



**PARK CITY HISTORIC PRESERVATION BOARD MEETING
SUMMIT COUNTY, UTAH
August 5, 2026**

The Historic Preservation Board of Park City, Utah, will hold its regular meeting in person at the Marsac Municipal Building, City Council Chambers, at 445 Marsac Avenue, Park City, Utah 84060. Meetings will also be available online and may have options to listen, watch, or participate virtually. Zoom Link: <https://us02web.zoom.us/j/82086188552>

1. MEETING CALLED TO ORDER AT 5:00PM

2. ROLL CALL

3. MINUTES APPROVAL

- 3.A. Consideration to Approve the Historic Preservation Board Meeting Minutes from July 1, 2026

4. STAFF AND BOARD COMMUNICATIONS AND DISCLOSURES

- 4.A. Historic District Grant Program Update

5. PUBLIC COMMUNICATIONS

6. REGULAR AGENDA

- 6.A. **Thaynes Mine Site (PCA-S-98-PCMR-1) – Historic District Grant Application** – The Applicant Requests a \$21,989 Grant for Repair and Upgrades of the Thaynes Mine Shaft and Cages. PL-26-06973 (15 mins.)
(A) Public Hearing; (B) Action

7. WORK SESSION

- 7.A. **Land Management Code Amendments** – The Historic Preservation Board Will Conduct a Work Session Regarding Proposed Amendments to the Historic District Regulations for Material Deconstruction Criteria in Section 15-11-12.5. PL-26-06781

8. ADJOURNMENT

Pursuant to the Americans with Disabilities Act, individuals needing special accommodations during the meeting should notify the Planning Department at 435-615-5060 or planning@parkcity.gov at least 24 hours prior to the meeting.

***Parking is available at no charge for meeting attendees who park in the China Bridge parking structure.**



**PARK CITY MUNICIPAL CORPORATION
HISTORIC PRESERVATION BOARD MEETING
MARSAC MUNICIPAL BUILDING
COUNCIL CHAMBERS
445 MARSAC AVENUE
PARK CITY, SUMMIT COUNTY, UTAH
MINUTES OF JULY 1, 2026**

BOARD MEMBERS IN ATTENDANCE: Lola Beatlebrox – Chair, Puggy Holmgren, Douglas Stephens, John Hutchings, Randy Scott (via Zoom)

EX OFFICIO MEMBERS: Rebecca Ward, Planning Director; Alec Barton, Senior Planner; Meredith Covey, Planner II; Lillian Zollinger, Planner III; Elissa Martin, Project Planning Manager; Mark Harrington, Senior City Attorney

1. CALL TO ORDER

Chair Lola Beatlebrox called the meeting to order at approximately 5:00 p.m.

2. ROLL CALL

Chair Beatlebrox conducted a roll call of the Board Members present. It was noted that Board Member Scott was attending virtually.

3. MINUTES APPROVAL

A. Consideration to Approve the Historic Preservation Board Meeting Minutes from June 3, 2026.

MOTION: Board Member Holmgren moved to APPROVE the Historic Preservation Board Meeting Minutes from June 3, 2026. Board Member Stephens seconded the motion.

VOTE: The motion passed with the unanimous consent of the Board.

4. STAFF AND BOARD COMMUNICATIONS AND DISCLOSURES

There were no Staff or Board communications or disclosures.

5. PUBLIC COMMUNICATIONS

There were no public communications.

6. WORK SESSION

A. Land Management Code Amendments – Swimming Pools and Hot Tubs – The Historic Preservation Board Will Review and Provide Input on Proposed Updates to the Land Management Code to Define and Regulate Swimming Pools and Hot Tubs in Historic Districts. PL-26-06833.

Senior Planner, Alec Barton, reported on the proposed updates to Park City Land Management Code (“LMC”). The amendments were reviewed by the Planning Commission at its March 11, 2026, Work Session, and at that time the Commission recommended that Staff return with a draft ordinance for potential recommendation to the City Council. Public open houses were then held in May and June to receive community feedback.

Staff was currently guided by an interim internal policy regarding swimming pools and hot tubs as they were not defined in LMC and there was no specific criteria for Conditional Use Permit (“CUP”) review. The proposed updates would establish a size limitation for hot tubs based on typical prefabricated sizes from leading manufacturers, and pool size would be based on lot size. Screening requirements would also be imposed.

The updates were necessitated by recent the General Plan update, which states that Park City will:

- Maintain its small-town feel and mountain community character.
- Protect, preserve, enhance, and celebrate the historic character of the community.

“Swimming Pool” would be defined as:

A permanent or semi-permanent outdoor structure associated with a Single-Family Dwelling intended for recreational swimming or wading containing water with a depth of 18 inches or more and not exceeding a surface area of 800 square feet or 10 percent of the Lot area, whichever is less.

Planner Barton displayed samples of three typical Old Town lots and their associated maximum swimming pool size.

“Hot Tub” would be defined as:

An outdoor accessory structure associated with a Single-Family Dwelling, a Duplex Dwelling, a Triplex Dwelling, or a condominium unit containing water with a depth of 18 inches or more and a surface area of 72 square feet or less.

Planner Barton reported that the above definition was drafted after review of small, medium, and large hot tub sizes from leading manufacturers and would allow for the largest typical prefabricated hot tub without a CUP.

Components to be reviewed with the proposed update included:

- Noise and nightly rentals
- Drainage requirements
 - Staff will coordinate with the Snyderville Basin Water Reclamation District to develop appropriate policies.
- Screening requirements in Historic Districts
 - Current code clearly stated that mechanical equipment must be screened but did not indicate whether hot tubs would also need to be screened.

Planner Barton asked the Historic Preservation Board to consider whether the proposed size limitations for hot tubs and swimming pools were appropriate to protect neighborhood

character in Old Town, as well as if LMC should be updated to include specific screening criteria for hot tubs in Historic Districts.

In response to a question raised by Board Member Stephens, Planner Barton reported that the Planning Commission was initially interested in having clear criteria. Current policy determined when a swimming pool or hot tub must go before the Planning Commission for a CUP, but it was not outlined in City Code. The goal was to establish clear criteria for when those features require a CUP and when a Building Permit is sufficient. Board Member Stephens asked how the process would change and whether additional steps would be necessary. Planner Barton confirmed that only a Building Permit would be required, and the language would provide additional clarity regarding what qualifies as a hot tub.

Board Member Stephens asked why hot tub size was limited, as size would already be limited by setbacks. Planner Barton explained that Staff reviewed definitions from other communities, including mountain resort communities, as well as typical hot tub sizes, and determined that 72 square feet was appropriate based on the largest prefabricated hot tub typically available. Board Member Stephens asked if custom, below-grade hot tubs or swim spas would be subject to the same definition.

Chair Beatlebrox asked if an exercise pool intended for laps in place would be considered a pool or hot tub. Planner Barton reported that there may be an opportunity to clarify the difference in the proposed definitions. The intent was to select a number that would accommodate most prefabricated hot tubs while also establishing appropriate size limitations.

Chair Beatlebrox stated that screening is of primary importance in Old Town to ensure that the hot tub does not interrupt the view of Historic homes. Board Member Holmgren agreed that screening should be required to ensure that it cannot be seen from the road. Board Member Hutchings stated that a house on Woodside Avenue has a large hot tub that is screened but still visible from the street. Chair Beatlebrox indicated that standards should be set regarding material, height, width, etc. Whether shrubbery, fencing, or both was required should also be discussed. The standards would only apply to hot tubs that are visible from the primary façade.

Board Member Scott remarked that some homes have two primary facades. He believed it was important to specify screening requirements but was not concerned about size. Board Member Stephens noted that size limitations would likely be self-imposed. The proposal would base swimming pool size on lot size, and he was unsure why the size of a backyard hot tub should be regulated.

In response to a question raised by Board Member Hutchings, Planner Barton reported that the primary reason to differentiate between a hot tub and pool was to clarify that hot tubs do not require a CUP. Board Member Stephens added that a hot tub is personal property. A building permit is required due to the electrical connections, but the hot tub just sits on the ground. A swimming pool becomes real property because it is a permanent feature. Board Member Scott indicated that there are also additional safety issues associated with pools.

Board Member Hutchings asked if noise could be considered within the Board's purview to maintain the character of Old Town. Planning Manager, Rebecca Ward, reported that the existing noise ordinance was applicable to hot tubs, but a potential criterion for the Nightly Rental Business License Code would be to put guests on notice of its requirements. Board Member Hutchings clarified that his question was in regard to noise from the actual hot tub, not people using it. Director Ward explained that noise restrictions for mechanical equipment were already in place, and both hot tubs and pools were required to comply.

In response to a question from Chair Beatlebrox, Planner Barton reported that he did not have information on the number of existing pools and hot tubs in Old Town but could work with the Building Department to obtain that information. Chair Beatlebrox indicated that the data would be helpful, as well as information on any complaints associated with them.

7. **REGULAR AGENDA**

A. **60 Prospect Avenue – Material Deconstruction – The Applicant Requests Historic Preservation Board Approval for Material Deconstruction of 158 Square Feet of the Rear Facade Siding and One Rear Window of the Significant Historic Structure to Accommodate a Rear Addition in the Historic Residential-1 Zoning District. PL-26-06837.**

Project Planning Manager, Elissa Martin, presented the Staff Report. The Significant Historic Site at 60 Prospect Avenue is in the Historic Residential-1 ("HR-1") Zoning District. The lot is 3,052 square feet and was created with the 52/60 Prospect Avenue Plat Amendment approved by the Planning Commission on January 28, 2026.

The historic cross-wing type home was constructed circa 1895 during the Mature Mining Era and had undergone several modifications, including:

- The front porch was enclosed and roof form modified.
- The gable roof was brought forward to match the wall plane of the enclosed porch.
- New window openings were installed in the front and rear of the cross-wing gable roof.
- The primary entrance was relocated, and a porch shed roof was added.

The Applicant proposed the following:

- Remove of 158 square feet of rear façade material, including siding and rear window, to accommodate a two-story rear addition.
- Restore exterior siding.
- Remove two rear façade door openings.
- Repair and replace windows.
- Repair existing rear deck and non-Historic front porch and porch shed roof.

Because the proposed rear addition footprint was over 50% of the footprint of the Historic Structure, a transitional element was required. The Applicant's proposed transitional element complied with the dimensional requirements outlined in LMC § 15-13-2(4)(b) *Transitional Elements*.

The proposed modifications complied with LMC § 15-13-2(B)(2) *Specific Regulations for Historic Residential Sites, Primary Structures*, which requires primary and secondary facade components such as the window and door configuration to be maintained in their original location. The doors proposed for removal were on the rear façade.

As conditioned, the proposed Material Deconstruction and rehabilitation of the Historic Structure met all requirements outlined in LMC § 15-11-9 *Preservation Policy*.

- The required Historic Preservation Plan was submitted and approved by the Chief Building Official.
- A Financial Guarantee was required prior to issuance of a Building Permit.
- The Applicant was scheduled for Historic District Design Review (“HDDR”) at the July 16, 2026, Planning Commission meeting.

Staff recommended that the Historic Preservation Board review the proposed Material Deconstruction, conduct a public hearing, and consider approval based on the Findings of Fact, Conclusions of Law, and Conditions of Approval outlined in the draft Final Action Letter.

Chair Beatlebrox opened the public hearing. There were no comments. The public hearing was closed.

MOTION: Board Member Stephens moved to APPROVE the 60 Prospect Avenue Material Deconstruction based on the following:

Background:

1. The property is a Significant Historic Site in the Historic Residential - 1 (HR-1) Zoning District and the original Structure was constructed c. 1895 during the Mature Mining Era.
2. According to the Historic Sites Form, past Historic Design Review approvals and building permits, the Historic Structure has undergone several modifications.
3. 60 Prospect is Lot 1 of the 52/60 Prospect Avenue Plat, approved by the Planning Commission on January 28, 2026 (PL-25-06778).

Findings of Fact:

1. On February 24, 2026, the Applicant submitted a full Historic District Design Review (HDDR) application and Physical Conditions and Historic Preservation Plan to remove 158 square feet of rear façade siding and a rear window of Significant Historic Structure to accommodate a rear addition; the proposal includes modifications and restoration work to the Historic Structure.
2. On March 17, 2026, Planning staff deemed the Application complete.
3. The proposal to remove 158 square feet of the rear façade materials, to accommodate a two-story rear addition of the Significant Historic Structure requires Historic Preservation Board review for Material Deconstruction,

pursuant to Land Management Code (LMC) § 15-11-12.5 and the proposed rear addition must comply with LMC Chapter 15-13 *Regulations for Historic Districts and Sites*.

4. Pursuant LMC § 15-11-9 *Preservation Policy*, the following is required for the proposed Material Deconstruction and modifications of the Significant Historic Structure:
 - a. Historic Preservation Plan – complies: the Applicant submitted a Historic Preservation Plan on February 24, 2026, outlining the proposed work to the Historic Structure.
 - b. Financial Guarantee – see Condition of Approval 9.
 - c. Historic District Design Review approval – see Condition of Approval 8.

Conclusions of Law:

1. The proposal, as conditioned, complies with LMC § 15-11-12.5 *Material Deconstruction*.
2. The proposal, as conditioned, complies with LMC Chapter 15-13-2 *Regulations For Historic Residential Sites*.

Conditions of Approval:

1. Final building plans and construction details shall reflect substantial compliance with the plans reviewed July 1, 2026, by the Historic Preservation Board, pending design modifications conditioned, and as required for this approval. Any changes, modifications, or deviations from the approved design that have not been approved in advance by the Planning and Building Departments may result in a stop work order.
2. If the Applicant does not obtain a building permit within one year of the date of this approval, this approval will expire unless the Applicant submits a written extension request to the Planning Department prior to the expiration date and the Planning Director approves an extension.
3. The Applicant is responsible for notifying the Planning Department prior to making any changes to the approved plans.
4. Any changes, modifications, or deviations from the approved scope of work, shall be submitted in writing for review and approval/denial in accordance with the applicable standards prior to construction.
5. The replacement windows on the Historic Structure shall be wood. Windows on the addition shall be wood or aluminum clad wood.
6. All work to the Historic Structure shall comply with LMC § 15-13-2(B)(2)(a) Exterior Walls:

- a. Preserve and maintain historic exterior materials including wood siding (drop siding, clapboard, board and batten), frieze boards, cornices, moldings, shingles, etc., as well as stone and masonry. Repair deteriorated or damaged historic exterior materials using recognized preservation methods appropriate to the specific material.
 - b. When disassembly of a historic element—window, molding, bracket, etc. is necessary for its restoration, recognized preservation procedures and methods for removal, documentation, repair, and reassembly shall be used
 - c. When historic exterior materials cannot be repaired, they shall be replaced with materials that match the historic in all respects: scale, dimension, profile, material, texture, and finish. The replacement of existing historic material is allowed only when it can be shown that the historic material is no longer safe and/or serviceable and cannot be repaired to a safe and/or serviceable condition.
7. If, after Structural Engineer evaluation, the foundation is found to be unstable or in disrepair and requires major restoration or replacement, a modification application for proposed the foundation work will be required to be submitted and approved according to the requirements of LMC Chapters 15-11 and 15-13.
8. Prior to submitting a building permit for any Material Deconstruction, Planning staff shall review the proposed plans for compliance with Chapter 15-13 *Regulations For Historic Districts and Historic Sites* and the Applicant shall obtain HDDR approval.
9. Pursuant to LMC § 15-11-9, a Financial Guarantee is required prior to the submittal of a building permit. The Chief Building Official will determine the dollar amount for the Financial Guarantee, and the Applicant will be required to record an encumbrance agreement, or other instrument in a form acceptable to the City Attorney, with the Summit County Recorder's Office.

Board Member Holmgren seconded the motion.

VOTE: The motion passed with the unanimous consent of the Board.

