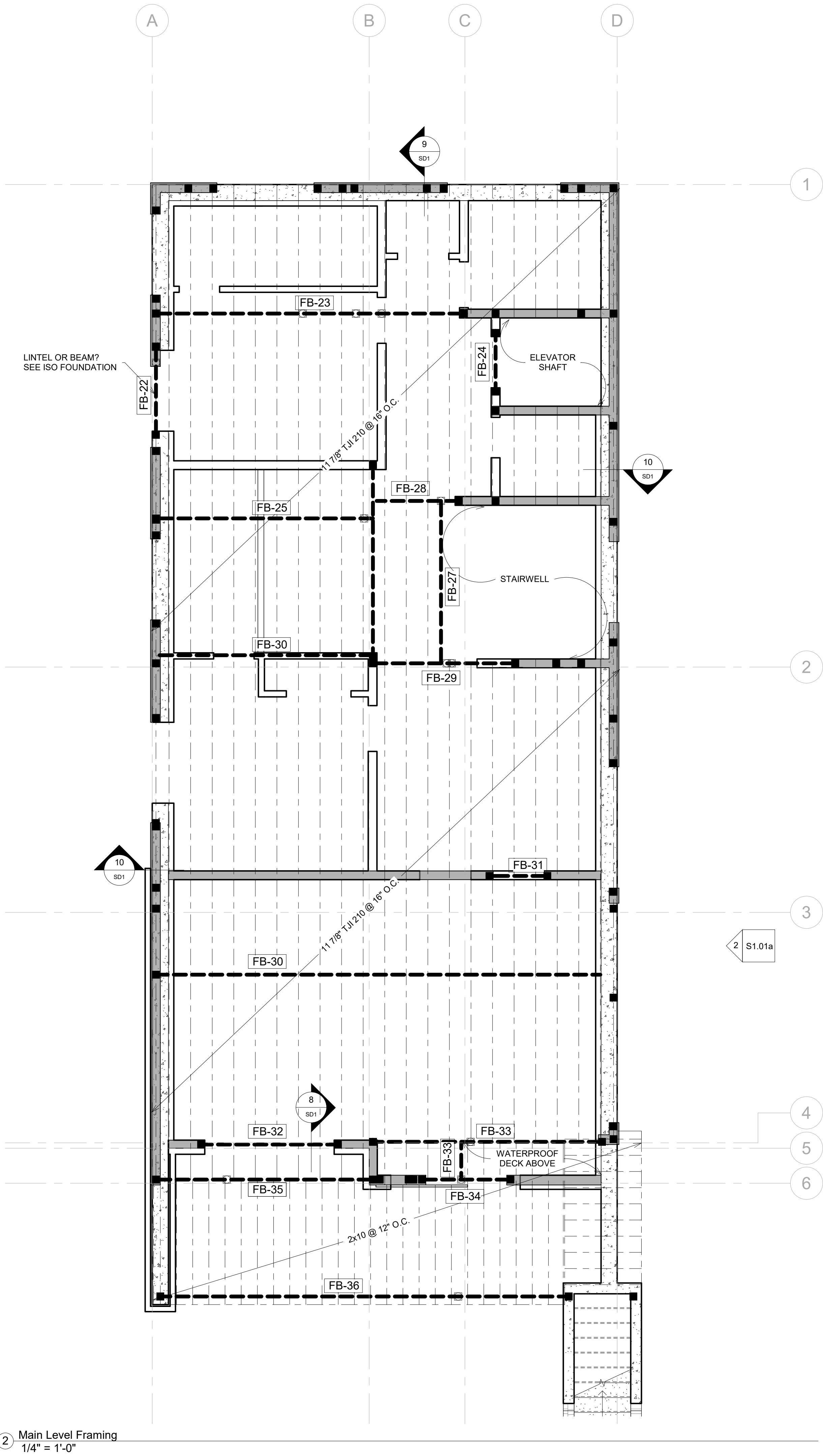
SCALE:

DATE
10 AUG 2023

SHEET

S2.01

9/22/2023 8:46:08 AM



- NOTE:
- FLOOR JOISTS ARE 11-7/8" TJI 210 @ 16" O.C. UNLESS OTHERWISE NOTED.
 - ALL BEAM SIZES MAY BE INCREASED AT OWNER/CONTRACTOR DESCRETION.
 - SEE GENERAL STRUCTURAL NOTES FOR FRAMING REQUIREMENTS
 - SEE SHEET SCH FOR FRAMING SCHEDULES
 - SEE HANGER SCHEDULE ON SHEET SCH FOR HANGER SIZES

NOTE:

ALL FLOOR BEAMS ARE DESIGNED TO THE HIGH PERFORMANCE DEFLECTION CRITERIA. CONTACT ENGINEER IF CODE MINIMUM CRITERIA IS DESIRED.

- NOTE:
- IF TWO BEAMS END AT THE SAME LOCATION, USE THE MOST STRINGENT POST.
 - POSTS CALLED OUT ON THE PLANS OVERRIDE SCHEDULE.
 - POSTS ARE REQUIRED TO BE CONTINUOUS TO EITHER A BEAM OR FOUNDATION.

FLOOR BEAM & POST SCHEDULE				
MARK	SIZE	TYPE	GRADE	POST
FB-1	(2) 2 x 10	DIM	DF#2	(2) 2 x 6
FB-2	(3) 1 3/4" x 18"	LVL	2.0E	3.5" x 3.5" PSL
	W 10 x 54	STEEL	A992	
FB-3	(2) 2 x 8	DIM	DF#2	(2) 2 x 6
FB-4	(2) 1 3/4" x 9 1/2"	LVL	2.0E	(2) 2 x 6
FB-5	(2) 2 x 12	DIM	DF#2	(2) 2 x 6
FB-6	(3) 1 3/4" x 16"	LVL	2.0E	3.5" x 3.5" PSL
	W 10 x 45	STEEL	A992	
FB-7	(3) 1 3/4" x 16"	LVL	2.0E	3.5" x 3.5" PSL
	W 10 x 33	STEEL	A992	
FB-8	(3) 1 3/4" x 11 7/8"	LVL	2.0E	(3) 2 x 6
FB-9	(2) 2 x 8	DIM	DF#2	(2) 2 x 6
FB-10	5 1/8" x 12"	GLB	24F-V4	N/A
FB-11	W 10 x 45	STEEL	A992	3.5" x 3.5" PSL
FB-12	(2) 1 3/4" x 9 1/2"	LVL	2.0E	(2) 2 x 6
FB-13	(3) 1 3/4" x 16"	LVL	2.0E	(3) 2 x 6
FB-14	(2) 1 3/4" x 9 1/2"	LVL	2.0E	(2) 2 x 6
FB-15	(2) 2 x 10	DIM	DF#2	(2) 2 x 6
FB-16	(2) 2 x 8	DIM	DF#2	(2) 2 x 6
FB-17	(2) 2 x 10	DIM	DF#2	(2) 2 x 6
FB-18	(2) 1 3/4" x 11 7/8"	LVL	2.0E	(2) 2 x 6
FB-19	6 3/4" X 21"	GLB	24F-V4	5.25" x 5.25" PSL
	W 10 x 68	STEEL	A992	
FB-20	(3) 2 x 12	DIM	DF#2	(2) 2 x 6
FB-21	W 24 x 55	STEEL	A992	HSS5X5X1/4
FB-22	(3) 1 3/4" x 16"	LVL	2.0E	(3) 2 x 6
FB-23	(3) 1 3/4" x 18"	LVL	2.0E	3.5" x 3.5" PSL
	W 10 x 54	STEEL	A992	
FB-24	(2) 2 x 10	DIM	DF#2	(2) 2 x 6
FB-25	(4) 1 3/4" X 11 7/8"	LVL	2.0E	(3) 2 x 6
FB-26	(3) 1 3/4" X 11 7/8"	LVL	2.0E	(3) 2 x 6
FB-27	(2) 1 3/4" X 11 7/8"	LVL	2.0E	(2) 2 x 6
FB-28	(2) 1 3/4" X 11 7/8"	LVL	2.0E	(2) 2 x 6
FB-29	(3) 1 3/4" X 18"	LVL	2.0E	3.5" x 3.5" PSL
	W 10 x 54	STEEL	A992	
FB-30	(3) 1 3/4" X 11 7/8"	LVL	2.0E	(2) 2 x 6
FB-31	(2) 2 x 10	DIM	DF#2	(2) 2 x 6
FB-32	(2) 1 3/4" X 11 7/8"	LVL	2.0E	(2) 2 x 6
FB-33	(4) 1 3/4" X 11 7/8"	LVL	2.0E	(3) 2 x 6
FB-34	(2) 1 3/4" x 9 1/2"	LVL	2.0E	(2) 2 x 6
FB-35	(3) 1 3/4" X 11 7/8"	LVL	2.0E	(2) 2 x 6
FB-36	(6) 6 3/4" X 21"	GLB	24F-V4	5.25" x 5.25" PSL
	W 10 x 68	STEEL	A992	

THE NOTES, DIMENSIONS AND SPECIFICATIONS AND THE LOADS, DESIGN ARRANGEMENTS REPRESENTED THEREIN ARE AND SHALL REMAIN THE PROPERTY OF S.T. HARRIS INC. AND NO PART THEREOF SHALL BE COPIED, REPRODUCED OR USED IN CONNECTION WITH ANY OTHER WORK OR PROJECT FOR ANY OTHER PERSON FOR ANY PURPOSES OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE CONSENT OF S.T. HARRIS INC. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS FROM THE DIMENSIONS SHOWN BY THESE DRAWINGS. ALL SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL PRIOR TO PROCEEDING WITH ANY BUILDING THESE PLANS. THE CONTRACTOR UNDERSTANDS THAT THESE PLANS ARE CONTAINED IN THE SEAL AND ARE NOT TO BE USED FOR ANY OTHER PURPOSES OR FOR ANY SUBSIDIARY OR OTHER AND WILL NOTIFY THIS OFFICE OF ANY SUCH USE. BY ACCEPTING THESE PLANS, THE CONTRACTOR AGREES TO BE BOUND BY THE TERMS AND CONDITIONS OF THE PLAN DOCUMENTS AND SERVICES OUTLINED IN THE PLAN DOCUMENTS. THE CLIENT SHALL BE RESPONSIBLE FOR THE PROTECTION AND ALL PRESENT AND FUTURE PROVISIONS FOR PARTIES DIRECTLY OR INDIRECTLY AFFECTED BY THE PLAN DOCUMENTS OR SERVICES OUTLINED IN THE PLAN DOCUMENTS AGREE TO A LIMIT OF LIABILITY OF S.T. HARRIS INC. AND EMPLOYEES AND PROVIDES TO THE AGENT OF THE PROVIDING, VENDOR, SUPPLIER AND/OR OTHERS.

VAN SICKLE
DESIGN & DRAFTING

4383 FOREST DALE ROAD, SUITE 205
PARK CITY, UTAH 84098

www.vansickledesignanddrafting.com

Revision Schedule	
Revision Number	Revision Date

New Residence
Alice Claim
Subdivision, Lot 6
103 Alice Court
Park City, UT 84060

Framing Plans

SCALE:
1/4" = 1'-0"

DATE
10 AUG 2023

SHEET
S2.02

9/22/2023 8:46:10 AM

NOTE:

1. FLOOR JOISTS ARE 11-7/8" TJI 210 @ 16" O.C. UNLESS OTHERWISE NOTED.
2. ALL BEAM SIZES MAY BE INCREASED AT OWNER/CONTRACTOR DISCRETION.
3. SEE GENERAL STRUCTURAL NOTES FOR FRAMING REQUIREMENTS
4. SEE SHEET SCH FOR FRAMING SCHEDULES
5. SEE HANGER SCHEDULE ON SHEET SCH FOR HANGER SIZES.

NOTE:

ALL FLOOR BEAMS ARE DESIGNED TO THE HIGH PERFORMANCE DEFLECTION CRITERIA CONTACT ENGINEER IF CODE MINIMUM CRITERIA IS DESIRED

NOTE:

1. IF TWO BEAMS END AT THE SAME LOCATION, USE THE MOST STRINGENT POST.
2. POSTS CALLED OUT ON THE PLANS OVERRIDE SCHEDULE.
3. POSTS ARE REQUIRED TO BE CONTINUOUS TO EITHER A BEAM OR FOUNDATION.

