



**PARK CITY MUNICIPAL CORPORATION
PLANNING DEPARTMENT ADMINISTRATIVE PUBLIC HEARING MINUTES
PLANNING DEPARTMENT CONFERENCE ROOM
MARSAC MUNICIPAL BUILDING
JULY 16, 2026**

STAFF PRESENT: Rebecca Ward, Planning Director; Elissa Martin, Planning Project Manager; Lillian Zollinger, Planner III; Alec Barton, Senior City Planner

Planning Director, Rebecca Ward, called the meeting to order at 12:00 p.m.

1. REGULAR AGENDA

- A. 1060 Woodside Avenue - Historic District Design Review** - The Applicant Proposes to Construct a Rear Addition to the Landmark Historic Structure in the Historic Residential - 1 Zoning District. PL-25-06673.

Planner Ward reported that there was a Historic District Design Review (“HDDR”) application submitted for 1060 Woodside Avenue to rehabilitate the Landmark Historic Structure on the site, but the applicant requested additional time to update their plans.

Director Ward opened the public hearing at 12:01 p.m. There were no comments. Director Ward closed the public hearing at 12:01 p.m.

MOTION: Director Ward CONTINUED the Historic District Design Review application for 1060 Woodside Avenue and the public hearing to August 6, 2026.

- B. 60 Prospect Avenue – Historic District Design Review** – The Applicant Proposes to Construct a Rear Addition to the Significant Historic Structure in the Historic Residential - 1 Zoning District. PL-26-06837.

Planning Project Manager, Elissa Martin, presented the Staff Report and explained that this is an HDDR application for 60 Prospect Avenue, which is a Significant Historic Site in the Historic Residential – 1 Zoning District. The existing home sits on a 3,052 square foot lot, which is Lot 1 of the 52/60 Prospect Avenue Plat Amendment, approved by the Planning Commission on January 28, 2026. The applicant proposes the following:

- Construct a two-story rear addition;
- Restore the exterior siding;
- Remove two rear façade door openings;
- Repair and replace windows on the Historic Structure; and
- Repair the existing rear deck and non-historic front porch and porch shed roof.

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The historic cross-wing type house was constructed circa 1895 during the Mature Mining Era and has undergone several modifications over the years. For example, the front porch was enclosed and the roof form modified. Additionally, the front gable was brought forward to match the wall of the enclosed porch. The historic window openings have been altered, and new window openings have been installed. The primary entrance was relocated under the gable of the cross-wing, and the front porch shed roof was added.

The proposed rear addition complies with the Historic Residential – 1 lot and site requirements. The maximum building footprint for the 3,052 square foot lot is 1,285 square feet, and the proposed footprint is 1,143 square feet. The existing Historic Structure setback is 13 feet in the front, and the rear addition setback is 12 feet. This provides the required 25 feet of combined front and rear setbacks. Manager Martin reported that the rear addition respects 5-foot side setbacks. Retaining walls proposed in the front and side setbacks must comply with the height requirements in Land Management Code (“LMC”) 15-4-2 – Fences and Retaining Walls. The proposed rear addition complies with the Historic Residential – 1 building height requirements, meeting the 27-foot zone height. The addition is proposed to be 22 ½ feet. The internal height is 18 feet measured from the lowest floor plane to the point of the highest wall top plate.

The rear addition steps back 10 feet horizontally on the downhill slope. Minimal grading is needed for the addition, as it is already graded. Manager Martin reported that new driveway access will require grading. There is a Condition of Approval that states any future grading on the site shall not cause a change in grade that exceeds 4 vertical feet.

The proposed rear addition complies with LMC 15-13-2(A) – Requirements for Historic Residential Sites, Universal Regulations. Manager Martin explained that the addition is proposed at the rear of the Historic Structure. The exterior alteration does not affect spatial relationships that characterize the historic site as viewed from the street. The rear addition is designed as a modern interpretation of a historic mining era residential building. She clarified that the design elements differentiate the addition from the Historic Structure while maintaining compatibility in form, massing, scale, and other features.

Manager Martin reported that the proposed rear addition complies with LMC 15-13-2(B) – Requirements for Historic Residential Sites, Specific Regulations. The addition does not substantially change the proportion of built/paved area to open space. The proposed driveway will replace the existing gravel driveway and provide access and off-street parking to the side of the Historic Structure. The proposed retaining walls will be board-formed concrete and will step with the natural grade of the site. The past modifications made to the primary and secondary facades are proposed to be maintained and restored.

Modifications include the removal of two door openings at the rear of the Historic Structure that are not visible from the street as well as the removal of 158 square feet of rear facade material, including one window to accommodate the rear addition. The proposed additional footprint is just over 50% of the footprint of the Historic Structure, which requires a transitional element. The proposed transitional element complies with LMC 15-13-2(4)(b). As conditioned, the HDDR application complies with LMC 15-11-9 – Preservation

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Policy. The applicant has submitted a Historic Preservation Plan, which has been reviewed by the Chief Building Official and Planning Director. There is a Condition of Approval that states a Financial Guarantee is required prior to Building Permit issuance.

Staff recommended that the Planning Director review the proposed HDDR application to construct a rear addition and rehabilitate the Significant Historic Structure at 60 Prospect Avenue, conduct a public hearing, and consider approval based on the Findings of Fact, Conclusions of Law, and Conditions of Approval outlined in the Draft Final Action Letter.

The applicant, Luke Finney, explained that he has lived on Prospect Avenue for three years and loves the area. He is excited to improve this property. Director Ward asked for clarification about the materials used on the foundation of the historic structure. Mr. Finney reported that Park City awarded a grant to the prior owner to redo the foundation, which is concrete and cinder block. He clarified that what exists is not the original foundation, as there was a grant received previously from the City to redo the foundation. There are no changes proposed to the foundation on the historical portion of the structure.

Director Ward opened the public hearing at 12:11 p.m. There were no comments. Director Ward closed the public hearing at 12:11 p.m.

Director Ward reported that there is a typo in the Findings of Fact, which will be corrected.

MOTION: Director Ward APPROVED the Historic District Design Review application for 60 Prospect Avenue, based on the following, as amended:

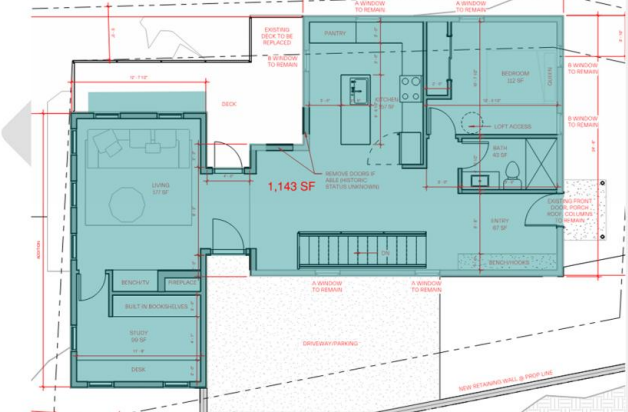
Background:

1. In 1993 and 2001, the Historic District Design Committee approved modifications to the Historic Structure which were partially carried out, including: the front gable was brought forward to match the wall of the enclosed porch, the foundation was replaced, the siding was repaired and replaced in some places, the primary entrance was relocated, and new windows were installed.
2. On March January 28, 2026, the Planning Commission approved the 52/60 Prospect Plat Amendment (PL-25-06778) to create two Lots from Old Town Lots 5, 6, and 7 of Block 18 in the Park City Survey, a 2,918-square-foot Lot for 52 Prospect Avenue, a Significant Historic Site, and a 3,052.49-square-foot Lot for 60 Prospect Avenue.
3. On July 1, 2026, the Historic Preservation Board approved the Material Deconstruction of 158 square feet of the rear façade of the Significant Historic Structure to accommodate a transitional element and addition, and removal of two of the rear façade doors.

Findings of Fact:

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- 1. On February 24, 2026, the Applicant submitted a full Historic District Design Review (HDDR) application to construct a rear addition on the Significant Historic Structure; Staff deemed the application complete on March 12, 2026.
- 2. 60 Prospect Avenue is a Significant Historic Site in the Historic Residential – 1 (HR-1) Zoning District.
- 3. In LMC § 15-2.2-3 HR-1 Lot and Site Requirements are outlined in the Table below:

HR-1 Lot and Site Requirements	Analysis of Proposal
Minimum Lot Area - 1,875 square feet Maximum Lot Area - 3,750 square feet	Complies: Lot 1 is 3,052.49 square feet in Area.
Minimum Lot Width - 25 feet, measured 15 feet back from the Front Lot Line.	Complies: The Lot is 34 feet, 5 inches in width, measured 15 feet back from the Front Lot Line.
The Maximum Building Footprint of the 3,052.49-square-foot Lot is 1,285.67 square feet.	Complies: The existing Structure and rear addition combined Building Footprint is approximately 1,143 square feet.
	 Figure 1: Applicant's Plans with Staff's mark-up showing the Building Footprint shaded in teal
Front and Rear Setbacks for Lots 75 feet to 100 feet are minimum 12 feet and 13 feet, for a combined total of 25 feet.	Complies: The Historic Structure respects the 13-foot required Front Setback and the proposed rear addition is outside the 12-foot Rear Setback.
The Front Setback must be open and free of any Structure except: Fences, walls, and retaining walls not more than four feet (4') in height, or as	Complies as Conditioned: The Applicant proposes a retaining wall that encroaches into the Front Setback. See Condition of Approval 14: New

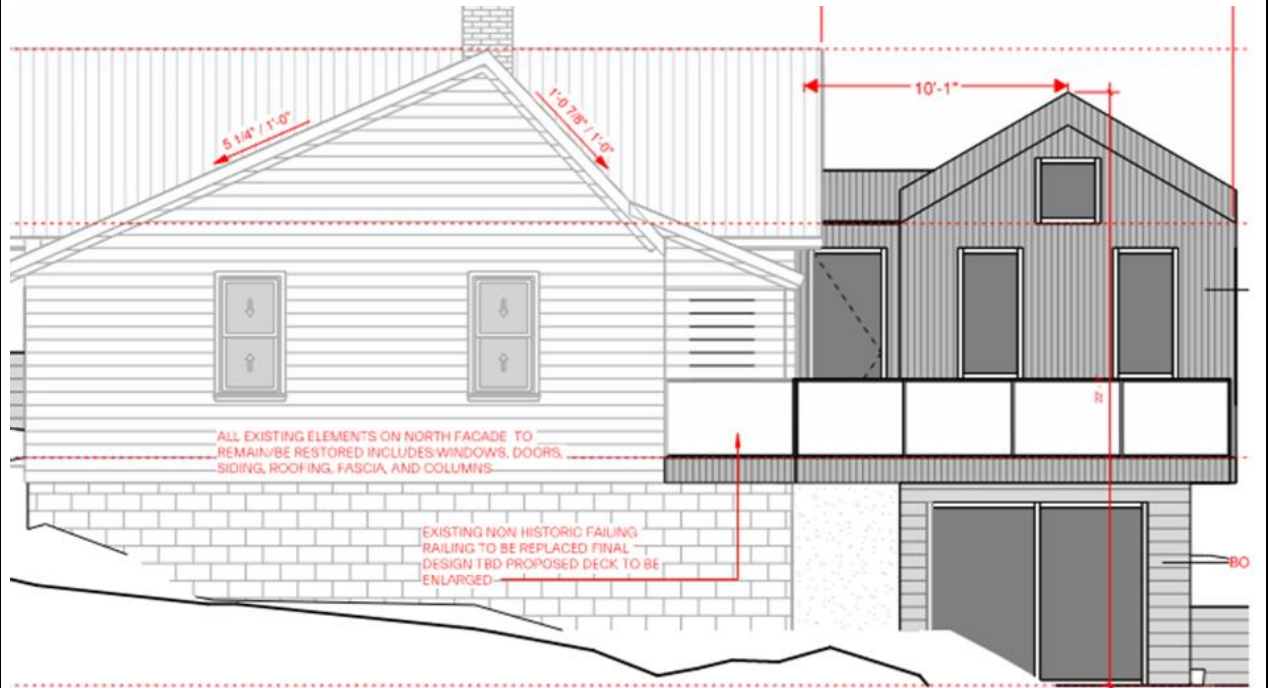
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permitted in Section 15-4-2, Fences and Retaining Walls.	retaining walls shall comply with the requirements outlined in LMC § 15-4-2 and shall be no more than four feet in height in the Front Setback.
Side Setbacks for Lots up to 50 feet in width - minimum 5 feet each side. Pursuant to LMC § 15-2.2-4 <i>Existing Historic Buildings And/or Structures</i>, Significant Historic Sites that exceed the maximum Lot Area, and Historic Buildings that do not comply with Building Setbacks are valid Non-Complying Structures. LMC § 15-2.2-4 <i>Existing Historic Buildings And/or Structures</i>: Additions must comply with Building Setbacks. LMC § 15-2.2-3(J)(7) states the Side Setback must be open and free of any Structure except: “Patios, decks, pathways, steps, or similar Structures not more than thirty inches (30”) in height above Final Grade, not including any required handrails” “fences, walls, and retaining walls no taller than six feet.”	Complies, existing valid non-complying Structure: While the existing Historic Structure complies with the southern Side Setback, it encroaches into the 5-foot northern Side Setback. The Significant Historic Structure is a valid Non-Complying Structure pursuant to LMC § 15-2.2-4. Complies: The proposed rear addition is set back over five feet from the side Lot lines. Complies: The existing deck on the second level rear façade encroaches into the Side Setback and sits flush with the lower-level foundation walls. The Applicant proposes to repair and restore the rear deck in its same location. Complies as Conditioned: The Applicant proposes a retaining wall that encroaches into the Side Setback. See Condition of Approval 14: New retaining walls shall comply with the requirements outlined in LMC § 15-4-2 and shall be no more than six feet in height in the Side Setback.

4. LMC 15.2.2-5 Building Height requirements are outlined in the table below:

HR-1 Building Height Requirements	Analysis of Proposal
Building Height - 27 feet above Existing Grade	Complies: The proposed rear addition is 22 1/2 feet above Existing Grade at its highest point.
Maximum interior height of 35 feet measured from the Lowest Floor Plane to	Complies: 18 feet internal height.

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the point of the highest wall top plate that supports the ceiling joists or roof rafters.	
Horizontal Step-back - Required at a height of 23 feet for a distance of 10 feet.	Complies: The Rear Addition provides a 10-foot horizontal step back at 22 feet in height on the downhill slope. The roof overhang extends approximately 8 inches into the 10-foot step back.
 <i>Figure 2: North elevation view of proposed rear addition.</i>	
Pursuant to LMC § 15-2.2-5(C), “The roof pitch of a Structure's Contributing Roof Form shall be between seven: twelve (7:12) and twelve: twelve (12:12).”	Complies: The proposed Contributing Roof form of the rear addition is 7:12.
Final Grade within 4 feet of Existing Grade	Complies as Conditioned: The Applicant proposes removing an existing retaining wall on the south side of the property and grading the area fronting Prospect Avenue for a new driveway access to the side of the Historic Structure. See Condition of Approval 14: The proposed Final Grade shall be within four feet of Existing Grade. Retaining walls shall step with the Natural Grade.

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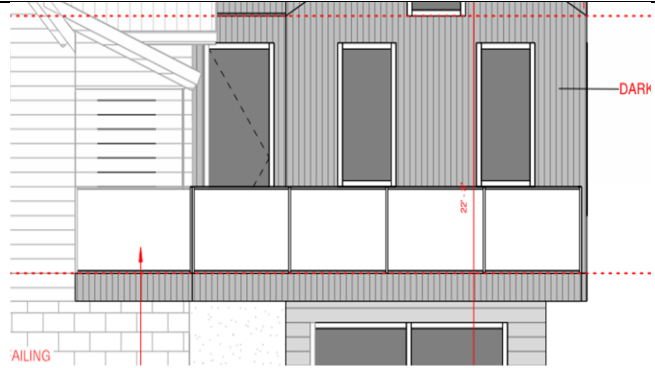
5. The proposal to construct a rear addition complies with criteria outlined in LMC Chapter 15-3, *Off-Street Parking*.
 - a. LMC § 15-3-6(A) requires two parking spaces for a SFD. LMC § 15-2.2-4 outlines that additions to Significant Historic Sites are exempt from Off- Street parking requirements, so long as a lockout unit or accessory apartment is not created. While Off-Street parking is not required for the site, the Applicant proposes relocating the gravel driveway and parking area to the south side of the Historic Structure, which allows for two 9 x18 feet parking spaces.
6. LMC § 15-13-2 *Requirements for Historic Residential Sites, Universal Regulations* outlines requirements for a Significant Historic Site with relevant provisions in the Table below:

(A) Universal Regulations	Analysis of Proposal
(10) New construction such as new additions, exterior alterations, repairs, upgrades, etc., should not destroy historic materials, features, and spatial relationships that characterize the historic site or historic building. New construction should be differentiated from the historic structure while also maintaining compatibility with the historic structure in materials, features, size, scale and proportion, and massing to protect the integrity of the historic structure, the historic site, and its environment.	Complies: The proposed rear addition to the Significant Historic Structure necessitates removal of 158 square feet of the rear façade material, including siding and a rear window – the exterior alteration does not affect the spatial relationships that characterize the historic site as viewed from the street. The proposed rear addition is differentiated from the Historic Structure by being designed as a modern interpretation of a Historic mining era residential building, and maintains compatibility with the use of similar materials, features, scale and massing to the Historic Structure.
(11) New additions and related new construction should be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment could be restored.	Complies: The proposed rear addition is attached to the rear façade of the Historic Structure, in one contiguous location between the upper and lower levels, and if removed the essential form and integrity of the historic property and its environment could be restored.
(B) Specific Regulations 1. Site Design	Analysis of Proposal
a) Building Setback and Orientation “Maintain the existing front and side yard setbacks of Historic Sites.”	Complies: No changes are proposed to the Historic Structure’s siting, and the proposed rear addition respects the HR-1 required Setbacks.
b) Topography and Grading:	Complies as conditioned: The location of the proposed rear addition was previously

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“Maintain the natural topography and original grading of the site when and where feasible.”	graded and altered. The natural topography of the site will be maintained except for along the southern property line where the site will be graded to accommodate the new driveway to the side of the Historic Structure. See Condition of Approval 14: The proposed Final Grade shall be within four feet of Existing Grade and the natural topography of the site shall be maintained as much as possible.
c) Landscaping and Vegetation: “The character of a historic site shall not be significantly altered by substantially changing the proportion of built and/or paved area to open space.” “The use of Water Wise Landscaping or permaculture strategies for landscape design shall be considered in order to maximize water efficiency. Where watering systems are necessary, systems that minimize water loss, such as drip irrigation, shall be used. These systems shall be designed to minimize their appearance from areas viewable from the primary public right-of-way.”	Complies: The proposed addition covers a small footprint at the rear of the Historic Structure and does not substantially change the proportion of built/paved area to open space. The proposed driveway will replace the existing gravel driveway and provide Off-Street parking to the side of the Historic Structure. See Condition of Approval 13: The Applicant shall provide a Landscape Plan and Water Wise irrigation plan at the Building Permit submission that complies with LMC § 15-5-5(N).
d) Retaining Walls: “New retaining walls should be consistent with historic retaining walls in design, material, scale of materials, as well as size and mass of the wall. Simple board-formed concrete, stone, and other historic materials are recommended over concrete block, asphalt, or other modern concrete treatments.”	See Condition of Approval 14: The Applicant proposes three board-formed concrete retaining walls. In the Building Permit plans the Applicant shall clearly demonstrate how the retaining walls step with the Natural Grade of the site in order to maintain Final Grade within four vertical feet of Existing Grade.
e) Fences	No existing fencing on site and no proposed new fences.
f) Gazebos, pergolas, and shade structures	No Gazebos, pergolas and shade structures are proposed.
g) Parking Area & Driveways	Complies: The existing gravel driveway leads to parking in front of the Historic

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“New driveways shall not exceed ten (10) feet in width.”	Structure. The Applicant proposes to relocate the driveway access to the side of the Structure. The proposed new driveway is 10 feet in width and widens at the rear of the Lot to accommodate two Off-Street parking spaces.
h) Paths, Steps, Handrails, & Railings (Not Associated with Porches) – “New handrails and railings shall complement the historic structure in materials, size, scale and proportions, massing and design to protect the integrity of the historic structure and site.”	See Condition of Approval 12: The railing on the rear deck shall reflect railings of Historic Buildings, with vertical balusters and wood or metal material.
	 Figure 3: Applicant's plans showing the railing on the proposed rear deck

7. The Historic Regulations in LMC § 15-13-2(B), *Specific Regulations*, are outlined in the table below:

(B)(2) Primary Structures	Analysis of Proposal
a) Exterior Walls: “Primary and secondary facade components, such as window/door configuration, wall planes, recesses, bays, balconies, steps, porches, and entryways shall be maintained in their original location on the facade.” “Preserve and maintain historic exterior materials including wood siding (drop siding, clapboard, board and batten), frieze boards, cornices, moldings, shingles, etc., as well as stone and masonry. Repair deteriorated or damaged historic exterior materials using	Complies: The Historic Site Form explains that the Historic Structure has undergone several modifications since it was originally constructed c.1895.