- B. 1060 Woodside Avenue – Material Deconstruction – The Applicant Requests Historic Preservation Board Approval for Material Deconstruction of 61 square feet of Historic Material at a Landmark Historic Structure in the Historic Residential - 1 Zoning District. PL-25-06673.**

Planner II, Meredith Covey, presented the Staff Report for the Material Deconstruction and request to lift the Historic Structure. The Applicant came before the Board for a Work Session earlier in the year and had revised their plan based on feedback received at that meeting.

1060 Woodside Avenue is a Landmark Historic Structure in the HR-1 Zoning District that was constructed circa 1928. A non-Historic addition and other modifications were added in the 1970s as outlined in the Staff Report. Exterior Insulation Finishing System (“EIFS”) was placed over the Historic stucco material in that same timeframe.

The Applicant proposed the following:

- Remove 228.5 square feet from the south façade to accommodate a new addition and restore the 1928 building footprint.
 - The 1970s addition that would be removed was non-Historic and did not comply with Zoning District requirements for setbacks and transitional elements. As the proposed new addition would be less than 50% of the Historic Structure footprint, a transitional element was not required.
- Remove 170 square feet of non-Historic material and a non-historic dormer on the rear of the Structure.
- Remove a non-Historic dormer, restore the entryway, and partially restore the front façade as shown in the 1940 tax photo.
- Remove seven non-Historic and one Historic window. Seven Historic and three non-Historic windows would be retained.
- Remove four non-Historic doors on the Structure.
- Remove the non-Historic EIFS cladding and restore the stucco material that was seen the Structure at the time of construction.
 - EIFS has been shown to deteriorate stucco. As such, a recommended Condition of Approval required the Applicant to review its condition and ensure that any necessary patching does not further degrade or damage the original stucco.
- Lift the Structure to repair the foundation and construct a basement.
 - The existing concrete porch was in poor condition and would not survive the lift. A recommended Condition of Approval required the Applicant to exactly match the existing porch in materials and forms.

Staff analysis determined the following:

- The Material Deconstruction complies with the HR-1 Zoning district regulations in LMC § 15-2.2.
- The proposal, as conditioned, complies with LMC § 15-11-12.5 *Historic Preservation Board Review for Material Deconstruction*.
- The proposal to lift the Historic Structure, as conditioned, complies with the requirements of LMC § 15-13-2 *Regulations for Historic Residential Sites*.

Planner Covey reported that the Applicant also had an active HDDR application for the rear addition that would be reviewed by the Planning Department at a July 16, 2026, Administrative Hearing.

A Condition of Approval would require the Applicant to submit a third-party report verifying the Historic nature of the windows and their condition and ability to be repaired. If determined to be Historic, their frames must be rehabilitated and the type restored to the

windows visible in the 1940s tax photo. If any windows were determined to be unrepairable, verification must be submitted to the Planning Department, and the windows shall be exactly reconstructed. Non-Historic windows must be replaced with wood complementary to the style of the Historic Structure.

Following lifting of the Structure, it must be returned to its original location and height, and the new foundation shall be like the Historic foundation in accordance with LMC § 15-13-2(B)(2)(b).

Planner Covey indicated that the Board could consider adding a Condition of Approval requiring the Applicant to remove the non-Historic window opening on the front façade to restore the Structure to its 1940s appearance.

Staff recommended that the Historic Preservation Board review the request for Material Deconstruction, conduct a public hearing, and consider approval based on the Findings of Fact, Conclusions of Law, and Conditions of Approval outlined in the draft Final Action Letter.

In response to a question raised by Board Member Stephens, Planner Covey clarified that the Applicant had requested to remove material and restore the Historic Structure but had not addressed the non-Historic window on the front façade. LMC does not allow windows to be added to the front façade, so the Board could consider requiring its removal and return the façade to its 1940s form. Board Member Stephens suggested that the determination should be made during the HDDR process, as historically the Board had not been asked to make such requirements. Planner Covey explained that the window impacted the Historic Structure, not the proposed addition.

A front façade photo was reviewed, and Planner Covey confirmed that the window in question was to the right of the door. The Applicant had proposed to partially restore the Structure to its 1940s form but leave the 1970s window intact, and the Board could determine that it must be removed. With other applications such as one for 176 Main Street, the Board had required that other architectural features be removed as part of Material Deconstruction.

In response to a question from Chair Beatlebrox, Board Member Stephens clarified that his issue was with procedure as he agreed that the window should be removed. Director Ward explained that the home was built in the 1940s and modified in the 1970s. The Applicant came before the Historic Preservation Board to request a hybrid approval to restore the Structure to its original footprint but keep some of the 1970s components. Staff recommended that the Board consider requiring the front façade to be fully restored to its 1940s form and the front window be removed. However, a hybrid approval would be considered in the HDDR process. Although three non-Historic windows were proposed to remain, LMC is most restrictive regarding the primary façade, and the other two windows are on the north façade.

Drawings of the windows that would be retained and removed were reviewed, as well as the 1940s tax photo. In response to a question from Board Member Hutchings, Planner Covey reported that one Historic window would be removed to accommodate the addition.

Bill Van Sickle of Van Sickle Design and Drafting spoke on behalf of the Applicant and indicated that they hoped to retain the non-Historic windows for lighting as they want to take advantage of as much natural light as possible. In response to a question from Board Member Stephens, he reported that the second floor was currently used as living space, but the windows in that area would provide light to the great room after remodeling.

Board Member Stephens stated that the Board had been consistent in requiring that primary facades be restored. As the Historic Structure is on a corner lot, it requires a different level of scrutiny, and he believed the two second-floor windows on the north façade detracted from the stucco and should be removed. It was a procedural issue, and he was concerned about how allowing the windows to remain would affect decisions on future restorations.

The Applicant, Corrine Davis, stated that one unique thing about the home is that it was deemed historic because it was owned by Carl Winters, not because of its architecture. Mr. Winters updated the home and installed the additional windows in the 1970s. She understood that the Board wanted to avoid setting a precedent that must be applied to future applications. However, she believed it was an outlier because the same owner made the modifications.

Board Member Hutchings agreed with Board Member Stephens that the hybrid approach should be avoided. He understood the Applicant's position. However, the policy had been to require homeowners to restore Historic Structures to a specific time period, and allowing a hybrid approach would require decisions that they were not qualified to make. Board Member Holmgren was also in favor of requiring full restoration.

Ms. Davis stated that when they first discussed their plans with the Historic Preservation Board, they understood that the addition constructed by Mr. Winters could not be retained under any circumstances, so they did not have the option to restore the façade to its 1970s appearance. She believed the home was unique as it was not in the style of the era. They wanted to do what was best for the community but also to have a home that is functional for their family. Board Member Hutchings understood her point but explained that the Board could not objectively and consistently pick and choose. They had grappled with similar issues in the past and required other homeowners to remove elements they preferred to retain.

Chair Beatlebrox opened the public hearing. There were no comments. The public hearing was closed.

In response to a question raised by Board Member Stephens, Director Ward reported that the Board could amend the Final Action Letter to add Condition of Approval 14 requiring the windows on the primary and north facades to be restored to their 1940s condition.

Board Member Hutchings asked if the Board should address the Applicant's comment about being unable to return the Structure to its 1970s appearance. Chair Beatlebrox clarified that the issue was discussed with the Applicant at a previous meeting.

MOTION: Board Member Hutchins moved to APPROVE the 1060 Woodside Avenue Material Deconstruction based on the following:

Findings of Fact:

1. 1060 Woodside Avenue (Parcel No. SA-38) is a Landmark Historic Site on the City's Historic Sites Inventory and is in the HR-1 Zoning District.
2. The property is a corner lot adjacent to both Woodside Avenue and 11th Street.
3. The Landmark Historic Structure on the site was constructed circa 1928 during the Mature Mining Era.
4. On October 22, 2025, the Planning Commission approved the 1060 Woodside Avenue Plat Amendment to create a 5,662.8-square-foot Lot for the Landmark Historic Site.
5. Stantec, the City's Historic Preservation Consultant, conducted analysis on the date of construction of the Structure and the changes over time. Stantec found that the additions to the 1928 Structure were built in the 1970s. During that time, EIFS (Exterior Insulation and Finish Systems, or synthetic stucco) cladding was added over the original stucco material. Other changes, including windows on the front façade and dormers, were added to the Structure in the 1970s.
6. On March 4, 2026, the Historic Preservation Board conducted a work session with the Applicant to discuss the appropriate era to restore the Structure to as well as the Applicant's request for Relocation of the Landmark Historic Structure.
7. Based on the Board's work session and recommendation that the Structure is not relocated, the Applicant revised their plans.
8. The Historic Preservation Board reviews requests for Material Deconstruction for compliance with Land Management Code (LMC) § 15-11-12.5 *Historic Preservation Board Review For Material Deconstruction*.
9. The Applicant proposes to remove 228.5 square feet from the south façade to:
 - a. Accommodate the proposed new rear addition.
 - b. Remove the non-Historic rear addition constructed between 1970 and 1972 and restore the 1928 Building Footprint.
 - c. Remove 170 square feet of non-Historic material and a non-Historic dormer on the rear of the Structure to accommodate a new addition.
 - d. Remove a non-Historic dormer, restore the entryway on the front façade and partially restore the façade as shown in the 1940 tax photo.
 - e. Remove seven non-Historic windows and one Historic window, and retain seven Historic windows, and three non-Historic windows.
 - f. Remove four non-Historic doors on the Structure.
 - g. Remove the non-Historic EIFS cladding and restore the stucco material that was seen on the Structure at time of construction.

10. The Applicant proposes removing 228.5 square feet of EIFS clad Historic siding from the south façade of the Significant Historic Structure.
11. The proposed Material Deconstruction will allow the Applicant to construct an addition on the rear and secondary façade of the Landmark Historic Structure.
12. Additions to Historic Structures are regulated by LMC § 15-13-2(B)(4).
13. Additions to Historic Structures shall be considered with caution only on non-character defining façades and should be visually subordinate to historic buildings when viewed from the primary public right-of-way.
 - a. The proposed addition is located on the rear of the Structure as well as the secondary façade furthest from 11th street.
 - b. The proposed addition is set back approximately 11 feet from the front of the Historic Structure that faces Woodside Avenue.
 - c. The proposed addition is approximately 36 feet from the front property line and 55 feet from Woodside Avenue.
14. Pursuant to LMC § 15-13-2(B)(4)(b) transitional requirements are required when the footprint of an addition is 50% or greater than the footprint of the Historic Structure or when the height of the addition exceeds the Historic Structure.
 - a. The Applicant proposes restoring the 1928 Building Footprint of the Historic Structure by removing the non-Historic Addition. The 1928 Building Footprint is approximately 1,173 square feet.
 - b. The Building Footprint of the proposed addition is 586 square feet and is 49.9% the Building Footprint of the Historic Structure.
 - c. The Historic Structure is 22 feet 8 inches above Existing Grade.
 - d. The proposed addition is 22 feet above Existing Grade.
15. Pursuant to LMC § 15-13-2(B)(4)(c)(9) when an addition approaches 50% of the footprint of the Historic Structure the massing shall be broken into modules to reflect the mass and scale of those modules seen on the Historic Structure. The Applicant has broken the proposed addition into modules through variation in roof form and the placement of the balcony. The Applicant has chosen to set the Structure back from Woodside Avenue with the majority of the addition in the rear yard of the Historic Structure and minimally visible from the right of way. The placement of the Detached Accessory Structure also helps to reduce the visual impact of the addition when viewed from 11th Street.
16. The Applicant proposes to remove the non-Historic 1970s addition at the rear of the Structure. The addition was not constructed in compliance with the code in effect at that time and is only set back 4 feet 11 inches from the rear property line.

- a. While the 1970s addition was integrated into the 1928 Structure, today's LMC § 15-13-2(B)(4)(b) requires a transitional element between a Historic Structure and an addition when the addition is more than 50% of the Building Footprint.
 - b. The existing non-Historic addition is approximately 790 square feet and is larger than 50% of the 1928 Building Footprint. The 1970s addition does not have a transitional element and does not meet today's transitional element requirements.
 - c. The request for Material Deconstruction will bring the Historic Structure and addition into compliance with current LMC.
17. The Applicant proposes to remove the non-Historic dormer on the front façade and to remove 170 square feet of non-Historic roofing material to accommodate the new addition.
18. The Applicant proposes to install skylights on the rear of the roof of the Historic Structure. The proposed skylights will not impact any Historic Material.
19. Pursuant to LMC § 15-13-2(B)(2)(a)(1), primary façade components such as entryways shall be maintained in their original location on the façade. The Applicant proposes to remove the 1970s dormer and to modify the front entryway to restore the elements to their 1940s form.
20. The Applicant proposes to remove seven windows which are non-Historic and were added in the 1970s. The Applicant proposes to remove one Historic window as part of the 228.5 square feet of requested Material Deconstruction to construct the proposed addition.
21. Pursuant to LMC § 15-13-2(B)(2)(d)(3) it is not appropriate to remove existing historic openings on primary or secondary facades that are visible from the primary right-of-way. The Historic opening proposed to be removed is beyond the midpoint of the secondary façade and is not easily visible from Woodside Avenue or 11th Street.
22. Pursuant to LMC § 15-13-2(B)(2)(d) new window openings on Historic Structures are discouraged. The Applicant does not propose any new window openings on the Historic Structure.
23. The Applicant proposes to retain seven of the Historic windows on the Structure. The Applicant notes in their Historic Preservation Plan that they will restore and repair the windows as the condition allows while they complete the work on the Structure. While the Applicant notes the windows are Historic, it appears that some of the windows have been altered over time from operable to fixed windows. Pursuant to LMC § 15-13-2(B)(2)(d)(7), replacing an operable window with a fixed window is not allowed. Condition of Approval 6 requires that the Applicant submit a third-party report verifying the historic nature of the windows and their condition and ability to be repaired. If the

windows are determined to be historic, their frames shall be rehabilitated and the type shall be restored to the windows visible in the 1940s tax photo.

24. Pursuant to LMC § 15-13-2(B)(2)(d)(5) when historic windows are present, replacement windows shall be allowed only when it can be shown that the historic windows are no longer safe, energy efficient and serviceable and the historic windows cannot be made safe, energy efficient and serviceable through repair. Replacement windows shall exactly match the historic window in size, dimensions, glazing pattern, depth, profile, and material. Additionally, the Applicant shall maintain the original number of glass panes in a historic window. Replacing multiple panes with a single pane is not appropriate. Snap-in muntins or muntins between two sheets of glass are inappropriate as these simulated dividers lack depth and fail to show the effect of true divided glass panes. Condition of Approval 7 requires that the Applicant shall repair the existing Historic windows. Shall any windows be determined to be irreparable the Applicant shall submit verification to the Planning Department and shall utilize the material to exactly reconstruct the window.
25. The Applicant proposes to retain three of the non-Historic window openings, two of which are on the north (side) façade, one of which is on the west (front) façade. Condition of Approval 8 requires that the non-Historic windows shall be replaced with wood and shall complement the style of the historic structure.
26. The Applicant outlines in their Historic Preservation Plan that the existing doors on the Structure are non-Historic. Two of the existing doors are located on the non-Historic rear addition. New doors associated with the proposed addition will be required to comply with LMC § 15-13-2(B)(2)(c)(7) and shall be similar in size, type, and material to those on the Historic Structure as required by Condition of Approval 9.
27. The Applicant proposes to remove and replace the door on the front façade. The Applicant does not propose to alter the size or proportions of the door opening. Condition of Approval 10 requires that the replacement door exactly match the historic door in size, material, profile, and style. Replacement doors typically shall be of wood, with or without glazing, and shall complement the style of the historic structure. When replacing non-historic doors, use designs similar to those that were found historically in Park City. Paneled doors were typical and many had a vertical pane of glass. Scalloped, Dutch, and colonial doors, as well as door sidelights are not appropriate on most primary and secondary façades.
28. The Applicant proposes installing a door on the rear of the Historic Structure where the non-Historic addition was previously. Pursuant to LMC § 15-13-2(B)(2)(c)(7) new door openings may be considered on secondary facades. A new opening shall be similar in location, size, and type to those seen on the historic structure.