FLOOR BEAM & POST SCHEDULE				
MARK	SIZE	TYPE	GRADE	POST
FB-1	(2) 2 x 10	DIM	DF#2	(2) 2 x 6
FB-2	(3) 1 3/4" x 18"	LVL	2.0E	3.5" x 3.5" PSL
	W 10 x 54	STEEL	A992	
FB-3	(2) 2 x 8	DIM	DF#2	(2) 2 x 6
FB-4	(2) 1 3/4" x 9 1/2"	LVL	2.0E	(2) 2 x 6
FB-5	(2) 2 x 12	DIM	DF#2	(2) 2 x 6
FB-6	(3) 1 3/4" x 16"	LVL	2.0E	3.5" x 3.5" PSL
	W 10 x 45	STEEL	A992	
FB-7	(3) 1 3/4" x 16"	LVL	2.0E	3.5" x 3.5" PSL
	W 10 x 33	STEEL	A992	
FB-8	(3) 1 3/4" x 11 7/8"	LVL	2.0E	(3) 2 x 6
FB-9	(2) 2 x 8	DIM	DF#2	(2) 2 x 6
FB-10	5 1/8" x 12"	GLB	24F-V4	N/A
FB-11	W 10 x 45	STEEL	A992	3.5" x 3.5" PSL
FB-12	(2) 1 3/4" x 9 1/2"	LVL	2.0E	(2) 2 x 6
FB-13	(3) 1 3/4" x 16"	LVL	2.0E	(3) 2 x 6
FB-14	(2) 1 3/4" x 9 1/2"	LVL	2.0E	(2) 2 x 6
FB-15	(2) 2 x 10	DIM	DF#2	(2) 2 x 6
FB-16	(2) 2 x 8	DIM	DF#2	(2) 2 x 6
FB-17	(2) 2 x 10	DIM	DF#2	(2) 2 x 6
FB-18	(2) 1 3/4" x 11 7/8"	LVL	2.0E	(2) 2 x 6
FB-19	6 3/4" X 21"	GLB	24F-V4	5.25" x 5.25" PSL
	W 10 x 68	STEEL	A992	
FB-20	(3) 2 x 12	DIM	DF#2	(2) 2 x 6
FB-21	W 24 x 55	STEEL	A992	HSS5X5X1/4
FB-22	(3) 1 3/4" x 16"	LVL	2.0E	(3) 2 x 6
FB-23	(3) 1 3/4" x 18"	LVL	2.0E	3.5" x 3.5" PSL
	W 10 x 54	STEEL	A992	
FB-24	(2) 2 x 10	DIM	DF#2	(2) 2 x 6
FB-25	(4) 1 3/4" X 11 7/8"	LVL	2.0E	(3) 2 x 6
FB-26	(3) 1 3/4" X 11 7/8"	LVL	2.0E	(3) 2 x 6
FB-27	(2) 1 3/4" X 11 7/8"	LVL	2.0E	(2) 2 x 6
FB-28	(2) 1 3/4" X 11 7/8"	LVL	2.0E	(2) 2 x 6
FB-29	(3) 1 3/4" X 18"	LVL	2.0E	3.5" x 3.5" PSL
	W 10 x 54	STEEL	A992	
FB-30	(3) 1 3/4" X 11 7/8"	LVL	2.0E	(2) 2 x 6
FB-31	(2) 2 x 10	DIM	DF#2	(2) 2 x 6
FB-32	(2) 1 3/4" X 11 7/8"	LVL	2.0E	(2) 2 x 6
FB-33	(4) 1 3/4" X 11 7/8"	LVL	2.0E	(3) 2 x 6
FB-34	(2) 1 3/4" x 9 1/2"	LVL	2.0E	(2) 2 x 6
FB-35	(3) 1 3/4" X 11 7/8"	LVL	2.0E	(2) 2 x 6
FB-36	(6) 6 3/4" X 21"	GLB	24F-V4	5.25" x 5.25" PSL
	W 10 x 68	STEEL	A992	

2 Loft Level Framing
1/4" = 1'-0"

1 Roof Framing
1/4" = 1'-0"

NOTE:

1. ALL ROOF FRAMING IS NOTED
2. ALL BEAM SIZES MAY BE INCREASED AT OWNER/ CONTRACTOR DISCRETION
3. SEE GENERAL STRUCTURAL NOTES FOR FRAMING REQUIREMENTS
4. SEE SHEET SCH FOR FRAMING SCHEDULES
5. SEE HANGER SCHEDULE ON SHEET SCH FOR HANGER SIZES.
6. ALL GIRDERS ARE TO BEAR ON (3) 2X6 UNLESS NOTED OTHERWISE

NOTE:

1. IF TWO BEAMS END AT THE SAME LOCATION, USE THE MOST STRINGENT POST.
2. POSTS CALLED OUT ON THE PLANS OVERRIDE SCHEDULE.
3. POSTS ARE REQUIRED TO BE CONTINUOUS TO EITHER A BEAM OR FOUNDATION.

NOTE:

ALL ROOF BEAMS ARE DESIGNED TO THE HIGH PERFORMANCE DEFLECTION CRITERIA. CONTACT ENGINEER IF CODE MINIMUM CRITERIA IS DESIRED

ROOF BEAM & POST SCHEDULE				
MARK	SIZE	TYPE	GRADE	POST
RB-1	(2) 2 x 10	DIM	DF#2	(2) 2 x 6
RB-2	(2) 2 x 12	DIM	DF#2	(2) 2 x 6
RB-3	(3) 1 3/4" x 16"	LVL	2.0E	3.5" x 3.5" PSL
	W 10 x 39	STEEL	A992	
RB-4	(3) 1 3/4" x 11 7/8"	LVL	2.0E	(3) 2 x 6
RB-5	(3) 1 3/4" x 16"	LVL	2.0E	3.5" x 3.5" PSL
	W 10 x 39	STEEL	A992	
RB-6	(3) 1 3/4" x 16"	LVL	2.0E	3.5" x 3.5" PSL
	W 10 x 39	STEEL	A992	
RB-7	(2) 2X8	DIM	DF#2	(2) 2 x 6
RB-8	(2) 2 x 10	DIM	DF#2	(2) 2 x 6
RB-9	(3) 1 3/4" x 18"	LVL	2.0E	3.5" x 3.5" PSL
	W 10 x 45	STEEL	A992	
RB-10	(2) 1 3/4" x 11 7/8"	LVL	2.0E	(2) 2 x 6
RB-11	(2) 1 3/4" x 11 7/8"	LVL	2.0E	(2) 2 x 6
RB-12	(2) 1 3/4" x 11 7/8"	LVL	2.0E	(2) 2 x 6
RB-13	(2) 2 x 12	DIM	DF#2	(2) 2 x 6
RB-14	(2) 1 3/4" x 11 7/8"	LVL	2.0E	(2) 2 x 6
RB-15	5 1/8" x 15"	GLB	24F-V4	6x6 (MIN)
RB-16	(2) 2 x 8	DIM	DF#2	(2) 2 x 6
RB-17	(2) 2 x 8	DIM	DF#2	(2) 2 x 6
RB-18	(2) 1 3/4" x 9 1/2"	LVL	2.0E	(2) 2 x 6
RB-19	(2) 1 3/4" x 9 1/2"	LVL	2.0E	(2) 2 x 6
RB-20	(3) 2 x 12	DIM	DF#2	(2) 2 x 6

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VAN SICKLE

DESIGN & DRAFTING

4383 FOREST DALE ROAD, SUITE 205
PARK CITY, UTAH 84098
www.vansickledesignanddrafting.com

Revision Schedule	
Revision Number	Revision Date

New Residence

Alice Claim
Subdivision, Lot 6
103 Alice Court
Park City, UT 84060

Framing Plans

SCALE:
1/4" = 1'-0"

DATE

10 AUG 2023

SHEET

S2.03

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BY ACCEPTING THESE PLANS, THE CONTRACTOR AGREES TO BE BOUND BY THE TERMS AND CONDITIONS OF THESE PLANS AND TO HOLD THE OFFICE HARMLESS FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING ATTORNEY'S FEES, THAT MAY BE ASSERTED AGAINST THE OFFICE BY ANY THIRD PARTY AS A RESULT OF THE CONTRACTOR'S FAILURE TO COMPLY WITH THE TERMS AND CONDITIONS OF THESE PLANS.

NOTE:
1. ALL SHEAR WALLS HAVE 5/8" ANCHOR BOLTS @ 32" O.C. UNLESS OTHERWISE NOTED.
2. SEE GENERAL STRUCTURAL NOTES FOR FRAMING REQUIREMENTS.
3. SEE SHEET SCH SHEAR WALL SCHEDULES.

VAN SICKLE

DESIGN & DRAFTING

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Revision Schedule	
Revision Number	Revision Date

New Residence

Alice Claim
Subdivision, Lot 6
103 Alice Court
Park City, UT 84060

Shear Plans

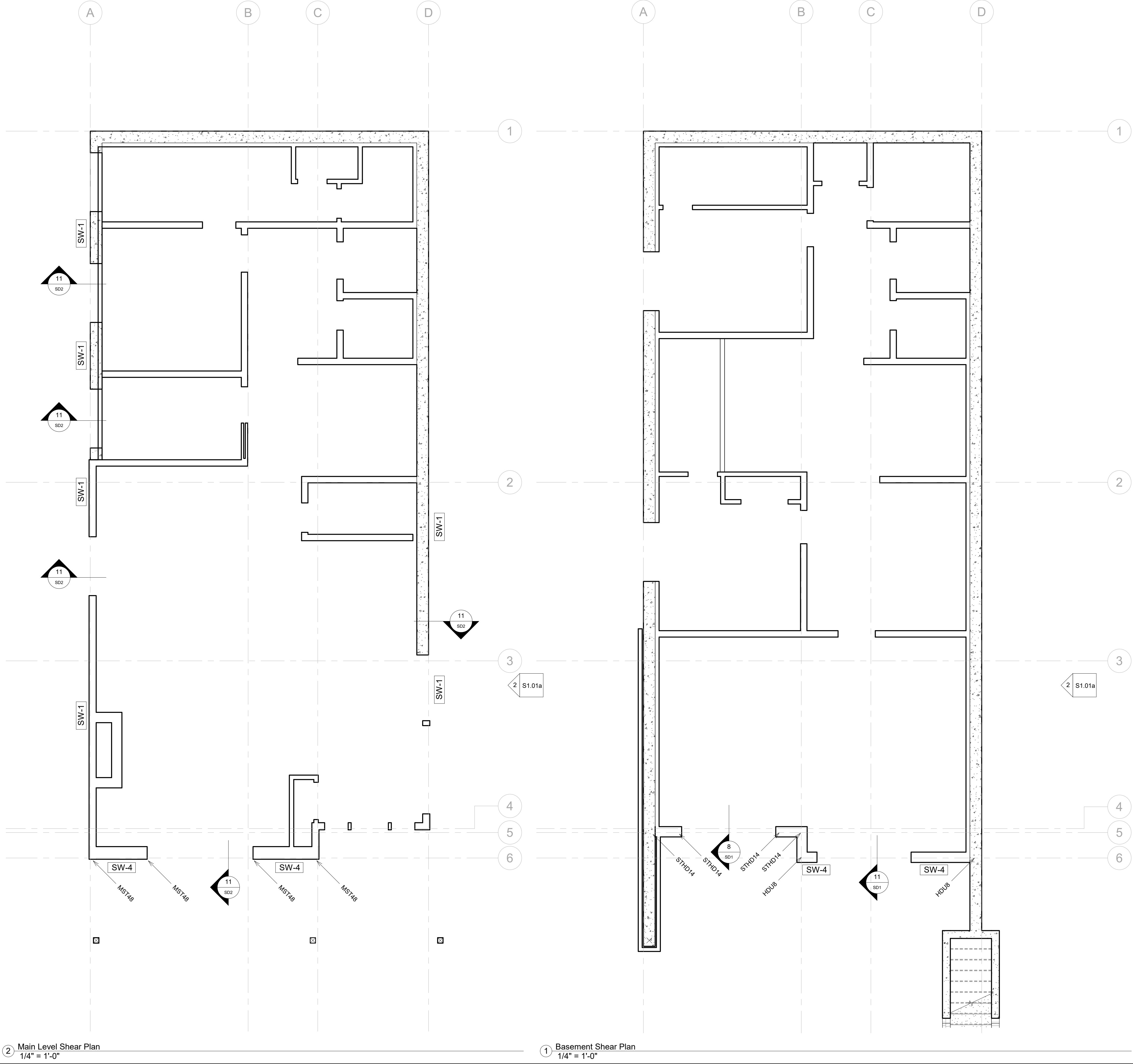
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1/4" = 1'-0"