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recognized preservation methods appropriate to the specific material.”

“When disassembly of a historic element—window, molding, bracket, etc.—is necessary for its restoration, recognized preservation procedures and methods for removal, documentation, repair, and reassembly shall be used.”

“When historic exterior materials cannot be repaired, they shall be replaced with materials that match the historic in all respects: scale, dimension, profile, material, texture, and finish. The replacement of existing historic material is allowed only when it can be shown that the historic material is no longer safe and/or serviceable and cannot be repaired to a safe and/or serviceable condition.”



The window openings have been altered, and new window openings have been installed, including one added to the gable of the cross-wing in the front and rear facades. The primary entrance was relocated to be under the gable of the cross-wing, and a front porch entry was added, covered by a low-pitched shed roof that attaches to the house. The porch roof is supported by lathe-turned wood piers. The Applicant proposes to maintain these modifications to the primary facade components, in their existing location on the facade.

Two door openings at the rear of the Historic Structure are proposed to be removed; it is unknown what the Historic status is of the rear facade door openings.

Most of the existing materials on the Historic Structure are non-Historic. The 1993 HDDR submittal includes photos of

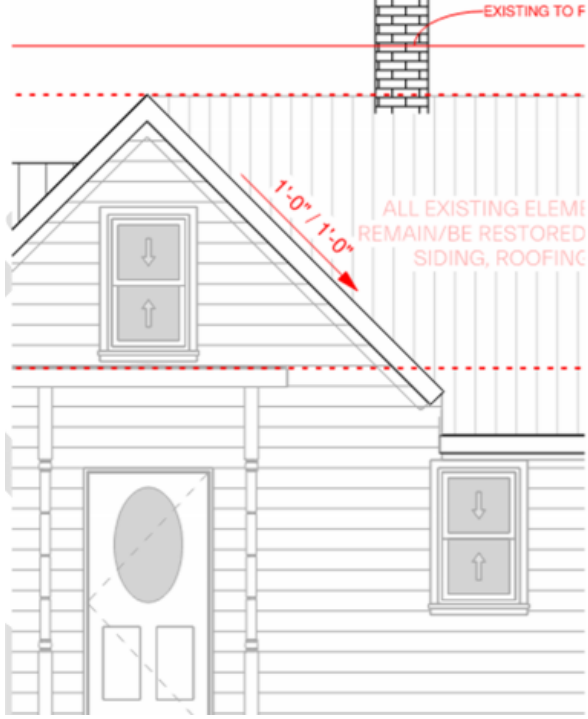
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	the roof when it was sheathed in cedar shingles. The roof has since been replaced with standing seam metal. The walls are clad with drop-novelty wood siding, which appears to be a mix of Historic and replaced siding. Past HDDR application submittals provide evidence that the windows were replaced and are non-historic. The windows are one-over-one double hung sash type windows. The door was replaced with a wood frame and panel door with an upper oval light. The Applicant proposes to maintain and restore the existing external materials, aside from the Material Deconstruction of 158 square feet of the rear facade to accommodate the rear addition. The Physical Conditions Report describes the windows in poor condition, failing seal, and having diminished, rotting trim. The Applicant proposes replacing and restoring the windows and trim on the Historic Structure. The Historic Preservation Plan describes the Applicant's proposal to repair the existing wood siding to original condition and replacing only sections that are unsalvageable.
b) Foundation: "The historic placement, orientation, and grade of a historic building shall be retained, as shall the original grade of the property where feasible. Any re-grading of the site shall blend with grade of adjacent sites and shall not create the need for incompatible retaining walls."	Complies as Conditioned: The Applicant's plans do not propose any changes to the placement, orientation, or grade of the Historic Structure. The Physical Conditions Report describes the foundation as a cinder block foundation. Past Building Permits and design review applications indicate the foundation was replaced. Overall, the foundation appears to be in good condition, though some repairs may be necessary based on Structural Engineer evaluation.

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c) Doors: “Maintain and preserve historic door openings, doors, door surrounds, and decorative door features.”	Complies: The Applicant proposes to retain the non-Historic primary entrance door opening and remove two rear facade doors on the Historic Structure. The Applicant’s Physical Conditions Report states that the doors on the Historic Structure are non-Historic.
d) Windows: “Maintain and preserve historic window openings, windows, window surrounds, and decorative window features... replacement windows typically shall be of wood and shall complement the style of the historic structure.” “Avoid changing the position, proportions, or dimensions of historic window openings.” “New glazing shall match the visual appearance of historic glazing and/or be clear. Metallic, frosted, tinted, stained, textured and reflective finishes are generally inappropriate for glazing on the primary facade of the historic structure.”	Complies as conditioned: The Historic Preservation Board reviewed and approved the Applicant’s plan to preserve all Historic and non-Historic window openings on the Historic Structure, aside from the one rear facade window proposed to be removed to accommodate the rear addition. See Condition of Approval 15: Replacement windows on the Historic Structure shall be wood windows. No modifications to the primary or secondary facade windows on the Historic Structure are proposed. No new windows are proposed on the Historic Structure.

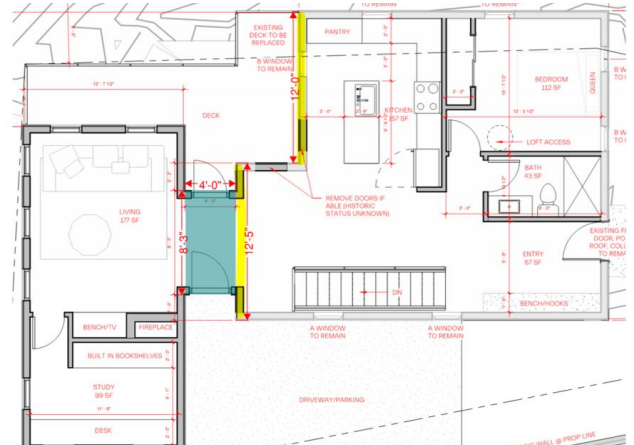
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e) Gutters and Downspouts f) Chimneys and Stovepipes	No Changes Applicant proposes to preserve and restore the existing chimney, which appears in the 1940 tax photo. 
g) Porches: “Preserve and maintain a historic porch by preserving the existing location, form, proportion, details, posts, railing, and stairs. Repair deteriorated historic elements of the porch.” “Replacement porches shall be constructed of materials and in styles that are compatible with the structure to which they are attached. When possible, the reconstructed porch shall be based on physical or documentary evidence; when no such evidence exists, the design shall be based on historic porches found on comparable historic structures.”	Complies: The Historic Site Form describes the historic porch as being enclosed at an unknown date. The existing porch was constructed under the cross-wing gable between 1993 and 2001. There is insufficient documentary evidence of the original Historic porch. The Applicant proposes to restore the non-Historic porch shed roof and porch columns to match existing. The existing porch design is compatible with historic porches found on comparable Structures.

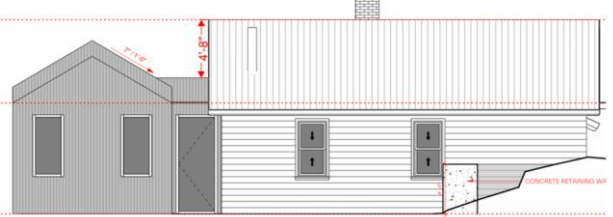
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	 Figure 4: c. 1940 tax photo of the front façade of 60 Prospect (left) and the existing front entrance and porch (right)
(B)(3) Mechanical Systems, Utilities, Service Equipment a. Mechanical equipment and utilities, including heating and air conditioning units, meters, and exposed pipes, shall be located on the tertiary facade or another inconspicuous location. If located on a secondary facade, it shall be screened from view by incorporating it into the appearance as an element of the design. b. Ground-level equipment shall be screened from view using landscape elements such as fences, low stone walls, or perennial plant materials. c. Rooftop mechanical equipment is generally discouraged.	Analysis of Proposal Complies as Conditioned: The Applicant's plans do not site mechanical equipment. See Condition of Approval 16: The Building Permit plans shall include location of mechanical equipment and demonstrate compliance with LMC § 15-13-2(B)(4), including required screening. Rooftop mechanical equipment is prohibited.
(B)(4) Additions to Primary Structures a. Protection for Historic Structures & Sites: "Additions to historic structures shall be considered with caution and shall be considered only on non-character defining facades, usually tertiary and occasionally secondary facades. Additions shall not compromise the architectural character of historic structures. Additions to the primary facades of historic structures are inappropriate. Maintain and preserve additions to structures that are significant to the era/period of restoration."	Analysis of Proposal Complies: The proposed rear addition is on a non-character defining facade. The addition will require the removal of 158 square feet of the rear facade and does not compromise the architectural character of the Historic Structure.

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	 Figure 5: Applicant's 3D rendering showing the Historic Structure and the proposed rear addition
b. Transitional Elements: “A transitional element shall be required for any addition to a historic structure where the footprint of the addition is 50% or greater than the footprint of the historic structure. On a rear addition, the width of the transitional element shall not exceed two-thirds (2/3) the width of the elevation to which the transitional element is connected.” “The transitional element shall be set in from the corners of the affected historic elevation by a minimum of two feet (2’).” “The depth of the transitional element (i.e., the distance between the affected historic elevation and the addition) shall be a minimum of one-third (1/3) the length of the least wide historic elevation adjacent to the impacted historic elevation.”	Complies: The proposed addition footprint is just over 50% of the footprint of the Historic Structure. The proposed transitional element is 8 feet, 3 inches in width, which is not more than two-thirds of the 12-foot, 5 1/2-inch Historic Structure’s wall it is connected to. The rear addition is set in two feet from the corners of the affected historic elevation. The least wide historic elevation adjacent to the impacted historic elevation is 12 feet in width; therefore, the transitional element must be at least 4 feet in depth. The proposed transitional element is 4 feet in depth on the upper and lower levels.
	 Figure 6: Applicant's plans with staff markup highlighting the transitional element compliance

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The highest point of the transitional element shall be a minimum of two feet (2') lower than the highest ridgeline of the historic structure.	Complies: The highest point of the transitional element is 4 feet 8 inches lower than the highest ridgeline of the historic structure.
	 Figure 7: Applicant's plans showing the distance between the highest point of the transitional element and the roof of the Historic Structure
c. General Compatibility: “The addition shall be a contemporary interpretation of the historic structure’s architecture style. The addition shall not be designed to contrast starkly with the historic structure; an acceptable design shall be compatible in mass, scale, fenestration patterns, and design details. It shall not detract from the Historic District’s or Structure’s historic character.” “Additions shall be subordinate in scale to the primary historic structure. The footprint of an addition shall not exceed 50% of the footprint of the historic structure, including any additions that have achieved historic significance in their own right. If the footprint of the addition approaches or exceeds 50% of the footprint of the historic structure, the mass shall be broken into modules to reflect the mass and scale of those modules seen on the historic structure.” “Additions shall be visually subordinate to historic structures.”	Complies: The proposed rear addition is designed with a simple gabled roof form with vertically oriented siding that reflects a modern interpretation of the Historic Structure. The design is compatible in mass, scale and fenestration patterns, and does not distract from the Historic District or character of the Historic Structure. The rear addition is downhill of the Historic Structure and appears subordinate in scale to the Historic Structure. The footprint of the proposed rear addition is slightly over 50% of the Historic Structure and the massing of the addition is broken into modules between the upper and lower levels to reflect the mass and scale of modules seen on Historic Structure. As viewed from the street and from the side elevation, the proposed addition is visually subordinate to the Historic Structure.

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	 Figure 8: Applicant's 3D Rendering of the Historic Structure and the rear addition as viewed looking south
“Building Components and materials used on additions shall be similar in scale and size to those found on the historic building. Non-historic Materials approved in the Master List of Non-Historic Materials and Finishes on file with the Planning Department may be used on additions.” “Window shapes, patterns and proportions found on the historic building should be reflected in the new addition.” “Windows, doors and other features on a new addition shall be designed to be compatible with the historic structure and surrounding historic sites.”	The Applicant proposes using the following materials: wood siding, board formed concrete and a standing seam metal roof. The proposed glazing on the rear addition is compatible with the solid-to-void ratio of Historic residential structures, and the windows are vertically oriented 2:1.  

8. The proposal requires a Financial Guarantee pursuant to LMC § 15-11-9, to ensure compliance with the conditions and terms of the Historic Preservation Plan and the Conditions of Approval of the HDDR Final Action Letters.

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9. The Development Review Committee reviewed the proposal on March 17, 2026 and requires the following:
 - a. If there will be permanent portions of the retaining wall (i.e. footer, soil nails, etc.) on the neighboring property along the southern property boundary, an easement agreement with the adjacent property is required to be recorded.
 - b. If any grading is proposed on adjacent properties, an Agreement with the neighboring property will be required; if no grading is proposed on adjacent properties, please ensure proposed grading flushes out with existing grade prior to the property line.

Conclusions of Law:

1. The proposal, as conditioned, complies with LMC Chapter 15-2.2 *Historic Residential - 1 (HR-1) District*.
2. The proposal complies LMC Chapter 15-3 *Off-Street Parking*.
3. The proposal, as conditioned, complies with LMC Section 15-13-2 *Regulations For Historic Residential Sites*.

Conditions of Approval:

1. Final building plans and construction details shall reflect substantial compliance with the plans reviewed on July 16, 2026, by the Planning Director, pending design modifications conditioned, and as required for this approval. Any changes, modifications, or deviations from the approved design that have not been approved in advance by the Planning and Building Departments may result in a stop work order.
2. If the Applicant does not obtain a Building Permit within one year of the date of this approval, this HDDR approval will expire unless the Applicant submits a written extension request to the Planning Department prior to the expiration date and the Planning Director approves an extension.
3. The applicant is responsible for notifying the Planning Department prior to making any changes to the approved plans.
4. Any changes, modifications, or deviations from the approved scope of work, shall be submitted in writing for review and approval/denial in accordance with the applicable standards by the Planning Director or designee prior to construction.
5. The property is located outside the Park City Landscaping and Maintenance of Soil Cover Ordinance (Soils Ordinance) and therefore not regulated by the City for mine-related impacts. If the property owner does encounter

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mine waste or mine waste-impacted soils they must handle the material in accordance with State and Federal law.

6. Any areas disturbed during construction surrounding the proposed work shall be brought back to their original state. The Final Grade shall be within four feet of Existing Grade.
7. All outdoor lighting must be down-directed, fully shielded, with bulbs 3,000 degree Kelvin or less. A fully shielded light is installed in such a manner that all light emitted either directly from the bulb, or indirectly by reflection or refraction, is below the horizontal plane through the fixture's lowest light-emitting part. The top and sides of a Fully Shielded fixture are made of completely opaque material such that light only escapes through the bottom of the fixture. Final lighting details shall show compliance with this condition and shall be reviewed by the Planning Staff prior to installation.
8. If the portion of the driveway that encroaches into the City public Right-of-Way is to be heated, an encroachment agreement approved by the Engineering Department shall be executed and recorded at Summit County.
9. If there will be permanent portions of the retaining wall (i.e. footer, soil nails, etc.) on the neighboring property along the southern property boundary, an easement agreement with the adjacent property is required to be recorded prior to Building Permit issuance.
10. If any grading is proposed on adjacent properties, an Agreement with the neighboring property will be required at the time of Building Permit submission; if no grading is proposed on adjacent properties, please ensure proposed grading flushes out with existing grade prior to the property line.
11. City Engineer review and approval of all lot grading, utility installations, public improvements, and drainage plans for compliance with City standards is a condition precedent to Building Permit issuance.
12. The rear deck railing shall reflect railings of Historic Buildings, with vertical balusters and wood or metal material.
13. The Applicant shall provide an updated Water Wise irrigation and Landscape Plan at Building Permit submission, compliant with LMC § 15-5-5(N), Municipal Code of Park City Chapter 11-21, and § 14-1-5. The Applicant shall also provide an existing landscape plan that specifies what Significant Vegetation will be removed. Trees proposed to be removed will be replaced in a manner that mitigates the visual impact of the Structure when viewed cross canyon and from the Street.
14. The plans submitted for a Building Permit shall clearly demonstrate proposed Final Grade shall be within four feet of Existing Grade and the

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natural topography of the site shall be maintained as much as possible and any new retaining walls shall comply with the requirements outlined in LMC § 15-4-2, and shall be no more than four feet in height in the Front Setback and no more than six feet in height in the Rear and Side Setback.

15. Replacement windows on the Historic Structure shall be wood. Windows on the addition shall be wood or aluminum clad wood.
 16. The Applicant shall update the proposed plans, prior to Building Permit submittal, to show all mechanical equipment compliant with LMC § 15-13-2(B)(2) and the Setback requirements. Mechanical equipment may not be on a primary façade, nor on a rooftop, must be screened, and at least three feet away from the Lot lines.
 17. A Financial Guarantee for the approved work to the Significant Historic Site is required to be recorded with Summit County Recorder prior to Building Permit issuance.
- C. 209 Norfolk Avenue – Historic District Design Review** – The Applicant Proposes to Construct a Single-Family Dwelling on a Very Steep Slope in the Historic Residential - 1 Zoning District. PL-26-06955.

Planner III, Lillian Zollinger, presented the Staff Report and explained that this is an HDDR application for 209 Norfolk Avenue. This site is located in the Historic Residential – 1 Zoning District and there is currently a vacant lot. There was a Steep Slope Conditional Use Permit (“SSCUP”) approved on July 8, 2026, by the Planning Commission.