29. The Applicant proposes to remove one door on the side of the Historic Structure as part of the request for Material Deconstruction of 228.5 square feet of material to accommodate the proposed addition.
30. The Applicant proposes to remove and replace the door on the front façade. The Applicant does not propose to alter the size or proportions of the door opening. Condition of Approval 10 requires that the replacement door exactly match the historic door in size, material, profile, and style. Replacement doors typically shall be of wood, with or without glazing, and shall complement the style of the historic structure. When replacing non-historic doors, use designs similar to those that were found historically in Park City. Paneled doors were typical and many had a vertical pane of glass. Scalloped, Dutch, and colonial doors, as well as door sidelights are not appropriate on most primary and secondary façades.
31. New doors associated with the proposed addition will be required to comply with LMC § 15-13-2(B)(2)(c)(7) and shall be similar in size, type, and material to those on the Historic Structure as required by Condition of Approval 9.
32. The Applicant proposes installing a door on the rear of the Historic Structure where the non-Historic addition was previously. Pursuant to LMC § 15-13-2(B)(2)(c)(7) new door openings may be considered on secondary facades. A new opening shall be similar in location, size, and type to those seen on the historic structure.
33. The Applicant proposes to remove the EIFS cladding that was added in the 1970s over the stucco cladding that was on the house historically. EIFS cladding is a synthetic material, and when not installed properly or where it may have cracked over time, is known to trap moisture and can add to the deterioration of historic materials.
34. Condition of Approval 11 requires that the Applicant carefully review the condition of the original stucco and if necessary, removing damaged material and patching with new stucco that duplicates the old in strength, composition, color, and texture. The Applicant shall verify that the new stucco used to patch shall not degrade the historic material in good condition that can be retained on the Structure.
35. The Applicant proposes to lift the Historic Structure to replace the foundation of the home and to construct a basement addition. LMC § 15-13-2(B)(5)(a) states, “[a] basement addition shall not raise the historic structure generally more than two feet (2’) from its original floor elevation above grade prior to construction.” The Applicant does not propose to increase the height of the Historic Structure.
36. The Applicant proposes to retain the Historic porch on the front façade. Based on the physical conditions report the Historic concrete porch is in poor condition and would not survive the proposed lift of the Structure.

37. The Applicant proposes to reconstruct the Historic porch in concrete, in the exact location and in the exact dimensions of the existing porch.
38. Pursuant to LMC § 15-11-9(B), the Applicant will be required to submit a Financial Guarantee in a form approved by the City Attorney's Office and recorded with Summit County to ensure compliance with the conditions and terms of the Historic Preservation Plan.
39. The Development Review Committee (DRC) reviewed the proposed project on October 7, 2025, and has no Conditions of Approval.
40. Staff published notice on the City's website and the Utah Public Notice website and posted notice to the property on June 17, 2026. Staff mailed courtesy notice to property owners within 100 feet on June 17, 2026. *The Park Record* published courtesy notice on June 17, 2026.

Conclusions of Law:

1. The Material Deconstruction complies with the HR-1 Zoning District regulations in LMC Chapter 15-2.2.
2. The proposal, as conditioned, complies with LMC § 15-11-12.5 *Historic Preservation Board Review for Material Deconstruction*.
3. The proposal to lift the Historic Structure, as conditioned, complies with the requirements of Land Management Code § 15-13-2 *Regulations for Historic Residential Sites*.

Conditions of Approval:

1. Final building plans and construction details shall reflect substantial compliance with the Historic Preservation Board July 1, 2026, approval. Any changes, modifications, or deviations from the approved plans that have not been approved in advance by the Planning and Building Departments may result in a stop work order.
2. The Applicant is responsible for notifying the Planning and Building Departments prior to making any changes to approved plans.
3. Any changes, modifications, or deviations from the approved scope of work shall be submitted in writing for review and approval/denial in accordance with the applicable standards by the Planning Director or their Designee prior to construction.
4. The Applicant shall obtain Historic District Design Review approval from the Planning Director, or Designee, prior to submitting a building permit application.

5. Pursuant to LMC § 15-11-9(B), the Applicant is required to submit a Financial Guarantee in a form approved by the City Attorney's Office to record with Summit County to ensure compliance with the conditions and terms of the Historic Preservation Plan and approvals.
6. The Applicant shall submit a third-party report verifying the historic nature of the windows and their condition and ability to be repaired. If the windows are determined to be historic, their frames shall be rehabilitated and the type shall be restored to the windows visible in the 1940s tax photo.
7. The Applicant shall repair the existing Historic windows. Shall any windows are determined to be irreparable, the Applicant shall submit verification to the Planning Department and shall utilize the material to exactly reconstruct the window.
8. The non-Historic windows shall be replaced with wood and shall complement the style of the historic structure.
9. New doors associated with the proposed addition will be required to comply with LMC § 15-13-2(B)(2)(c)(7) and shall be similar in size, type, and material to those on the Historic Structure.
10. The replacement door shall exactly match the historic door in size, material, profile, and style. Replacement doors typically shall be of wood, with or without glazing, and shall complement the style of the historic structure. When replacing non-historic doors, use designs similar to those that were found historically in Park City. Paneled doors were typical, and many had a vertical pane of glass. Scalloped, Dutch, and colonial doors, as well as door sidelights, are not appropriate on most primary and secondary façades.
11. The Applicant shall carefully review the condition of the original stucco and, if necessary, remove damaged material to patch with new stucco, it shall duplicate the old in strength, composition, color, and texture. The Applicant shall verify that the new stucco used to patch shall not degrade the historic material in good condition that can be retained on the Structure.
12. The Structure shall be returned to its original location and height.
13. The form, material, and detailing of the new foundation shall be like the Historic foundation in accordance with LMC § 15-13-2(B)(2)(b).
14. The windows on the primary and north facades shall reflect the 1940s form.

Board Member Stephens seconded the motion.

VOTE: Board Member Holmgren-Yes; Board Member Hutchings-Yes; Board Member Scott-Yes; Board Member Stephens-Yes; Chair Beatlebrox-No. The motion passed by a vote of 4-to-1.

Chair Beatlebrox stated that it was a great project in a very visible part of Old Town, and she looked forward to seeing the completed renovation. Board Member Scott stated that it was a strange project based on where the Historic Structure is positioned on the lot, and he appreciated the fact that they were able to review the plans first and provide guidance.

C. 1010 Woodside Avenue – Material Deconstruction – The Applicant proposes to construct a Basement and Rear Addition on a Landmark Historic Structure in the Historic Residential - 1 Zoning District. PL-26-06834.

Planner III, Lillian Zollinger presented the Staff Report. The application was for a Material Deconstruction and lift of the Historic Structure located at 1010 Woodside Avenue.

1010 Woodside Avenue is a Landmark Historic Site constructed circa 1885. A small rear addition was constructed between 1885 and 1900, and other minor additions were constructed between 1941 and 1982.

The Applicant proposed to:

- Remove the non-Historic front sunroom, dormers, chimney, and windows.
- Restore the Historic Structure to its original form.
- Lift the Historic Structure to construct a basement.
- Remove Historic material to add two windows.
- Replace the roof.
- Add a 25-square-foot addition to the rear that would not impact Historic Material.

The Applicant intended to use the Historic Structure as an Accessory Apartment. They recently completed a Plat Amendment combining 1010 Woodside Avenue and 1011 Park Avenue and would be constructing a Single-Family Dwelling on the other side of the lot. Renderings were reviewed showing the Structure's original form and additions.

Planner Zollinger reported that Condition of Approval 4 in the draft Final Action Letter incorrectly indicated that the Applicant shall obtain Historic District Design Review approval and a Conditional Use Permit. However, Accessory Apartments require an Administrative permit only. She then reviewed other recommended conditions.

Staff recommended that the Historic Preservation Board review the proposed Material Deconstruction, conduct a public hearing, and consider approval based on the Findings of Fact, Conclusions of Law, and Conditions of Approval outlined in the draft Final Action Letter.

Board Member Stephens asked if the Applicant had proposed adding windows to the front façade. Planner Zollinger clarified that a front window had already been modified, and the Applicant proposed installation of a new window in that location. The window was currently hidden by the non-Historic sunroom.

In response to a question raised by Chair Beatlebrox, Planner Zollinger reported that the sunroom was not original to the house, and the Applicant intended to remove it and restore the front porch area. The entry to the home is on the side of the house. The house would

be restored to its 1885 appearance with the exception of the window. Chair Beatlebrox asked the applicant to speak to the proportions.

Cole Knight of Elliott Workgroup spoke on behalf of the Applicant and indicated that there were gaps in the photographic documentation, so they did not know the origin of the window. A 1941 tax photo shows a window in the location, but it was closer in proportions to the double-hung windows on the frontmost façade. At some point between 1941 and 1982, its dimensions were changed, and the front porch was enclosed. The window could be considered Historic but was not original to the Structure. There was currently a quasi-livable attic space with noncompliant height throughout, and their intention was to open it into one vaulted living area. They would like to keep that window as it is in a living area and provides natural light. The Structure was once level with Woodside Avenue, but the street had been substantially elevated above the front façade, and they wanted as much light as possible in the living space.

In response to a question from Chair Beatlebrox, Mr. Knight stated that the sunroom was added between 1941 and 1981, but they did know the specific date. The Applicant's intention was to restore the front façade to a more historic, earlier version that is more representative of the 1941 tax photo. He believed it unlikely that the porch was enclosed at the same time the window was enlarged, so the house would be restored to the time period in which the window was created, and the porch was unenclosed.

Photos of the Structure were reviewed. Mr. Knight reported that the entry door and original siding were present inside the sunroom.

Board Member Stephens asked if there was any indication of the original size of the window but noted that a window was shown in the tax photo, so he had no issues with it remaining. Mr. Knight stated that the existing window had different proportions from the one shown in the tax photo. The siding profiles provided some indication of what was original, and the earliest tax photo gave some indication as well. Their intention was to restore the property to the interim period after windows were added.

In response to a question from Chair Beatlebrox, Mr. Knight stated that they believed the two windows on the left of the front façade were original. Chair Beatlebrox indicated that the third window should match the other two. Board Member Stephens agreed that the third window should be restored. Board Member Scott stated that the tax photo should be the reference point as the Structure should be consistent with the era.

Mr. Knight asked if the project could proceed as planned if they could locate a photo of the Structure from the time period after the window was enlarged but before the porch was enclosed. Chair Beatlebrox stated that the entire façade would need to be restored to that condition, which would require rebuilding the porch.

In response to a question from Board Member Stephens, Planner Zollinger clarified that the reference tax photo was from 1941. No earlier photos were available. Board Member Stephens stated that typically, when there was an entrance to the side of the porch, there was also a front door into the formal space with a window beside it similar in size to the one shown in the tax photo. That would provide the opportunity to add a front door and a window

similar in size to the existing Historic windows, which would add more light, and bring it back to what may have been the 1885 Structure.

Chair Beatlebrox asked if more research could be conducted to determine what the house looked like in the year the Applicant hoped to restore it to. Mr. Knight stated that it was not probable that additional photos would be found. The Applicant did not want an additional door on the Structure as it will be converted to an open living space. He asked if the Structure must be restored to its original period or if it could be restored to another period. Chair Beatlebrox confirmed that many Historic Structures are restored to a specific time period, and the Board's objection was that the porch window was not of Historic proportions. It was clarified that the porch would be restored and the window would be located in its original position.

In response to a question, Mr. Knight reported that no exploratory demolition had been conducted. The timeline of renovations may become more apparent once interior demolition began. His professional opinion was that the original window was replaced with a larger window prior to enclosing the porch.

Director Ward reported that the Board could add Condition of Approval 10 to address any findings during demolition. There may have been two windows in that area. In that case, the project would come back to the Historic Preservation Board. The draft Final Action Letter required the Structure to be restored to its 1885 form with the ratios shown in the 1941 tax photo for the porch window. Board Member Stephens recommended that the Applicant be required to restore the 1940's window unless different dimensions were found during demolition. Mr. Knight confirmed that the Applicant could work within that condition.

In response to a question from Board Member Hutchings, Board Member Stephens explained that once the sheetrock or plasterboard is removed, the framing will be visible, and they may be able to determine how it was altered to fit the current window. If there was no evidence of alteration, the project should not need to come back before the Board. Board Member Hutchings was in favor of that approach, as evidence was necessary to verify that the Structure was being fully restored to a specific time period. Board Member Stephens remarked that Structures were typically restored to a Sanborn Map point in time, but he was in favor of Board Member Stephens' recommendation.

Director Ward stated that the Final Action Letter would be amended to add Condition of Approval 10 stating that as the Applicant completes exploratory interior demolition, the Historic openings for front façade windows and/or doors will be confirmed at that time. Specific language was discussed, as well as whether the item should come back before the Board.

In response to a question from Director Ward, Mr. Knight reported that the timeline for interior demolition was predicated on approval of the application and putting the financial guarantee in place, but demolition could begin within one month. They hoped to complete the HDDR process and complete work on the foundation prior to winter.

In response to a question from Mr. Knight, Board Member Stephens confirmed that if evidence of a door was found, it would need to be restored. In response to a follow-up

question, Director Ward clarified that the information was required as no photo was available. Once exploratory demolition began, they could potentially determine what was originally there. Board Member Stephens stated that if a second door was found, the restored door would not need to be operable.

Mr. Knight indicated that the tax photo represents a date in time, but not the date all elements were constructed. Director Ward explained that the existing window was distinctly different from the Historic windows. The Historic Site Form was tied to the Mining Era, but the window created a hybrid front façade. The Condition of Approval would allow for the additional information to better evaluate the Structure.

In response to a follow-up question from Mr. Knight, it was confirmed that if no other evidence was found, the window should be restored to the 1941 tax photo.

Board Member Holmgren asked if the Sandborn Map provided any information. Director Ward reported that the map shows the porch but not when it was enclosed. If the exploratory demolition did not answer the question, she believed it was appropriate to allow two windows that reflect the Historic two-to-one dimensions. That would accomplish the goal of allowing more light into the Structure within the solid-to-void ratio that was more common in the time period.

Limitations of the 1941 tax photo were discussed. Mr. Knight argued that the window is in a living space and is more of a picture window, meant to bring in light and capture views, and there were examples of Mining Era buildings with two-to-one ratio windows in addition to a larger picture window in the main living space.

Board Member Hutchings stated that the Historic Preservation Board needed to be consistent, as they were with the last item. He only saw one Historic-sized window in the tax photo. He was not opposed to making that determination after the wall was opened and the decision could be made based on that evidence, but he did not support allowing a larger, non-original window on the primary façade.

Chair Beatlebrox opened the public hearing. There were no comments. The public hearing was closed.

In response to a question raised by Chair Beatlebrox, Director Ward confirmed that approval could be conditioned to require restoration of the front window to the 1941 tax photo unless additional evidence of a different size or configuration was found during demolition.

Senior City Attorney, Mark Harrington, recommended that the Condition of Approval be worded to reflect the Board's intentions. The final language should read: *The Applicant shall restore the front window within the porch to a 2:1 ratio as seen in the 1940s tax photo unless, as the Applicant completes exploratory interior demolition, the Historic openings on the front façade within the porch area indicate an original door and/or window, to be confirmed by the Planning Department.*

Mr. Knight asked if the Applicant could attempt to find a photo of the Structure after the window was enlarged but before the porch was enclosed. Attorney Harrington stated that

the current applicant specified the earlier date, not the larger window. If another photo was found, the application would need to come back before the Historic Preservation Board to ensure that the approval matches the photo.