DATE

10 AUG 2023

SHEET

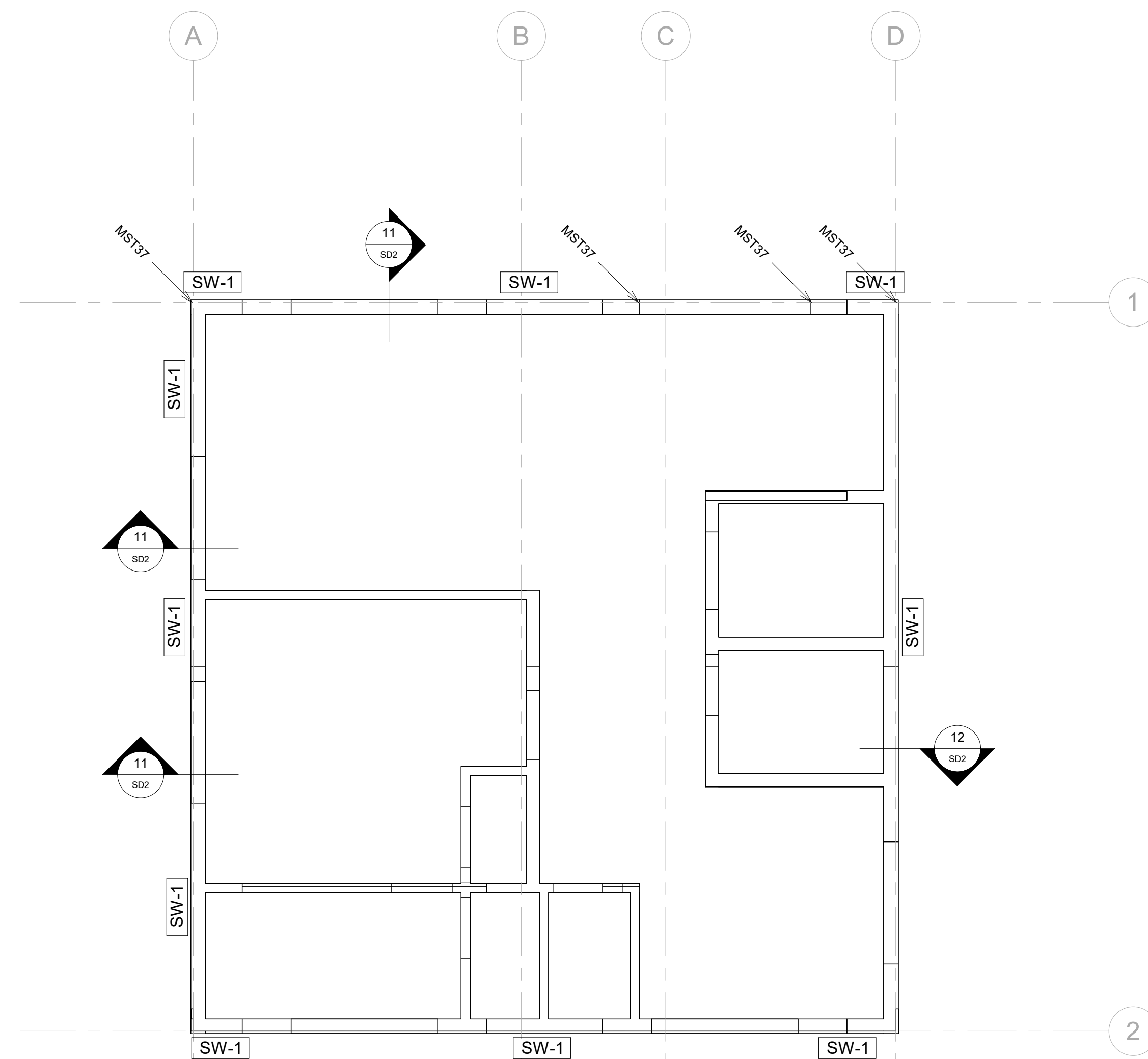
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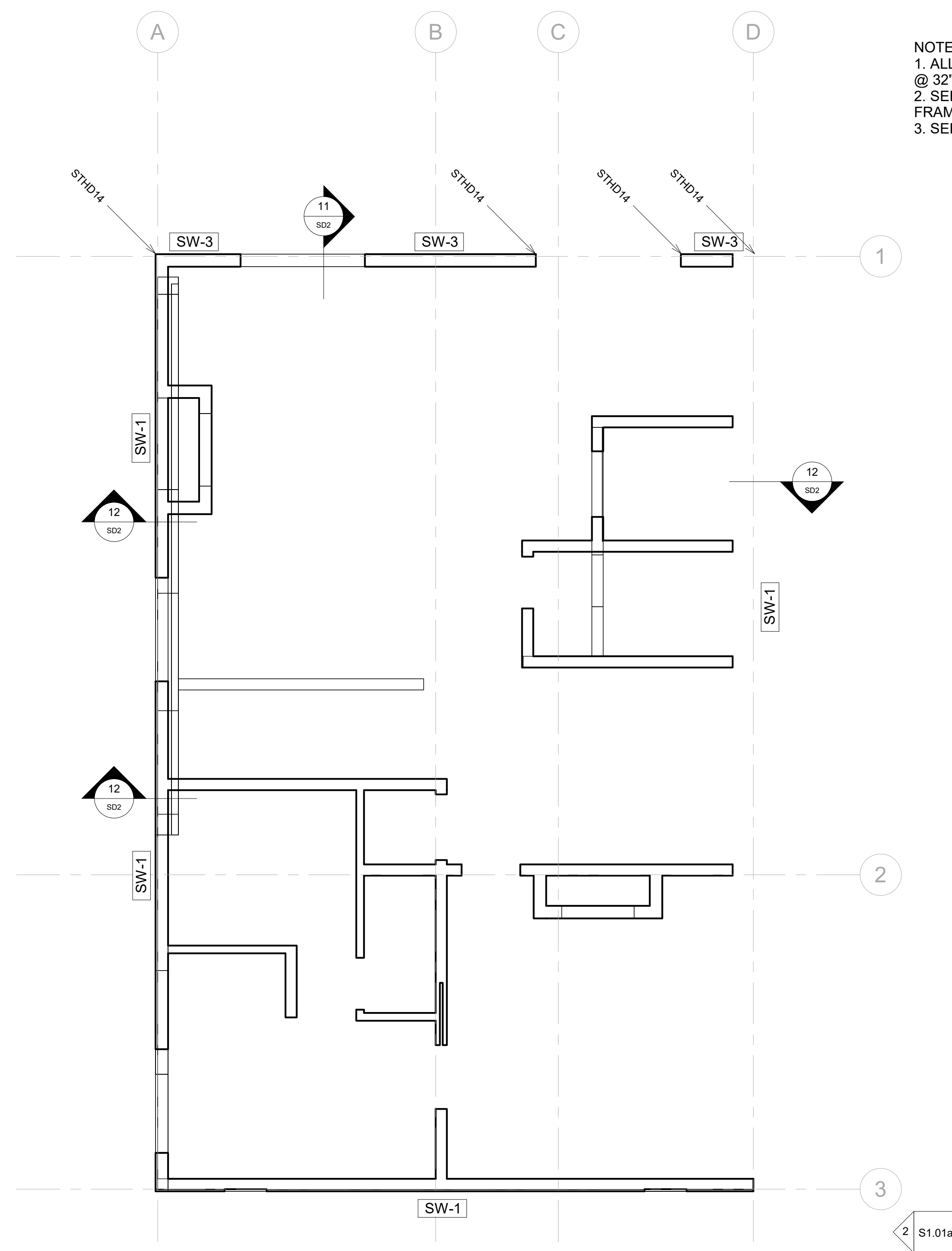
2 Main Level Shear Plan
1/4" = 1'-0"

1 Basement Shear Plan
1/4" = 1'-0"

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② Loft Level Shear Plan
1/4" = 1'-0"



① Upper Level Shear Plan
1/4" = 1'-0"

NOTE:

1. ALL SHEAR WALLS HAVE 5/8" ANCHOR BOLTS @ 32" O.C. UNLESS OTHERWISE NOTED.
2. SEE GENERAL STRUCTURAL NOTES FOR FRAMING REQUIREMENTS.
3. SEE SHEET SCH SHEAR WALL SCHEDULES.

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WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE
SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY, AND BE RESPONSIBLE
ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE SHALL
NOTIFIED IMMEDIATELY OF ANY VARIATIONS FROM THE DIMENSIONS
CONDITIONS SHOWN BY THESE DRAWINGS. ALL SHOP DETAILS MUST
SUBMITTED TO THIS OFFICE FOR APPROVAL PRIOR TO PROCEEDING WITH
BY BUILDING THESE PLANS THE CONTRACTOR UNDERSTANDS THAT THERE
BE ERRORS CONTAINED IN THIS SET, AND WILL NOT HOLD THIS OFFICE
FOR ANY OMISSIONS, ERRORS AND/OR OMISSIONS. THE CONTRACTOR SHALL
NOTIFY THIS OFFICE OF
ERRORS THAT ARISE DURING

BY ACCEPTING THESE PLAN DOCUMENTS AND OR SERVICES OUTLINED IN
PLAN DOCUMENTS, THE CLIENT, THEIR CLIENT, BUILDER,
USERS AND ALL PRESENT AND FUTURE PERSONS OR PARTIES DIRECTLY
INDIRECTLY AFFECTED BY THE PLAN DOCUMENTS OR SERVICES OUTLINED IN
PLAN DOCUMENTS AGREE TO THE LIABILITY OF S.T. HARROS INC. AND
EMPLOYEES AND PRINCIPALS TO THE AMOUNT OF THE ORIGINAL VERBALLY
SIGNED AGREED

[illegible]

New Residence
Alice Claim
Subdivision, Lot 6
103 Alice Court
Park City, UT 84060

Shear Plans

SCALE:

1/4" = 1'-0"

DATE
10 AUG 2023

SHEET

S3.02

9/22/2023 8:46:14 AM

Planning Department Staff Report



Subject: 103 Alice Court
Application: PL-22-05421
Author: Lillian Zollinger, Planner I
Date: January 25, 2023
Type of Item: Steep Slope Conditional Use Permit

Recommendation

(I) Review the Steep Slope Conditional Use Permit (SSCUP) at 103 Alice Court, (II) conduct a public hearing, and (III) consider approving the proposal based on the Findings of Fact, Conclusions of Law, and Conditions of Approval outlined in the Draft Final Action Letter (Exhibit A).

Description

Applicant: Gavin Steinberg
Location: 103 Alice Court
Zoning District: Historic Residential - 1 (HR-1) District
Adjacent Land Uses: Single Family Dwellings, Recreation and Open Space
Reason for Review: The Planning Commission reviews and takes Final Action on SSCUPs for Lots greater than 3,750 square feet.¹

DRT	Design Review Team
HDDR	Historic District Design Review
HR-1	Historic Residential - 1
LMC	Land Management Code
SFD	Single Family Dwelling
SSCUP	Steep Slope Conditional Use Permit

Terms that are capitalized as proper nouns throughout this staff report are defined in LMC § [15-15-1](#).

Background

103 Alice Court is Lot 6 of the Alice Claim Subdivision and is vacant (Exhibit C). The Applicant submitted a SSCUP and a Historic District Design Review (HDDR) application and proposes construction of a new Single-Family Dwelling (SFD) within the Historic Residential-1 (HR-1) Zoning District.

The review of the Alice Claim Subdivision began in 2006, and took 12 years to approve. The Alice Claim Subdivision had 15 meetings since 2014, with the Planning Commission or City Council reviewing the proposal. In 2015, the Planning Commission recommended denial of the Alice Claim Subdivision/Plat Amendment and Conditional

¹ LMC § [15-2.1-6\(B\)\(2\)](#)

Use Permit (CUP). The City Council then sent the application back to the Planning Commission for further review. In 2016, with an updated proposal, the Planning Commission approved a CUP for three retaining walls up to ten feet to help with slope stabilization. The CUP was appealed, but after an access agreement was obtained, the new access did not require walls greater than six feet. One appeal was withdrawn, and the other appeal was not pursued with the updated retaining wall height included in the Subdivision and Plat Amendment proposal. In 2017, the Planning Commission forwarded a positive recommendation to the City Council for the Alice Claim Subdivision with conditions to create developable lots with proper water access and to protect sensitive lands. On March 8, 2018, the City Council adopted [Ordinance No. 2018-08](#) approving the Alice Claim Subdivision ([Staff Report, p. 60-167](#); [Meeting Minutes, p. 8-13](#)).