Staff finds the proposed single-family dwelling complies with the Historic Residential – 1 Zoning District requirements. The proposed structure has a reduced building footprint from the maximum allowed as well as a reduced building height and increased setbacks.

Planner Zollinger explained that the proposal complies with the maximum building height of 27 feet and internal building height of 35 feet. There is a horizontal step down on the downhill façade, as required by code. The roof form also complies. In addition, there is compliance with off-street parking regulations and LMC 15-13-8 – Regulations For New Residential Infill Construction (and Non-Historic Residential Sites) in Historic Districts.

Planner Zollinger highlighted some of the Conditions of Approval, including Condition of Approval #18 related to the window well and Condition of Approval #19 related to metal panels. Staff recommends the Planning Director review the HDDR application for 209 Norfolk Avenue, conduct a public hearing, and consider approval based on the Findings of Fact, Conclusions of Law, and Conditions of Approval in the Draft Final Action Letter.

The applicant representative, Jonathan DeGray, found the window well language confusing, because adjustments had been made to the plan and he believed the issue was resolved. There is no window well close to the street, so Condition of Approval #18

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might not be applicable. Director Ward asked about the reflectivity of the metal. Mr. DeGray stated that the material has not been selected at this time, but it will be compliant.

Director Ward opened the public hearing at 12:16 p.m. There were no comments. Director Ward closed the public hearing at 12:16 p.m.

Director Ward mentioned the shared driveway and the access that will be within the right-of-way. She explained that there will be a review of the driveway and any proposed modifications to the adjacent driveway during the Building Permit phase of this process.

MOTION: Director Ward APPROVED the Historic District Design Review application for 209 Norfolk Avenue, based on the following:

Background:

1. 209 Norfolk Avenue is a vacant Lot with Steep Slopes in the Historic Residential – 1 (HR-1) Zoning District. The property is located along Upper Norfolk Avenue, a steep narrow road that splits from Norfolk Avenue due to Steep Slopes to provide access to seven other Lots.
2. The Applicant evaluated access to 209 Norfolk Avenue and the adjacent 213 Norfolk Avenue to minimize impacts to Steep Slopes and proposed:
 - a. Shared access to the properties from Upper Norfolk Avenue.
 - b. Widening the portion of Upper Norfolk from where it splits from Norfolk Avenue to the shared access for 209 and 213 Norfolk Avenue.
 - c. Heating Upper Norfolk Avenue to the northern boundary of 213 Norfolk Avenue.
3. On April 8, 2026, the Planning Commission conducted a site visit and work session to evaluate the shared access and impacts to Steep Slopes for the Single-Family Dwellings (SFDs) and Plat Amendment for 209 and 213 Norfolk Avenue. The Planning Commission expressed support for shared access for the properties because it reduced disturbance to Steep Slopes and complied with the Land Management Code (LMC).
4. On May 13, 2026, the Planning Commission approved the Plat Amendment creating two Lots with shared access: Lot A (213 Norfolk Avenue) is 3,750 square feet and Lot B (209 Norfolk Avenue) is 3,750 square feet.
5. On July 8, 2026, the Planning Commission approved the Steep Slope Conditional Use Permit (SSCUP) for 209 Norfolk Avenue to construct a new SFD.

Findings of Fact:

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1. LMC Chapter 15-2.2 outlines the requirements for SFDs in the HR-1 Zoning District.
2. LMC § 15-2.2-2(A)(1) *Uses* establishes SFDs as an allowed Use in the HR-1 Zoning District.
3. LMC § 15-2.2-3 *Lot and Site Requirements* outlines the HR-1 Zoning District standards:

Requirement	Analysis of Proposal
Lot Size: The minimum Lot Area is 1,875 square feet for a SFD and the maximum Lot Area is 3,750 square feet.	Complies: 209 Norfolk Avenue is 3,750 square feet.
Lot Width: The minimum width of a Lot is 25 feet when measured 15 feet back from the Front Lot Line.	Complies: 209 Norfolk Avenue is 50 feet wide.
Building Footprint: The maximum Building Footprint of any Structure located on a Lot or combination of Lots, not exceeding 18,750 square feet in Lot Area, shall be calculated according to the following formula: $\text{MAXIMUM FP} = (A/2) \times 0.9^{A/1875}$ The maximum Building Footprint for the Lot is 1,518 square feet.	Complies: The proposed Building Footprint is 1,417 square feet, 101 square feet less than allowed.

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Front and Rear Setbacks: For Lots that are up to 75 feet in depth the Front and Rear Setback must be 10 feet each for a combined total of 20 feet.	Complies: The proposed SFD is 12 feet 5 inches from the Front Lot Line and is compliant. The proposed SFD is 13 feet 11 inches from the Rear Lot Line and is compliant. In the Front Setback retaining walls are permitted to be no taller than 4 feet in height from Final Grade pursuant to LMC § 15-4-2. The proposed retaining wall in the Front Setback is no more than 4 feet in height from Final Grade. In the Rear Setback retaining walls are permitted to be no taller than 6 feet in height from Final Grade pursuant to LMC § 15-4-2. The proposed retaining wall in the Rear Setback is 6 feet in height from Final Grade and is compliant. Pursuant to LMC § 15-2.2-3(H) patios not more than 30 inches above Final Grade, not including any required handrail, and located at least one foot from the Rear Lot Line are permitted within the Rear Setback. The proposed patio in the Rear Setback is at grade and is 6 feet 8 inches from the Rear Lot Line and is compliant.
Side Setbacks: The Side Setbacks for a Lot that is 50 feet wide are 5 feet each for a combined total of 10 feet.	Complies: The proposed Structure is set back 7 feet 2 inches from the south side property line. There is a bay window on the south side second story which is 5 feet from the property line and does not extend into the Side Setbacks. The proposed SFD is set back 7 feet 5 inches from the north side property line. The combined total of the two Setbacks is 14 feet 7 inches and is compliant. Pursuant to LMC § 15-2.2-3(J) roof overhangs or eaves projecting not more than 2 feet into the Side Setback on Lots with a minimum required Side Setback of five feet or greater are an allowed exception. The proposed roof eaves do

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	not project more than two feet into the Side Setbacks. In the Side Setback retaining walls are permitted to be no taller than 6 feet in height from Final Grade pursuant to LMC § 15-4-2. The tallest proposed retaining wall in the Side Setback is 6 feet in height from Final Grade and is compliant.
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4. LMC § 15-2.2-5 *Building Height Regulations in the Historic Residential – 1 Zoning District* outlines the required standards:

Building Height: The maximum height from Existing Grade is 27 feet. Final Grade must be within 4 vertical feet of Existing Grade.	Complies as Conditioned: The proposed maximum height from Existing Grade is approximately 24 feet and is 3 feet under the maximum Building Height for the Zoning District. Condition of Approval 4 requires the Final Grade to be within 4 vertical feet of Existing Grade, except for the placement of approved window wells, emergency egress, and a garage entrance pursuant to LMC § 15-2.2-5.
Interior Building Height: A Structure shall have a maximum height of 35 feet measured from the Lowest Floor Plane to the point of the highest wall top plate that supports the ceiling joists or roof rafters.	Complies: The maximum interior height is 34 feet 11 inches.
Stepback: A 10-foot minimum horizontal step in the downhill façade is required unless the First Story is located completely under the finish Grade on all sides of the Structure. The horizontal step shall take place at a maximum height of 23 feet from where the Building Footprint meets the lowest point of existing Grade. Architectural features that provide articulation to the upper story façade setback may encroach into the minimum 10-foot setback but shall be limited to no more than 25% of the width of the building encroaching no more than	Complies: On the north elevation the Structure steps back 14 feet 5 and 1/4 inch at 16 feet 10 and 1/4 inch from Existing Grade. On the south elevation the Structure steps back 10 feet 2 inches where the Building Footprint is 19 feet 1 and 1/4 inch from Existing Grade. There is a bay window that encroaches 2 feet into the stepback area. The proposed bay window provides articulation to the upper story and is 2 feet deep and 8 feet 8 inches wide. The width of the SFD is 35 feet 8 inches. The

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4 feet into the setback, subject to compliance with the Design Guidelines for Historic Sites and Historic Districts.	bay window is 24% the width of the SFD. The encroachment into the setback is compliant with LMC § 15-2.2-5(B).
Roof Form: The roof pitch of a Structure's Contributing Roof Form shall be between seven: twelve (7:12) and twelve: twelve (12:12) and shall occupy a minimum horizontal distance of 20 feet measured from the primary façade to the rear of the building, as viewed from the primary public right-of-way. Secondary Roof Forms may be below the required 7:12 roof pitch and located on the primary façade (such as porches, bay window roofs, etc.).	Complies: The Structure's Contributing Roof Form occupies approximately 26 feet in depth. There is a roof deck that is approximately 20 feet wide. The roof deck is set behind a gable roof form and is not visible from the public right-of-way.

5. LMC Chapter 15-3 outlines *Off-Street Parking Requirements*, shown in the Table below:

Requirement	Analysis of Proposal
Driveway Width: 10 Feet	Complies: The proposed driveway is 10 feet wide. Pursuant to LMC § 15-3-8 shared access in the Historic Zoning Districts is encouraged to minimize the impact of vehicles on the Streetscape. The Applicant proposes a shared access and paved area within the Front Yard. This access has been reviewed by the City Engineer as well as the Planning Commission as part of the Plat Amendment. The proposed paved area helps to mitigate impacts to Steep Slopes.
SFD Single Car Garages: Minimum 11 feet by 20 feet	Complies: The proposed garage is 21 feet 5 inches long by 11 feet wide.
Two Parking Spaces: Exterior 9 feet by 18 feet; interior 11 feet by 20 feet.	Complies: Two tandem Parking Spaces are provided, one in the garage, and one in the Driveway. Both spaces comply with dimension requirements for Parking Spaces.

6. The proposal is analyzed for compliance with LMC § 15-13-8 *Regulations For New Residential Infill Construction (and Non-Historic Residential Sites) In Historic Districts*:

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LMC Requirement	Analysis of Proposal
B. Specific Regulations 1. Site	
<i>a. Building Setbacks & Orientation</i>	
(1) Lot coverage of new buildings shall be compatible with the surrounding Historic Sites.	Complies: The proposed Structure meets the Zoning District requirements for Building Setbacks and maximum Building Footprint and is compatible with surrounding Historic Sites.
(2) Structures shall be located on a site in a way that follows the predominant pattern of historic buildings along the street, maintaining traditional setbacks, orientation of entrances, alignment along the street, and open space.	Complies: The proposed Structure has a front entrance that is oriented towards the street. The proposed Structure is compliant with the HR-1 Zoning District Lot and Site requirements.
(3) The historic town grid shall be preserved by retaining the formal street pattern, maintaining historic lot sizes rather than aggregating the historic-sized lots into larger lots, and preserving the regular rhythm and pattern of lot sizes in a way that reinforces the perception of the grid.	Complies: The Lot size is compliant with the maximum Lot size for the HR-1 Zoning District and preserves the regular rhythm and pattern of Lot sizes in the Historic District.
(4) A new building shall be oriented parallel to the site's lot lines, similar to that of historic building orientations. When similar front yard setbacks are characteristic of the Streetscape or character area, a new building's façade shall be aligned with neighboring buildings' facades. When a variety of building setbacks is part of the historic context, a new building shall be located within the range of setbacks seen historically.	Complies: The proposed Structure is oriented parallel to the site's Lot Lines with the Front Facade aligned with the neighboring Building's Facades facing towards the primary public right-of-way.
(5) New buildings shall have a clearly defined primary entrance oriented toward the street consistent with historic buildings within the Streetscape or character area. Entrances on secondary or tertiary facades of a building shall be clearly	Complies: The proposed Structure's primary entrance is oriented towards the Street and is consistent with Historic Buildings within the character area.

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subordinate to the entrance on the primary façade.	
(6) Side yard setbacks similar to those seen historically within the Streetscape or character area shall be established in order to reinforce the pattern of built and open space. The historic rhythm of building spacing in the immediate Streetscape or character area shall be especially considered.	Complies: The proposed Structure has Side Setbacks compliant with the regulations of the HR-1 Zoning District.
<i>b. Topography & Grading</i>	
(1) The natural topography and original grading of a site shall be maintained when feasible.	Complies: The applicant proposes maintaining the Natural Grade of the site, which slopes up toward the rear of the site.
(2) Building and site design shall respond to natural features. New infill residential buildings shall step down or up to follow the existing contours of steep slopes.	Complies: The proposed Building design steps up with the hillside to follow the existing contour of the site.
(3) A new site's natural slope shall be respected in a new building design in order to minimize cuts into hillsides, minimize fill, and minimize retaining walls.	Complies: The proposed Building design follows the natural Slope of the site, which slopes uphill toward the rear of the site.
<i>c. Landscaping and Vegetation</i>	
(1) Existing landscape features that contribute to the character of the Historic District and existing landscape features that provide environmental sustainability benefits shall be respected and maintained.	Complies as Conditioned: The Applicant proposes to install landscaping on the Site to include trees and shrubs to replace the vegetation on Site proposed to be removed. Condition of Approval 5 requires that the Applicant replace any Significant Vegetation removed in an equivalent manner on site.
(2) Established on-site native plantings shall be maintained. During construction, established vegetation shall be protected to avoid damage. Damaged, aged, or diseased trees shall be replaced as necessary. Vegetation that may encroach upon or damage a new building may be removed, but shall be replaced with similar vegetation near the original location.	Complies as Conditioned: The Applicant submitted a landscape plan that replaces the vegetation proposed to be removed. Condition of Approval 5 requires that the Applicant replace any Significant Vegetation removed in an equivalent manner on Site.

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(3) A detailed landscape plan, particularly for areas viewable from the primary public right-of-way, which respects the manner and materials traditionally used in the Historic Districts, shall be provided. When planning for the long-term sustainability of a landscape system, all landscape relationships on the site, including those between plantings and between the site and its structure(s) shall be considered.	Complies as Conditioned: The Applicant has not proposed detailed landscaping plans. Condition of Approval 5 requires the Applicant to submit a detailed landscaping and irrigation plan demonstrating compliance with LMC Section 15-5-5(N) <i>Water Wise Landscaping</i> to the Planning Department for review and approval prior to Building Permit issuance.
(4) Landscape plans shall balance water efficient irrigation methods and drought tolerant and native plant material with existing plant material and site features that contribute to the character of the Historic District.	Complies as Conditioned: Condition of Approval 7 requires the Applicant to submit a detailed landscaping and irrigation plan demonstrating compliance with LMC Section 15-5-5(N) <i>Water Wise Landscaping</i> to the Planning Department for review and approval prior to Building Permit issuance.
(5) Use to advantage storm water management features such as gutters, downspouts, site topography, and vegetation that can improve the soil water retention and permeability of a site.	Complies as Conditioned: The Applicant has not submitted detailed storm water/drainage mitigation plans. Condition of Approval 8 requires the Applicant to submit detailed storm water and drainage mitigation plans to the Engineering Department for review and approval prior to Building Permit issuance.
(6) The use of Water Wise Landscaping or permaculture strategies for landscape design shall be considered in order to maximize water conservation. Where watering systems are necessary, systems that minimize water loss, such as drip irrigation, shall be used. These systems shall be designed to minimize their appearance from areas viewable from the primary public right-of-way.	Complies as Conditioned: Condition of Approval 7 requires the Applicant to submit a detailed landscaping and irrigation plan demonstrating compliance with LMC Section 15-5-5(N) <i>Water Wise Landscaping</i> to the Planning Department for review and approval prior to Building Permit issuance.
<i>d. Retaining Walls</i>	
1. New retaining walls shall be consistent with historic retaining walls in terms of mass, scale, design, materials, and scale of materials. Simple board-formed concrete, stacked stone and other	Complies: The Applicant proposes a series of retaining walls that are terraced as the site slopes up toward the rear. The tallest wall is 6 feet in height, is located along the Rear Lot Line, and is screened

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traditional materials are recommended over concrete block, asphalt, or other modern concrete treatments. Alternative materials may be considered but they shall convey the general scale, texture, and character of historic masonry walls.	from view by the SFD. The proposed walls are board-formed concrete and are simple in scale.
<i>e. Fences</i>	The Applicant does not propose any new Fencing as part of this application.
<i>f. Paths, Steps, Handrails, and Railings (Not Associated with Porches)</i>	The Applicant does not propose any new paths, or steps with this proposal.
<i>g. Gazebos, Pergolas, and other Shade Structures</i>	The Applicant does not propose any gazebos, pergolas or other shade Structures as part of this application.
<i>h. Parking Areas and Driveways</i>	
1. Off-street parking areas shall be located within the rear yard and beyond the rear wall plane of the primary structure when feasible. When locating a parking area in a rear yard is not physically possible, the off street parking area and associated vehicles should be visually buffered from adjacent properties and the primary public right-of-way. Providing a driveway along the side yard of a site shall be considered when feasible.	Complies: The Applicant proposes a single car garage with tandem parking which will visually minimize the impact of vehicles on the Streetscape.
2. Parking areas and vehicular access shall be visually subordinate to character-defining Streetscape or character area elements.	Complies: The new driveway is at grade and the entry to the SFD is proud of the proposed garage.
3. The visual impact of on-site parking shall be minimized by incorporating landscape treatments for driveways, walkways, paths, and structures in comprehensive, complimentary and integrated design.	Complies: The Applicant proposes a driveway leading to a single car garage that is visually subordinate the Structure.
4. Landscape separations shall be provided between parking areas, drives, service areas, and public use areas, like walkways, plazas, and vehicular access points. When plant materials are used for	Complies: The Applicant does not propose multiple parking areas or driveways. The Applicant proposes landscaping adjacent to the proposed driveway.

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screening, they shall be designed to function year-round.	
5. When locating new off-street parking areas and driveways, the existing topography of a site and integral site features shall be minimally impacted.	Complies: The new driveway will not significantly impact the topography of the Building or any Significant Site features.
6. When locating new off-street parking areas and driveways, the existing topography of a building site and significant site features shall be minimally impacted.	Complies: The new driveway will not significantly impact the topography of the Building or any Significant Site features.
7. For an approved two-car garage, driveway access to the two-car garage may be provided by one maximum 10-foot-wide curb cut and one maximum 10-foot-wide driveway is allowed to access each of the two garages. The two driveways: a. Shall be separated with at least 18 inches of landscaping; and b. Shall include a vertical element at least 18 inches in height and width, with length approved by the Engineering Department depending on Right-of-Way encroachments, turning radii, and Sight Distance Triangle.	Complies: The proposed driveway is 10 feet wide. Pursuant to LMC § 15-3-8 shared access in the Historic Zoning Districts is encouraged to minimize the impact of vehicles on the Streetscape. The Applicant proposes a shared access and paved area within the Front Yard. This access has been reviewed by the City Engineer as well as the Planning Commission as part of the Plat Amendment. The proposed paved area helps to mitigate impacts to Steep Slopes.
8. Textured and poured paving materials other than smooth concrete shall be considered for driveways that are visible from the primary public right-of-way. Permeable paving may not be appropriate for all driveways and parking areas.	Complies: The Applicant proposes concrete for the driveway.
10. Snow storage from driveways shall be provided on site.	Complies as Conditioned: The Applicant proposes a heated driveway to mitigate snow. Condition of Approval 9 requires the Applicant to obtain an Encroachment Agreement from the Engineering Department for the heated driveway system.