MOTION: Board Member Hutchings moved to APPROVE the 1010 Woodside Avenue Material Deconstruction based on the following:

Findings of Fact:

1. 1010 Woodside Avenue is a Landmark Historic Site on Park City's Historic Sites Inventory and was constructed circa 1885.
2. The Landmark Historic Structure encroaches slightly onto the adjacent property to the south, 1002 Woodside Avenue. The property owners of 1010 Woodside Avenue and 1002 Woodside Avenue entered into an encroachment agreement for the Historic Structure.
3. On May 13, 2026, the Planning Commission approved a Plat Amendment to combine 1010 Woodside Avenue and 1011 Park Avenue into one 3,750-square-foot Lot.
4. The Applicant proposes to convert 1010 Woodside Avenue to an Accessory Apartment, and to construct a new Single-Family Dwelling at 1011 Park Avenue.
5. 1010 Woodside Avenue is within the Historic Residential – 1 (HR-1) Zoning District.
6. The Applicant proposes to:
 - a. Remove the non-historic front sunroom, dormers, chimney, and windows.
 - b. Restore the Historic Structure to its original form.
 - c. Lift the Historic Structure to construct a basement.
 - d. Remove historic material to add two windows.
 - e. Replace the roof.
 - f. Add a 25-square-foot addition to the rear that will not impact Historic Material.
7. Lifting the Historic Structure.
 - a. LMC § 15-13-2(B)(5)(a) states, “[a] basement addition shall not raise the historic structure generally more than two feet (2’) from its original floor elevation above grade prior to construction.”
 - b. LMC § 15-13-2(B)(2)(b) states: “A historic site shall be returned to original grade following construction of a foundation. Re-grade the site so that all water drains away from the structure and does not enter the foundation.”

- c. The Applicant's Physical Conditions Report states, "[b]ased on evidence from historic tax photos, the elevation of Woodside Avenue historically existed at a lower elevation. When the road was raised, timber retaining walls appear to have been added along the Woodside frontage of the property."
- 8. Restoring the Landmark Historic Structure to its 1885 form by replacing non-historic doors with solid wood doors, removing non-historic windows, removing non-historic features, and replacing siding.
 - a. LMC § 15-13-2(A)(3) states: "The historic exterior features of a building should be retained and preserved." According to the Historic Site Form, 1010 Woodside Avenue is significant to the Settlement and Mining Boom Era (1868-1893). The Applicant proposes restoring the Landmark Historic Structure to its 1885 form, removing minor additions that were constructed sometime between 1941 and 1982.
 - b. LMC § 15-13-2(B)(2)(c)(5) states: "Replacement doors shall be allowed only when it can be shown that the historic doors are no longer safe and/or serviceable and cannot be repaired to a safe and/or serviceable condition. Replacement doors shall exactly match the historic door in size, material, profile, and style. When no physical or documentary evidence of original doors exists, replacement doors typically shall be of wood, with or without glazing, and shall complement the style of the historic structure. When replacing non-historic doors, use designs similar to those that were found historically in Park City. Paneled doors were typical and many had a vertical pane of glass. Scalloped, Dutch, and colonial doors, as well as door sidelights are not appropriate on most primary and secondary façades." According to the Applicant's Narrative and Physical Conditions Report, the doors are non-historic and the proposal is to remove the non-original front and rear doors and replace with solid wood doors.
 - c. LMC § 15-13-2(B)(2)(d)(2) states: "Restore historic window openings that have been altered or lost over time. On primary facades, in particular, consider reconstructing, based on physical or documentary evidence, historic window openings that no longer exist. When no physical or documentary evidence of original windows exists, replacement windows typically shall be of wood and shall complement the style of the historic structure. When replacing non-historic windows, use designs similar to those that were found historically in Park City. Aluminum-clad wood windows are appropriate on non-historic additions or foundation level windows. Vinyl and aluminum windows are inappropriate." According to the Applicant's Narrative (Exhibit B) and Physical Conditions Report, the proposal is to remove the non-original:
 - i. Sunroom on the front façade and replace with new siding and window in a historic location, as well as restore the front porch area.

- ii. Main-level windows and replace with aluminum clad windows.
- iii. Upper windows on the west, south, and east façades and not replace.
- iv. Dormer and replace with asphalt shingles and metal roofing.
- d. LMC § 15-13-2(A)(2) states, “[c]hanges to a site or building that have acquired historic significance in their own right should be retained and preserved.” LMC § 15-13-2(B)(2)(d) states: New window openings may be considered on secondary facades but only when placed beyond the midpoint. New window openings shall be similar in location, size, scale, type, and glazing pattern to those seen on the historic structure. When historic windows are present, replacement windows shall be allowed only when it can be shown that the historic windows are no longer safe, energy efficient and serviceable and the historic windows cannot be made safe, energy efficient and serviceable through repair. Replacement windows shall exactly match the historic window in size, dimensions, glazing pattern, depth, profile, and material. New window openings may be considered on secondary facades but only when placed beyond the midpoint. New window openings shall be similar in location, size, scale, type, and glazing pattern to those seen on the historic structure.” The Applicant proposes to add four new windows on the Historic Structure:
 - i. One transom window above the gable window on the front (west) to fill the non-original window spacing that was installed sometime after 1941.
 - ii. One, non-original transom window above the gable window on the south, secondary facade that will remove approximately 3.5 square feet of Historic Material.
 - iii. One transom and one double-hung window on the east gable on the tertiary facade that will remove approximately 2.8 square feet of Historic Material. The double-hung window is going where the non-original addition was previously and will not remove historic material.
- e. The Applicant proposes to keep two historic window locations on the front façade and one on the south secondary façade and replace with aluminum-clad wood windows of the same dimensions.
- f. The Applicant proposes removing a non-historic addition, deck, and chimneys. According to the Applicant’s Narrative and Physical Conditions Report, the proposal is to remove the non-original main-level addition, deck, and chimneys and add a 25-square-foot addition in a similar location that will not disturb additional historic material.
- g. The Applicant proposes replacing exterior damaged siding to restore the 1885 form. LMC § 15-13-2(B)(2)(a) states: “Preserve and maintain historic exterior materials including wood siding (drop siding, clapboard, board and batten), frieze boards, cornices, moldings, shingles, etc., as well as stone and masonry. Repair deteriorated or damaged historic exterior materials using recognized preservation methods appropriate

to the specific material... When historic exterior materials cannot be repaired, they shall be replaced with materials that match the historic in all respects: scale, dimension, profile, material, texture, and finish. The replacement of existing historic material is allowed only when it can be shown that the historic material is no longer safe and/or serviceable and cannot be repaired to a safe and/or serviceable condition.” The Applicant’s Narrative states, “[t]here are areas of wood siding, particularly the lowest courses of siding on the exterior of the house, and boards located above roof planes which have been degraded beyond repair from weather exposure. These boards will be replaced with siding boards which match the profile and dimensions of the existing siding. Window trim elements and facias will also be repaired with matching elements where they have been degraded beyond repair.”

8. The Development Review Committee reviewed the proposal on June 16, 2026, and found the proposal complies with their required standards.
9. Staff published, posted, and mailed notice in accordance with LMC § 15-1-21.

Conclusions of Law:

1. The Material Deconstruction, as conditioned, complies with LMC § 15-11-12.5 Historic Preservation Board Review for Material Deconstruction.
2. The Material Deconstruction, as conditioned, complies with regulations outlined in LMC § 15-13-2 Regulations for Historic Residential Sites.

Conditions of Approval:

1. Final building plans and construction details shall reflect substantial compliance with the Historic Preservation Board March 4, 2026 approval for the Material Deconstruction of 1010 Woodside Avenue. Any changes, modifications, or deviations from the approved plans that have not been approved in advance by the Planning and Building Departments may result in a stop work order.
2. The Applicant is responsible for notifying the Planning and Building Departments prior to making any changes to approved plans.
3. Any changes, modifications, or deviations from the approved scope of work shall be submitted in writing for review and approval/denial in accordance with the applicable standards by the Planning Director or their Designee prior to construction.
4. The Applicant shall obtain Historic District Design Review approval and Administrative Permit approval for the Accessory Apartment from the Planning Director, or their Designee, prior to submitting a building permit.

5. The basement addition shall not raise the historic structure generally more than seven inches above Final Grade from its Existing Grade.
6. The Historic Site shall be returned to Existing Grade following the construction of a foundation. Generally, no more than six inches of the new foundation shall be visible above Final Grade on the primary and secondary facades.
7. The site shall be regraded so that all water drains away from the Structure and foundation.
8. Historic materials in good or salvageable condition shall be preserved or repaired rather than replaced. Historic materials that are unsalvageable shall be replaced in compliance with LMC § 15-13-2.
9. The Applicant shall provide the City with a Financial Guarantee, in accordance with LMC § 15-11-19, to be recorded with the Summit County Recorder's Office prior to submitting a building permit application.
10. The Applicant shall restore the front window within the porch to a 2:1 ratio as seen in the 1940s tax photo unless, as the Applicant completes exploratory interior demolition, the Historic openings on the front façade within the porch area indicate an original door and/or window, to be confirmed by the Planning Department.

Board Member Stephens seconded the motion.

VOTE: The motion passed with the unanimous consent of the Board.

8. ADJOURNMENT

MOTION: Board Member Holgren moved to ADJOURN the Historic Preservation Board Meeting. Board Member Hutchings seconded the motion.

VOTE: The motion passed with the unanimous consent of the Board.

The Historic Preservation Board Meeting adjourned at 6:37 p.m.

An aerial photograph of a mountain town covered in snow, with buildings and roads visible. The image serves as the background for the entire slide.

LAND MANAGEMENT CODE AMENDMENTS

Work Session

Historic Preservation Board

July 1, 2026



CHALLENGE

- Internal interim policy
- No definition for swimming pool or hot tub in Land Management Code
- No permitting threshold
- No specific criteria for review of pools and hot tubs

INPUT

- Proposed limitation on size for:
 - Hot tubs, based on typical sizes of prefabricated hot tubs from leading manufacturers
 - Swimming pools, based on Lot size
- Screening requirements

GENERAL PLAN

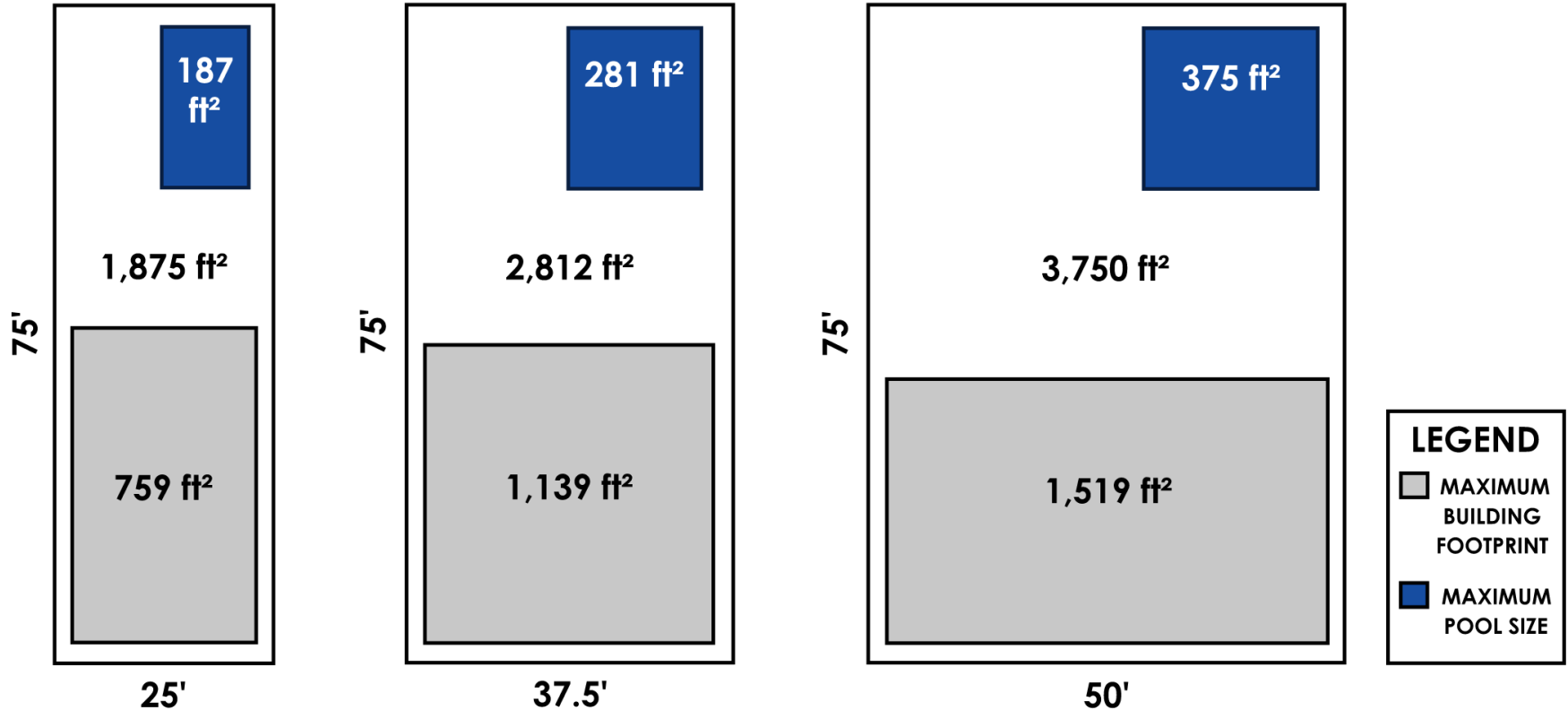
Park City will...

- Maintain its **small-town feel** and **mountain community** character.
- Protect, preserve, enhance, and celebrate the **historic character** of the community

SWIMMING POOL

A permanent or semi-permanent outdoor structure associated with a Single-Family Dwelling intended for recreational swimming or wading containing water with a depth of 18 inches or more and not exceeding a surface area of 800 square feet or 10 percent of the Lot area, whichever is less.

SWIMMING POOL



HOT TUB

An outdoor accessory structure associated with a Single-Family Dwelling, a Duplex Dwelling, a Triplex Dwelling, or a condominium unit containing water with a depth of 18 inches or more and a surface area of 72 square feet or less.