In conjunction with the SSCUP, Staff is reviewing the HDDR application (PL-22-05260) for compliance with LMC [Section 15-13-8](#) *Design Guidelines for New Residential Infill Construction in Historic Districts*.

Analysis

103 Alice Court is located on an uphill lot with a slope average of 15-33% Approximately 1,452 square feet of the SFD will be constructed on a steep slope with an average slope 32.1%. LMC § [15-2.2-6](#) requires a SSCUP for construction of any Structure with a Building Footprint in excess of two hundred square feet (200 sf) in the HR-1 Zoning District.

(I) The proposal to construct a new Single-Family Dwelling complies with HR-1 Zoning District requirements outlined in LMC Chapter 15-2.2.

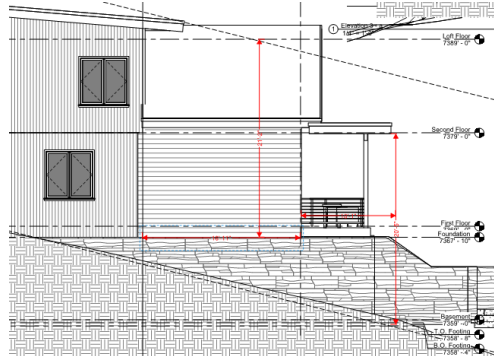
Two of the purposes of the HR-1 district are to “encourage construction of Historically Compatible Structures that contribute to the character and scale of the Historic District and maintain existing residential neighborhoods and establish Development review criteria for new Development on Steep Slopes which mitigate impacts to mass and scale and the environment.”²

The proposed SFD is an Allowed Use in the HR-1 Zoning District, pursuant to LMC § [15-2.2-2\(1\)](#).

LMC § [15-2.2-3](#) outlines lot and site requirements for the HR-1 Zoning District, shown in the table below:

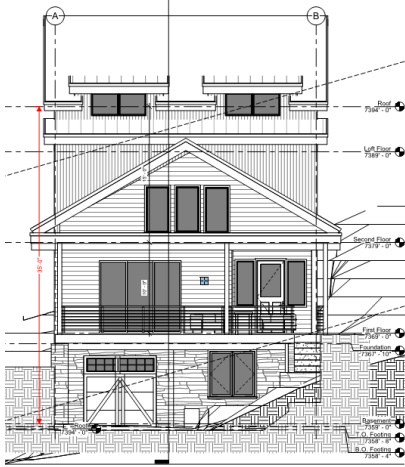
Zoning Requirement	Analysis of Proposal
Minimum Lot Size - 1,875 sq. ft.	Complies: The lot contains 4,510 sq. ft.
Minimum Lot Width - 25 feet	Complies: The lot is 41.91 feet long at the front end, and 44.70 feet long at the rear.

² LMC § [15-2.2-1](#)

Maximum Building Footprint – 1,750 sq. ft.	Complies: The proposed Footprint is 1,750 sq. ft. as measured on the submitted plans (Exhibit B).
Minimum Front and Rear Setback for Lots over 100 feet long – 15 feet each for a total of 30 feet	Complies: 15 feet each
Minimum Side Setbacks for Lots up to 50 feet in width – 5 feet each	Complies: 5 feet each
Building Height – 27 feet from Existing Grade	Complies: The proposed height is 27 feet from existing grade.
Building Height – 10-foot minimum horizontal step in the downhill facade	Complies: At 20' from the lowest point of existing grade, the architecture steps back 10' from the front façade of the structure. 

LMC § [15-2.2-5](#) outlines building height requirements, shown in the table below:

Maximum interior height of 35 feet	Complies: LMC § 15-2.2-5(A) states, “A Structure shall have a maximum height of thirty-five feet (35’) measured from the lowest finish floor plane to the point of the highest wall top plate that supports the ceiling joists or roof rafters.” The proposal has an interior height of 35 feet, as defined, and is compliant.
------------------------------------	---

	 The proposed design does not require additional height exceptions for the SFD to be constructed.
Roof Pitch- between 7:12 and 12:12	Complies: The Contributing Roof Form is 7:12.
Final Grade within 4 feet of Existing Grade	Complies: The proposed final grade is within 4 feet of existing grade.

(II) The proposal to construct a SFD complies with criteria outlined in LMC §15-2.2-6 Development on Steep Slopes.

There are certain Uses that, because of unique characteristics or potential impacts on the municipality, surrounding neighbors, or adjacent land Uses, may not be Compatible in some Areas or may be Compatible only if certain conditions are required that mitigate or eliminate the detrimental impacts.

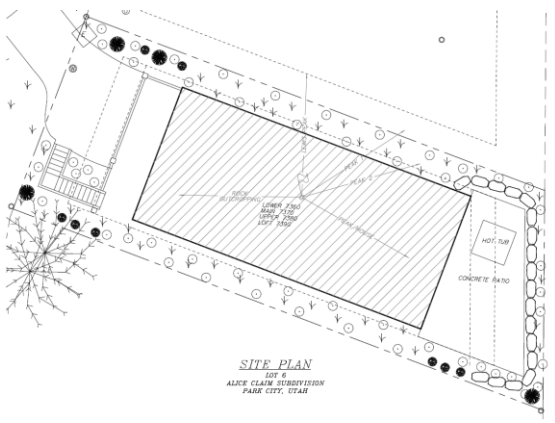
Development on Steep Slopes must be environmentally sensitive to hillside areas, carefully planned to mitigate adverse effects on neighboring land and improvements, and consistent with the Design Guidelines for Historic Districts (LMC § [15-2.2-6](#)).

Since the new SFD proposes an excess of 200 square feet located on an existing Slope of thirty percent (30%) or greater, the SSCUP application is required, pursuant to per [15.2-2.6\(A\)\(1\)](#). Additionally, the HDDR Application's approval will be subject to the approval of this SSCUP.

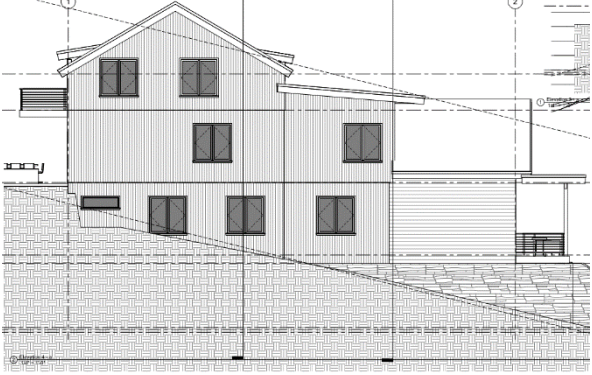
The Planning Commission reviews Steep Slope Conditional Use Permits for Lots that are 3,750 square feet or greater (LMC Section § [15-2.2-6\(B\)\(1\)](#)). 103 Alice Court contains 4,510 square feet and therefore requires Planning Commission approval.

Steep Slope Conditional Use Permit applications are subject to the following criteria:

Criteria	Analysis of Proposal
LOCATION OF DEVELOPMENT –	Complies

Development is located and designed to reduce visual and environmental impacts of the Structure.	The south side of the lot has an egress window – the retaining walls are a maximum of four feet in height from existing grade, with grade restored around them to support the window. Retaining walls in the front of the lot follow existing grade on either side to allow a garage, bottom level window, and stairs to access the first level entrance. A retaining wall is proposed in the rear of the structure to create an outdoor patio area. Aside from the structure itself, these are the only impacts created to the existing topography. No significant vegetation exists on the site, and therefore none will be removed.
VISUAL ANALYSIS – The Applicant must provide the Planning Department with a visual analysis of the project from key Vantage Points: To determine potential impacts of the proposed Access, and Building mass and design; and to identify the potential for Screening, Slope stabilization, erosion mitigation, vegetation protection, and other design opportunities.	Complies The Single-Family Dwelling will be the first constructed in the Alice Claim Subdivision and does not yet have streetscape context among other structures. However, it will not be viewable from Vantage Points, as defined in LMC § 15-15-1. (See Exhibit D to view the Applicant's submitted streetscape). There is no existing significant vegetation on the lot, but the applicant proposes to add vegetation to mitigate erosion. The SFD will be significantly screened from the South due to the existing natural grade and vegetation.  <i>SITE PLAN</i> LOT 8 ALICE CLAIM SUBDIVISION PARK CITY, UTAH
ACCESS – Access points and driveways must be designed to minimize Grading of the natural topography and to reduce overall Building scale. Shared Driveways and Parking Areas, and side Access to garages are strongly encouraged, where feasible.	Complies The proposed twelve-foot (12') wide driveway located within the Front Setback is a 2% downhill slope towards Daly Avenue, and compliant with LMC § 15-13-8(B)(1)(h)(7), which requires, "new driveways shall not exceed twelve (12) feet in width." The driveway leads to a single tandem-car garage door. The front entrance is accessed via

	stairs, which are built into the existing grade.
TERRACING – The project may include terraced retaining Structures if necessary to regain Natural Grade.	Complies The Applicant is proposing to use the Structure itself as the majority of the retaining for Natural Grade. LMC § 15-2.2-5 states, “Final Grade must be within four vertical feet (4’) of Existing Grade.” The applicant is not proposing to change grade more than four feet (4’). The Applicant has largely maintained Natural Grade where possible, including changing the design of the structure on the side lot to egress windows to lessen the impact of the excavation required. LMC § 15-2.2-3 states that retaining walls four feet or less in the Front Setback, or six feet or less in the Rear Setback, are exceptions to Setbacks. All proposed retaining walls are 4’ or less and are compliant with the setback exceptions.
BUILDING LOCATION – Buildings, Access, and infrastructure must be located to minimize cut and fill that would alter the perceived natural topography of the Site. The Site design and Building Footprint must coordinate with adjacent properties to maximize opportunities for open Areas and preservation of natural vegetation, to minimize driveway and Parking Areas, and to provide variation of the Front Yard.	Complies The footprint of the structure is within the building pad and is inside all setbacks. The structure respects the 10’ foot Public Utilities easement in the front. The applicant reduced the proposed cut from previous design proposals to reduce the impact on the grade. This included removing windows on the south side, to only include one required egress window, and require less impact/excavation on the existing grade.
BUILDING FORM AND SCALE – Where Building masses orient against the Lot’s existing contours, the Structures must be stepped with the Grade and broken into a series of individual smaller components that are Compatible with the District. Low profile Buildings that orient with existing contours are strongly encouraged. The garage must be subordinate in design to the main Building. In order to decrease the perceived bulk of the Main Building, the Planning Director and/or Planning Commission may require a garage separate from the main Structure or no garage.	Complies LMC § 15-2.2-5 states that, “A ten foot (10’) minimum horizontal step in the downhill façade is required.” There is a 10’ step down approximately 24’ from the front of the structure. Additionally, the house is broken into three side sections, amidst the four levels of the home to follow the topography, and is compliant with allowed height as analyzed above and below. The proposed tandem-garage fits with the width of the lot, as the single-door garage allows for additional landscaping seen from the street level.