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2. Primary Structures	
<i>a. Mass, Scale & Height</i>	
(1) The size and mass of a new residential infill building in relation to open spaces shall be visually compatible with adjacent historic buildings and historic structures in the surrounding Streetscape or character area.	Complies: The new SFD complies with the maximum Building Footprint requirements for the HR-1 Zoning District as outlined above. The size and massing of the proposed Building on the Site does not differ significantly from other Sites in the character area. The Applicant does not propose to maximize the Building Height, Setbacks, or Building Footprint.
(2) Buildings that utilize traditional building forms - rectangular, cross-wing, pyramid-roof - are encouraged.	Complies: The proposed SFD design utilizes rectangular Building forms and gable roofs.
(3) Historic height, width, and depth proportions that are important in creating compatible infill and maintaining the historic mass and scale of the Streetscape or character area.	Complies: The proposed SFD design complies with the Lot and Site and Building Height requirements for the HR-1 Zoning District.
(4) Building features such as upper story windows, porches, and first floor bays shall be aligned with similar historic building features in the Streetscape or character area. Generally, these elements should align in relation to the topography allowing these elements to “step up” or “step down” the block.	Complies: The larger massing of the new SFD is stepped back and located at the rear of the Lot such that the massing and building design aligns with the natural topography of the site, which slopes uphill toward the rear of the Lot.
(5) The perceived scale of new buildings shall respect the scale established by historic buildings in the character zone. Abrupt change of scale in the character zone is inappropriate, especially when a new, larger building would directly abut smaller historic buildings.	Complies: The proposed SFD respects the scale of the Historic character and does not represent any abrupt changes in scale.
(6) A larger building shall be divided into ‘modules’ that reflect the mass, scale, proportions, and size of historic buildings within the Streetscape or character area. Modules shall be clearly expressed throughout the entire building and a single form shall remain the dominant element so	Complies: The SFD includes distinct modules to break up massing.

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the overall mass does not become too fragmented. To minimize the scale perceived from the primary public right-of-way, stepping down the mass of a larger building shall be considered.	
(7) Larger-scaled projects shall also include variations in roof height in order to break up the form, mass and scale of the overall structure.	Complies: The proposed SFD design includes variations in roof Height.
(8) Buildings constructed on lots greater than 25 feet wide shall be designed so that the facades visible from the primary public right-of-way reinforce the rhythm along the street in terms of traditional building width, depth, and patterns within the façade.	Complies: The proposal will reinforce visual unity of the Streetscape because a SFD will be constructed on a Lot that would otherwise be vacant.
(9) Regardless of lot frontage, the primary façade shall be compatible with the width of surrounding historic buildings. The greater width of a building shall be set back significantly from the plane of the primary façade. The width of a new building shall not appear to be visibly greater than historic buildings in the Streetscape or character area. Modules on a primary façade should generally not exceed eleven (11) feet to twenty-five (25) feet in width.	Complies: The proposal complies with the Lot and Site Requirements of the HR-1 Zoning District.
(10) When the overall length of a new structure is greater than seen historically, the design shall employ methods—changes in wall plane, roof heights, use of modules, etc.—to diminish the visual impact of the overall building mass, form and scale.	Complies: The length of the new SFD is approximately 50 feet. The SFD design steps back as the lot slopes uphill to minimize the visual impact of the overall building mass, form and scale.
(11) New buildings shall not be significantly taller or shorter than adjacent buildings with special consideration given to surrounding historic buildings.	Complies: The proposed SFD is not significantly taller or shorter than adjacent Buildings.
(12) Primary facades shall be limited to one to two stories in height. Generally, historic residential facades are about 15 to	Complies: The primary façade of the SFD is two stories in height.

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20 feet in height from top of the foundation to the top of the gable.	
(13) Variation in building height may be considered regarding topography. Hillsides form a backdrop for taller buildings, minimizing their perceived height; therefore, it may be appropriate for taller building masses to be located on steeper slopes. The facades of taller buildings shall still express a human scale.	Complies: The SFD design follows the topography of the upward slope toward the rear of the Lot.
(14) Beyond the primary façade, the average perceived scale of one-story to two-story buildings shall be maintained. As a means of minimizing the perceived mass of a project, breaking up the height of the building into a set of modules or components that relate to the height of the buildings along the street front shall be considered.	Complies: The SFD design follows the topography of the upward slope toward the rear of the Lot.
(15) Secondary and tertiary elevations may be taller than the established norm when the change in scale cannot be perceived from designated vantage points including the cross-canyon view. This may be appropriate when taller portions will not be seen from a primary public right-of-way.	Complies: The SFD design follows the topography of the upward slope toward the rear of the Lot.
(16) Taller portions of buildings shall be constructed so as to minimize obstruction of sunlight to adjacent yards and windows.	Complies: The proposed SFD design leaves sufficient space between adjacent Properties such that sunlight to adjacent yards and windows will not be obstructed.
<i>b. Foundation</i>	
(1) Foundation materials shall be simple in form and minimally visible above grade when viewed from the primary public right-of-way. Acceptable foundation materials may include stone and concrete, wood lattice and vertical boards. Distinction between foundation and wall material shall be clearly defined. Clapboard siding shall not extend to the ground.	Complies: The proposed foundation material is concrete and is minimally visible when viewed from the primary public right-of-way.

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(2) A site shall be returned to original grade following construction of a foundation. When original grade cannot be achieved, no more than eight inches (8") of the new foundation shall be visible above Final Grade on the primary façade and no more than two feet (2) on secondary and tertiary facades.	Complies as Conditioned: Condition of Approval 10 requires that the proposed foundation is not more than 8" visible on the primary facade, and 2 feet visible on the secondary and tertiary facades.
(3) A site shall be re-graded so as to blend with the grade of adjacent sites and not create the need for incompatible retaining walls.	Complies as Conditioned: Condition of Approval 10 requires that the Site shall be re-graded to blend with the grade of adjacent Sites and not create the need for incompatible retaining walls.
(4) A site shall be re-graded so all water drains away from the structure and does not enter the foundation.	Complies as Conditioned: Condition of Approval 10 requires that the Site shall be re-graded so all water drains away from the Structure and does not enter the foundation.
(5) Window or egress wells, when needed, shall not be located on the primary facade. Window or egress wells shall be located beyond the midpoint of the secondary facades, on the tertiary elevation, or in a location that is not visible from the primary public right-of-way.	Complies: The Applicant proposes two window wells for egress and light. One proposed well on the north elevation is located beyond the midpoint of the Structure and is minimally visible from the primary public right of way. The other window well is set closer to Upper Norfolk Avenue and Condition of Approval 18 requires that the Applicant remove the window well prior to Building Permit submittal.
<i>c. Doors</i>	
(1) The historic pattern of principal doorways along the street shall be maintained. All buildings that face the street shall have a well-defined primary entrance.	Complies: The proposed SFD design includes a well-defined primary entrance fronting Norfolk Avenue.
(2) New doors shall be similar in location, size, and material to those seen traditionally in the Historic District. Doors shall be compatible with the style of both the new building and historical buildings in the Historic District.	Complies: The Applicant proposes wood for all exterior doors.

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(3) Doors shall be designed and finished with trim elements similar to those used historically.	Complies: The Applicant proposes wood for all exterior doors.
<i>d. Windows</i>	
(1) Ratios of solid-to-void that are compatible with surrounding historic buildings shall be used. Large expanses of glazing are inappropriate on residential structures. Large glass surfaces shall be divided into smaller windows that are in scale with those seen historically. To maximize views, non-historic window patterns may be considered on tertiary facades; however, the overall ratio of solid-to-glass shall still be respected.	Complies: The solid-to-void ratio is well balanced, and the amount of glazing is appropriate on each side of the Structure.
(2) Windows shall be historic size and shall relate to the human scale of the Historic District. Windows shall be proportional to the scale and style of the building and shall be compatible with the historical buildings in the Historic District.	Complies: The proposed windows are proportional to the scale and style of the Structure and are compatible with Historic Structure in the Historic District.
(3) The placement and grouping of windows shall be similar to those seen historically.	Complies: The proposed windows are grouped together and there are no large expanses of glass proposed.
(4) Windows with vertical emphasis are encouraged. The general rule is the height shall be twice the dimension of the width (commonly referred to as a 2:1 ratio.) Double-hung, vertically proportioned windows similar to those used historically are particularly encouraged. Windows with traditional depth and trim are preferred.	Complies: The windows have a vertical emphasis and follow the traditional 2:1 ratio of dimensions.
(5) The number of different window sizes and styles on a building or structure shall be limited.	Complies: The windows are limited in design types, similar in style.
(6) Wood or metal windows similar to those used historically are preferred but aluminum-clad wood windows are also appropriate. Vinyl and aluminum windows are inappropriate.	Complies: The proposed windows are to be aluminum clad wood in material.

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(7) New glazing shall match the appearance of historic glazing and/or shall be clear. Metallic, frosted, tinted, stained, textured, and reflective finishes are generally inappropriate for glazing on the primary façade.	Complies: The proposed windows are clear in their glazing.
(8) Window muntins shall be true divided lights or simulated divided lights on both sides of the glass. Snap-in muntins are inappropriate.	Complies: The Applicant does not propose any muntins.
<i>e. Roofs</i>	
(1) Roofs of new residential infill buildings shall be visually compatible with roof shapes and orientation of surrounding Historic Sites and adjacent buildings that contribute to the character of the Historic District. Sloping roof forms, such as gable, hip, and shed, should be the dominant roof shapes. Roofs composed of a combination of roof planes, but simple in form, are also encouraged. Roofs shall be in scale with those on historic structures.	Complies: The dominant Roof Forms at the site are sloping and are visually compatible with surrounding Historic Sites and non-Historic sites in the character area. The primary Roof Form that is visible from the right-of-way is a gable roof form.
(2) Roof pitch shall be consistent with the style of architecture chosen for the structure and with adjacent buildings that contribute to the character of the Historic District, with special consideration given to Historic Sites.	Complies: The dominant Roof Forms on the Structure are gable roof forms and are visually compatible with surrounding Historic Sites and non-Historic sites in the character area.
(3) The alignment that is created by similar heights of primary roofs and porches among historic buildings shall be maintained. This similarity of heights in building features contributes to the visual continuity along the Streetscape or character area.	Complies: The proposed SFD complies with building height requirements of the HR-1 District and is not significantly taller or shorter than other Buildings within the Streetscape.
(4) Roofs shall be designed to minimize snow shedding onto adjacent properties and/or pedestrian paths. Crickets, saddles, or other snow-guard devices shall be placed so they do not significantly alter the form of the roof as seen from the primary public right-of-way.	Complies as Conditioned: Condition of Approval 11 requires that roofs be designed to minimize snow shedding onto adjacent properties. The Applicant does not propose any snow-guard devices.

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(5) New roof features, such as photovoltaic panels (solar panels), skylights, ventilators, and mechanical or communication equipment shall be visually minimized from the primary public right-of-way so as not to compromise the architectural character of the structure. Roof-mounted features like photovoltaic panels (solar panels) and skylights should be installed parallel to the roof plane when feasible.	Complies: The Applicant does not propose solar panels, skylights, ventilators, or mechanical equipment on the roof.
(6) Roof materials should appear similar to those seen historically. Asphalt shingles may be considered. Metal sheeting or standing seam metal roofs with a baked-on paint finish and galvanized or rusted steel sheeting are generally appropriate. Roofs shall have matte finishes to minimize glare. Roof colors shall be neutral and muted and materials shall not be reflective.	Complies: The Applicant proposes a non-reflective standing seam metal roof.
(7) Overhanging eaves, use of bargeboards, soffits, fascia boards, brackets, and boxed eave returns that are consistent with the style of the architecture of the new building and that are compatible with surrounding buildings shall be incorporated.	Complies: The Applicant proposes a standing seam metal roof.
<i>f. Dormers</i>	The Applicant does not propose any dormers as part of this Application.
<i>g. Gutters and Downspouts</i>	
(1) Downspouts shall be located away from architectural features and shall be visually minimized when viewed from the primary public right-of-way.	Complies: Downspouts are located away from architectural features and are visually minimized when viewed from the primary public right of way.
<i>h. Chimneys and Stovepipes</i>	The Applicant does not propose any chimneys.
<i>i. Porches</i>	
(1) Porches shall be used to define front entrances. Porches typically cover the entrance, and usually extend partially or	Complies: The Applicant proposes a second story porch that is 5 feet 6 inches

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fully across the main façade. Over-scaled, monumental and under-scaled entries shall be avoided.	deep and is set under the main roofline to minimize the impact on the Streetscape.
(2) Porches on primary and secondary facades shall be compatible with a building's style and shall respect the scale and proportions found on historic buildings.	Complies: The second story porch is small in scale.
(3) The height of porch decks shall be similar to those found on historic building(s) in the Historic District.	The Applicant does not propose a porch deck.
(4) Locate porches on new infill construction in a way that follows the predominant pattern of historic porches along the street, maintaining traditional setbacks, orientation of entrances, and alignment along the Streetscape or character area to reinforce the visual rhythm of the buildings.	Complies: The proposed porch is small in scale and is set under the main roofline to minimize the impact on the Streetscape.
(5) The height of porch decks shall be similar to those found on historic building(s) within the Streetscape or character area.	The Applicant does not propose a porch deck.
(6) Porch columns and railings shall be simple in design and utilize square or rectangular shapes. If balusters are used, they should be no more than two inches square. Columns should be a minimum of four inches and a maximum of eight inches square.	Complies: The proposed railings are metal and are simple in form and design.
<i>j. Architectural Features</i>	
(1) Simple ornamental trim and decoration is in character with historic architectural ornamentation and is encouraged. Traditional locations for architectural ornamentation are porches and eaves. Other details, like eave depth, mullions, corner boards, and brackets, that lend character to historic buildings shall be considered.	Complies: The overall proposed design and materials are simple and compatible with the Historic District. The applicant proposes cedar horizontal board and batten siding, a non-reflective standing seam metal roof, and wood clad aluminum windows.

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3. Mechanical and Utility Systems and Service Equipment	
a. Mechanical equipment and utilities, including heating and air conditioning units, meters, and exposed pipes, shall be located on the tertiary façade or another inconspicuous location. If located on a secondary façade, it shall be screened from view by incorporating it into the appearance as an element of the design.	Complies as Conditioned: Condition of Approval 12 requires that all mechanical equipment be fully Screened from adjacent Properties.
b. Ground-level equipment shall be screened from view using landscape elements such as fences, low stone walls, or perennial plant materials.	Complies as Conditioned: Condition of Approval 12 requires that all mechanical equipment be fully Screened from adjacent Properties.
c. Low-profile rooftop mechanical units and elevator penthouses that are not visible from the primary public right-of-way shall be used. When this is not possible, rooftop equipment shall be set back or screened from all views. Placement of rooftop equipment shall be sensitive to views from upper floors or neighboring buildings.	Complies: The Applicant does not propose any rooftop mechanical equipment.
d. New communications equipment such as satellite dishes or antennae shall be visually minimized when viewed from the primary public right-of-way.	Complies: The Applicant does not propose any new communication equipment.
e. Service equipment and trash containers shall be screened. Solid wood or masonry partitions or hedges shall be used to enclose trash areas.	Complies: The Applicant does not propose any service equipment or trash containers.
4. Materials	
a. Building materials shall be compatible in scale, proportion, texture, finish and color to materials used on Historic Structures in the Historic District. The dimensions of masonry units, wood siding, and other building materials shall be similar to those used historically.	Complies: The Applicant proposes cedar siding as the primary building material. The Applicant proposes using metal siding to provide architectural variation.
b. The primary siding material for new structures shall appear similar to those on	Complies: The Applicant proposes cedar siding as the primary building material.

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historic structures in the Streetscape or character area. Historically, the most common material on primary structures was painted horizontal lap siding with a reveal between 6 to 8 inches. Secondary structures such as barns and sheds typically had siding of unpainted wood (horizontal lap or vertical board and batten) or corrugated metal panels.	The Applicant proposes placing the siding with a vertical emphasis. The metal is limited on each façade.
c. Building materials shall be applied in the manner similar to that used historically. Typically, a 'hierarchy' of building materials should be used, with heavier, more durable materials for foundations and more refined materials above foundations. Building materials, especially masonry, shall be used in the manner they were used historically.	Complies: The proposed materials follow a hierarchy with the concrete foundation located at the bottom of the Structure.
d. New, non-historic building Materials such as various types of metal and synthetic building materials, such as fiber cement or composite siding, shingles, and trim may be considered if approved in the Master List of Non-Historic Materials and Finishes on file with the Planning Department. Vinyl and aluminum siding are prohibited in the Historic District, unless otherwise specified in the Master List.	Complies as Conditioned: The Applicant proposes to use metal panels to provide architectural variation to the façade. The Materials Advisory Committee has advised that metal be allowed as architectural variation on new residential infill so long as it is matte and covers no more than 25% of the façade. The Applicant proposes a limited amount of metal on each façade. Condition of Approval 19 requires that the metal be matte and have a minimum gauge of 0.19 inches.
5. Paint and Color	
a. Paint color is not regulated by the Regulations.	
b. Original materials such as brick and stone that was historically left unpainted shall not be painted.	Complies: The Applicant does not propose to paint brick or stone.
c. Wood siding that is not painted shall be finished with a durable stain or treatment that complements and does not distract	Complies: The Applicant proposes painted wood siding.

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from adjacent Historic Structures or the character area. Refer to the Master List of Non-Historic Materials and Finishes for compatible finishes and treatments.	
d. Rustic, unfinished wood siding is generally not appropriate on houses, but may be appropriate on accessory structures or additions to historic buildings. A transparent or translucent weather-protective finish shall be applied to wood surfaces that were not historically painted.	Complies: The Applicant does not propose any unfinished wood siding.
e. Low-VOC (volatile organic compound) paints and finishes should be used when possible.	Complies as Conditioned: Condition of Approval 13 requires that low-VOC (volatile organic compound) paints and finishes be used when possible.
6. Garages	
<i>Attached Garages</i>	
1. A single-vehicle garage door not greater than 9 feet wide by 9 feet high shall be used to access a garage addition.	Complies: The proposed garage door is no more than 9 feet by 9 feet.
2. Single car wide tandem garages are recommended. Side-by-side parking configurations are strongly discouraged; if used, they shall be visually minimized when viewed from the primary public right-of-way.	Complies: The proposed garage is a single car wide; the Applicant proposes Tandem Parking in the driveway.
3. Garages featuring a side-by-side parking configuration shall maintain a 2 foot horizontal offset in the front wall plane.	Complies: The Applicant does not propose a side-by-side parking configuration.
4. Garages shall be subordinate to the pedestrian entrance of the house. Where excavation is required for access to the garage, the pedestrian entrance should still be clearly articulated. When excavation is not required, the pedestrian entrance shall be proud of the garage wall plane.	Complies: The proposed garage door is set back from the pedestrian entrance. The pedestrian entrance is articulated by being proud of the garage.
7. Decks	The Applicant does not propose any Decks.