HOT TUB

	Small	Medium	Large
Bullfrog	35	49	72
Jacuzzi	42	49	62
Caldera Spas	32-47	41-60	49-83

REVIEW

- Noise and nightly rentals
- Drainage requirements
- Clarify Screening requirements in Historic Districts

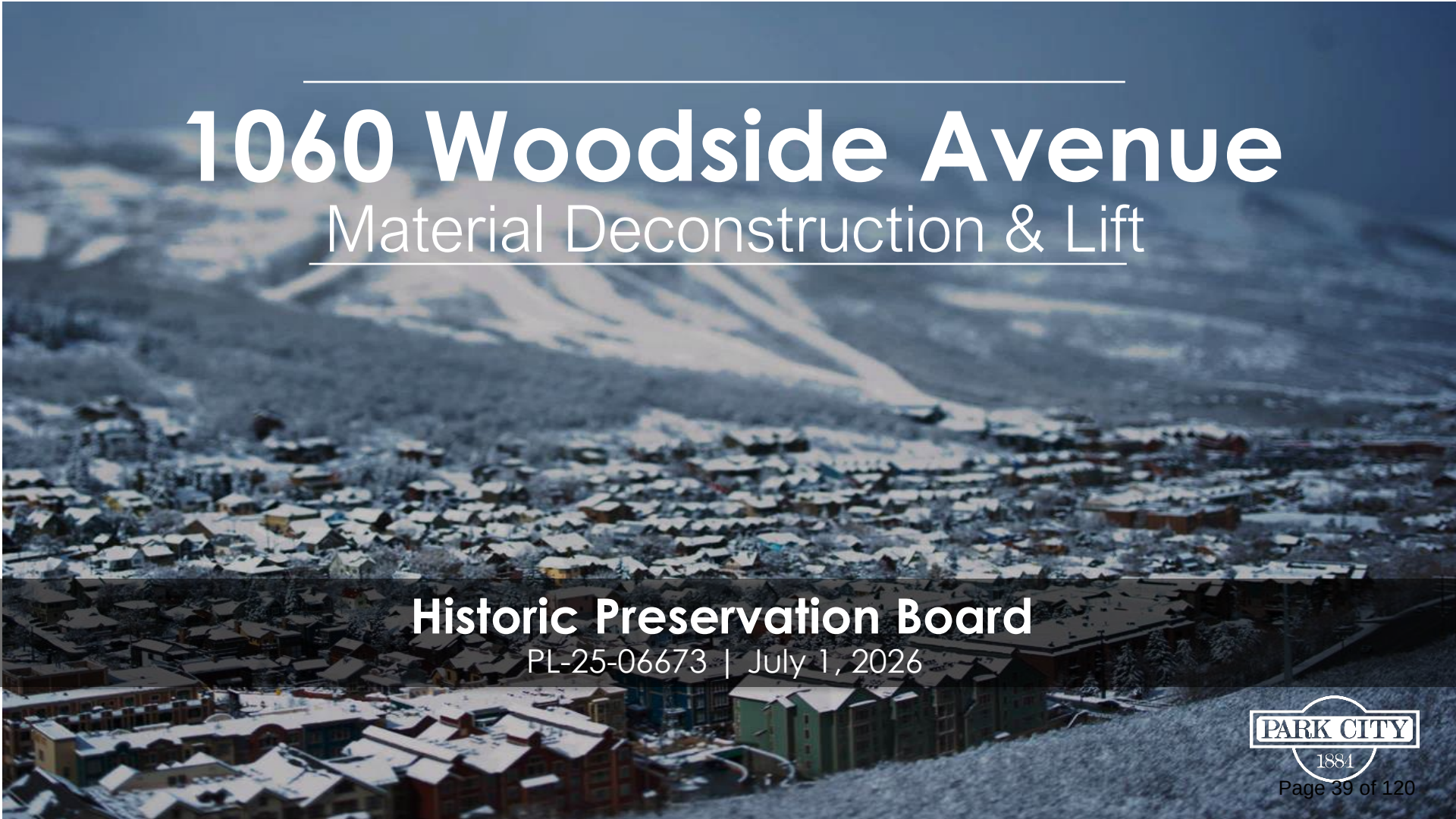
SCREENING

8. Mechanical equipment (which must be screened), hot tubs, or similar Structures located at least three feet (3') from the Rear Lot Line.
10. Mechanical equipment (which must be screened), hot tubs, or similar Structures located at least three feet (3') from the Side Lot Line.

INPUT

Are the proposed limitations on size for hot tubs and swimming pools appropriate to protect neighborhood character in Old Town?

Should the Land Management Code be updated to include specific screening criteria for hot tubs in Historic Districts?



1060 Woodside Avenue

Material Deconstruction & Lift

Historic Preservation Board

PL-25-06673 | July 1, 2026

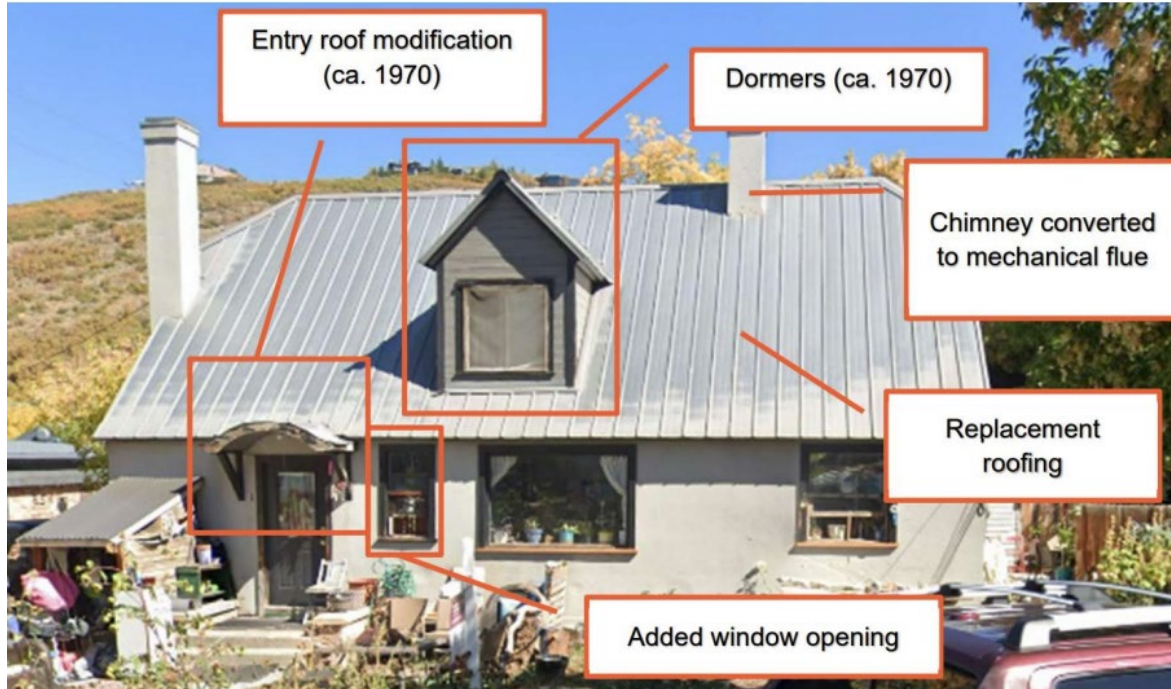


1060 Woodside

- 1928: Structure constructed
- 1970s: Non historic addition added as well as other modifications



1060 Woodside



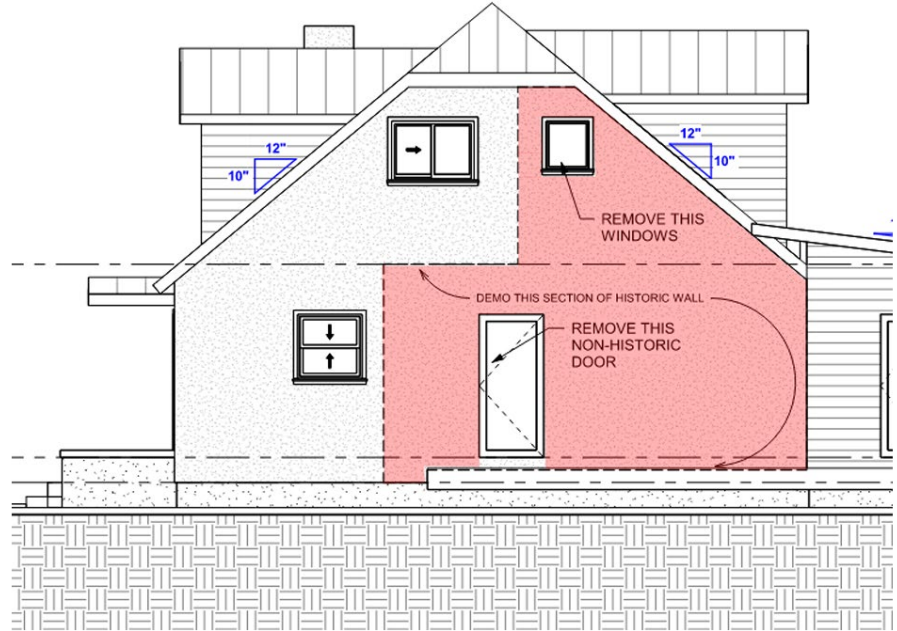
1060 Woodside



1060 Woodside

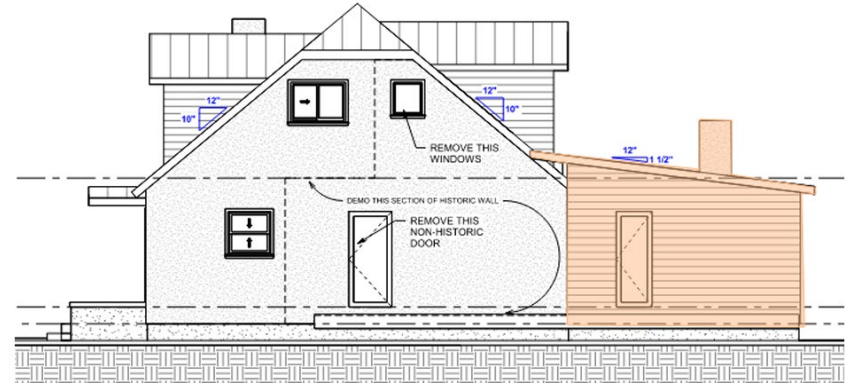
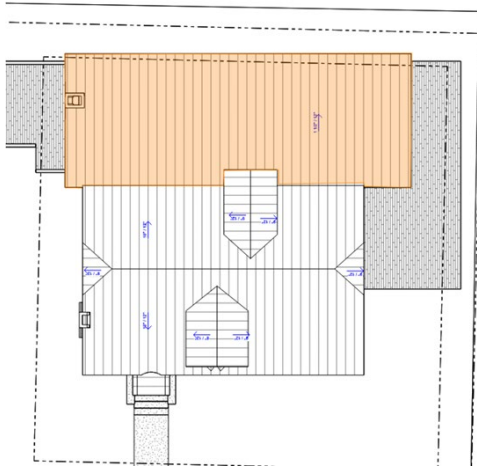
Applicant proposes to

- Remove 228.5 square feet from the south façade to accommodate a new addition



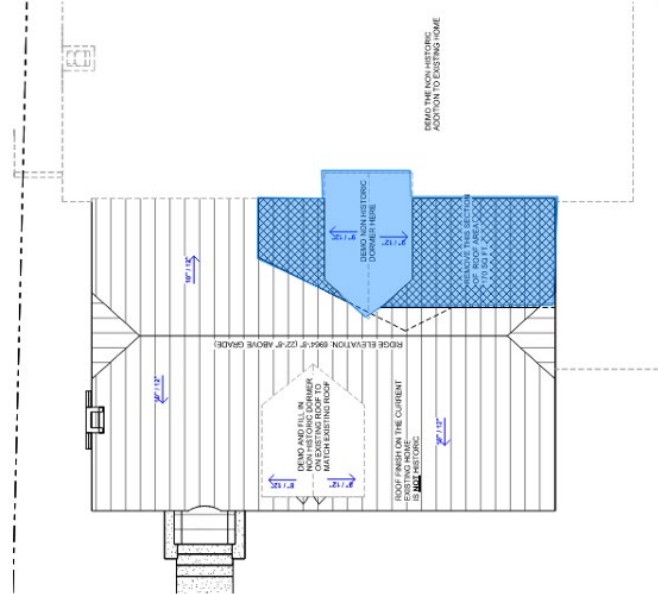
1060 Woodside

- Restore the 1928 Building Footprint



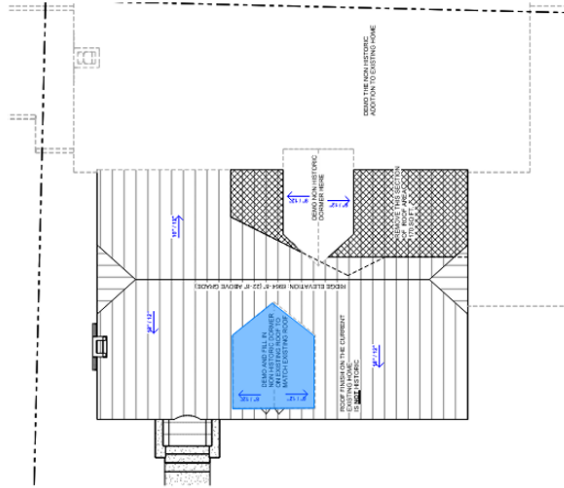
1060 Woodside

- Remove 170 square feet of non-Historic material and a non-Historic dormer on the rear



1060 Woodside

- Remove a non-Historic dormer, restore the entryway on the front façade and partially restore the façade as shown in the 1940 tax photo

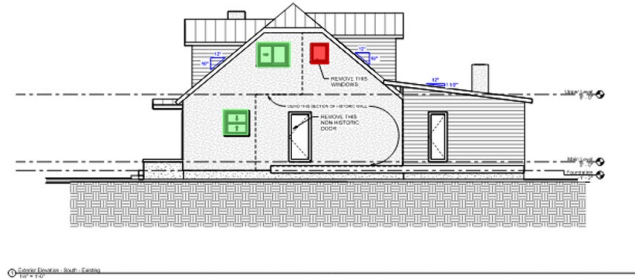
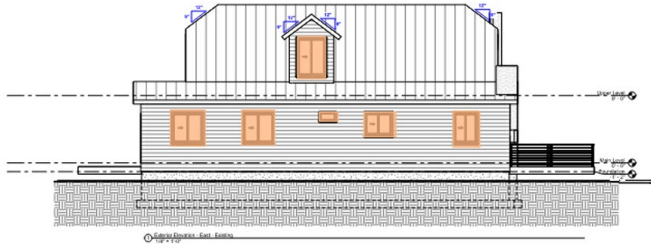


1060 Woodside



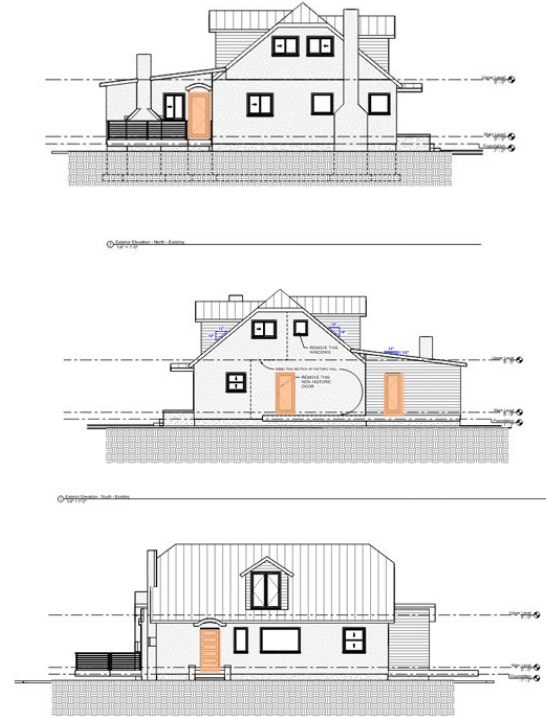
1060 Woodside

- Remove seven non-Historic windows and one Historic window, and retain seven Historic windows, and three non-Historic windows



1060 Woodside

- Remove four non-Historic doors on the Structure
- Remove the non-Historic EIFS cladding and restore the stucco material that was seen on the Structure at time of construction



1060 Woodside

- Lift the Structure to repair the foundation and construct a basement



Analysis

- The Material Deconstruction complies with the HR-1 Zoning District regulations in LMC Chapter 15-2.2.
- The proposal, as conditioned, complies with LMC § 15-11-12.5 Historic Preservation Board Review for Material Deconstruction.
- The proposal to lift the Historic Structure, as conditioned, complies with the requirements of Land Management Code § 15-13-2 Regulations for Historic Residential Sites.

Conditions of Approval

6. The Applicant shall submit a third-party report verifying the historic nature of the windows and their condition and ability to be repaired. If the windows are determined to be historic their frames shall be rehabilitated and the type shall be restored to the windows visible in the 1940s tax photo.
7. The Applicant shall repair the existing Historic windows. Shall any windows be determined to be irreparable the Applicant shall submit verification to the Planning Department and shall utilize the material to exactly reconstruct the window.
8. The non-Historic windows shall be replaced with wood and shall complement the style of the historic structure.

Conditions of Approval

11. The Applicant shall carefully review the condition of the original stucco and if necessary to remove damaged material to patch with new stucco, it shall duplicate the old in strength, composition, color, and texture. The Applicant shall verify that the new stucco used to patch shall not degrade the historic material in good condition that can be retained on the Structure.

12. The Structure shall be returned to its original location and height.

13. The form, material, and detailing of the new foundation shall be like the Historic foundation in accordance with LMC § 15-13-2(B)(2)(b).

1060 Woodside

The Board could consider requiring a Condition of Approval requiring the Applicant to remove the non-Historic window opening on the front façade to restore the Structure to the 1940s appearance based on the tax photo.

Would the Board like to amend the Final Action Letter to add this Condition of Approval?