	 The design is incorporated into the topography, as the roof form steps up where the land does, to be more compatible with the Design Guidelines. The garage is set to the side of the lowest level of the structure and, as a tandem car garage, does not detract from the other levels of the dwelling. The tandem car garage allows for the street level of the dwelling to not be completely garage face. The space adjacent to the garage allows for the area to be vegetation rather than a concrete driveway.
SETBACKS – The Planning Commission may require an increase in one or more Setbacks to minimize the creation of a “wall effect” along the Street front and/or the Rear Lot Line. The Setback variation will be a function of the Site constraints, proposed Building scale, and Setbacks on adjacent Structures.	Complies The new structure complies with all HR-1 setbacks, and there are no significant exceptions recommended for the design of the dwelling to be compliant with Code. The site does not exceed 33% in slope, and the proposed construction is within the allowed setbacks.
DWELLING VOLUME – The maximum volume of any Structure is a function of the Lot size, Building Height, Setbacks, and provisions set forth in this Chapter. The Planning Commission may further limit the volume of a proposed Structure to minimize its visual mass and/or to mitigate differences in scale between a proposed Structure and existing Structures.	Complies The proposed structure is the first SFD of nine in the Alice Claim Subdivision. The proposed structure meets the requirements of code in roof shape, setbacks, and stepping of the form.
BUILDING HEIGHT STEEP SLOPE – The Zone Height in the HR-1 District is twenty-seven feet (27') and is restricted as stated above in Section 15-2.2-5. The Planning Commission may require a reduction in Building Height for all, or portions, of a proposed Structure to minimize its visual	Complies The building does not exceed the allowable building height and is compatible with the Zoning District (see elevation and analysis above, under Analysis I).

mass and/or to mitigate differences in scale between a proposed Structure and the Historic character of the neighborhood's existing residential Structures.



(IV)The Development Review Committee³ reviewed the proposal on December 6, 2022, and identified the following.

The Building Department requires the following Conditions of Approval:

Condition of Approval 7

Residential fire sprinklers are required for all new or renovation construction on this lot, per requirements of the Chief Building Official.

Condition of Approval 10

City approval of a Construction Mitigation Plan (CMP) is a condition precedent to the issuance of any building permits. The CMP shall include language regarding the method of protecting adjacent structures.

The Engineering Department requires the following Conditions of Approval:

Condition of Approval 8

The property is located outside the Park City Landscaping and Maintenance of Soil Cover Ordinance (Soils Ordinance) and therefore not regulated by the City for mine-related impacts. If the property owner does encounter mine waste or mine waste-impacted soils they must handle the material in accordance with State and Federal law.

Condition of Approval 11

City Engineer review and approval of all lot grading, utility installations, public improvements, and drainage plans for compliance with City standards is a condition precedent to building permit issuance.

Condition of Approval 14

The Applicant shall submit a geotechnical report and final slope stability prior to submitting a building permit, subject to City Engineer approval.

³ The Development Review Committee meets the first and third Tuesday of each month to review and provide comments on Planning Applications, including review by the Building Department, Engineering Department, Sustainability Department, Transportation Planning Department, Code Enforcement, the City Attorney's Office, Local Utilities including Rocky Mountain Power and Dominion Energy, the Park City Fire District, Public Works, Public Utilities, and the Snyderville Basin Water Reclamation District (SBWRD).

Condition of Approval 15

The Applicant shall provide soil stabilization details and drainage documenting how the disturbed area will be restored and stabilized prior to submitting a building permit, subject to City Engineer approval.

Condition of Approval 16

The Applicant shall submit a landscape bond to ensure the stabilization and vegetation rehabilitation are complete prior to submission of a building permit.

Condition of Approval 17

Prior to submitting a building permit, the Applicant shall submit a plan demonstrating how they will provide the temporary shoring needed during construction, subject to City Engineer approval.

Notice

Staff published notice on the City's website and the Utah Public Notice website, and posted notice to the property on January 17, 2023. Staff mailed courtesy notice to property owners within 300 feet on January 17, 2023. The *Park Record* published notice on January 17, 2023. LMC § [15-1-21](#).

Public Input

Staff did not receive any public input at the time this report was published.

Alternatives

- The Planning Commission may approve the SSCUP Application;
- The Planning Commission may deny the SSCUP Application and direct staff to make Findings for the denial; or
- The Planning Commission may request additional information and continue the discussion to a date certain.

Exhibits

Exhibit A: Draft Final Action Letter

Exhibit B: Proposed Plans

Exhibit C: Alice Claim Subdivision

Exhibit D: 103 Alice Court Renderings



Planning Department

March 8, 2023

Gavin Steinberg
13 Club Road
Riverside, CT 06878

NOTICE OF PLANNING COMMISSION ACTION

Description

Address: 103 Alice Court

Zoning District: Historic Residential – 1 (HR-1)

Application: Steep Slope Conditional Use Permit

Project Number: PL-22-05421

Action: APPROVED WITH CONDITIONS (See Below)

Date of Final Action: January 25, 2023

Project Summary: The Applicant Proposes to Construct a New Single-Family Dwelling on a Steep Slope on a Vacant Lot.

Action Taken

On January 25, 2023, the Planning Commission conducted a public hearing and approved the proposal for a new Single-Family Dwelling at 103 Alice Court built into a Steep Slope, on a vacant lot according to the following Findings of Fact, Conclusions of Law, and Conditions of Approval.

Findings of Fact

1. The Site is located at 103 Alice Court, Lot 6 of the Alice Claim Subdivision, and is a vacant lot.
2. The Site is located within the Historic Residential – 1 (HR-1) Zoning District.
3. The Applicant proposes construction of a new Single-Family Dwelling (SFD) on the vacant lot.
4. The new SFD proposes an excess of 200 square feet located on an existing Slope of thirty percent (30%) or greater, therefore, a SSCUP application is required.



Planning Department

5. In conjunction with the SSCUP, the Applicant submitted a Historic District Design Review (HDDR) Application (PL-22-05260). The HDDR Application approval is subject to the approval of this SSCUP.
6. 103 Alice Court is located on an uphill lot with an average slope of 31%.
7. 1,452 square feet of the SFD will be constructed on a steep slope with an average slope 32.1%. The minimum Lot size in the HR-1 Zoning District is 1,875 square feet. Lot 6 of the Alice Claim Subdivision contains 4,510 square feet.
8. The minimum Lot width in the HR-1 Zoning District is 25 feet. Lot 6 of the Alice Claim Subdivision is 41.91 feet wide at the front and 44.7 feet wide at the rear.
9. The maximum building footprint in the HR-1 Zoning District for a Lot that is 4,510 square feet is 1,750 square feet. The proposed building footprint is 1,750 square feet.
10. Minimum front and rear setbacks for Lots over 100 feet long are 15 feet in the HR-1 Zoning District. The proposed SFD meets a 15-foot setback for both the front and rear setbacks.
11. Minimum side setbacks for Lots up to 50 feet in width are five feet in the HR-1 Zoning District. The proposed SFD meets a five-foot side setback for each side.
12. The maximum building height is 27 feet from Existing grade in the HR-1 Zoning District. The proposed maximum building height is 27 feet from existing grade.
13. The HR-1 Zoning District requires a ten-foot minimum horizontal step in the downhill façade. The proposed SFD steps back at least ten feet at 24 feet and two inches from the lowest point of existing grade.
14. Final Grade must be within four feet of existing grade in the HR-1 Zoning District. The proposed final grade is within four feet of existing grade.
15. Structures cannot exceed 25 feet from the lowest finish floor plane to the point of highest wall top plate that supports the ceiling joists or roof rafters in the HR-1 Zoning District. The proposal has an interior height of 35 feet, as defined.
16. The roof pitch for the Contributing Roof Form must be between 7:12 and 12:12 in the HR-1 Zoning District. The proposed Contributing Roof Form is 7:12.
17. The Planning Commission reviews SSCUPs for a Lot that is greater than 3,750 square feet.
18. The proposal is located and designed to reduce visual and environmental impacts of the Structure
19. The proposal will not be viewable from Vantage Points and mostly screened from existing grade and vegetation for erosion mitigation.



Planning Department

20. The proposed driveway is 12' wide and access to a tandem garage minimizes the width and impact on natural topography.
21. The proposed terracing is required to construct the structure, but minimized to maintain Natural Grade where possible.
22. The proposed cut location requires minimal egress windows and retaining walls that reduce the impact on the site.
23. The building scale is compliant with the grade of the site, and the design is compliant with Historic District Design Guidelines.
24. The proposal is compliant with setbacks, and does not require significant exceptions be granted to construct.
25. The volume of the dwelling is compliant with the size and height of the lot.
26. The proposal does not exceed the allowable building height.
27. Staff published notice on the City's website and posted notice to the property on January 10, 2023.
28. Staff mailed courtesy notice to property owners within 300 feet and posted notice to the property on January 10, 2023.

Conclusions of Law

1. The proposal complies with the Land Management Code requirements pursuant to Chapter 15-2.2, Historic Residential – 1 (HR-1) District.
2. The proposal complies with the Land Management Code requirements pursuant to Chapter 15-2.2-6, Development on Steep Slopes in the HR-1 District.

Conditions of Approval

1. Final building plans and construction details shall reflect substantial compliance with the plans approved January 25, 2023, by the Planning Commission. Any changes, modifications, or deviations from the approved design that have not been approved in advance by the Planning and Building Departments may result in a stop work order.
2. The Applicant shall receive approval of a Historic District Design Review prior to submitting a Building Permit application.
3. All conditions of approval and plat notes of the Alice Court Subdivision shall continue to apply.
4. If the Applicant does not obtain a complete building permit within one year of the date of this approval, this SSCUP approval will expire unless the Applicant submits a written extension request to the Planning Department prior to the expiration date and the Planning Director approves an extension.



Planning Department

5. The applicant is responsible for notifying the Planning Department prior to making any changes to the approved plans.
6. Any changes, modifications, or deviations from the approved scope of work shall be submitted in writing for review and approval/denial in accordance with the applicable standards by the Planning Director or designee prior to construction.
7. Residential fire sprinklers are required for all new or renovation construction on this lot, per requirements of the Chief Building Official.
8. The property is located outside the Park City Landscaping and Maintenance of Soil Cover Ordinance (Soils Ordinance) and therefore not regulated by the City for mine-related impacts. If the property owner does encounter mine waste or mine waste-impacted soils they must handle the material in accordance with State and Federal law.
9. Any areas disturbed during construction surrounding the proposed work shall be brought back to their original state.
10. City approval of a Construction Mitigation Plan (CMP) is a condition precedent to the issuance of any building permits. The CMP shall include language regarding the method of protecting adjacent structures.
11. City Engineer review and approval of all lot grading, utility installations, public improvements, and drainage plans for compliance with City standards is a condition precedent to building permit issuance.
12. All exterior lighting shall be down-directed and shielded to prevent glare onto adjacent property and public rights-of-way and shall be subdued in nature. Light trespass into the night sky is prohibited. Exterior lighting shall not exceed 3,000 degrees Kelvin and outdoor lighting fixtures shall be Fully Shielded. Final lighting details shall be reviewed by the Planning Staff prior to installation.
13. Construction waste should be diverted from landfill and recycled when possible.
14. The Applicant shall submit a geotechnical report and final slope stability prior to submitting a building permit, subject to City Engineer approval.
15. The Applicant shall provide soil stabilization details and drainage documenting how the disturbed area will be restored and stabilized prior to submitting a building permit, subject to City Engineer approval.
16. The Applicant shall submit a landscape bond to ensure the stabilization and vegetation rehabilitation are complete prior to submission of a building permit.
17. Prior to submitting a building permit, the Applicant shall submit a plan demonstrating how they will provide the temporary shoring needed during construction, subject to City Engineer approval.



Planning Department

18. Retaining walls cannot exceed the height proposed/reviewed as part of this SSCUP without modifying the SSCUP. Additionally, walls more than four feet in height in the front setback, or more than six feet in the rear or side setbacks will require an Administrative Conditional Use Permit.

If you have questions or concerns regarding this Final Action Letter, please call 435-615-5068 or email lillian.zollinger@parkcity.org.

Sincerely,


Laura Suesser,
Planning Commission Chair

CC: Lillian Zollinger, Planner I

Planning Department Staff Report



Subject: 103 Alice Court
Application: PL-22-05260
Author: Lillian Zollinger, Planner I
Date: February 16, 2023
Type of Item: Historic District Design Review

Recommendation

(I) Review the Historic District Design Review (HDDR) at 103 Alice Court, (II) conduct a public hearing, and (III) consider approving the proposal based on the Findings of Fact, Conclusions of Law, and Conditions of Approval outlined in the Draft Final Action Letter (Exhibit A).

Description

Applicant: Gavin Steinberg
Location: 103 Alice Court
Zoning District: Historic Residential - 1 (HR-1) District
Adjacent Land Uses: Single Family Dwellings, Recreation and Open Space
Reason for Review: The Planning Director reviews, conducts a public hearing, and takes Final Action on Historic District Design Review Applications.¹

DRT	Design Review Team
HDDR	Historic District Design Review
HR-1	Historic Residential - 1
LMC	Land Management Code
SFD	Single Family Dwelling
SSCUP	Steep Slope Conditional Use Permit

Terms that are capitalized as proper nouns throughout this staff report are defined in LMC § [15-15-1](#).