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<i>Balcony and Roof Decks</i>	
a. New balconies and roof decks shall be visually subordinate to the new building and shall be minimally visible from the primary public right-of-way.	Complies: The Applicant proposes one rooftop Deck that is set back on the front façade. The gable roof form of the primary façade screens the rooftop deck from the primary public right of way.
b. A new balcony shall be simple in design and compatible with the character of the Historic District. Simple wood and metal designs are appropriate for residential structures. Heavy timber and plastics are inappropriate materials.	Complies: The proposed Rooftop Deck is simple in material and design.
<i>New Accessory Structures</i>	The Applicant does not propose any Accessory Structures.
<i>Additions to Existing Non-Historic Structures</i>	The Applicant proposes the construction of a new SFD and does not include an addition of an existing Non-Historic Structure.
<i>Reconstruction of Non-Surviving Structures</i>	The Applicant does not propose reconstructing any non-surviving structures. There is no evidence of any non-surviving Historic Structure at the Site.

7. The Development Review Committee reviewed the proposal on August 20, 2024, and June 30, 2026, and requires Conditions of Approval, listed below.
8. Staff published notice on the City's website and the Utah Public Notice website and posted notice to the property on July 1, 2026. Staff mailed courtesy notice to property owners within 100 feet on July 1, 2026. The Park Record published courtesy notice on July 1, 2026.

Conclusions of Law:

1. The proposed SFD, as conditioned, complies with LMC Chapter 15-2.2 *Historic Residential – 1 District*.
2. The proposed SFD complies with LMC Chapter 15-3 *Off-Street Parking*.
3. The proposal, as conditioned, complies with LMC § 15-13-8 *Regulations for New Residential Infill Construction (and Non-Historic Residential Sites) In Historic Districts*.

Conditions of Approval:

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1. Final building plans and construction details shall reflect substantial compliance with the plans reviewed July 16, 2026, by the Planning Director, with required modifications in the Conditions of Approval of this Final Action Letter.
2. The Applicant is responsible for notifying the Planning Department prior to making any changes to the approved plans; any changes, modifications, or deviations from the approved scope of work shall be submitted in writing for review and approval/denial in accordance with the applicable standards by the Planning Director or designee prior to construction.
3. Any changes, modifications, or deviations from the approved design that have not been approved in advance by the Planning and Building Departments may result in a stop work order.
4. The Applicant shall update Final Grade to be within 4 vertical feet of Existing Grade, except for the placement of approved window wells, emergency egress, and a garage entrance.
5. The Applicant shall revegetate and landscape the site to provide screening of retaining walls, as well as erosion mitigation. The Applicant shall replace any Significant Vegetation removed in an equivalent manner on Site.
6. If the Applicant does not obtain a Building Permit within one year of the date of this approval, this HDDR approval will expire unless the Applicant submits a written extension request to the Planning Department prior to the expiration date and the Planning Director approves an extension.
7. The Applicant shall submit a detailed landscaping and irrigation plan demonstrating compliance with LMC Section 15-5-5(N) to the Planning Department for review and approval prior to Building Permit issuance.
8. The Applicant shall submit detailed storm water and drainage mitigation plans to the Engineering Department for review and approval prior to Building Permit issuance.
9. The Applicant shall obtain an Encroachment Agreement from the Engineering Department for the heated driveway system.
10. The proposed foundation shall be not more than 8" visible on the primary facade, and 2 feet visible on the secondary and tertiary facades. The Site shall be re-graded to blend with the grade of adjacent Sites and not create the need for incompatible retaining walls. The site shall be graded in a way that water drains away from the Structure and does not enter the foundation.
11. The roof shall be designed to minimize snow shedding onto adjacent properties.

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12. All mechanical equipment shall be fully Screened from view.
 13. Low-VOC (volatile organic compound) paints and finishes shall be used when possible.
 14. Snow Shed and Access Agreements shall be obtained with the neighboring properties where the homes are 5 feet from the property line if not already in place.
 15. A shoring plan will be required to be approved prior to the issuance of a Building Permit.
 16. No portion of the retaining wall (including but not limited to footings or pins) may cross into neighboring properties without an easement from the affected property.
 17. Stormwater runoff must be retained on site in accordance with Municipal Code of Park City § 13-5-3 Long-Term Storm Water Management.
 18. The Applicant shall remove the window well closest to Norfolk Avenue prior to Building Permit submittal.
 19. The metal panels shall be matte and shall have a minimum gauge of 0.19 inches.
- D. 213 Norfolk Avenue – Historic District Design Review** – The Applicant Proposes to Construct a Single-Family Dwelling on a Very Steep Slope in the Historic Residential – 1 Zoning District. PL-26-06957.

Planner Zollinger presented the Staff Report and explained that this is an HDDR application for 213 Norfolk Avenue. This site is located in the Historic Residential – 1 Zoning District and it is currently a vacant lot. There is a new single-family dwelling proposed to be constructed on the site. There was an SSCUP approved by the Planning Commission on July 8, 2026, to construct a single-family dwelling. This proposal complies with the Historic Residential – 1 Zoning District requirements. The single-family dwelling has a reduced building footprint and building height with increased setbacks.

This proposal complies the maximum building height and internal building height. There is a horizontal step on the downhill façade, as required by code, and the roof form also complies. In addition, the single-family dwelling complies with the off-street parking requirements. The design complies with LMC 15-13-8 – Regulations For New Residential Infill Construction (and Non-Historic Residential Sites) in Historic Districts. Planner Zollinger highlighted Condition of Approval #18 and Condition of Approval #19.

Staff recommends the Planning Director review the HDDR application for 213 Norfolk Avenue, conduct a public hearing, and consider approval based on the Findings of Fact, Conclusions of Law, and Conditions of Approval in the Draft Final Action Letter.

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Director Ward opened the public hearing at 12:19 p.m. There were no comments. Director Ward closed the public hearing at 12:19 p.m.

MOTION: Director Ward APPROVED the Historic District Design Review application for 213 Norfolk Avenue, based on the following:

Background:

1. 213 Norfolk Avenue is a vacant Lot with Steep Slopes in the Historic Residential – 1 (HR-1) Zoning District. The property is located along Upper Norfolk Avenue, a steep narrow road that splits from Norfolk Avenue due to Steep Slopes to provide access to seven other Lots.
2. The Applicant evaluated access to 209 Norfolk Avenue and the adjacent 213 Norfolk Avenue to minimize impacts to Steep Slopes and proposed:
 - a. Shared access to the properties from Upper Norfolk Avenue.
 - b. Widening the portion of Upper Norfolk from where it splits from Norfolk Avenue to the shared access for 209 and 213 Norfolk Avenue.
 - c. Heating Upper Norfolk Avenue to the northern boundary of 213 Norfolk Avenue.
3. On April 8, 2026, the Planning Commission conducted a site visit and work session to evaluate the shared access and impacts to Steep Slopes for the Single-Family Dwellings (SFDs) and Plat Amendment for 209 and 213 Norfolk Avenue. The Planning Commission expressed support for shared access for the properties because it reduced disturbance to Steep Slopes and complied with Land Management Code (LMC).
4. On May 13, 2026, the Planning Commission approved the Plat Amendment creating two Lots with shared access: Lot A (213 Norfolk Avenue) is 3,750 square feet and Lot B (209 Norfolk Avenue) is 3,750 square feet.
5. On July 8, 2026 the Planning Commission approved the Steep Slope Conditional Use Permit (SSCUP) for 209 Norfolk Avenue to construct a new Single-Family Dwelling (SFD).

Findings of Fact:

1. LMC Chapter 15-2.2 outlines the requirements for SFDs in the HR-1 Zoning District.
2. LMC § 15-2.2-2(A)(1) *Uses* establishes SFDs as an allowed Use in the HR-1 Zoning District.
3. LMC § 15-2.2-3 *Lot and Site Requirements* outlines the HR-1 Zoning District standards:

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Requirement	Analysis of Proposal
Lot Size: The minimum Lot Area is 1,875 square feet for a Single-Family Dwelling and the maximum Lot Area is 3,750 square feet.	Complies: 213 Norfolk Avenue is 3,750 square feet.
Lot Width: The minimum width of a Lot is 25 feet when measured 15 feet back from the Front Lot Line.	Complies: 213 Norfolk Avenue is 50 feet wide.
Building Footprint: The maximum Building Footprint of any Structure located on a Lot or combination of Lots, not exceeding 18,750 square feet in Lot Area, shall be calculated according to the following formula: $\text{MAXIMUM FP} = (A/2) \times 0.9^{A/1875}$ The maximum Building Footprint for the Lot is 1,518 square feet.	Complies: The proposed Building Footprint is 1,415 square feet, 103 square feet less than allowed on site.
Front and Rear Setbacks: For Lots that are up to 75 feet the Front and Rear Setback must be 10 feet each for a combined total of 20 feet.	Complies: The proposed SFD is 12 feet 5 inches from the Front Lot Line and is compliant. The proposed SFD is 13 feet 11 inches from the Rear Lot Line and is compliant. In the Front Setback walls are permitted to be no taller than 4 feet in height pursuant to LMC § 15-4-2. The proposed wall in the Front Setback is no more than 4 feet in height. In the Rear Setback walls are permitted to be no taller than 6 feet in height pursuant to LMC § 15-4-2. The proposed wall in the Rear Setback is 6 feet in height and is compliant. Pursuant to LMC § 15-2.2-3 patios not more than thirty inches (30") above Final Grade, not including any required handrail, and located at least one foot (1') from the Rear Lot Line are permitted within the Rear Setback. The proposed

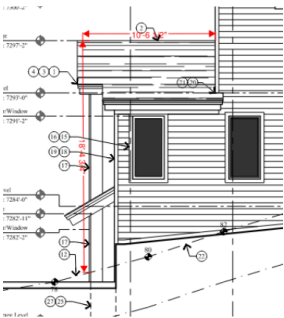
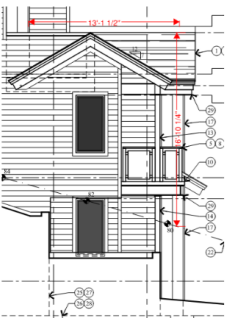
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	patio in the Rear Setback is at grade and is 6 feet 8 inches from the Rear Lot Line and is compliant with LMC § 15-2.2-3.
Side Setbacks: The Side Setbacks in the HR-1 Zoning District for a Lot that is 50 feet wide are 5 feet each for a combined total of 10 feet.	Complies: The proposed Structure is set back 7 feet 3 inches from the south property line. The proposed SFD is set back 7 feet from the north property line. There is a bay window on the north upper level which is cantilevered and is 5 feet 1 inch from the north property line. The bay window does not extend into setbacks. Additionally, there is a cantilevered portion of the Structure on the north side second story which is 5 feet 6 inches from the north property line and does not extend into setbacks. The combined total of the two Setbacks is 14 feet 3 inches and is compliant. Pursuant to LMC § 15-2.2-3 roof overhangs or eaves projecting not more than two feet (2') into the Side Setback on Lots with a minimum required Side Setback of five feet (5') or greater. The proposed roof eaves do not project more than two feet into the Side Setback. In the Side Setback walls are permitted to be no taller than 6 feet in height pursuant to LMC § 15-4-2. The tallest proposed wall in the Side Setback is 6 feet in height and is compliant.

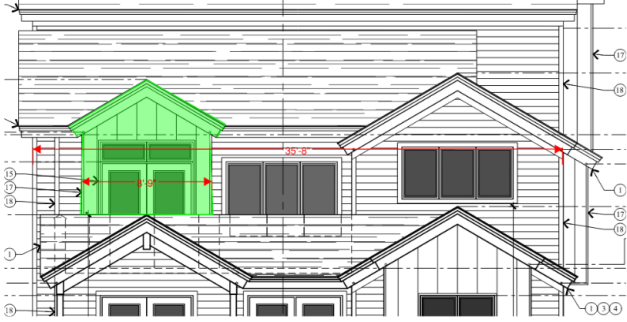
4. LMC § 15-2.2-5 *Building Height Regulations in the Historic Residential – 1 Zoning District* outlines the required standards:

Building Height: The maximum height from Existing Grade is 27 feet. Final Grade must be within 4 vertical feet.	Complies as Conditioned: The proposed maximum height from Existing Grade is approximately 26 feet 11 inches and is under the maximum Building Height for the Zoning District. Condition of Approval 4 requires the Applicant update Final Grade to be within 4 vertical feet of Existing Grade, except for the placement of
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	approved window wells, emergency egress, and a garage entrance pursuant to LMC § 15-2.2-5.
Interior Building Height: A Structure shall have a maximum height of thirty five feet (35') measured from the Lowest Floor Plane to the point of the highest wall top plate that supports the ceiling joists or roof rafters.	Complies as conditioned: The maximum interior height is 34 feet 8 inches.
Stepback: A ten foot (10') minimum horizontal step in the downhill façade is required unless the First Story is located completely under the finish Grade on all sides of the Structure. The horizontal step shall take place at a maximum height of twenty three (23') feet from where the Building Footprint meets the lowest point of existing Grade. Architectural features that provide articulation to the upper story façade setback may encroach into the minimum ten foot (10') setback but shall be limited to no more than twenty five percent (25%) of the width of the building encroaching no more than four feet (4') into the setback, subject to compliance with the Design Guidelines for Historic Sites and Historic Districts.	Complies: On the south elevation the Structure steps back 13 feet 1 and 1/2 inch where the Building Footprint is 16 feet 10 and 1/4 inches from Existing Grade as seen in Figure 2. On the north elevation the Structure steps back 10 feet 6 and 1/2 inches at 18 feet 4 and 3/4 inches from Existing Grade as seen in Figure 1. There is a bay window that encroaches 2 feet into the stepback area. The proposed bay window provides articulation to the upper story, is 2 feet deep and 8 feet 8 inches wide, as seen in Figure 3. The width of the Building is 35 feet 8 inches. The bay window is 24% the width of the Building. The encroachment into the stepback is compliant with LMC § 15-2.2-5(B).
	 

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	 Figure 3: Bay window (highlighted in green) which encroaches into the 10 foot stepback area.
Roof Form: The roof pitch of a Structure’s Contributing Roof Form shall be between seven: twelve (7:12) and twelve: twelve (12:12) and shall occupy a minimum horizontal distance of 20 feet measured from the primary façade to the rear of the building, as viewed from the primary public right-of-way. Secondary Roof Forms may be below the required 7:12 roof pitch and located on the primary façade (such as porches, bay window roofs, etc.)	Complies: The Structure’s Contributing Roof Form occupies approximately 27 feet. There is a roof deck that is approximately 20 feet wide. The roof deck is set behind a gable roof form and is not visible from the public right of way.

5. LMC Chapter 15-3 outlines *Off-Street Parking Requirements*, shown in the Table below:

Requirement	Analysis of Proposal
Driveway Width: 10 Feet	Complies: The proposed driveway is 10 feet wide. Pursuant to LMC § 15-3-8 shared access in the Historic Zoning Districts is encouraged to minimize the impact of vehicles on the Streetscape. The Applicant proposes a shared access and paved area within the Front Yard. This access has been reviewed by the City Engineer as well as the Planning Commission as part of the Plat Amendment. The proposed paved area helps to mitigate impacts to Steep Slopes.

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SFD Single Car Garages: Minimum 11 feet by 20 feet	Complies: The proposed garage is 21 feet 5 inches long by 11 feet wide.
Two Parking Spaces: Exterior 9 feet by 18 feet; interior 11 feet by 20 feet.	Complies: Two Parking Spaces are provided, one interior to a garage, and one tandem space in the Driveway. Both spaces comply with dimension requirements for Parking Spaces.

6. The proposal is analyzed for compliance with LMC § 15-13-8 *Regulations For New Residential Infill Construction (and Non-Historic Residential Sites) In Historic District:*

LMC Requirement	Analysis of Proposal
B. Specific Regulations 1. Site	
<i>a. Building Setbacks & Orientation</i>	
(1) Lot coverage of new buildings shall be compatible with the surrounding Historic Sites.	Complies: The proposed Structure meets the Zoning District requirements for Building Setbacks and maximum Building Footprint and is compatible with surrounding Historic Sites.
(2) Structures shall be located on a site in a way that follows the predominant pattern of historic buildings along the street, maintaining traditional setbacks, orientation of entrances, alignment along the street, and open space.	Complies: The proposed Structure has a front entrance that is oriented towards the street. The proposed Structure is compliant with the HR-1 Zoning District Lot and Site requirements.
(3) The historic town grid shall be preserved by retaining the formal street pattern, maintaining historic lot sizes rather than aggregating the historic-sized lots into larger lots, and preserving the regular rhythm and pattern of lot sizes in a way that reinforces the perception of the grid.	Complies: The Lot size is compliant with the maximum Lot size for the HR-1 Zoning District and preserves the regular rhythm and pattern of Lot sizes in the Historic District.
(4) A new building shall be oriented parallel to the site's lot lines, similar to that of historic building orientations. When similar front yard setbacks are characteristic of the Streetscape or character area, a new building's façade shall be aligned with neighboring	Complies: The proposed Structure is oriented parallel to the site's Lot Lines with the Front Facade aligned with the neighboring Building's Facades facing towards the primary public right-of-way.