Recommendation

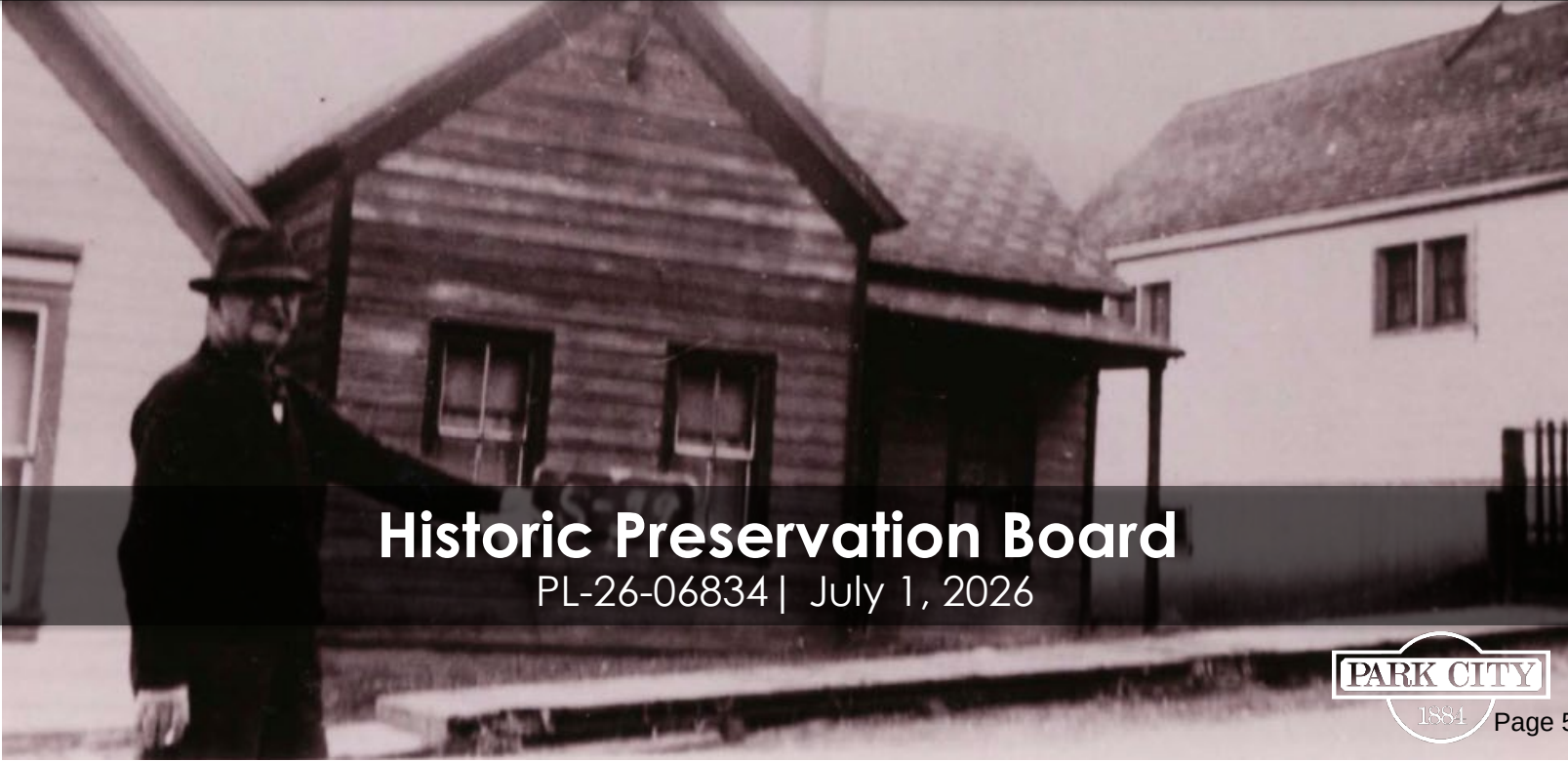
- (I) Review the request for Material Deconstruction at 1060 Woodside Avenue
- (II) conduct a public hearing, and
- (III) consider approving the proposal based on the Findings of Fact, Conclusions of Law, and Conditions of Approval outlined in the draft Final Action Letter

The HPB may:

- Approve the request for Material Deconstruction
- Deny the request for Material Deconstruction and direct staff to make Findings for the denial or;
- Request additional information and continue the discussion to a date certain.

1010 WOODSIDE AVENUE

MATERIAL DECONSTRUCTION & LIFT



Historic Preservation Board

PL-26-06834 | July 1, 2026

PARK CITY

1881

Page 56 of 120

1010 Woodside Ave

~1885 – Landmark Historic Site built

1885-1900 – Small rear addition constructed

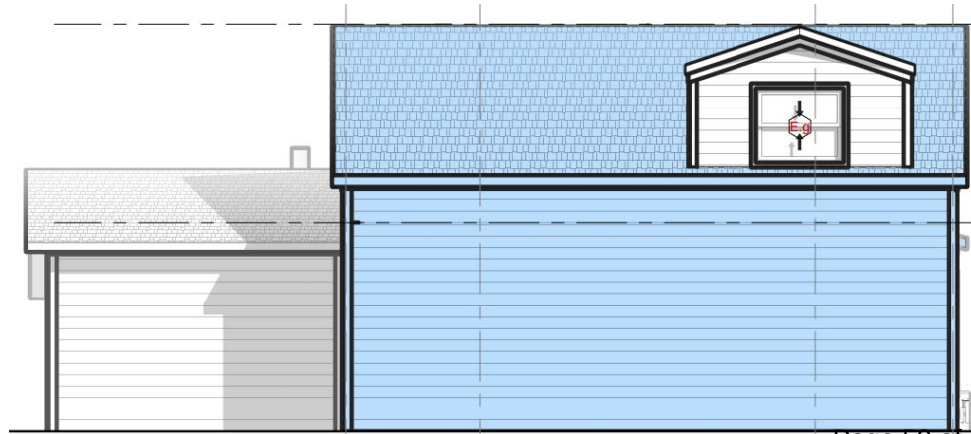
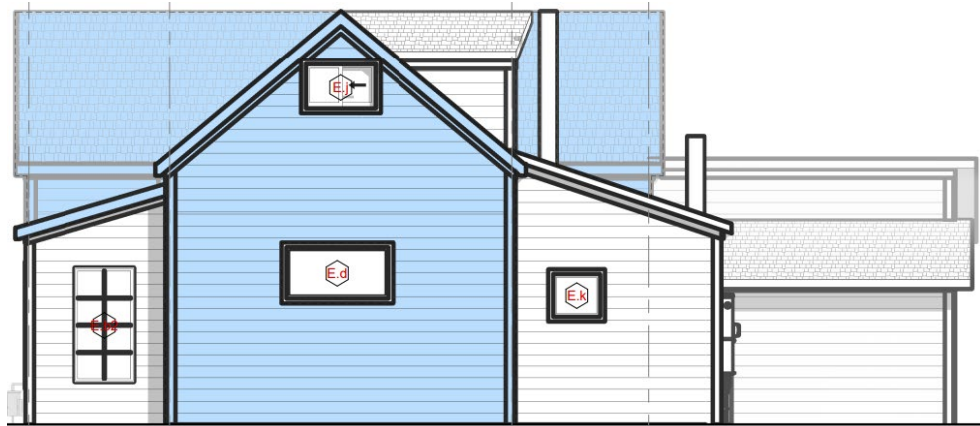
1941-1982 – Minor additions constructed

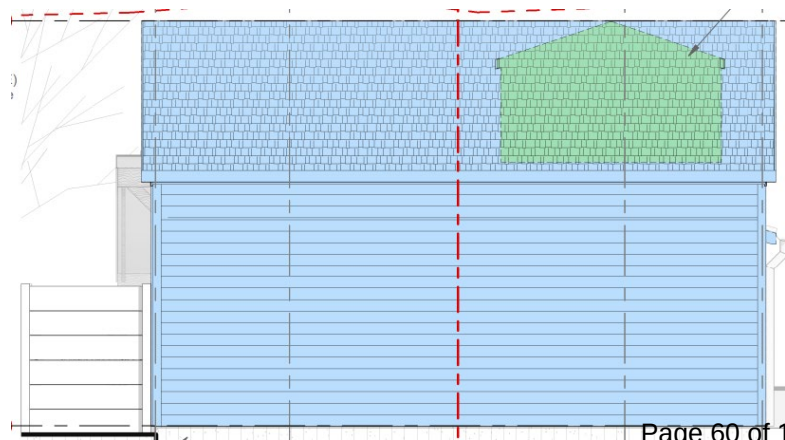
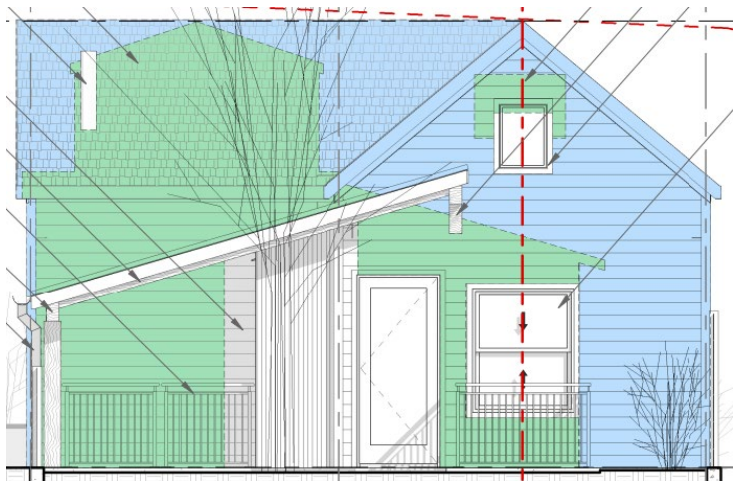
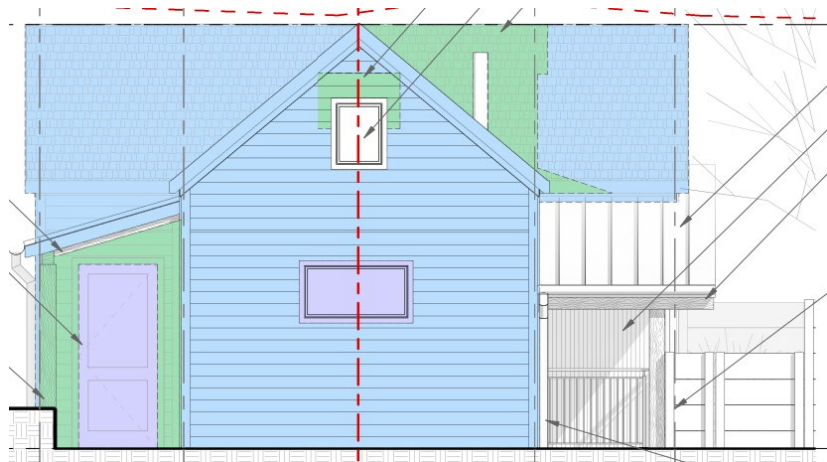
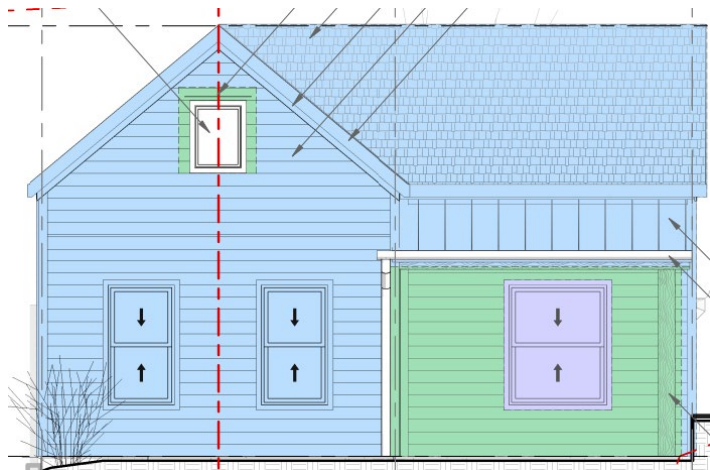


1010 Woodside Ave

The applicant proposes to:

- Remove the non-Historic front sunroom, dormers, chimney, and windows.
- Restore the Historic Structure to its original form.
- Lift the Historic Structure to construct a basement.
- Remove Historic material to add two windows.
- Replace the roof.
- Add a 25-square-foot addition to the rear that will not impact Historic Material.





Conditions of Approval

4. The Applicant shall obtain Historic District Design Review approval and Administrative ~~Conditional Use~~ Permit approval for the Accessory Apartment from the Planning Director, or their Designee, prior to submitting a building permit.
5. The basement addition shall not raise the historic structure generally more than seven inches above Final Grade from its Existing Grade.
6. The Historic Site shall be returned to Existing Grade following the construction of a foundation. Generally no more than six inches of the new foundation shall be visible above Final Grade on the primary and secondary facades.

Conditions of Approval

7. The site shall be regraded so that all water drains away from the Structure and foundation.
8. Historic materials in good or salvageable condition shall be preserved or repaired rather than replaced. Historic materials that are unsalvageable shall be replaced in compliance with LMC § 15-13-2.
9. The Applicant shall provide the City with a Financial Guarantee, in accordance with LMC § 15-11-19, to be recorded with the Summit County Recorder's Office prior to submitting a building permit application.

Recommendation

- (I) Review the proposed Material Deconstruction at 1010 Woodside Avenue
- (II) conduct a public hearing, and
- (III) consider approving the proposal based on the Findings of Fact, Conclusions of Law, and Conditions of Approval outlined in the draft Final Action Letter

The Historic Preservation Board may:

- Approve the Material Deconstruction;
- Deny the Material Deconstruction; and direct staff to make Findings for the denial; or
- Request additional information and continue the discussion to a date certain.

Historic Preservation Board Staff Communication



Subject: Historic District Grant Program
Author: Elissa Martin, Planning Project Manager
Date: August 5, 2026
Type of Item: Informational

Summary

The Historic Preservation Board (HPB) held three work sessions to discuss updates to the Historic District Grant Program (HDGP):

March 4, 2026 ([Staff Report](#); [Minutes](#), p. 2)
April 1, 2026 ([Staff Report](#); [Minutes](#), p. 3)
June 3, 2026 ([Staff Report](#); [Minutes](#), p.22)

The first phase of updates to the HDGP include:

- Revising eligible work to include safety upgrades, retaining walls, and structural upgrades, such as foundation work.
- Revising the grant scoring matrix/evaluation criteria to align with eligible items.
- Updating the HDGP application form to improve the information submitted with a grant application, including requiring two competitive bids for grant requests over \$10,000.
- Improving outreach efforts to increase awareness of the HDGP.

The Planning team also updated the [HDGP webpage](#) to provide additional information on tax credits and to feature before/after images of past grant recipient projects.

The HPB prioritized additional strategies to improve the HDGP and the Planning team will be implementing the next phase of improvements through the end of the year, to be completed by December 31, 2026:

1. Establishing a regular annual cycle of reporting. Audiences for regular reporting include the HPB, Mayor and City Council, and the general public.
2. Establishing metrics for tracking and reporting outcomes.
3. Creating a database of projects to track them from the time a grant is awarded to the time the grant is paid out (we have started to do this).
4. Defining a target list of investment priorities where the grant can make a difference and review it annually to keep it current. Consider public projects, historic mine structures, distressed properties, roof replacements, large remodels, and incentivizing above-minimum-standard outcomes (form, materials, details).

5. Developing criteria and incentives for ski-era resources to be eligible for grant funding.

Historic Preservation Board Staff Report



Subject: Thaynes Mine Shaft and Cages
Application: PL-26-06973
Author: Elissa Martin, Planning Project Manager
Date: August 5, 2026
Type of Item: Historic District Grant Application

Recommendation

(I) Review and score the Historic District Grant Application for repairs and upgrades to the Thaynes Mine shaft enclosure and cages, (II) open a public hearing, and (III) determine whether a grant should be awarded.