Background

103 Alice Court is Lot 6 of the Alice Claim Subdivision and is vacant (Exhibit C). The Applicant submitted a Steep Slope Conditional Use Permit (SSCUP) and a Historic District Design Review (HDDR) application and proposes construction of a new Single-Family Dwelling (SFD) within the Historic Residential-1 (HR-1) Zoning District.

The review of the Alice Claim Subdivision began in 2006 and took 12 years to approve. The Alice Claim Subdivision had 15 meetings since 2014, with the Planning Commission and City Council reviewing the proposal. In 2015, the Planning

¹ LMC § [15-2.1-6\(B\)\(2\)](#)

Commission recommended denial of the Alice Claim Subdivision/Plat Amendment and Conditional Use Permit (CUP). The City Council then sent the application back to the Planning Commission for further review. In 2016, with an updated proposal, the Planning Commission approved a CUP for three retaining walls up to ten feet to help with slope stabilization. The CUP was appealed, but after an access agreement was obtained, the new access did not require walls greater than six feet. One appeal was withdrawn, and the other appeal was not pursued with the updated retaining wall height included in the Subdivision and Plat Amendment proposal. In 2017, the Planning Commission forwarded a positive recommendation to the City Council for the Alice Claim Subdivision with conditions to create developable lots with proper water access and to protect sensitive lands. On March 8, 2018, the City Council adopted [Ordinance No. 2018-08](#) approving the Alice Claim Subdivision ([Staff Report, p. 60-167](#); [Meeting Minutes, p. 8-13](#)).

103 Alice Court is located on an uphill lot with a slope average of 15-33%. Approximately 1,452 square feet of the SFD will be constructed on a steep slope with an average slope of 32.1%. LMC § [15-2.2-6](#) requires a SSCUP for construction of any Structure with a Building Footprint in excess of two hundred square feet (200 square feet) located on a Slope of 30% or greater in the HR-1 Zoning District. On January 25, 2023, the Planning Commission approved the SSCUP (PL-22-05421) for this lot ([Staff Report](#); [Audio](#)).

Analysis

(I) The proposal to construct a new Single-Family Dwelling complies with HR-1 Zoning District requirements outlined in LMC Chapter 15-2.2.

Two of the purposes of the HR-1 Zoning District are to “encourage construction of Historically Compatible Structures that contribute to the character and scale of the Historic District and maintain existing residential neighborhoods and establish Development review criteria for new Development on Steep Slopes which mitigate impacts to mass and scale and the environment.”²

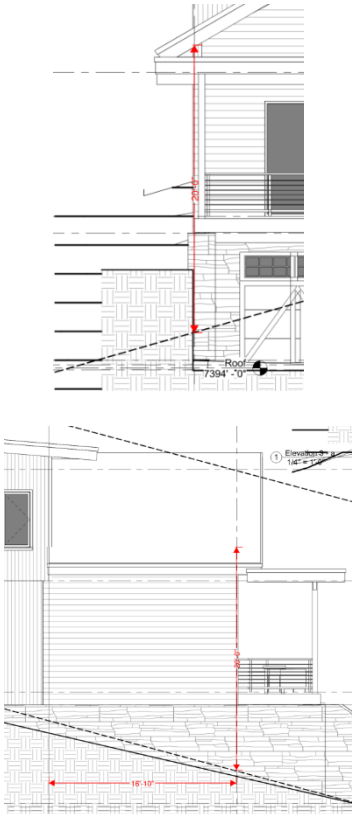
The proposed SFD is an Allowed Use in the HR-1 Zoning District, pursuant to LMC § [15-2.2-2\(1\)](#).

LMC § [15-2.2-3](#) outlines lot and site requirements for the HR-1 Zoning District, shown in the table below:



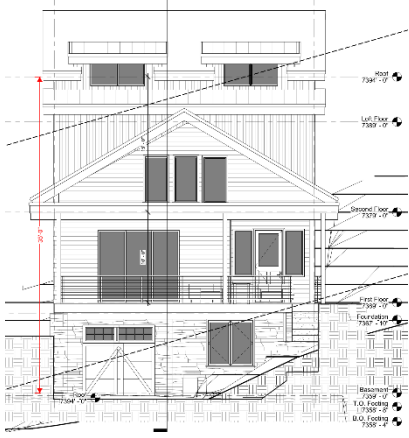
Zoning Requirement	Analysis of Proposal
Minimum Lot Size - 1,875 square feet	Complies: The lot contains 4,510 square feet

² LMC § [15-2.2-1](#)

Minimum Lot Width - 25 feet measured 15 feet from the front lot line	Complies: The Lot Width is 41.91 feet measured 15 feet from the lot line. The lot is 41.91 feet long at the front end, and 44.70 feet long at the rear.
Maximum Building Footprint – 1,750 sq. ft.	Complies: The proposed Footprint is 1,750 sq. ft. as measured on the submitted plans (Exhibit B).
Minimum Front and Rear Setback for Lots over 100 feet long – 15 feet each for a total of 30 feet	Complies: 15 feet each
Minimum Side Setbacks for Lots up to 50 feet in width – 5 feet each	Complies: 5 feet each
Building Height – 27 feet from Existing Grade	Complies: The proposed height is 27 feet from existing grade.
Building Height – A ten foot (10') minimum horizontal step in the downhill façade is required unless the First Story is located completely under the finish Grade on all sides of the Structure. The horizontal step shall take place at a maximum height of twenty-three feet (23') from where the Building Footprint meets the lowest point of existing Grade. Architectural features, that provide articulation to the upper story façade setback, may encroach into the minimum ten-foot (10') setback but shall be limited to no more than twenty five percent (25%) of the width of the building encroaching no more than four feet (4') into the setback, subject to compliance with the Design Guidelines for Historic Sites and Historic Districts.	Complies: At 20' from the lowest point of existing grade, the architecture steps back 16' 10" from the front façade of the structure. 

LMC § [15-2.2-5](#) outlines building height requirements, shown in the table below:

Maximum interior height of 35 feet -- LMC § 15-2.2-5(A) states, “[a] Structure shall have a maximum height of thirty-five feet (35’) measured from the lowest finish floor plane to the	Complies: The proposal has an interior height of 35 feet, as defined, and is compliant.
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point of the highest wall top plate that supports the ceiling joists or roof rafters.”	 The proposed design does not require additional height exceptions for the SFD to be constructed.
Roof Pitch- between 7:12 and 12:12	Complies: The Contributing Roof Form is 7:12.
Final Grade within 4 feet of Existing Grade	Complies: Per LMC, “Final Grade must be within four vertical feet (4’) of Existing Grade, except for the placement of approved window wells, emergency egress, and a garage entrance.” The proposed Final Grade is mostly compliant with the allowed exceptions (see Condition of Approval 18).

(II) The proposal to construct a new Single-Family Dwelling complies with the Design Guidelines For New Residential Infill Construction In Historic Districts outlined in LMC § 15-13-8.

The Design Review Team reviewed this proposal on September 7, 2022, October 5, 2022, November 30, 2022, and found the design to be compliant with the Design Guidelines, except for a proposed two-car garage. On January 4, 2023, the Applicant submitted new plans with a tandem garage proposal, instead of the two-car garage, bringing it into complete compliance with the Design Guidelines.

A. Universal Guidelines

	Analysis of Proposal (See Exhibit B)
1. New infill residential buildings shall reflect the historic character—simple building forms, unadorned materials, restrained ornamentation—of Park City’s Historic Sites.	Complies: The new structure is designed in a style keeping with Park City’s Historic District.
2. New infill residential buildings shall not directly imitate existing historic structures in Park City. Roof pitch, shape and configuration, as well as scale of building elements found on Historic Sites may be duplicated, but building elements such as moldings, cornice details, brackets, and porch supports shall not be directly imitated.	Complies: The design of the Single-Family Dwelling takes a contemporary approach to traditionally historic features.

3. A style of architecture shall be selected and all elevations of the new infill residential building should shall [sic] be designed in a manner consistent with a contemporary interpretation of the chosen selected style. Stylistic elements shall not simply be applied to exteriors. Styles that never appeared in Park City shall be avoided. Styles that radically conflict with the character of Park City's Historic Sites shall also be avoided. Styles that never appeared in Park City shall be avoided.	Complies: The style chosen for the SFD is modern, yet complimentary to the Historic District. The design does not copy existing historic structures.
4. New infill residential buildings shall differentiate from historic structures but be compatible with historic structures in materials, features, size, scale and proportion, and massing to protect the integrity of the Historic District as a whole. The massing of the new infill residential buildings shall be further broken up into volumes that reflect the original massing of historic buildings; larger masses shall be located at the rear of the lot.	Complies: The proposed materials are complimentary to the historic district. The proposed height is compliant with the grade, and nearby lots. The structure follows the grade of the lot, and is broken up into facades as the design steps up the slope.
5. Building and site design shall respect the existing topography, the character-defining site features, including existing trees and vegetation, and shall minimize cut, fill, and the use of retaining walls.	Complies: The chosen location for the SFD is on a steep slope. The Applicant has minimized the cut and fill by reducing the number of retaining walls to one portion of the SFD, and using egress windows in place of retaining walls. The SFD will not impact any existing significant vegetation.
6. Exterior elements—roofs, entrances, eaves, chimneys, porches, windows, doors, steps, garages, etc.— of the new infill residential building shall be of human scale and shall be compatible with neighboring Historic Structures.	Complies: The design of the SFD and design elements are not oversized.
7. Scale and height of new infill residential buildings shall follow the predominant pattern and respect the architecture of the Streetscape or character area with special consideration given to Historic Sites.	Complies: The height of the structure is compliant with zone regulations and scale of the structure is compatible with the grade and slope of the lot.
8. Size and mass of a structure shall be compatible with the size of the site so that lot coverage, building bulk, and mass are compatible with Historic Sites within the Streetscape or character area.	Complies: The structure is within setbacks and in character with the lots in the area.
9. New construction activity shall not physically damage nearby Historic Sites.	Complies: The closest Historic Site is at least 200 feet away (see Condition of Approval 17).

10. New infill residential buildings shall reinforce visual unity within the context of the Streetscape or character area. The specific context of each Streetscape or character area is an important feature of the Historic District. The context of each Streetscape or character area shall be considered in its entirety, as one would see it when standing on the street viewing both sides of the street for the entire length of the Streetscape or character area. Special consideration should be given to adjacent and neighboring Historic Sites in order to reinforce existing rhythms and patterns.	Complies: This Dwelling is the first in the Alice Claim Subdivision neighborhood. The current streetscape is natural topography, and the Dwelling will serve as the first building of context for other developments on the remaining lots.
11. New materials should reflect the character of the Historic District. Sustainable technology is constantly changing resulting in new alternative materials.	Complies: The proposed materials of horizontal wood siding, metal roof, asphalt shingles, steel railings, stone, and concrete are within the style of the design guidelines and environmental sustainability (see Exhibit B, p.8).