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buildings' facades. When a variety of building setbacks is part of the historic context, a new building shall be located within the range of setbacks seen historically.	
(5) New buildings shall have a clearly defined primary entrance oriented toward the street consistent with historic buildings within the Streetscape or character area. Entrances on secondary or tertiary facades of a building shall be clearly subordinate to the entrance on the primary façade.	Complies: The proposed Structure's primary entrance is oriented towards the Street and is consistent with Historic Buildings within the character area.
(6) Side yard setbacks similar to those seen historically within the Streetscape or character area shall be established in order to reinforce the pattern of built and open space. The historic rhythm of building spacing in the immediate Streetscape or character area shall be especially considered.	Complies: The proposed Structure has Side Setbacks compliant with the regulations of the HR-1 Zoning District.
<i>b. Topography and Grading</i>	
(1) The natural topography and original grading of a site shall be maintained when feasible.	Complies: The applicant proposes maintaining the Natural Grade of the site, which slopes up toward the rear of the site.
(2) Building and site design shall respond to natural features. New infill residential buildings shall step down or up to follow the existing contours of steep slopes.	Complies: The proposed Building design steps up with the hillside to follow the existing contour of the site.
(3) A new site's natural slope shall be respected in a new building design in order to minimize cuts into hillsides, minimize fill, and minimize retaining walls.	Complies: The proposed Building design follows the natural Slope of the site, which slopes uphill toward the rear of the site.
<i>c. Landscaping and Vegetation</i>	
(1) Existing landscape features that contribute to the character of the Historic District and existing landscape features that provide environmental sustainability benefits shall be respected and maintained.	Complies as Conditioned: The Applicant proposes to install landscaping on the Site to include trees and shrubs to replace the vegetation on Site proposed to be removed. Condition of Approval 5 requires that the Applicant replace any Significant

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	Vegetation removed in an equivalent manner on site.
(2) Established on-site native plantings shall be maintained. During construction, established vegetation shall be protected to avoid damage. Damaged, aged, or diseased trees shall be replaced as necessary. Vegetation that may encroach upon or damage a new building may be removed, but shall be replaced with similar vegetation near the original location.	Complies as Conditioned: The Applicant submitted a landscape plan that replaces the vegetation proposed to be removed. Condition of Approval 5 requires that the Applicant replace any Significant Vegetation removed in an equivalent manner on Site.
(3) A detailed landscape plan, particularly for areas viewable from the primary public right-of-way, which respects the manner and materials traditionally used in the Historic Districts, shall be provided. When planning for the long-term sustainability of a landscape system, all landscape relationships on the site, including those between plantings and between the site and its structure(s) shall be considered.	Complies as Conditioned: The Applicant has not proposed detailed landscaping plans. Condition of Approval 5 requires the Applicant to submit a detailed landscaping and irrigation plan demonstrating compliance with LMC Section 15-5-5(N) <i>Water Wise Landscaping</i> to the Planning Department for review and approval prior to Building Permit issuance.
(4) Landscape plans shall balance water efficient irrigation methods and drought tolerant and native plant material with existing plant material and site features that contribute to the character of the Historic District.	Complies as Conditioned: Condition of Approval 7 requires the Applicant to submit a detailed landscaping and irrigation plan demonstrating compliance with LMC Section 15-5-5(N) <i>Water Wise Landscaping</i> to the Planning Department for review and approval prior to Building Permit issuance.
(5) Use to advantage storm water management features such as gutters, downspouts, site topography, and vegetation that can improve the soil water retention and permeability of a site.	Complies as Conditioned: The Applicant has not submitted detailed storm water/drainage mitigation plans. Condition of Approval 8 requires the Applicant to submit detailed storm water and drainage mitigation plans to the Engineering Department for review and approval prior to Building Permit issuance.
(6) The use of Water Wise Landscaping or permaculture strategies for landscape design shall be considered in order to maximize water conservation. Where watering systems are necessary, systems	Complies as Conditioned: Condition of Approval 7 requires the Applicant to submit a detailed landscaping and irrigation plan demonstrating compliance with LMC Section 15-5-5(N) <i>Water Wise</i>

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that minimize water loss, such as drip irrigation, shall be used. These systems shall be designed to minimize their appearance from areas viewable from the primary public right-of-way.	<i>Landscaping</i> to the Planning Department for review and approval prior to Building Permit issuance.
<i>d. Retaining Walls</i>	
1. New retaining walls shall be consistent with historic retaining walls in terms of mass, scale, design, materials, and scale of materials. Simple board-formed concrete, stacked stone and other traditional materials are recommended over concrete block, asphalt, or other modern concrete treatments. Alternative materials may be considered but they shall convey the general scale, texture, and character of historic masonry walls.	Complies: The Applicant proposes a series of retaining walls that are terraced as the site slopes up toward the rear. The tallest wall is 6 feet in height, is located along the Rear Lot Line, and is screened from view by the SFD. The proposed walls are board-formed concrete and are simple in scale.
<i>e. Fences</i>	The Applicant does not propose any new Fencing as part of this application.
<i>f. Paths, Steps, Handrails, and Railings (Not Associated with Porches)</i>	The Applicant does not propose any new paths, or steps with this proposal.
<i>g. Gazebos, Pergolas, and other Shade Structures</i>	The Applicant does not propose any gazebos, pergolas or other shade Structures as part of this application.
<i>h. Parking Areas and Driveways</i>	
1. Off-street parking areas shall be located within the rear yard and beyond the rear wall plane of the primary structure when feasible. When locating a parking area in a rear yard is not physically possible, the off street parking area and associated vehicles should be visually buffered from adjacent properties and the primary public right-of-way. Providing a driveway along the side yard of a site shall be considered when feasible.	Complies: The Applicant proposes a single car garage with tandem parking which will visually minimize the impact of vehicles on the Streetscape.
2. Parking areas and vehicular access shall be visually subordinate to character-defining Streetscape or character area elements.	Complies: The new driveway is at grade and the entry to the SFD is proud of the proposed garage.

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3. The visual impact of on-site parking shall be minimized by incorporating landscape treatments for driveways, walkways, paths, and structures in comprehensive, complimentary and integrated design.	Complies: The Applicant proposes a driveway leading to a single car garage that is visually subordinate the Structure.
4. Landscape separations shall be provided between parking areas, drives, service areas, and public use areas, like walkways, plazas, and vehicular access points. When plant materials are used for screening, they shall be designed to function year-round.	Complies: The Applicant does not propose multiple parking areas or driveways. The Applicant proposes landscaping adjacent to the proposed driveway.
5. When locating new off-street parking areas and driveways, the existing topography of a site and integral site features shall be minimally impacted.	Complies: The new driveway will not significantly impact the topography of the Building or any Significant Site features.
6. When locating new off-street parking areas and driveways, the existing topography of a building site and significant site features shall be minimally impacted.	Complies: The new driveway will not significantly impact the topography of the Building or any Significant Site features.
7. For an approved two-car garage, driveway access to the two-car garage may be provided by one maximum 10-foot-wide curb cut and one maximum 10-foot-wide driveway is allowed to access each of the two garages. The two driveways: a. Shall be separated with at least 18 inches of landscaping; and b. Shall include a vertical element at least 18 inches in height and width, with length approved by the Engineering Department depending on Right-of-Way encroachments, turning radii, and Sight Distance Triangle.	Complies: The proposed driveway is 10 feet wide. Pursuant to LMC § 15-3-8 shared access in the Historic Zoning Districts is encouraged to minimize the impact of vehicles on the Streetscape. The Applicant proposes a shared access and paved area within the Front Yard. This access has been reviewed by the City Engineer as well as the Planning Commission as part of the Plat Amendment. The proposed paved area helps to mitigate impacts to Steep Slopes.
8. Textured and poured paving materials other than smooth concrete shall be considered for driveways that are visible from the primary public right-of-way.	Complies: The Applicant proposes concrete for the driveway.

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Permeable paving may not be appropriate for all driveways and parking areas.	
10. Snow storage from driveways shall be provided on site.	Complies as Conditioned: The Applicant proposes a heated driveway to mitigate snow. Condition of Approval 9 requires the Applicant to obtain an Encroachment Agreement from the Engineering Department for the heated driveway system.
2. Primary Structures	
<i>a. Mass, Scale & Height</i>	
(1) The size and mass of a new residential infill building in relation to open spaces shall be visually compatible with adjacent historic buildings and historic structures in the surrounding Streetscape or character area.	Complies: The new SFD complies with the maximum Building Footprint requirements for the HR-1 Zoning District as outlined above. The size and massing of the proposed Building on the Site does not differ significantly from other Sites in the character area. The Applicant does not propose to maximize the Building Height, Setbacks, or Building Footprint.
(2) Buildings that utilize traditional building forms - rectangular, cross-wing, pyramid-roof - are encouraged.	Complies: The proposed SFD design utilizes rectangular Building forms and gable roofs.
(3) Historic height, width, and depth proportions that are important in creating compatible infill and maintaining the historic mass and scale of the Streetscape or character area.	Complies: The proposed SFD design complies with the Lot and Site and Building Height requirements for the HR-1 Zoning District.
(4) Building features such as upper story windows, porches, and first floor bays shall be aligned with similar historic building features in the Streetscape or character area. Generally, these elements should align in relation to the topography allowing these elements to “step up” or “step down” the block.	Complies: The larger massing of the new SFD is stepped back and located at the rear of the Lot such that the massing and building design aligns with the natural topography of the site, which slopes uphill toward the rear of the Lot.
(5) The perceived scale of new buildings shall respect the scale established by historic buildings in the character zone. Abrupt change of scale in the character zone is inappropriate, especially when a	Complies: The proposed SFD respects the scale of the Historic character and does not represent any abrupt changes in scale.

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new, larger building would directly abut smaller historic buildings.	
(6) A larger building shall be divided into 'modules' that reflect the mass, scale, proportions, and size of historic buildings within the Streetscape or character area. Modules shall be clearly expressed throughout the entire building and a single form shall remain the dominant element so the overall mass does not become too fragmented. To minimize the scale perceived from the primary public right-of-way, stepping down the mass of a larger building shall be considered.	Complies: The SFD includes distinct modules to break up massing.
(7) Larger-scaled projects shall also include variations in roof height in order to break up the form, mass and scale of the overall structure.	Complies: The proposed SFD design includes variations in roof Height.
(8) Buildings constructed on lots greater than 25 feet wide shall be designed so that the facades visible from the primary public right-of-way reinforce the rhythm along the street in terms of traditional building width, depth, and patterns within the façade.	Complies: The proposal will reinforce visual unity of the Streetscape because a SFD will be constructed on a Lot that would otherwise be vacant.
(9) Regardless of lot frontage, the primary façade shall be compatible with the width of surrounding historic buildings. The greater width of a building shall be set back significantly from the plane of the primary façade. The width of a new building shall not appear to be visibly greater than historic buildings in the Streetscape or character area. Modules on a primary façade should generally not exceed eleven feet (11) to twenty-five feet (25) in width.	Complies: The proposal complies with the Lot and Site Requirements of the HR-1 Zoning District.
(10) When the overall length of a new structure is greater than seen historically, the design shall employ methods—changes in wall plane, roof heights, use of modules, etc.—to diminish the visual	Complies: The length of the new SFD is approximately 50 feet. The SFD design steps back as the lot slopes uphill to minimize the visual impact of the overall building mass, form and scale.

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impact of the overall building mass, form and scale.	
(11) New buildings shall not be significantly taller or shorter than adjacent buildings with special consideration given to surrounding historic buildings.	Complies: The proposed SFD is not significantly taller or shorter than adjacent Buildings.
(12) Primary facades shall be limited to one to two stories in height. (Generally, historic residential facades are about 15 to 20 feet in height from top of the foundation to the top of the gable.)	Complies: The primary façade of the SFD is two stories in height.
(13) Variation in building height may be considered regarding topography. Hillsides form a backdrop for taller buildings, minimizing their perceived height; therefore, it may be appropriate for taller building masses to be located on steeper slopes. The facades of taller buildings shall still express a human scale.	Complies: The SFD design follows the topography of the upward slope toward the rear of the Lot.
(14) Beyond the primary façade, the average perceived scale of one-story to two-story buildings shall be maintained. As a means of minimizing the perceived mass of a project, breaking up the height of the building into a set of modules or components that relate to the height of the buildings along the street front shall be considered.	Complies: The SFD design follows the topography of the upward slope toward the rear of the Lot.
(15) Secondary and tertiary elevations may be taller than the established norm when the change in scale cannot be perceived from designated vantage points including the cross-canyon view. This may be appropriate when taller portions will not be seen from a primary public right-of-way.	Complies: The SFD design follows the topography of the upward slope toward the rear of the Lot.
(16) Taller portions of buildings shall be constructed so as to minimize obstruction of sunlight to adjacent yards and windows.	Complies: The proposed SFD design leaves sufficient space between adjacent Properties such that sunlight to adjacent yards and windows will not be obstructed.
<i>b. Foundation</i>	

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(1) Foundation materials shall be simple in form and minimally visible above grade when viewed from the primary public right-of-way. Acceptable foundation materials may include stone and concrete, wood lattice and vertical boards. Distinction between foundation and wall material shall be clearly defined. Clapboard siding shall not extend to the ground.	Complies: The proposed foundation material is concrete and is minimally visible when viewed from the primary public right-of-way.
(2) A site shall be returned to original grade following construction of a foundation. When original grade cannot be achieved, no more than eight inches (8") of the new foundation shall be visible above Final Grade on the primary façade and no more than two feet (2) on secondary and tertiary facades.	Complies as Conditioned: Condition of Approval 10 requires that the proposed foundation is not more than 8" visible on the primary facade, and 2 feet visible on the secondary and tertiary facades.
(3) A site shall be re-graded so as to blend with the grade of adjacent sites and not create the need for incompatible retaining walls.	Complies as Conditioned: Condition of Approval 10 requires that the Site shall be re-graded to blend with the grade of adjacent Sites and not create the need for incompatible retaining walls.
(4) A site shall be re-graded so all water drains away from the structure and does not enter the foundation.	Complies as Conditioned: Condition of Approval 10 requires that the Site shall be re-graded so all water drains away from the Structure and does not enter the foundation.
(5) Window or egress wells, when needed, shall not be located on the primary facade. Window or egress wells shall be located beyond the midpoint of the secondary facades, on the tertiary elevation, or in a location that is not visible from the primary public right-of-way.	Complies: The Applicant proposes two window wells for egress and light. One proposed well on the north elevation is located beyond the midpoint of the Structure and is minimally visible from the primary public right of way. The other window well is set closer to Upper Norfolk Avenue and Condition of Approval 18 requires that the Applicant remove the window well prior to Building Permit submittal.
<i>c. Doors</i>	
(1) The historic pattern of principal doorways along the street shall be maintained. All buildings that face the	Complies: The proposed SFD design includes a well-defined primary entrance fronting Norfolk Avenue.

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street shall have a well-defined primary entrance.	
(2) New doors shall be similar in location, size, and material to those seen traditionally in the Historic District. Doors shall be compatible with the style of both the new building and historical buildings in the Historic District.	Complies: The Applicant proposes wood for all exterior doors.
(3) Doors shall be designed and finished with trim elements similar to those used historically.	Complies: The Applicant proposes wood for all exterior doors.
<i>d. Windows</i>	
(1) Ratios of solid-to-void that are compatible with surrounding historic buildings shall be used. Large expanses of glazing are inappropriate on residential structures. Large glass surfaces shall be divided into smaller windows that are in scale with those seen historically. To maximize views, non-historic window patterns may be considered on tertiary facades; however, the overall ratio of solid-to-glass shall still be respected.	Complies: The solid-to-void ratio is well balanced, and the amount of glazing is appropriate on each side of the Structure.
(2) Windows shall be historic size and shall relate to the human scale of the Historic District. Windows shall be proportional to the scale and style of the building and shall be compatible with the historical buildings in the Historic District.	Complies: The proposed windows are proportional to the scale and style of the Structure and are compatible with Historic Structure in the Historic District.
(3) The placement and grouping of windows shall be similar to those seen historically.	Complies: The proposed windows are grouped together and there are no large expanses of glass proposed.
(4) Windows with vertical emphasis are encouraged. The general rule is the height shall be twice the dimension of the width (commonly referred to as a 2:1 ratio.) Double-hung, vertically proportioned windows similar to those used historically are particularly encouraged. Windows with traditional depth and trim are preferred.	Complies: The windows have a vertical emphasis and follow the traditional 2:1 ratio of dimensions.

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(5) The number of different window sizes and styles on a building or structure shall be limited.	Complies: The windows are limited in design types, similar in style.
(6) Wood or metal windows similar to those used historically are preferred but aluminum-clad wood windows are also appropriate. Vinyl and aluminum windows are inappropriate.	Complies: The proposed windows are to be aluminum clad wood in material.
(7) New glazing shall match the appearance of historic glazing and/or shall be clear. Metallic, frosted, tinted, stained, textured, and reflective finishes are generally inappropriate for glazing on the primary façade.	Complies: The proposed windows are clear in their glazing.
(8) Window muntins shall be true divided lights or simulated divided lights on both sides of the glass. Snap-in muntins are inappropriate.	Complies: The Applicant does not propose any muntins.
<i>e. Roofs</i>	
(1) Roofs of new residential infill buildings shall be visually compatible with roof shapes and orientation of surrounding Historic Sites and adjacent buildings that contribute to the character of the Historic District. Sloping roof forms, such as gable, hip, and shed, should be the dominant roof shapes. Roofs composed of a combination of roof planes, but simple in form, are also encouraged. Roofs shall be in scale with those on historic structures.	Complies: The dominant Roof Forms at the site are sloping and are visually compatible with surrounding Historic Sites and non-Historic sites in the character area. The primary Roof Form that is visible from the right-of-way is a gable roof form.
(2) Roof pitch shall be consistent with the style of architecture chosen for the structure and with adjacent buildings that contribute to the character of the Historic District, with special consideration given to Historic Sites.	Complies: The dominant Roof Forms on the Structure are gable roof forms and are visually compatible with surrounding Historic Sites and non-Historic sites in the character area.
(3) The alignment that is created by similar heights of primary roofs and porches among historic buildings shall be maintained. This similarity of heights in building features contributes to the visual	Complies: The proposed SFD complies with building height requirements of the HR-1 District and is not significantly taller or shorter than other Buildings within the Streetscape.

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continuity along the Streetscape or character area.	
(4) Roofs shall be designed to minimize snow shedding onto adjacent properties and/or pedestrian paths. Crickets, saddles, or other snow-guard devices shall be placed so they do not significantly alter the form of the roof as seen from the primary public right-of-way.	Complies as Conditioned: Condition of Approval 11 requires that roofs be designed to minimize snow shedding onto adjacent properties. The Applicant does not propose any snow-guard devices.
(5) New roof features, such as photovoltaic panels (solar panels), skylights, ventilators, and mechanical or communication equipment shall be visually minimized from the primary public right-of-way so as not to compromise the architectural character of the structure. Roof-mounted features like photovoltaic panels (solar panels) and skylights should be installed parallel to the roof plane when feasible.	Complies: The Applicant does not propose solar panels, skylights, ventilators, or mechanical equipment on the roof.
(6) Roof materials should appear similar to those seen historically. Asphalt shingles may be considered. Metal sheeting or standing seam metal roofs with a baked-on paint finish and galvanized or rusted steel sheeting are generally appropriate. Roofs shall have matte finishes to minimize glare. Roof colors shall be neutral and muted and materials shall not be reflective.	Complies: The Applicant proposes a non-reflective standing seam metal roof.
(7) Overhanging eaves, use of bargeboards, soffits, fascia boards, brackets, and boxed eave returns that are consistent with the style of the architecture of the new building and that are compatible with surrounding buildings shall be incorporated.	Complies: The Applicant proposes a standing seam metal roof.
<i>f. Dormers</i>	The Applicant does not propose any dormers as part of this Application.
<i>g. Gutters and Downspouts</i>	

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(1) Downspouts shall be located away from architectural features and shall be visually minimized when viewed from the primary public right-of-way.	Complies: Downspouts are located away from architectural features and are visually minimized when viewed from the primary public right of way.
<i>h. Chimneys and Stovepipes</i>	The Applicant does not propose any chimneys.
<i>i. Porches</i>	
(1) Porches shall be used to define front entrances. Porches typically cover the entrance, and usually extend partially or fully across the main façade. Over-scaled, monumental and under-scaled entries shall be avoided.	Complies: The Applicant proposes a second story porch that is 5 feet 6 inches deep and is set under the main roofline to minimize the impact on the Streetscape.
(2) Porches on primary and secondary facades shall be compatible with a building's style and shall respect the scale and proportions found on historic buildings.	Complies: The second story porch is small in scale.
(3) The height of porch decks shall be similar to those found on historic buildings in the Historic District.	The Applicant does not propose a porch deck.
(4) Locate porches on new infill construction in a way that follows the predominant pattern of historic porches along the street, maintaining traditional setbacks, orientation of entrances, and alignment along the Streetscape or character area to reinforce the visual rhythm of the buildings.	Complies: The proposed porch is small in scale and is set under the main roofline to minimize the impact on the Streetscape.
(5) The height of porch decks shall be similar to those found on historic buildings within the Streetscape or character area.	The Applicant does not propose a porch deck.
(6) Porch columns and railings shall be simple in design and utilize square or rectangular shapes. If balusters are used, they should be no more than two inches square. Columns should be a minimum of four inches and a maximum of eight inches square.	Complies: The proposed railings are metal and are simple in form and design.
<i>j. Architectural Features</i>	