Description

Applicant: Morgan Pierce of the Park City Historical Society and The Friends of Ski Mountain Mining History

Location: PCA-S-98-PCMR-1

Zoning District: Recreation Open Space (ROS)

Adjacent Land Uses: Ski Resort and Open Space

Reason for Review: The Historic Preservation Board reviews and takes final action on Historic District Grant requests under \$25,000.

FOSMMH Friends of Ski Mountain Mining History
HDDR Historic District Design Review
HPB Historic Preservation Board
LMC Land Management Code

Terms that are capitalized as proper nouns throughout this staff report are defined in LMC [§ 15-15-1](#).

Summary

The Park City Historical Society and Museum along with Friends of Ski Mountain Mining History (FOSMMH) submitted a Historic District Grant Application for repairs and upgrades to the Thaynes Mine shaft and cages, as part of the overall Thaynes Mine Site Restoration Project. The estimated cost of the scope of work is \$74,589 and the grant request is \$21,989. See the estimated cost breakdown in the Historic District Grant Application (Exhibit B).

The Thaynes Mine Hoist House, which contains the mine shaft and cages, is a designated Historic Structure on Park City's Historic Sites Inventory.¹ The proposed timeline to complete the Thaynes Mine Site Restoration is November 2026.

¹ LMC [§ 15-11-10\(D\)\(3\)\(i\)](#) Thaynes Mine—Conveyor Gallery, Hoist House, Conveyor Gallery, Fire Hydrant Shack, Boarding House Ruins, Accessory Buildings 1 and 2

The Thaynes Mine Site is located at the southeast corner of Park City Mountain near the Jupiter Access, Hoist, Thaynes, and Single Jack runs.



Figure 1: Vicinity Map of the Thaynes Mine Site



Figure 2: Thaynes Mine Hoist House, headframe and shaft tower pictured in 2009

Background

According to the [Thaynes Mine Site Historic Site Form](#), the site was constructed by the Silver King Coalition Mining Company c.1937 (or c.1934), well after the mature mining period and represents the era of mining decline in Park City. The Thaynes Mine Site was the last mine complex constructed before mining operations ceased in Park City.

The Thaynes Mine shaft extends to a depth of 1,800 feet and connects to the western end of the Spiro Tunnel. The shaft reached the Spiro Tunnel in May 1939, helping to ventilate some of the old workings and providing access to new ore.² The mine site became iconic for its adapted use as a ski lift operation in the 1960s.

From an undated document prepared by the Park City Historical Society & Museum:

The Silver King Coalition Mining Company dug a deep shaft in 1934 to access its western ground and to explore for ore. None was ever found, but a secondary use developed decades later. In 1965, skiers were delighted to ride into the Spiro Tunnel in underground rail cars, then hoisted 1700 feet up the Thaynes Shaft to alight near the bottom of the Thaynes ski lift (taken from markers prepared by PCHS&M in 1999). Although mining operations ceased in 1948, most of the complex still remains. The one casualty is a large two-story boarding house, now collapsed from heavy snow. The complex consists of the shaft house with three compartment shaft, two cages, hoisting works, and large conveyor system to carry off the waste rock. The huge waste rock dump still remains today.



Figure 3: Historic Photo Courtesy of the Park City Museum, showing skiers exiting the Thaynes Mine Hoist House after being lifted up through the 1,800-foot-deep mine shaft

² [Thaynes Mine Site Historic Site Form](#)



Figure 4: Thaynes Hoist House Mine shaft and cages pictured in 2025

In 2024, after heavy snowfall, the Hoist House roof collapsed.



Figure 5: Image showing snow damage in the Spring 2024

The 2015 *Preservation Plan for Selected Historic Mining Resources at Park City Mountain Resort* identifies the Thaynes Mine Hoist House and Conveyor Gallery as a priority site for preservation and restoration. The FOSMMH completed rehabilitation of the Conveyor Gallery in 2020. The next phase of the restoration effort is focused on the Hoist House and accessory structures.

On August 7, 2024, the Historic Preservation Board (HPB) reviewed and approved the Applicant's request for Material Deconstruction to remove the historic roof materials of the Hoist House, which had collapsed from heavy snow loads in previous years. At the same meeting, the HPB reviewed and approved a Historic District Grant to remove and replace the 1937 Thaynes Hoist House roof and to stabilize, rehabilitate, and restore the 1937 Hoist House ([Packet](#), Item 6.A and 6.B; [Minutes](#), p. 2)

During the August 7, 2024 meeting, the HPB also reviewed the Applicant's proposal to remove the additions connecting the Hoist House to the headframe and restore the Thaynes Hoist House to its 1937 form. The HPB conditioned the approval of the proposal to restore the Hoist House to its 1937 form with the requirement that the Applicant submit an engineer's report outlining required stabilization for the rehabilitation of the Hoist House, and evaluation of the potential to restore the 1937 form and later additions, for Chief Building Official and Planning Director review.

On February 5, 2025, the FOSMMH provided an update to the HPB regarding the progress on the roof removal and the completion of the condition of approval to submit an Engineer's Report ([Packet](#), Item 8.B; [Minutes](#), p. 24). Subsequently, the Planning Director and Chief Building Official reviewed the Engineer's Report, Physical Conditions report and Historic Preservation Plan and approved the restoration work.

On January 2, 2026, the Planning Department issued a Historic District Design Review (HDDR) waiver letter to rehabilitate the Thaynes Mine Site, including repairs and upgrades to the mine shaft enclosure and cages (Exhibit C). A condition of approval requires the Applicant to preserve and restore as many materials as possible that are associated with the 1937 Hoist House form and later additions.

On January 7, 2026, the HPB awarded a Historic District Grant for \$24,950 for the comprehensive repairs to the Thaynes Hoist House 1937 form, garage door façade, and the shaft tower ([Packet](#), Item 7.B; [Minutes](#), p. 10).

On June 22, 2026, the Park City Museum and FOSMMH submitted a Historic District Grant Application for repairs and upgrades to the Thaynes Mine shaft enclosure and cages.

Historic District Grant

Since 1987, the City has awarded hundreds of thousands of dollars to rehabilitate and preserve Significant and Landmark Historic Structures and Sites through the Historic District Grant Program (HDGP), which is designed to:

Financially incentivize the Preservation, Rehabilitation, Restoration, and Reconstruction of Historic Structure and Sites to create a community that honors its past and encourages Historic Preservation.

The Board may award up to \$127,136 FY26 for both emergency and competitive grants from the funding sources below:

- Lower Park RDA: \$50,000
- Main Street RDA: \$30,000
- Citywide (General Fund): \$47,136

The Thaynes Mine Site is not within an RDA and therefore the funding for this grant would be sourced from the Citywide General Fund. This is the second grant application submitted for the Thaynes Mine Site in FY26. After subtracting the \$24,950 grant amount awarded earlier this year, the remaining balance of the Citywide General Fund is \$22,186 and the current funding request is \$21,989.

The HPB recently approved updates to the Grant Program to require two competitive bids for grant requests over \$10,000. However, these changes did not take effect until the start of the FY27 Q1 funding cycle (July 1, 2026). The Applicant submitted their grant application in FY26 Q1 and provided a breakdown of the estimated costs for the scope of work, totaling \$74,589 with a matching grant request of \$21,989 (Exhibit B).

The City provides up to a 50% matching grant for eligible work that may include but is not limited to:

- | | |
|---|-----------------------------------|
| • Repairing or replacement of historic foundation | • Repairing or replacing roofs |
| • Painting Exterior | • Electrical updating |
| • Repairing/restoring/replacing windows | • Upgrading mechanical systems |
| • Repointing masonry | • Upgrading insulation |
| | • Reconstructing Historic porches |
| | • Restoring Historic features |

Ineligible work includes but is not limited to:

- | | |
|------------------------|------------------------------------|
| • Acquisition costs | • Interior remodeling/new finishes |
| • New additions | • Interior paint |
| • Landscaping/flatwork | |

The scope of work for the repairs and upgrades to the Thaynes Mine shaft enclosure and cages includes:

- Structural Framing, including installing new steel columns and beams (wide flange, channel, HSS).
- Foundation repairs, including new concrete column bases and footings, with reinforcement dowels drilled and epoxied into existing slabs and walls.
- Enclosing and protecting existing shaft openings as part of the structural repairs.

- Preserving and stabilizing the historic shaft structure; additions will use original parts and equipment.

The Applicant's proposed repairs and upgrades to the Historic Mine shaft enclosure and cages are focused on "Restoring Historic Features" through structural stabilization and repair, which is an eligible work item that meets the Historic District Grant Program requirements. Historic District Grants are evaluated based on a set of criteria (Exhibit D). While the HPB recently approved updates to the evaluation criteria, the Applicant submitted their application in the FY26 Q4 funding cycle, prior to these updates taking effect in FY27 Q1. The proposed scope of work meets the following evaluation criteria (according to the FY26 evaluation criteria matrix Exhibit D):

- Preserving character defining elements of the Structure – the Applicant's project description explains that the mine shaft and cages are character defining elements of the overall Thaynes Mine Site, as they are an iconic reminder of Park City's transition from a mining town to a ski destination.
- Enhancing historic features and elements of the Structure and/or site – restoring the mine shaft and cages will enhance the historic Hoist House and Shaft Tower.
- Proposed design and scope of work uses best practices for the treatment of historic materials - the Applicant proposes "Quality Assurance and Inspection" measures as part of their scope of work (see Exhibit B, Grant Application, p.12, scope of work).
- The scope of work specifies that the restoration of the mine shaft and cages will use original parts and equipment, which would meet criteria for prioritizing restoration of historic features rather than replacing historic features in-kind.

Staff requests the HPB please review and score the request prior to the public meeting and determine whether the Applicant qualifies for an award.

Department Review

The Planning Department and Executive Departments and City Attorney's Office reviewed this report.

Notice

Staff published notice on the City's website and the Utah Public Notice website on July 22, 2026. The *Park Record* published courtesy notice on July 22, 2026.³

Public Input

Staff did not receive any public input at the time this report was published.

Alternatives

The HPB may:

- Approve the Historic District Grant award for the Thaynes Mine shaft enclosure and cages.

³ LMC [§ 15-1-21](#)

- Deny the Historic District Grant award for Thaynes Mine shaft enclosure and cages.
- Request additional information and continue the discussion to a date certain.

Exhibits

A: Draft Final Action Letter

B: Historic District Grant Application

C: HDDR Pre-Application Waiver Letter, Project Description, and Plans

D: Grant Evaluation Criteria Scorecard



Planning Department

August 5, 2026

Park City Historical Society
Morgan Pierce

CC: Friends of Ski Mountain Mining History

NOTICE OF HISTORIC PRESERVATION BOARD ACTION

Description

Address: PCA-S-98-PCMR-1

Zoning District: Recreation and Open Space (ROS)

Application: Historic District Grant

Project Number: PL-26-06973

Action: APPROVED WITH CONDITIONS (See Below)

Date of Final Action: August 5, 2026

Project Summary: The Applicant requests a \$21,989 Historic District Grant to repair and upgrade the Thaynes Mine shaft enclosure and cages.

Action Taken

On August 5, 2026, the Historic Preservation Board (HPB) conducted a public hearing and determined a \$21,989 Historic District Grant should be awarded to the Park City Historical Society and Friends of Ski Mountain Mining History for repairs and upgrades to the Thaynes Mine shaft enclosure and cages:

Background

1. On August 7, 2024 the HPB reviewed and approved the Applicant's request for Material Deconstruction to remove the historic roof materials of the Hoist House, which had collapsed from heavy snow loads in previous years, and to restore the Hoist House to its 1937 form, with the condition that an Engineer's Report be submitted and approved by the Planning Director and City Engineer, outlining required stabilization for the rehabilitation of the Hoist House, and evaluation of the potential to restore the 1937 form and later additions.
2. On February 5, 2025, the FOSMHH provided an update to the HPB regarding the



Planning Department

progress on the roof removal and the completion of the condition of approval to submit an Engineer's Report, which was Subsequently approved by the Planning Director and Chief Building Official

3. On August 7, 2024, the HPB reviewed and approved a Historic District Grant to remove and replace the 1937 Thaynes Hoist House roof and to stabilize, rehabilitate, and restore the 1937 Hoist House.
4. On February 5, 2025, the FOSMHH provided an update to the HPB regarding the progress on the roof removal and the condition of approval to submit an Engineer's Report. The Planning Director and Chief Building Official reviewed the Engineer's Report, Physical Conditions Report and Historic Preservation Plan and approved the restoration work.
5. On January 2, 2026, the Planning Department issued a Historic District Design Review waiver letter to rehabilitate the Thaynes Mine Hoist House and headframe, including repairs and upgrades to the mine shaft enclosure and cages.
6. On January 7, 2026, the HPB approved a Historic District Grant application for \$24,950 for repairs to the Thaynes Hoist House 1937 form, garage door façade and the shaft tower.

Findings of Fact

1. The Thaynes Mine Hoist House, which contains the mine shaft enclosure and cages, is designated a Significant Historic Site on Park City's Historic Sites Inventory.
2. On June 22, 2026, the Park City Museum and FOSMMH submitted a Historic District Grant Application for Fiscal Year 2026 Quarter 4 funding to assist with the cost of repairing the mine shaft enclosure and cages, including:
 - Structural Framing, including installing new steel columns and beams (wide flange, channel, HSS).
 - Foundation repairs, including new concrete column bases and footings, with reinforcement dowels drilled and epoxied into existing slabs and walls.
 - Existing shaft openings will be enclosed and protected as part of the structural repairs.
 - Preserving and stabilizing the historic shaft structure and any additions will use original parts and equipment.
3. The Applicant's proposed repairs and upgrades to the Historic Mine shaft enclosure and cages focus on "Restoring Historic Features" through structural



Planning Department

stabilization and repair, which is an eligible work item that meets the Historic District Grant Program requirements.

4. The total cost of the scope of work described in the Historic District Grant Application is \$74,589 and the matching funding request is \$21,989.
5. The grant funding will be sourced from the Citywide General fund Fiscal Year 2026, which has a current balance of \$22,186.
6. The proposed scope of work meets the following evaluation criteria according to the Fiscal Year 2026 evaluation criteria matrix:
 - a. Preserving character defining elements of the Structure – the Applicant’s project description explains that the mine shaft and cages are character defining elements of the overall Thaynes Mine Site, as they are an iconic reminder of Park City’s transition from a mining town to a ski destination.
 - b. Enhancing historic features and elements of the Structure and/or site – restoring the mine shaft and cages will enhance the historic Hoist House and Shaft Tower.
 - c. Proposed design and scope of work uses best practices for the treatment of historic materials -- the Applicant proposes “Quality Assurance and Inspection” measures as part of their scope of work.
 - d. The scope of work specifies that the restoration of the mine shaft and cages will use original parts and equipment, which would meet criteria for prioritizing restoration of historic features rather than replacing historic features in-kind.

Conclusions of Law

1. The proposed repairs and upgrades to the Historic Mine shaft enclosure and cages are eligible for Historic District Grant funding, according to the Grant Program requirements.
2. The HPB determined the grant request qualifies for a Historic District Grant award in the amount of \$21,989.

Conditions of Approval

1. Improvements shall be completed in compliance with the Secretary of the Interior’s Standards for Rehabilitation and the Conditions of Approval of the Historic District Design Review-Pre Application waiver letter, dated January 2, 2026.
2. The grantee shall maintain the architectural significance of the structure, retain and/or restore the historic character of the structure, preserve the structural integrity of the structure, and perform normal maintenance and repairs.



Planning Department

3. The grantee shall complete the work funded by the Historic District Grant within one year of Building Permit issuance.
4. The Applicant shall submit a photograph of completed work to Planning staff.
5. The grantee shall submit proof of payment to the Planning Department for disbursement of funds within 30 days of final inspection.
6. Any changes, modifications, or deviations from the approved scope of work shall be submitted in writing for review and approval/denial in accordance with the applicable standards by the Planning Director prior to construction.