B. Specific Guidelines

1. Site Design	Analysis of Proposal
a) Building Setback and Orientation • Front Setback – 10' • Rear Setback - 10' • Side Setbacks – 5' each	Complies: • Front Setback – 10' • Rear Setback – 10' • Side Setbacks – 5' each
b) Topography and Grading: LMC § 15-13-8(B)(1)(b) states, "Building and site design shall respond to natural features. New infill residential buildings shall step down or up to follow the existing contours of steep slopes. A new site's natural slope shall be respected in a new building design in order to minimize cuts into hillsides, minimize fill, and minimize retaining walls."	Complies: The proposed design steps up with the slope of the site, and the number of sections of retaining walls has been reduced.
c) Landscaping and Vegetation	See Condition of Approval 18: The proposed vegetation shall be at least 50% waterwise and compliant with 15-5-5(N) .

d) Retaining Walls – LMC § 15-13-8(B)(1)(d) states, “a site shall be contoured in a way that reduces the need for retaining walls.”	Complies: The Applicant has reduced the proposed number of retaining walls, and is compliant. Additionally, the proposed retaining walls are 6’ or less in height in the Rear and Side Setbacks and are compliant with LMC § 15-2.2-3 , which establishes a maximum height for retaining walls at 6’ in the rear and side setback.
e) Fences	Complies: No proposed permanent fences.
f) Paths, Steps, Handrails, & Railings (Not associated with Porches) LMC § 15-13-8(B)(1)(f) states, “New hillside stairs and any associated railings or handrails shall be visually subordinate to the associated building(s) or structure(s) in size, scale, and proportion, and shall complement the Historic District in material, size, scale, and proportion, and massing.”	Complies: The design of the proposed railings on the front Porch, rear Balcony, and entrance stairs are compatible with the Historic District Design Guidelines. The stairs are also compliant, as they are broken up into two sections to be built into the grade.
g) Gazebos, Pergolas, and other Shade Structures	Not applicable
h) Parking Area & Driveways Pursuant to LMC 15-3-6(A) , Single-Family Dwellings in the HR-1 Zone require two parking spaces.	Complies: The proposed home will have two parking spaces in one Tandem garage. LMC § 15-3-4(A) requires a minimum 11 feet by 40 feet for a garage. The garage is compliant – the dimensions are 12 feet by 42 feet. LMC § 15-13-8(B)(1)(h)(7) sets the maximum width for driveways in Historic Zoning Districts to 12 feet and the proposed driveway is compliant at 12 feet in maximum width.
2. Primary Structures	Analysis of Proposal
a) Mass, Scale, & Height	Complies: The Single-Family Dwelling is compliant with zone regulations regarding building footprint, setbacks, and height.
b) Foundation -- LMC 15-13-8(B)(2)(b) states, “Foundation materials shall be simple in form and minimally visible above grade when viewed from the primary public right-of-way.”	Complies: The foundation will be mostly covered under grade (see Condition of Approval 19).

c) Doors -- LMC § 15-13-8(B)(2)(c) states, "All buildings that face the street shall have a well-defined primary entrance."	Complies The second level-primary entrance is well defined, and the proposed door is compliant with the Design Guidelines.
d) Windows -- LMC § 15-13-8(B)(2)(d) states, "Ratios of solid-to-void that are compatible with surrounding historic buildings shall be used" and "Windows shall be historic size and shall relate to the human scale of	Complies: The proposed glazing is limited and breaks up the solidity of the façade. The windows limited in design types, and match the historic 2:1 ratio as detailed in subsection D.
e) Roofs – LMC § 15-2.2-5 requires a roof pitch of at least 7:12.	Complies: The primary roof shape is compatible with the Historic District and LMC, as the roof pitch is 7:12. LMC § 15-13-8(B)(2)(e) , "Roofs of new residential infill buildings shall be visually compatible with roof shapes and orientation of surrounding Historic Sites and adjacent buildings that contribute to the character of the Historic District." The height and slope of the roof are compliant with roofs in the Historic District. The primary roof pitch, shingle material, and standing seam metal roof is consistent with the style of the Historic District pursuant to. See Condition of Approval 20.
f) Dormers	Not Applicable
g) Gutters and Downspouts	Not Applicable
h) Chimneys and Stovepipes	Not Applicable
i) Porches	Complies: The design complies with LMC § 15-13-8(B)(2)(i) which states, "Porches typically cover the entrance, and usually extend partially or fully across the main façade." The front porch is consistent with porches found historically, as it is covered, with narrower square columns and emphasizes the front entrance.
j) Architectural Features -- Per LMC § 15-13-8(B)(2)(i) , "Simple ornamental trim and decoration is in character with historic architectural ornamentation and is encouraged."	Complies: The overall proposed design and materials are simple, and not ornate. The columns on the front porch have been reduced to more similarly match column widths found in the Historic District.
3. Mechanical and Utility Systems and Service Equipment	See Condition of Approval 21

4. Materials	Complies: Pursuant to LMC § 15-13-8(B)(4) , the proposed materials of wood siding, Corten metal, asphalt shingles, standing seam roof, metal railings, and windows style, color, and finish are compliant with the Historic District (see Exhibit B and Conditions of Approval 20 and 22).
5. Paint and Color	Complies: The proposed plans indicate the following façade materials: horizontal wood siding, metal roof, asphalt shingles, steel railings, stone, and concrete. LMC § 15-13-8(B)(5)(d) states, “Materials, such as wood, that are traditionally painted shall have an opaque rather than transparent finish.” See Condition of Approval 22.
6. Garages	Complies: The proposed home will have two parking spaces in one Tandem garage. The garage is compliant with LMC § 15-3-4(A) , as the dimensions are 12’ by 42’. Per LMC § 15-13-8(B)(2)(6)(a)(2) , “Single car wide tandem garages are recommended. Side-by-side parking configurations are strongly discouraged.” The number of garages has been reduced from two to one garage and is compliant with the Historic District Design Guidelines.
7. Decks	Not Applicable
8. Balcony and Roof Decks	Complies: LMC § 15-13-8(B)(8) states, “New balconies and roof decks shall be visually subordinate to the new building and shall be minimally visible from the primary public right-of-way.” The rear balcony is within the Setbacks, and minimally visible from the primary public right-of-way, and the design is compliant.
9. New Accessory Structures	Not Applicable
10. Additions to Existing Non-Historic Structures	Not Applicable
11. Reconstruction of Non-Surviving Structures	Not Applicable

(III) The Development Review Committee³ reviewed the proposal on December 6, 2022, and identified the following:

The Building Department requires the following Conditions of Approval:

Condition of Approval 5

Residential fire sprinklers are required for all new or renovation construction on this lot,

³ The Development Review Committee meets the first and third Tuesday of each month to review and provide comments on Planning Applications, including review by the Building Department, Engineering Department, Sustainability Department, Transportation Planning Department, Code Enforcement, the City Attorney’s Office, Local Utilities including Rocky Mountain Power and Dominion Energy, the Park City Fire District, Public Works, Public Utilities, and the Snyderville Basin Water Reclamation District (SBWRD).

per requirements of the Chief Building Official.

Condition of Approval 8

City approval of a Construction Mitigation Plan (CMP) is a condition precedent to the issuance of any building permits. The CMP shall include language regarding the method of protecting adjacent structures.

The Engineering Department requires the following Conditions of Approval:

Condition of Approval 6

The property is located outside the Park City Landscaping and Maintenance of Soil Cover Ordinance (Soils Ordinance) and therefore not regulated by the City for mine-related impacts. If the property owner does encounter mine waste or mine waste-impacted soils they must handle the material in accordance with State and Federal law.

Condition of Approval 9

City Engineer review and approval of all lot grading, utility installations, public improvements, and drainage plans for compliance with City standards is a condition precedent to building permit issuance.

Condition of Approval 12

The Applicant shall submit a geotechnical report and final slope stability prior to submitting a building permit, subject to City Engineer approval.

Condition of Approval 13

The Applicant shall provide soil stabilization details and drainage documenting how the disturbed area will be restored and stabilized prior to submitting a building permit, subject to City Engineer approval.

Condition of Approval 14

The Applicant shall submit a landscape bond to ensure the stabilization and vegetation rehabilitation are complete prior to submission of a building permit.

Condition of Approval 15

Prior to submitting a building permit, the Applicant shall submit a plan demonstrating how they will provide the temporary shoring needed during construction, subject to City Engineer approval.

Notice

Staff published notice on the City's website and the Utah Public Notice website and posted notice to the property on February 1, 2023. Staff mailed courtesy notice to property owners within 100 feet on February 1, 2023. LMC § [15-1-21](#).

Public Input

Staff did not receive any public input at the time this report was published.

Alternatives

- The Planning Director may approve the HDDR Application;
- The Planning Director may deny the HDDR Application and direct staff to make Findings for the denial; or
- The Planning Director may request additional information and continue the discussion to a date certain.

Exhibits

Exhibit A: Draft Final Action Letter

Exhibit B: Proposed Plans

Exhibit C: Alice Claim Subdivision

Exhibit D: 103 Alice Court Renderings



Planning Department

February 16, 2023

Gavin Steinberg
13 Club Road
Riverside, CT 06878

NOTICE OF PLANNING DIRECTOR ACTION

Description

Address: 103 Alice Court

Zoning District: Historic Residential – 1 (HR-1)

Application: Historic District Design Review

Project Number: PL-22-05260

Action: APPROVED WITH CONDITIONS (See Below)

Date of Final Action: February 16, 2023

Project Summary: The Applicant Proposes to Construct a New Single-Family Dwelling on a Steep Slope on a Vacant Lot.

Action Taken

On February 16, 2023, the Planning Director conducted a public hearing and approved the Historic District Design proposal for a new Single-Family Dwelling at 103 Alice Court built into a Steep Slope, on a vacant lot according to the following Findings of Fact, Conclusions of Law, and Conditions of Approval.

Findings of Fact

1. The Site is located at 103 Alice Court, Lot 6 of the Alice Claim Subdivision, and is a vacant lot.
2. The Site is located within the Historic Residential – 1 (HR-1) Zoning District.
3. The Applicant proposes construction of a new Single-Family Dwelling (SFD) on the vacant lot.
4. The new SFD proposes an excess of 200 square feet located on an existing Slope of thirty percent (30%) or greater, and requires a Steep Slope Conditional Use Permit (SSCUP) approval. On January 25, 2023, the Planning Commission approved a SSCUP (PL-22-05421) for the proposal.



Planning Department

5. 103 Alice Court is located on an uphill lot with an average slope of 31%.
6. 1,452 square feet of the SFD will be constructed on a steep slope with an average slope 32.1%. The minimum Lot size in the HR-1 Zoning District is 1,875 square feet. Lot 6 of the Alice Claim Subdivision contains 4,510 square feet.
7. The minimum Lot width in the HR-1 Zoning District is 25 feet. Lot 6 of the Alice Claim Subdivision is 41.91 feet wide at the front and 44.7 feet wide at the rear.
8. The maximum building footprint in the HR-1 Zoning District for a Lot that is 4,510 square feet is 1,750 square feet. The proposed building footprint is 1,750 square feet.
9. Minimum front and rear setbacks for Lots over 100 feet long are 15 feet in the HR-1 Zoning District. The proposed SFD meets a 15-foot setback for both the front and rear setbacks.
10. Minimum side setbacks for Lots up to 50 feet in width are five feet in the HR-1 Zoning District. The proposed SFD meets a five-foot side setback for each side.
11. The maximum building height is 27 feet from Existing grade in the HR-1 Zoning District. The proposed maximum building height is 27 feet from existing grade.
12. The HR-1 Zoning District requires a ten-foot minimum horizontal step in the downhill façade. The proposed SFD steps back at least ten feet at 24 feet and two inches from the lowest point of existing grade.
13. Final Grade must be within four feet of existing grade in the HR-1 Zoning District. The proposed final grade is within four feet of existing grade.
14. Structures cannot exceed 25 feet from the lowest finish floor plane to the point of highest wall top plate that supports the ceiling joists or roof rafters in the HR-1 Zoning District. The proposal has an interior height of 35 feet, as defined.
15. The roof pitch for the Contributing Roof Form must be between 7:12 and 12:12 in the HR-1 Zoning District. The proposed Contributing Roof Form is 7:12.
16. The Planning Commission reviews SSCUPs for a Lot that is greater than 3,750 square feet.
17. The proposal is located and designed to reduce visual and environmental impacts of the Structure
18. The proposal will not be viewable from Vantage Points and mostly screened from existing grade and vegetation for erosion mitigation.
19. The proposed driveway is 12' wide and access to a tandem garage minimizes the width and impact on natural topography.
20. The proposed terracing is required to construct the structure, but minimized to maintain Natural Grade where possible.