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(1) Simple ornamental trim and decoration is in character with historic architectural ornamentation and is encouraged. Traditional locations for architectural ornamentation are porches and eaves. Other details, like eave depth, mullions, corner boards, and brackets, that lend character to historic buildings shall be considered.	Complies: The overall proposed design and materials are simple and compatible with the Historic District. The applicant proposes cedar horizontal board and batten siding, a non-reflective standing seam metal roof, and wood clad aluminum windows.
3. Mechanical and Utility Systems and Service Equipment	
a. Mechanical equipment and utilities, including heating and air conditioning units, meters, and exposed pipes, shall be located on the tertiary façade or another inconspicuous location. If located on a secondary façade, it shall be screened from view by incorporating it into the appearance as an element of the design.	Complies as Conditioned: Condition of Approval 12 requires that all mechanical equipment be fully Screened from adjacent Properties.
b. Ground-level equipment shall be screened from view using landscape elements such as fences, low stone walls, or perennial plant materials.	Complies as Conditioned: Condition of Approval 12 requires that all mechanical equipment be fully Screened from adjacent Properties.
c. Low-profile rooftop mechanical units and elevator penthouses that are not visible from the primary public right-of-way shall be used. When this is not possible, rooftop equipment shall be set back or screened from all views. Placement of rooftop equipment shall be sensitive to views from upper floors or neighboring buildings.	Complies: The Applicant does not propose any rooftop mechanical equipment.
d. New communications equipment such as satellite dishes or antennae shall be visually minimized when viewed from the primary public right-of-way.	Complies: The Applicant does not propose any new communication equipment.
e. Service equipment and trash containers shall be screened. Solid wood or masonry partitions or hedges shall be used to enclose trash areas.	Complies: The Applicant does not propose any service equipment or trash containers.
4. Materials	

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a. Building materials shall be compatible in scale, proportion, texture, finish and color to materials used on Historic Structures in the Historic District. The dimensions of masonry units, wood siding, and other building materials shall be similar to those used historically.	Complies: The Applicant proposes cedar siding as the primary building material. The Applicant proposes using metal siding to provide architectural variation.
b. The primary siding material for new structures shall appear similar to those on historic structures in the Streetscape or character area. Historically, the most common material on primary structures was painted horizontal lap siding with a reveal between 6 to 8 inches. Secondary structures such as barns and sheds typically had siding of unpainted wood (horizontal lap or vertical board and batten) or corrugated metal panels.	Complies: The Applicant proposes cedar siding as the primary building material. The Applicant proposes placing the siding with a vertical emphasis. The metal is limited on each façade.
c. Building materials shall be applied in the manner similar to that used historically. Typically, a 'hierarchy' of building materials should be used, with heavier, more durable materials for foundations and more refined materials above foundations. Building materials, especially masonry, shall be used in the manner they were used historically.	Complies: The proposed materials follow a hierarchy with the concrete foundation located at the bottom of the Structure.
d. New, non-historic building Materials such as various types of metal and synthetic building materials, such as fiber cement or composite siding, shingles, and trim may be considered if approved in the Master List of Non-Historic Materials and Finishes on file with the Planning Department. Vinyl and aluminum siding are prohibited in the Historic District, unless otherwise specified in the Master List.	Complies as Conditioned: The Applicant proposes to use metal panels to provide architectural variation to the façade. The Materials Advisory Committee has advised that metal be allowed as architectural variation on new residential infill so long as it is matte and covers no more than 25% of the façade. The Applicant proposes a limited amount of metal on each façade. Condition of Approval 19 requires that the metal be matte and have a minimum gauge of 0.19 inches.

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5. Paint and Color	
a. Paint color is not regulated by the Regulations.	
b. Original materials such as brick and stone that was historically left unpainted shall not be painted.	Complies: The Applicant does not propose to paint brick or stone.
c. Wood siding that is not painted shall be finished with a durable stain or treatment that complements and does not distract from adjacent Historic Structures or the character area. Refer to the Master List of Non-Historic Materials and Finishes for compatible finishes and treatments that are compatible with the Historic Districts.	Complies: The Applicant proposes painted wood siding.
d. Rustic, unfinished wood siding is generally not appropriate on houses, but may be appropriate on accessory structures or additions to historic buildings. A transparent or translucent weather-protective finish shall be applied to wood surfaces that were not historically painted.	Complies: The Applicant does not propose any unfinished wood siding.
e. Low-VOC (volatile organic compound) paints and finishes should be used when possible.	Complies as Conditioned: Condition of Approval 13 requires that low-VOC (volatile organic compound) paints and finishes be used when possible.
6. Garages	
<i>Attached Garages</i>	
1. A single-vehicle garage door not greater than 9 feet wide by 9 feet high shall be used to access a garage addition.	Complies: The proposed garage door is no more than 9 feet by 9 feet.
2. Single car wide tandem garages are recommended. Side-by-side parking configurations are strongly discouraged; if used, they shall be visually minimized when viewed from the primary public right-of-way.	Complies: The proposed garage is a single car wide; the Applicant proposes Tandem Parking in the driveway.
3. Garages featuring a side-by-side parking configuration shall maintain a 2 foot horizontal offset in the front wall plane.	Complies: The Applicant does not propose a side-by-side parking configuration.

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4. Garages shall be subordinate to the pedestrian entrance of the house. Where excavation is required for access to the garage, the pedestrian entrance should still be clearly articulated. When excavation is not required, the pedestrian entrance shall be proud of the garage wall plane.	Complies: The proposed garage door is set back from the pedestrian entrance. The pedestrian entrance is articulated by being proud of the garage.
7. Decks	The Applicant does not propose any Decks.
<i>Balcony and Roof Decks</i>	
a. New balconies and roof decks shall be visually subordinate to the new building and shall be minimally visible from the primary public right-of-way.	Complies: The Applicant proposes one rooftop Deck that is set back on the front façade. The gable roof form of the primary façade screens the rooftop deck from the primary public right of way.
b. A new balcony shall be simple in design and compatible with the character of the Historic District. Simple wood and metal designs are appropriate for residential structures. Heavy timber and plastics are inappropriate materials.	Complies: The proposed Rooftop Deck is simple in material and design.
<i>New Accessory Structures</i>	The Applicant does not propose any Accessory Structures.
<i>Additions to Existing Non-Historic Structures</i>	The Applicant proposes the construction of a new SFD and does not include an addition of an existing Non-Historic Structure.
<i>Reconstruction of Non-Surviving Structures</i>	The Applicant does not propose reconstructing any non-surviving structures. There is no evidence of any non-surviving Historic Structure at the Site.

7. The Development Review Committee reviewed the proposal on August 20, 2024, and June 30, 2026, and requires Conditions of Approval, listed below.
8. Staff published notice on the City's website and the Utah Public Notice website and posted notice to the property on July 1, 2026. Staff mailed courtesy notice to property owners within 100 feet on July 1, 2026. The Park Record published courtesy notice on July 1, 2026.

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Conclusions of Law:

1. The proposed SFD, as conditioned, complies with LMC Chapter 15-2.2 *Historic Residential – 1 District*.
2. The proposed SFD complies with LMC Chapter 15-3 *Off-Street Parking*.
3. The proposal, as conditioned, complies with LMC § 15-13-8 *Regulations for New Residential Infill Construction (and Non-Historic Residential Sites) In Historic Districts*.

Conditions of Approval:

1. Final building plans and construction details shall reflect substantial compliance with the plans reviewed July 16, 2026, by the Planning Commission, with required modifications in the Conditions of Approval of this Final Action Letter.
2. The Applicant is responsible for notifying the Planning Department prior to making any changes to the approved plans; any changes, modifications, or deviations from the approved scope of work shall be submitted in writing for review and approval/denial in accordance with the applicable standards by the Planning Director or designee prior to construction.
3. Any changes, modifications, or deviations from the approved design that have not been approved in advance by the Planning and Building Departments may result in a stop work order.
4. The Applicant shall update Final Grade to be within 4 vertical feet of Existing Grade, except for the placement of approved window wells, emergency egress, and a garage entrance.
5. The Applicant shall revegetate and landscape the site to provide screening of retaining walls, as well as erosion mitigation. The Applicant shall replace any Significant Vegetation removed in an equivalent manner on Site.
6. If the Applicant does not obtain a Building Permit within one year of the date of this approval, this HDDR approval will expire unless the Applicant submits a written extension request to the Planning Department prior to the expiration date and the Planning Director approves an extension.
7. The Applicant shall submit a detailed landscaping and irrigation plan demonstrating compliance with LMC Section 15-5-5(N) to the Planning Department for review and approval prior to Building Permit issuance.
8. The Applicant shall submit detailed storm water and drainage mitigation plans to the Engineering Department for review and approval prior to Building Permit issuance.

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9. The Applicant shall obtain an Encroachment Agreement from the Engineering Department for the heated driveway system.
 10. The proposed foundation shall be not more than 8" visible on the primary facade, and 2 feet visible on the secondary and tertiary facades. The Site shall be re-graded to blend with the grade of adjacent Sites and not create the need for incompatible retaining walls. The site shall be graded in a way that water drains away from the Structure and does not enter the foundation.
 11. Roof shall be designed to minimize snow shedding onto adjacent properties.
 12. All mechanical equipment shall be fully Screened from adjacent Properties.
 13. Low-VOC (volatile organic compound) paints and finishes shall be used when possible.
 14. Snow Shed and Access Agreements shall be obtained with the neighboring properties where the homes are 5' from the property line if not already in place.
 15. A shoring plan will be required to be approved prior to the issuance of a Building Permit.
 16. No portion of the retaining wall (including but not limited to footings or pins) may cross into neighboring properties without an easement from the affected property.
 17. Stormwater runoff must be retained on site in accordance with Municipal Code of Park City § 13-5-3 Long-Term Storm Water Management.
 18. The Applicant shall remove the window well closest to Norfolk Avenue prior to Building Permit submittal.
 19. The metal panels shall be matte and shall have a minimum gauge of 0.19 inches.
- E. PCA-S-98-SD-1-C – Administrative Conditional Use Permit –** The Applicant Proposes a Seasonal Yurt for Five Years for Winter Recreation at the Empire Pass Trailhead in the Recreation Open Space Zoning District and Sensitive Land Overlay. PL-26-06953.

Senior City Planner, Alec Barton, presented the Staff Report and explained that this is an Administrative Conditional Use Permit ("ACUP") application for a seasonal yurt. The Empire Pass Trailhead has been used as an unofficial trailhead since the early 1990s. In 2018, the Planning Department approved an ACUP for trailhead improvements at Empire

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Pass. On October 16, 2025, the Planning Director approved an ACUP for a 450 square foot yurt at the Empire Pass Trailhead to be installed from November 2025 to May 2026.

Planner Barton shared an image to indicate where the proposed yurt will be located. The applicant proposes to install a warming hut during the winter season each year for five years. He explained that the yurt would be installed each November and then taken down on May 1. The proposal complies with the Recreation and Open Space Zoning District requirements and the Temporary Structures criteria, CUP criteria, and Sensitive Land Overlay (“SLO”) criteria. Staff recommends the Planning Director review the proposed ACUP, conduct a public hearing, and consider approval based on the Findings of Fact, Conclusions of Law, and Conditions of Approval outlined in the Draft Final Action Letter.

Marsh Flint explained that nothing was installed last year, but the yurt has been purchased. It will be possible to install the yurt this fall if the ACUP is approved.

Director Ward opened the public hearing at 12:22 p.m. There were no comments. Director Ward closed the public hearing at 12:22 p.m.

MOTION: Director Ward APPROVED the Administrative Conditional Use Permit application for PCA-S-98-SD-1-C, based on the following:

Findings of Fact:

1. The Applicant proposes constructing a seasonal day-use Yurt at the Empire Pass Trailhead for winter recreationalists in the Empire Pass and Bonanza Flat recreation area.
2. The Yurt will be 20 feet in diameter, or approximately 314 square feet and 13 feet in height from Final Grade. The Yurt will be installed from November 1 to May 1 each year.
3. The Applicant requests an approval for seasonal installation each year for five years.
4. Parcel PCA-S-98-SD-1-C, Empire Pass Trailhead, is in the Recreation and Open Space (ROS) Zoning District and Sensitive Land Overlay.
5. Land Management Code (LMC) Chapter 15-2.7 outlines the requirements for the ROS Zoning District:
 - a. The LMC defines Yurt: “A type of Temporary Structure that is a circular domed tent of membrane stretched over a collapsible lattice framework.”
 - b. Temporary Structures and Ski-related Accessory Buildings less than 600 square feet require an Administrative Conditional Use Permit (ACUP) in the ROS Zoning District.
 - c. All Structures must be no less than 25 feet from the boundary line of the Lot, district, or public Right-of-Way.

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- i. The proposed Yurt is greater than 49 feet 4 inches from the boundary line of Parcel PCA-S-98-SD-1-C.
 - d. No Structure may be erected to a height greater than 28 feet from Existing Grade.
 - i. The proposed Yurt is approximately 13 feet in height from Existing Grade. The Yurt will be placed on a permanent concrete pad and a temporary wooden platform, bringing the total height with the wooden platform to approximately 15 or 16 feet from Existing Grade.
 - e. No Significant Vegetation will be impacted by the proposed Yurt. There are two mature subalpine fir trees that are approximately 60 feet from the proposed Development. The Applicant will pour a permanent concrete pad and construct a temporary wooden platform for the Yurt that will be installed seasonally.
- 6. LMC Section 15-4-16 outlines requirements for *Temporary Structures, Tents, and Vendors*:
 - a. The Applicant shall provide written notice of the Property Owner's permission.
 - i. The submitted Application form is signed by Marsh Flint, Ranger with the Trails and Open Space Department at Park City Municipal Corporation.
 - b. The proposed Use should not diminish existing parking. Any net loss of parking shall be mitigated in the Applicant's plan.
 - i. The Yurt will be north of the Parking Area and will not affect any existing Parking Spaces at the Empire Pass Trailhead.
 - c. The proposed Use shall not impede pedestrian circulation, emergency Access, or any other public safety measure.
 - i. The Yurt will not affect any of the existing trails. On July 7, 2026, Park City Fire District reviewed the proposal and confirmed the proposal conforms with their required standards.
 - d. The Use shall not violate the Noise Ordinance, Municipal Code Chapter 6-3.
 - e. The Use shall comply with the LMC, the signage shall comply with the Sign Code, Title 12, and the lighting shall comply with Illumination Section 12-4-9.
 - f. The Use shall not violate the Summit County Health Code, the Fire Code, or State Regulations on mass gathering.
 - g. The Use shall not violate the International Building Code.
 - i. The International Building Code states that a Temporary Structure (Yurt) shall not be installed for more than 180 days.
 - h. The Applicant shall adhere to all applicable City and State licensing ordinances.
- 7. LMC § 15-1-10 outlines the criteria for Conditional Use review:

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- a. Size and location of the Site
 - i. The Yurt will be approximately 314 square feet and 13 feet in height. The Yurt will provide winter recreationalists in the Bonanza Flat area with a warming hut.
- b. Traffic considerations including capacity of the existing Streets in the area
 - i. Marsac Avenue, the road leading to the Empire Pass Trailhead, is seasonal and only open in the summer. The Yurt will be open in the winter, when public vehicular access to the Trailhead is closed. Winter recreationalists will access the Yurt via shuttle service. The seasonal Yurt will not increase the traffic on Marsac Avenue.
- c. Utility capacity, including Storm Water run-off
 - i. On July 7, 2026, the Development Review Committee reviewed the proposal and confirmed the proposal conforms with their required standards.
- d. Emergency Vehicle Access
 - i. On July 7, 2026, Park City Fire District reviewed the proposal and confirmed the proposal conforms with their required standards.
- e. Location and amount of off-street parking
 - i. No additional parking demand is created by the seasonal Yurt; there is no public vehicular access to the Empire Pass Trailhead in the winter. Recreationalists will access the Yurt via shuttle service.
- f. Internal vehicular and pedestrian circulation system
 - i. The Yurt will not impede vehicular or pedestrian circulation. The Yurt is north of the Parking Area and will not impact any trails.
- g. Fencing, Screening, and landscaping to separate the Use from adjoining Lots
 - i. No fencing, Screening, or landscaping is proposed or approved with this ACUP.
- h. Building mass, bulk, and orientation and the location of the Buildings on the Site; including orientation to Buildings on adjoining Lots
 - i. The Yurt is approximately 314 square feet and 13 feet in height. The restroom at the Empire Pass Trailhead is approximately 135 square feet. The Yurt will be north of the existing Parking Spaces.
- i. Useable Open Space
 - i. The proposed Yurt does not decrease the amount of useable Open Space in the Empire Pass area. The Yurt will improve the useability of the Bonanza Flat area Open Space by

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- offering winter recreationalists a warming hut to rest and get out of the elements.
- j. Signs and Lighting
 - i. No exterior lighting or Signs are proposed or approved with this ACUP.
 - k. Physical design and compatibility with surrounding Structures
 - i. The Yurt is approximately 314 square feet and 13 feet in height. The Yurt will be constructed with a weather resistant canvas material, placed over a wooden lattice frame.
 - l. Noise, vibration, odors, steam or other mechanical factors
 - i. The Yurt must comply with the Municipal Noise Ordinance. No other mechanical factors are expected from the Yurt.
 - m. Within and adjoining the Site, environmentally sensitive lands, Physical Mine Hazards, Historic Mine Waste, and Soils Ordinance, Steep Slopes. And appropriateness of the proposed Structure to the existing topography of the Site
 - i. No Physical Mine Hazards or mine waste will be impacted by the Yurt, and it is outside the Soils Ordinance boundary.
 - n. Reviewed for consistency with the Goals and Objectives of the Park City General Plan
 - i. The proposed Yurt aligns with the General Plan Sense of Community Strategy 2D to provide easy access to trails and increase recreation opportunities.
8. LMC Chapter 15-21 outlines the requirements for the Sensitive Land Overlay.
- a. No Development is allowed on or within fifty feet (50'), map distance, of Very Steep Slopes, Areas subject to land slide activity, and other high-hazard geologic Areas.
 - i. The Yurt is greater than 50 feet from any Very Steep Slope Area.
 - b. No Structure or other appurtenant device, including mechanical equipment may visually intrude on the Ridge Line Area from any of the designated Vantage Points.
 - i. The proposed Yurt is not on the designated Ridge Line; however, it is within 150 feet of the designated Ridge Line. The limited size, height, and scale of the Yurt does not visually intrude on the Ridge Line Area, and it is not visible from any of the designated Vantage Points.
 - c. Setbacks from wetlands and streams are 50 feet from the Ordinary High Water Mark.
 - i. There are no wetlands, streams, or irrigation ditches within 50 feet of the proposed Yurt.

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- d. The Yurt is situated near an established Trailhead and Right-of-Way. The proposed seasonal Yurt will not disturb, diminish, or impact any existing wildlife habitat areas or sensitive species.
9. Staff published notice on the City's website and the Utah Public Notice website and posted notice to the property on July 6, 2026. Staff mailed courtesy notice to adjacent property owners on July 6, 2026.