Planning Department

21. The proposed cut location requires minimal egress windows and retaining walls that reduce the impact on the site.
22. The building scale is compliant with the grade of the site, and the design is compliant with Historic District Design Guidelines.
23. The proposal is compliant with setbacks, and does not require significant exceptions be granted to construct.
24. The volume of the dwelling is compliant with the size and height of the lot.
25. The proposal does not exceed the allowable building height.
26. Historic District Design Review applications require the Planning Director evaluation of the Design Guidelines For Historic Districts And Historic Sites:

- New infill residential buildings shall reflect the historic character—simple building forms, unadorned materials, restrained ornamentation—of Park City's Historic Sites. *Complies: The new structure is designed in a style keeping with Park City's Historic District.*
- New infill residential buildings shall not directly imitate existing historic structures in Park City. Roof pitch, shape and configuration, as well as scale of building elements found on Historic Sites may be duplicated, but building elements such as moldings, cornice details, brackets, and porch supports shall not be directly imitated. Reconstruction of non-surviving historic buildings is allowed. *Complies: The design of the Single-Family Dwelling takes a contemporary approach to traditionally historic features.*
- A style of architecture shall be selected and all elevations of the new infill residential building should shall be designed in a manner consistent with a contemporary interpretation of the chosen selected style. Stylistic elements shall not simply be applied to exteriors. Styles that never appeared in Park City shall be avoided. Styles that radically conflict with the character of Park City's Historic Sites shall also be avoided. Styles that never appeared in Park City shall be avoided. *Complies: The style chosen for the SFD is modern, yet complimentary to the Historic District. The design does not copy existing historic structures.*
- New infill residential buildings shall differentiate from historic structures but be compatible with historic structures in materials, features, size, scale and proportion, and massing to protect the integrity of the Historic District as a whole. The massing of the new infill residential buildings shall be further broken up into volumes that reflect the original massing of historic buildings; larger masses shall be located at the rear of the lot. *Complies:*



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The proposed materials are complimentary to the historic district. The proposed height is compliant with the grade, and nearby lots. The whole structure follows the grade of the lot, and is broken up into facades as the design steps up the slope.

- Building and site design shall respect the existing topography, and the character-defining site features, including existing trees and vegetation, and shall minimize cut, fill, and the use of retaining walls. *Complies: The chosen location for the SFD is on a moderately steep slope. The Applicant and minimized the cut and fill by reducing the number of retaining walls to one portion of the home, and using egress windows in place of retaining walls. The SFD will not impact any existing significant vegetation.*
- Exterior elements—roofs, entrances, eaves, chimneys, porches, windows, doors, steps, garages, etc.— of the new infill residential building shall be of human scale and shall be compatible with neighboring Historic Structures. *Complies: The design of the house and design elements are not oversized.*
- Scale and height of new infill residential buildings shall follow the predominant pattern and respect the architecture of the Streetscape or character area with special consideration given to Historic Sites. *Complies: The height of the structure is compliant with zone regulations and scale of the structure is compatible with the grade and slope of the lot.*
- Size and mass of a structure shall be compatible with the size of the site so that lot coverage, building bulk, and mass are compatible with Historic Sites within the Streetscape or character area. *Complies: The structure is within setbacks and in character with the lots in the area.*
- New construction activity shall not physically damage nearby Historic Sites. *Complies: The closest Historic Site is at least 200 feet away (see Condition of Approval 17).*
- New infill residential buildings shall reinforce visual unity within the context of the Streetscape or character area. The specific context of each Streetscape or character area is an important feature of the Historic District. The context of each Streetscape or character area shall be considered in its entirety, as one would see it when standing on the street viewing both sides of the street for the entire length of the Streetscape or character area. Special consideration should be given to adjacent and neighboring Historic Sites in order to reinforce existing rhythms and



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patterns. *Complies: This Dwelling is the first in the Alice Claim Subdivision neighborhood. The current streetscape is natural topography, and the Dwelling will serve as the first building of context for other developments on the remaining lots.*

- New materials should reflect the character of the Historic District. Sustainable technology is constantly changing resulting in new alternative materials. New alternative materials may be reviewed by the Design Review Team for compliance being judged on the following characteristics: Longevity (50-year lifespan), energy performance, durability in this climate, environmental benefit (high recycled content, locally sourced), compatibility with the character of the Historic District. *Complies: The proposed materials are within the style of the design guidelines and environmental sustainability (see Exhibit B, p.8).*
- Building Setback and Orientation- *Complies: See analysis in Section I above.*
- Topography and Grading- *The proposed design steps up with the slope of the site, and the number of sections of retaining walls has been reduced.*
- Landscaping and Vegetation- *See Condition of Approval 18: The proposed vegetation shall be at least 50% waterwise and compliant with 15-5-5(N).*
- Retaining Walls- *Complies: The Applicant has reduced the proposed number of retaining walls, and is compliant with this guideline. Additionally, the proposed retaining walls are 6' or less in the Rear and Side Setbacks and compliant with LMC § 15-2.2-3.*
- Fencing- *Complies: No proposed permanent fences.*
- Paths, Steps, Handrails, & Railings (Not Associated with Porches)- *The design of the proposed railings on the front Porch, rear Balcony, and entrance stairs are compatible with the Historic District Design Guidelines. The stairs are also compliant, as they are broken up into two sections to be built into the grade.*
- Gazebos, Pergolas, and other Shade Structures- *Not applicable*
- Parking Areas & Driveways- *Complies: The proposed home will have two parking spaces in one Tandem garage. The garage is compliant with LMC § 15-3-4(A), as the dimensions are 12' by 42'. The proposed driveway is 12' and compliant with LMC § 15-13-8(B)(1)(h)(7).*



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- Mass, Scale & Height- *Complies: The Single-Family Dwelling is compliant with zone regulations regarding building footprint, setbacks, and height.*
- Foundation- *Complies: The foundation will be mostly covered under grade (see Condition of Approval 19).*
- Doors- *Complies: The second level-primary entrance is well defined, and the proposed door is compliant with the historic district.*
- Windows- *Complies: The proposed glazing is limited and breaks up the solidity of the façade. The windows limited in design types, and match the historic 2:1 ratio as detailed in subsection D.*
- Roofs- *Complies: LMC § 15-2.2-5 requires a roof pitch of at least 7:12. The primary roof shape is compatible with the Historic District and LMC, as the roof pitch is 7:12. LMC § 15-13-8(B)(2)(e), "Roofs of new residential infill buildings shall be visually compatible with roof shapes and orientation of surrounding Historic Sites and adjacent buildings that contribute to the character of the Historic District." The height and slope of the roof are compliant with roofs in the Historic District. The primary roof pitch, shingle material, and standing seam metal roof is consistent with the style of the Historic District pursuant to. See Condition of Approval 20.*
- Dormers- *Not Applicable*
- Gutters and Downspouts- *Not Applicable*
- Chimneys and Stovepipes- *Not Applicable*
- Porches- *Complies: The design complies with LMC § 15-13-8(B)(2)(i) which states, "Porches typically cover the entrance, and usually extend partially or fully across the main façade." The front porch is consistent with porches found historically, as it is covered, with narrower square columns and emphasizes the front entrance.*
- Architectural Features- *Complies: The overall proposed design and materials are simple, and not ornate. The columns on the front porch have been reduced to more similarly match column widths found in the Historic District.*
- Mechanical and Utility Systems and Service Equipment- *See Condition of Approval 21*
- Materials- *Complies: Pursuant to LMC § 15-13-8(B)(4), the proposed materials of wood siding, Corten metal, asphalt shingles, standing seam roof, metal railings, and windows style, color, and finish are compliant with the Historic District (see Exhibit B and Conditions of Approval 20 and 22).*



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- Paint and Color- *Complies: LMC § 15-13-8(B)(5)(d) states, "Materials, such as wood, that are traditionally painted shall have an opaque rather than transparent finish." See Condition of Approval 22.*
- Garages- *Complies: The proposed home will have two parking spaces in one Tandem garage. The garage is compliant with LMC § 15-3-4(A), as the dimensions are 12' by 42'. Per LMC § 15-13-8(B)(2)(6)(a)(2), "Single car wide tandem garages are recommended. Side-by-side parking configurations are strongly discouraged." The number of garages has been reduced from two to one garage and is compliant with the Historic District Design Guidelines.*
- Decks- *Not Applicable*
- Balcony and Roof Decks- *LMC § 15-13-8(B)(8) states, "New balconies and roof decks shall be visually subordinate to the new building and shall be minimally visible from the primary public right-of-way." The rear balcony is within the Setbacks, and minimally visible from the primary public right-of-way, and the design is compliant.*
- New Accessory Structures- *Not Applicable*
- Additions to Existing Non-Historic Structures- *Not Applicable*
- Reconstruction of Non-Surviving Structures- *Not Applicable*

27. Staff published notice on the City's website and posted notice to the property on February 1, 2023.

28. Staff mailed courtesy notice to property owners within 100 feet and posted notice to the property on February 1, 2023.

Conclusions of Law

1. The proposal complies with the Land Management Code requirements pursuant to Chapter 15-2.2, Historic Residential – 1 (HR-1) District.
2. The proposal complies with the Land Management Code requirements pursuant to Chapter 15-2.2-6, Development on Steep Slopes in the HR-1 District.
3. The proposal complies with the Land Management Code requirements pursuant to Section 15-13-8, Design Guidelines For New Residential Infill Construction In Historic Districts.

Conditions of Approval

1. Final building plans and construction details shall reflect substantial compliance as indicated on the plans reviewed February 16, 2023, as part of the Historic



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District Design Review and public meeting on February 16, 2023. Any changes, modifications, or deviations from the approved design that have not been approved in advance by the Planning and Building Departments may result in a stop work order.

2. All conditions of approval and plat notes of the Alice Court Subdivision shall continue to apply.
3. The applicant is responsible for notifying the Planning Department prior to making any changes to the approved plans.
4. Any changes, modifications, or deviations from the approved scope of work shall be submitted in writing for review and approval/denial in accordance with the applicable standards by the Planning Director or designee prior to construction.
5. Residential fire sprinklers are required for all new or renovation construction on this lot, per requirements of the Chief Building Official.
6. The property is located outside the Park City Landscaping and Maintenance of Soil Cover Ordinance (Soils Ordinance) and therefore not regulated by the City for mine-related impacts. If the property owner does encounter mine waste or mine waste-impacted soils they must handle the material in accordance with State and Federal law.
7. Any areas disturbed during construction surrounding the proposed work shall be brought back to their original state.
8. City approval of a Construction Mitigation Plan (CMP) is a condition precedent to the issuance of any building permits. The CMP shall include language regarding the method of protecting adjacent structures.
9. City Engineer review and approval of all lot grading, utility installations, public improvements, and drainage plans for compliance with City standards is a condition precedent to building permit issuance.
10. All exterior lighting shall be down-directed and shielded to prevent glare onto adjacent property and public rights-of-way and shall be subdued in nature. Light trespass into the night sky is prohibited. Exterior lighting shall not exceed 3,000 degrees Kelvin and outdoor lighting fixtures shall be Fully Shielded. Final lighting details shall be reviewed by the Planning Staff prior to installation.
11. Construction waste should be diverted from landfill and recycled when possible.
12. The Applicant shall submit a geotechnical report and final slope stability prior to submitting a building permit, subject to City Engineer approval.



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13. The Applicant shall provide soil stabilization details and drainage documenting how the disturbed area will be restored and stabilized prior to submitting a building permit, subject to City Engineer approval.
14. The Applicant shall submit a landscape bond to ensure the stabilization and vegetation rehabilitation are complete prior to submission of a building permit.
15. Prior to submitting a building permit, the Applicant shall submit a plan demonstrating how they will provide the temporary shoring needed during construction, subject to City Engineer approval.
16. Retaining walls cannot exceed the height proposed/reviewed as part of this SSCUP without modifying the SSCUP. Additionally, walls more than four feet in height in the front setback, or more than six feet in the rear or side setbacks will require an Administrative Conditional Use Permit.
17. New construction activity shall not physically damage nearby Historic Sites.
18. Upon building permit application, the Applicant shall submit an updated landscaping and irrigation plan, where the proposed vegetation shall be at least 50% waterwise and compliant with 15-5-5(N). Final plans shall call out final grade within 4' of existing grade.
19. No more than eight inches of the new foundation shall be visible above Final grade on the primary façade.
20. Roofs shall have matte finishes to minimize glare, shall be neutral and muted, and materials shall not be reflective.
21. Mechanical and/or utility equipment shall be located on the back of the building or in another inconspicuous location. When located on a secondary façade, the mechanical and/or utility equipment shall be located beyond the midpoint of the structure if feasible and visual impact of the equipment shall be minimized by incorporating it as an element of the building or landscape design.
22. Materials, such as wood, that are traditionally painted shall have an opaque rather than transparent finish. The plans be updated to reflect painted and opaque finishes prior to submitting a building permit.

If you have questions or concerns regarding this Final Action Letter, please call 435-615-5068 or email lillian.zollinger@parkcity.org.

Sincerely,

Gretchen Milliken,

A handwritten signature in blue ink, appearing to read "Gretchen Milliken", written over the printed name.



Planning Department

Planning Director

CC: Lillian Zollinger, Planner I