Conclusions of Law:

1. The proposal complies with the LMC requirements outlined in LMC Chapter 15-2.7 *Recreation and Open Space Zoning District*, Chapter 15-2.21 *Sensitive Land Overlay*, Section 15-4-16 *Temporary Structures, Tents, and Vendors*, and LMC Section 15-1-10 *Conditional Use Review Process*.
2. The Use will be compatible with surrounding Structures in Use, scale, mass, and circulation.
3. The effects of any difference in Use or scale have been mitigated through careful planning.

Conditions of Approval:

1. Any changes, modifications, or deviations from the approved plans that have not been approved in advance by the Planning Department may result in a stop work order.
2. The Applicant is responsible for notifying the Planning Department prior to making any changes to the approved plans.
3. No exterior signs or lighting are approved with this permit.
4. This approval is for the seasonal installation of a warming hut Yurt at the Empire Pass Trailhead from November 1 through May 1 each year for five years. A Building Permit must be submitted and approved each year prior to Yurt installation. The Yurt shall be installed by November 1 and removed by May 1 every year.
5. The Use shall not violate the Noise Ordinance.
6. The Use shall not violate the Summit County Health Code, the Fire Code, or State Regulations on mass gathering.
7. The Use shall not violate the International Building Code.
8. The Applicant shall adhere to all applicable City and State licensing ordinances.

2. ADJOURNMENT

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The Park City Administrative Public Hearing adjourned at approximately 12:22 p.m.

Approved by Planning Director:

Signed by:
Rebecca Ward
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60 Prospect Avenue

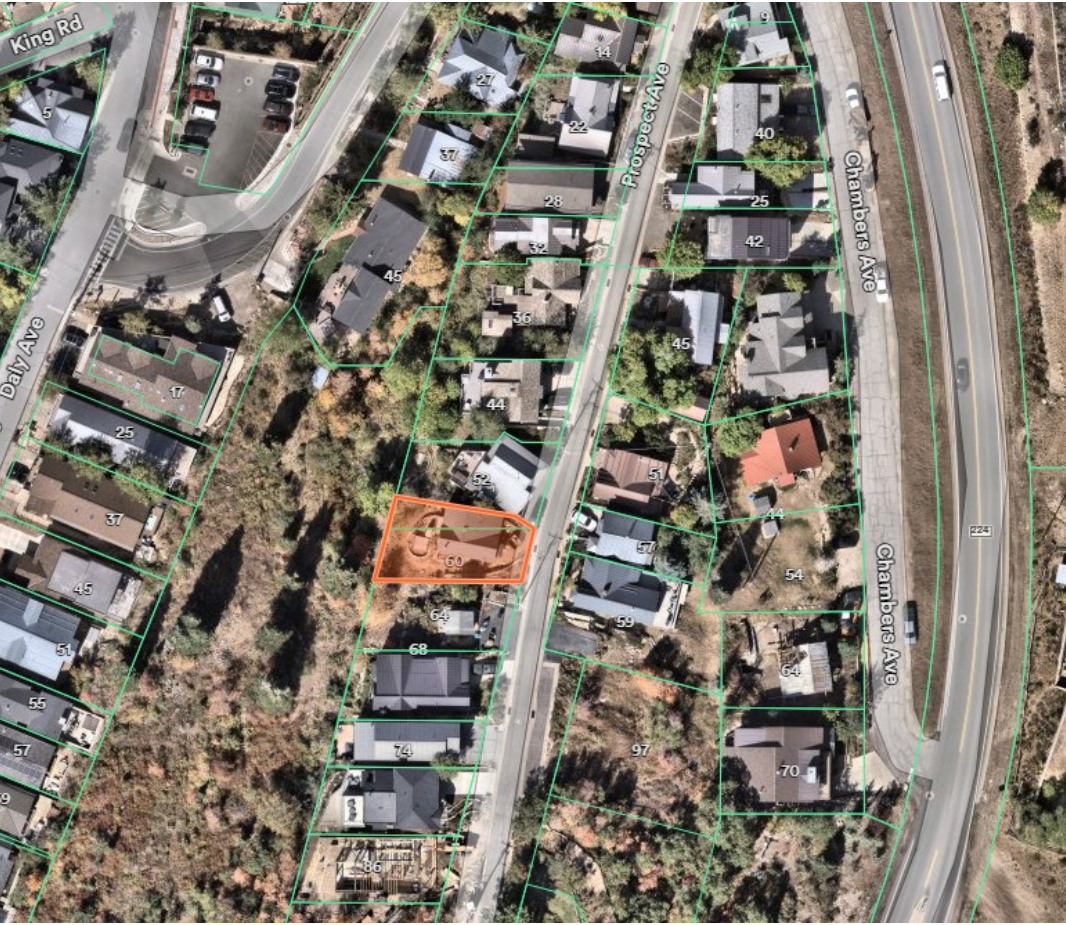
HISTORIC DISTRICT DESIGN REVIEW

PLANNING DEPARTMENT

PL-26-06837 | July 16, 2026



60 PROSPECT AVE



- Significant Historic Site
- Historic Residential-1 (HR-1) Zoning District
- 3,052 SF Lot of recently approved 52/60 Prospect Avenue Plat Amendment
- July 1, 2026 HPB approved Material Deconstruction of 158 sf of rear façade material to accommodate proposed rear addition.

PROPOSAL

- Construct a two-story rear addition
- Restore exterior siding
- Remove two rear facade door openings
- Repair and replace windows on Historic Structure
- Repair existing rear deck and non-Historic front porch and porch shed roof



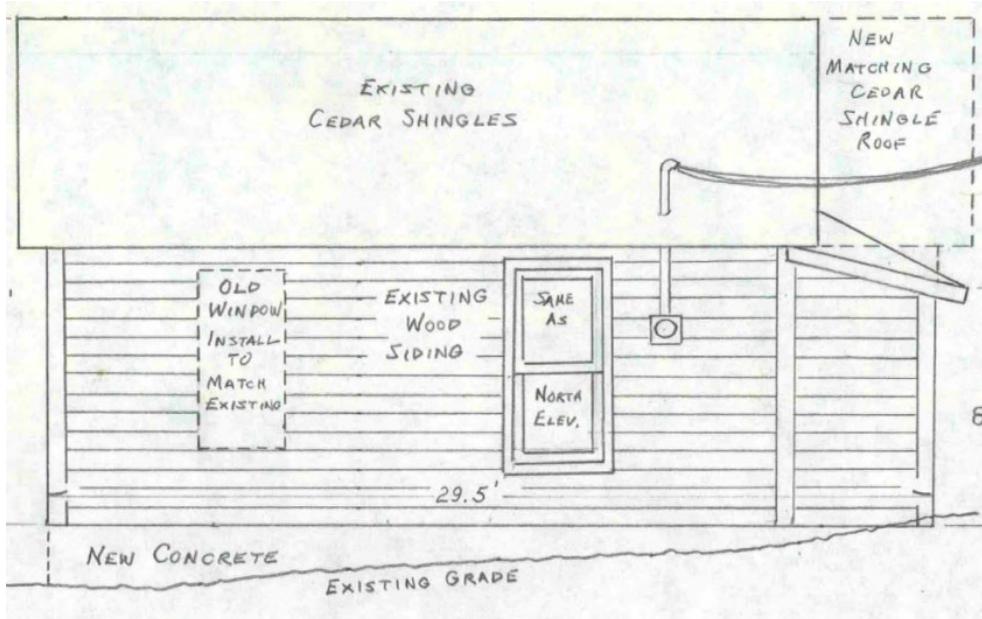
BACKGROUND

- Constructed c.1895 during Mature Mining Era
- Cross-wing type house has undergone several modifications



BACKGROUND

- Front porch was enclosed and roof form was modified.
- Front gable brought forward to match the wall of the enclosed porch.



BACKGROUND

new window openings in
cross-wing gable roof in the
front and rear

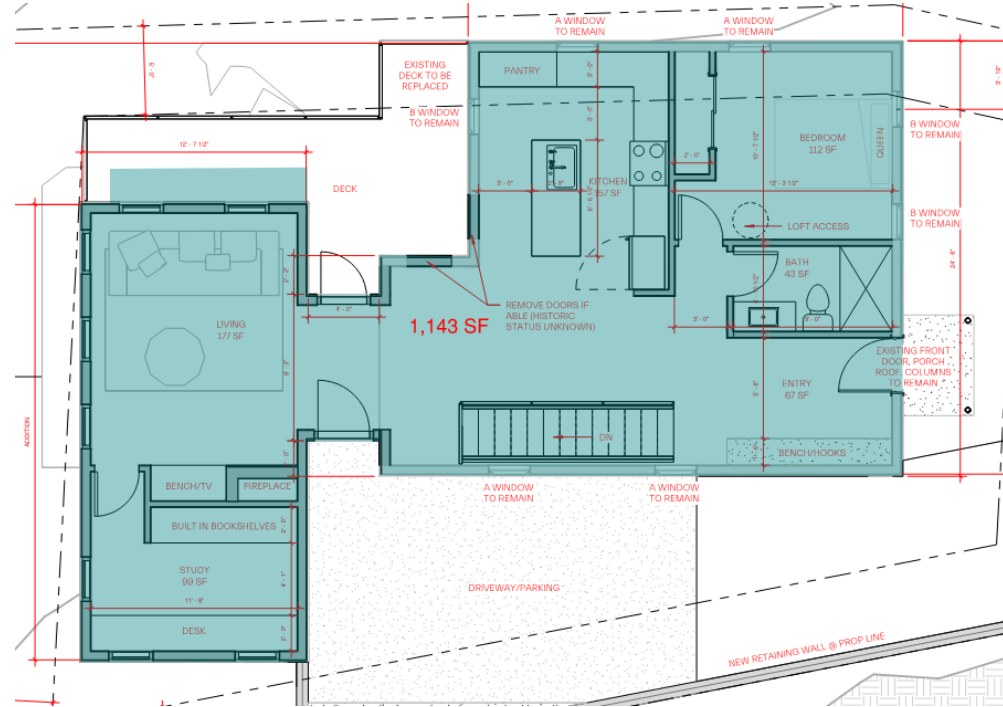
Primary entrance relocated
and porch shed roof added



ANALYSIS

Proposed rear addition complies with the HR-1 Lot and Site Requirements

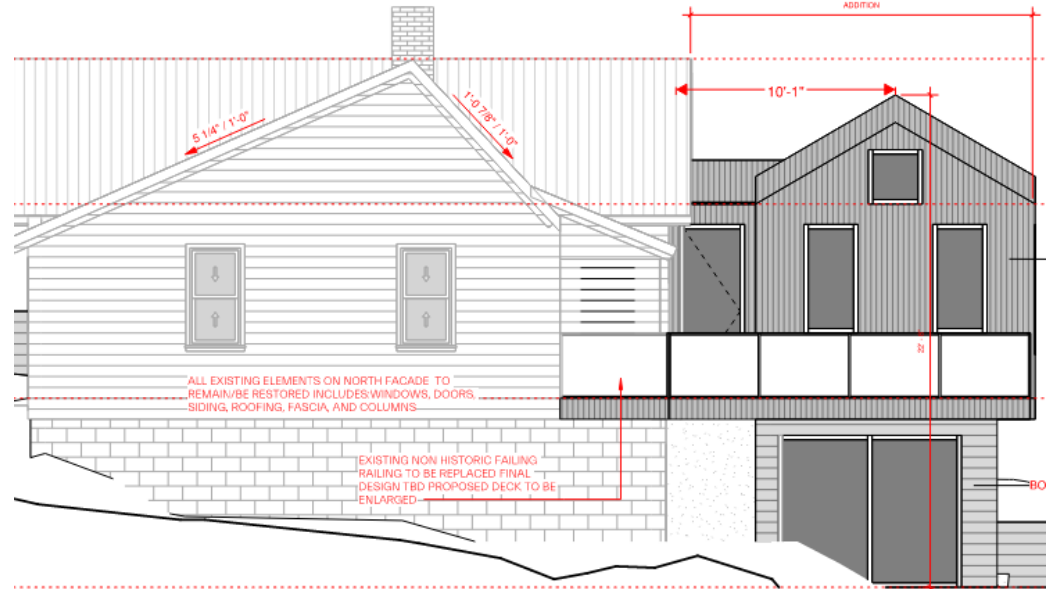
- Maximum Building Footprint is 1,285 SF – proposed footprint is 1,143 SF
- Front and Rear Setbacks: existing Historic Structure Setback 13 feet in front, rear addition Setback 12 feet in rear – combined 25 feet.
- Rear addition respects five-foot Side Setbacks
- Retaining walls proposed in Front and Side Setbacks must comply with height requirements in LMC § 15-4-2 *Fences and Retaining Walls*.



ANALYSIS

Proposed rear addition complies with the HR-1 Building Height requirements

- HR-1 Zone Height is 27 feet -- rear addition is 22 ½ feet in height
- HR-1 Maximum internal height is 35 feet – internal height of rear addition is 18 feet.
- Rear addition steps back 10 feet horizontally on the downhill slope.
- Minimal grading needed for rear addition, as it is already graded
- New driveway access requires grading – change in grade must not exceed four vertical feet.



ANALYSIS

Proposed rear addition complies with LMC § 15-13-2(A) *Requirements for Historic Residential Sites, Universal Regulations*

- Addition is at rear of Significant Historic Site - exterior alteration does not affect spatial relationships that characterize the historic site as viewed from the street.
- Rear addition is designed as a modern interpretation of a Historic mining era residential building
- Design elements differentiate the addition from Historic Structure while maintaining compatibility in form.



ANALYSIS

Proposed rear addition complies with LMC § 15-13-2(B) *Requirements for Historic Residential Sites, Specific Regulations*

- Addition does not substantially change the proportion of built/paved area to open space.
- Proposed driveway will replace the existing gravel driveway and provide access and Off-Street parking to the side of the Historic Structure.
- Proposed retaining walls will be board-formed concrete and will step with the Natural Grade of the site.



ANALYSIS

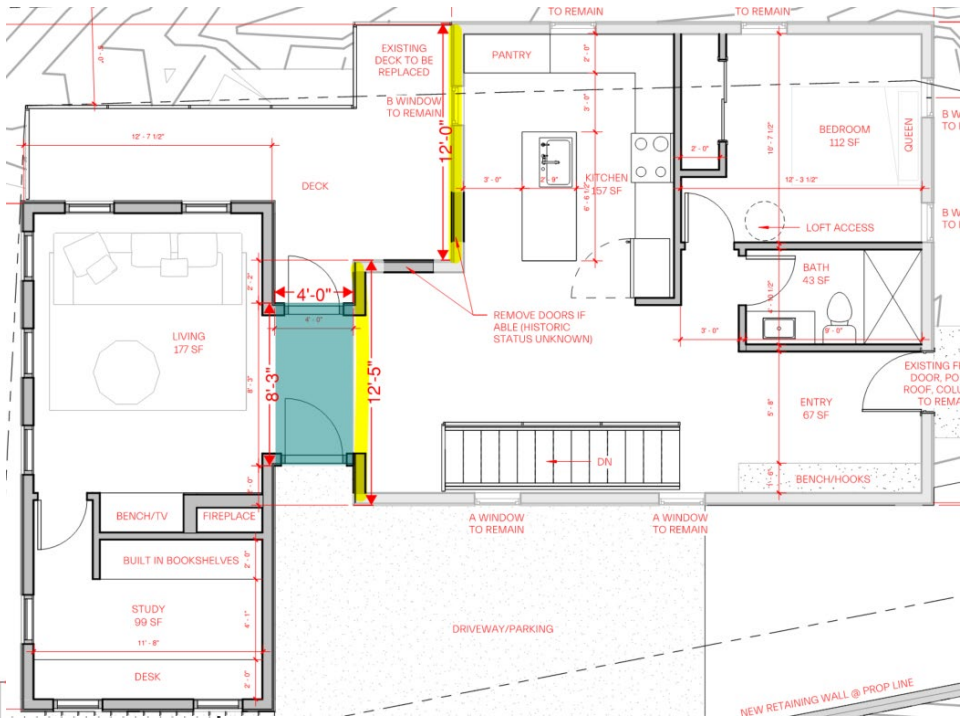
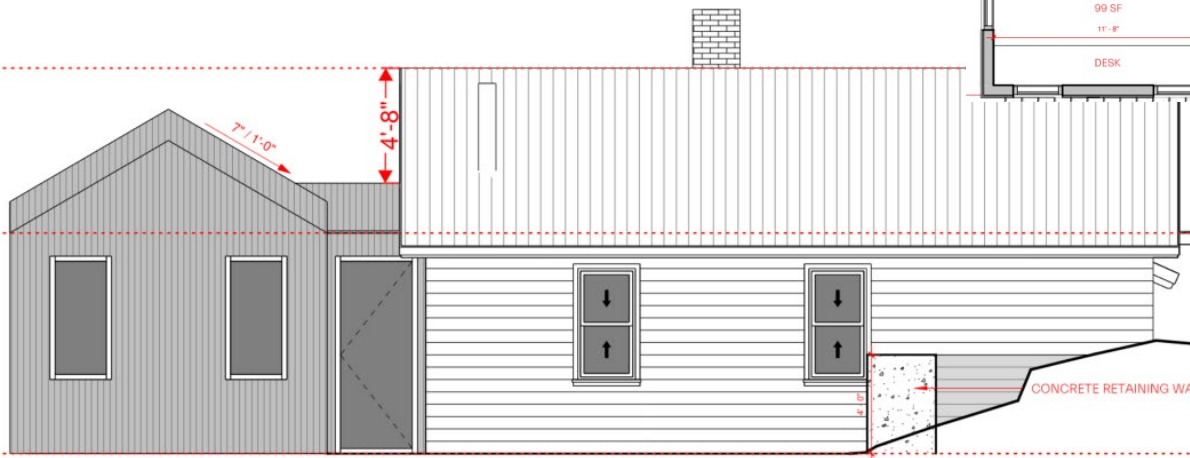
Proposed rear addition complies with LMC § 15-13-2(B) *Requirements for Historic Residential Sites, Specific Regulations*

- Past modifications to primary and secondary facades are proposed to be maintained and restored.
- Removal of two door openings at rear of Historic Structure, not visible from Street.
- Removal of 158 square feet of rear façade material including one window to accommodate rear addition.
- NO changes to primary or secondary façade window/door openings.
- Replacement windows on Historic Structure shall be wood windows.



ANALYSIS

- Proposed addition footprint is just over 50% of the footprint of the Historic Structure – require transitional element.
- Transitional element complies with the required dimensions per LMC § 15-13-2(4)(b) *Transitional Elements*.



ANALYSIS

As conditioned, the HDDR application meets
LMC § 15-11-9 *Preservation Policy*

- Applicant submitted a Historic Preservation Plan detailing modifications and methods of preservation of Historic Material.
- Financial Guarantee is required prior to the submittal of a building permit.



RECOMMENDATION

- (I) Review the proposed Historic District Design Review (HDDR) to construct a rear addition and rehabilitate the Significant Historic Structure at 60 Prospect Avenue,
- (II) conduct a public hearing, and
- (III) consider approving the HDDR based on the Findings of Fact, Conclusions of Law, and Conditions of Approval outlined in the Final Action Letter