If you have questions, concerns, or comments, please contact the project planner at elissa.martin@parkcity.gov or 435-699-7741.

Sincerely,

Lola Beatlebrox, Historic Preservation Board Chair

CC: Elissa Martin, Planning Project Manager

HISTORIC DISTRICT GRANT PACKET

**FISCAL YEAR 2026
QUARTER FOUR
APRIL 1, 2026 – JUNE 30, 2026**

THIS APPLICATION CYCLE IS NOT RETROACTIVE FOR WORK ALREADY COMPLETED.

INFORMATION GUIDE AND APPLICATION

If you have questions regarding the requirements on this application or submittal process, please email planning@parkcity.org or call 435-615-5060.

HISTORIC DISTRICT COMPETITIVE GRANT INFORMATION GUIDE

MISSION STATEMENT:

The Historic District Grant Program is designed to financially incentivize the Preservation, Rehabilitation, and Restoration of Historic Structures and Sites designated on the City's Historic Sites Inventory to create a community that honors its past and encourages Historic Preservation.

ELIGIBILITY:

Property owners of Significant or Landmark Historic Sites on Park City's Historic Sites Inventory may apply for a 50% matching competitive grant. Eligible work may include interior and/or exterior repair, Preservation, Rehabilitation, or Restoration, including Historic Architectural features and structural elements, as well as mechanical systems.

Depending on the existing conditions and specific project scope, some examples of eligible work include, but are not limited to:

- Repairing/Restoring/replacing windows
- Repointing masonry
- Repairing or replacing roofs
- Painting exterior
- Electrical updating*
- Upgrading mechanical systems
- Upgrading insulation
- Reconstructing Historic porches
- **Restoring Historic features**

Ineligible Work includes, but is not limited to:

- Acquisition costs
- New additions
- Landscaping/flatwork
- Interior remodeling/new finishes
- Interior paint

EMERGENCY GRANT

Property owners may apply for an emergency grant up to \$5,000 for Emergency Repair Work defined in the Land Management Code as:

- *Work requiring prompt approval because of an imminent threat to the safety or welfare of the public or to the structure or site. The scope of the approval for emergency repair work shall only be to the extent related to stabilizing or repairing the emergency situation.**

**The approvals for emergency repair work shall be limited to the scope of the emergency work.*

COMPETITIVE GRANT

Property owners may apply for a competitive grant of up to 50% of the cost to preserve, rehabilitate, or restore a Historic Structure:

- **Preservation:** *The act or process of applying measures necessary to sustain the existing form, integrity, and materials of a Historic Property. Work, including preliminary measures to protect and stabilize the Property, generally focuses upon ongoing maintenance and repair of Historic materials and features rather than extensive replacement and new construction.*
- **Rehabilitation:** *The act or process of making possible a compatible Use for a Property through repair, alterations, and additions while preserving those portions or features which convey its Historical, cultural, or architectural values.*
- **Restoration:** *The act or process of accurately depicting the form, features, and character of a property as it appeared at a particular period of time by means of removal of features from other periods in its history and Reconstruction of missing features from the restoration period.*

Application:

Applications may be submitted to the Planning Department April 1, 2026 through June 30, 2026 for Quarter 4 of the 2026 Fiscal Year. Applications are submitted for Historic Preservation Board for review at their next regularly scheduled meeting, held on the first Wednesday of each month in Park City Council Chambers, 445 Marsac Avenue.

Work proposed to be completed with grant funds must be completed within one year of approval.

Submit paper applications to the Planning Department in City Hall at 445 Marsac Avenue, Park City, Utah 84060.

Mailed applications shall be addressed as follows:

Park City Municipal Corporation
ATTN: Park City Planning Department
PO Box 1480
Park City, UT 84060

Email applications to planning@parkcity.org. Note we cannot accept emails 8MB or larger. Larger files must be sent through a file sharing service

Please review and initial the following prior to submitting your grant application:

FOSMMH 1) I (we) understand I (we) will be required to provide copies of 1) invoices for the work, 2) proof of payment (e.g. receipts, invoices marked "paid", etc.), 3) a W-9 (grant income must be reported on income taxes), 4) a title report to confirm property legal description, and 5) photographs of the completed work. These items must be submitted to the City once the work is completed in order to begin the release of the grant monies.

FOSMMH 2) I (we) understand I (we) will be required to sign a Historic Preservation Agreement, Trust Deed, and Trust Deed Note and record such instruments with the Summit County Recorder's Office for a term of 5 years. Following the passage of 5 years and my (our) satisfaction of the requirements of the Historic Preservation Agreement the City shall, upon written request, record a release of these documents with the Summit County Recorder's Office.

FOSMMH 3) I (we) understand a grant award exceeding \$25,000 USD will require the recordation of a Historic Preservation Easement on my (our) property. In the event my (our) project is awarded \$25,000 USD or more, I (we) agree to provide a Historic Preservation Easement to Park City Municipal Corporation in a form acceptable to the City Attorney and agree to have such easement agreement recorded on my (our) property with the Summit County Recorder's Office.

FOSMMH 4) I (we) understand Park City Municipal Corporation is constructing a database of current and prior grant award recipients' projects. This database may include exterior photographs of my (our) property but will not include interior photographs of the property. I (we) understand participation in this database is voluntary and (select one):

☒ **AGREE TO PARTICIPATE**
☐ **DO NOT AGREE TO PARTICIPATE**

HISTORIC DISTRICT COMPETITIVE GRANT APPLICATION

For Office Use Only

ADMINISTRATIVE REVIEW

PROJECT PLANNER

APPLICATION #

PL-26-06973

APPROVED

Elissa Martin

DATE RECEIVED

6.22.2026

AMOUNT

EXPIRATION

DENIED

BLDG PERMIT

PROJECT INFORMATION

NAME: **Thaynes Mine Preservation Project: CAGE AND SHAFT Restoration**

ADDRESS: **UTM 04543800E, 4497226N**

TAX ID: **PCA-S-98-PCMR**

OR

SUBDIVISION:

OR

SURVEY:

LOT #:

BLOCK #:

APPLICANT INFORMATION

NAME:

PARK CITY HISTORICAL SOCIETY & MUSEUM dba FRIENDS OF SKI MOUNTAIN MINING HISTORY

MAILING

ADDRESS:

PHONE #:

EMAIL:

APPLICANT REPRESENTATIVE INFORMATION

NAME:

DONALD ROLL

PHONE #:

EMAIL:

PRIMARY

ADDRESS:

If you have questions regarding the requirements on this application or submittal process, please email planning@parkcity.org or call 435-615-5060.

SUBMITTAL REQUIREMENTS

1. Completed and signed **Historic District Grant Application**.
 - **COMPLETE**
2. Written **Project Description** describing the proposed scope of work, detailed specifications, and reason for applying for a Historic District Grant.
 - **COMPLETE & ATTACHED**
3. Submittal of a **Cost Estimate** for the proposed work.
 - **COMPLETE & ATTACHED**
4. **Breakdown of Proposed Work and Estimated Costs** of the proposed eligible improvements (page 6).
 - **COMPLETE**
5. **Proposed Timeline** of the proposed project (page 8).
 - **COMPLETE & INCLUDED**
6. **Historic District Design Review** approval letter. Please contact the Planning Department if this has not been completed. The grant application will not be accepted without this approval letter.
 - **ATTACHED - See the January 2, 2026 HDDR Pre-Application Waiver Letter from City Planning.**
7. Schematic, conceptual **Drawings** as they apply to the proposed project. This may include but is not limited to site plans, elevations, and floor plans.
 - **ATTACHED – See S104 on the attached drawing set**
8. **Color Photographs** of existing conditions. Include a general view of the building and setting, including the building in the context of the streetscape; the front; perspective view showing front façade and one side, and rear façade and one side; detailed view of affected work area.
 - **ATTACHED**

If you have questions regarding the requirements on this application or submittal process, please email planning@parkcity.org or call 435-615-5060.

BREAKDOWN OF ESTIMATED COSTS

SCOPE OF WORK	OWNER'S PORTION	CITY'S PORTION	ESTIMATED TOTAL COST
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THAYNES SHAFT & CAGES PRESERVATION			
2-Workers: \$55 per hour for 120 hours	\$9,308.64	\$3,891.36	\$13,200.00
1-Supervisor: \$80 per hour for 120 hours	\$6,769.92	\$2,830.08	\$9,600.00
1-Welder: \$100 per hour for 120 hours	\$8,462.40	\$3,537.60	\$12,000.00
1-Telehandler: \$150 per hour for 80 hours	\$8,462.40	\$3,537.60	\$12,000.00
Tools & Equipment: \$150 per day for 15 days	\$1,586.00	\$663.30	\$2,250.00
Materials: sawcut, Concrete, I-Beams. etc.	\$3,526.00	\$1,474.00	\$5,000.00
SUBTOTAL (Staff+Tools+Materials)	\$38,166.06	\$15,933.94	\$54,050.00
Overhead & profit 15%	\$5,714.41	\$2,390.09	\$8,107.50
SUBTOTAL	\$43,833.47	\$18,324.03	\$62,157.50
20% Contingency	\$8,766.70	\$3,664.80	\$12,431.50
TOTAL:	\$52,600.16	\$21,988.84	\$74,589.00

Grant Request: \$ 21,988.84 (Up to 50% of Total Cost Reimbursable)

Match: \$52,600.16 (Applicant's Contribution)

Total Project Budget: \$74,589.00 (Grant Request + Local Match)

Match Source: GRANTS and PRIVATE DONATIONS: FOSMMH has raised \$750,000 for the Thaynes preservation work, of which \$200,000 is from the Summit County Restaurant Tax. The remaining \$550,000 comes from a variety of grants, including the Q1 2026 HDG grant \$24,950 for the Hoist House's new roof and the balance from grants and private donations.

Match Type: PRIVATE DONATIONS and SUMMIT COUNTY RESTAURANT TAX GRANT 2025

If you have questions regarding the requirements on this application or submittal process, please email planning@parkcity.org or call 435-615-5060.

PROPOSED TIMELINE (Work must be completed within one year of approval of a grant award)

CONSTRUCTION REPAIRS AND REPLACEMENT OF THE HOIST HOUSE, GARAGE DOOR FAÇADE, SHAFT TOWER AND CAGES, AND WATCHMAN SHED IS SCHEDULED FOR **JULY-NOVEMBER 2026 Q3-Q4 2026**

ACKNOWLEDGMENT OF RESPONSIBILITY

This is to certify that I am making an application for the described action by the City and that I am responsible for complying with all City requirements with regard to this request. This application should be processed in my name and I am a party whom the City should contact regarding any matter pertaining to this application.

I have read and understood the instructions supplied by Park City for processing this application. The documents and/or information I have submitted are true and correct to the best of my knowledge. I understand that my application is not deemed complete until a Project Planner has reviewed the application and has notified me that it has been deemed complete.

I will keep myself informed of the deadlines for submission of material and the progress of this application. I understand that a staff report will be made available for my review three days prior to any public hearings or public meetings. This report will be on file and available at the Planning Department in the Marsac Building.

I further understand that additional fees may be charged for the City's review of the proposal. Any additional analysis required would be processed through the City's consultants with an estimate of time/expense provided prior to an authorization with the study.

Signature of Applicant: *Morgan Pierce*
Morgan Pierce (Jun 22, 2026 10:25:04 MDT)

Name of Applicant: MORGAN PIERCE

Mailing Address: [REDACTED] PRINTED

Phone: [REDACTED] Fax: _____

Email: [REDACTED]

Type of Application: _____

AFFIRMATION OF SUFFICIENT INTEREST

I hereby affirm that I am the fee title owner of the below described property or that I have written authorization from the owner to pursue the described action. I further affirm that I am aware of the City policy that no application will be accepted nor work performed for properties that are tax delinquent.

Name of Owner: _____

Mailing Address: _____

Street Address/ Legal Description of Subject Property: _____

Signature: _____ Date: _____

1. If you are not the fee owner attach a copy of your authorization to pursue this action provided by the fee owner.
2. If a corporation is fee titleholder, attach copy of the resolution of the Board of Directors authorizing the action.
3. If a joint venture or partnership is the fee owner, attach a copy of agreement authorizing this action on behalf of the joint venture or partnership
4. If a Home Owner's Association is the applicant than the representative/president must attach a notarized letter stating they have notified the owners of the proposed application. A vote should be taken prior to the submittal and a statement of the outcome provided to the City along with the statement that the vote meets the requirements set forth in the CC&Rs.

Please note that this affirmation is not submitted in lieu of sufficient title evidence. You will be required to submit a title opinion, certificate of title, or title insurance policy showing your interest in the property prior to Final Action.

If you have questions regarding the requirements on this application or submittal process, please email planning@parkcity.org or call 435-615-5060.

PROJECT DESCRIPTION:

The Thaynes Mine Complex, built in 1937 by the Silver King Coalition, is one of Park City's most iconic reminders of its transition from mining town to ski destination. The site once featured a hoist house, shaft tower, conveyor, and other facilities that supported both mining and, later, one of the world's most unique ski lifts—the underground "Skier Subway" of the 1960s.

The front of the shaft tower is currently open to the elements since the hoist room roof collapsed. The collapsed shaft room building will be removed down to the concrete foundations. A new steel structure will be built in front of the current opening to the shaft tower with a roof and walls to protect the shaft from the weather. The front of this new structure will be covered with chain link so visitors to the site can see the cages in the headframe, including the yellow-painted cage that was used in the 1960s as a ski lift.

Today, the Thaynes Mine is among the last major historic mining structures on Park City Mountain awaiting preservation. To stay true to the original structure, the plan for the shaft and cages focuses **on restoring historic features** through structural stabilization and repair following years of weather damage and recent record snowfalls.

Improvements shall be completed in compliance with the Secretary of the Interior's Standards for Rehabilitation and shall maintain the architectural significance of the structure, retain and/or restore the historic character of the structure, preserve the structural integrity of the structure, and perform normal maintenance and repairs.

PROPOSED SCOPE OF WORK and DETAILED SPECIFICATIONS:

Shaft Enclosure Repairs and Upgrades:

- Damaged wall and roof structures around the shaft are to be removed and replaced with new steel framing and tin roofing to match the historic appearance.
- New HSS4x4 steel columns and beams will be installed to reinforce the shaft enclosure, with diagonal bracing for additional stability.
- The shaft enclosure roof will be rebuilt using a new steel deck and overlaid with tin roofing, attached to structural supports for durability.
- Existing concrete stem walls will be repaired, including the addition of new pilasters at damaged corners and epoxy injection into separations.

Structural Framing and Foundation:

- New steel columns and beams (wide flange, channel, HSS) will be installed to replace or reinforce existing elements, ensuring the shaft area is structurally sound.
- Foundation repairs include new concrete column bases and footings, with reinforcement dowels drilled and epoxied into existing slabs and walls.
- All new steel and concrete work will be field verified for dimensions and conditions prior to fabrication and erection.

Cages and Shaft Openings:

- The plan references the line of mine-shaft tower and existing shaft openings, which are to be enclosed and protected as part of the structural repairs.

- No specific mention is made of new cages or operational upgrades; the focus is on preserving and stabilizing the historic shaft structure, and any additions will use original parts and equipment.

Quality Assurance and Inspection:

- Special inspections for steel, concrete, and masonry are required, with bi-weekly reporting to the engineer and the owner.
- All work must comply with the 2018 International Building Code and relevant structural standards.
- These actions are designed to ensure the long-term preservation and safety of the shaft area, maintaining its historic integrity while addressing structural risks.

REASON FOR APPLYING FOR HISTORIC DISTRICT FUNDING:

The project aligns with the Historic District Grant’s goals by protecting a key cultural resource within the Park City Historic District and making it accessible and engaging to the public. This investment in preservation and storytelling ensures the site remains a meaningful part of Park City’s living heritage for future generations.

Park City Municipal Corporation and Friends of Ski Mountain Mining History have secured funding for initial stabilization, asbestos abatement, and engineering studies. **We are now seeking support for the structural stabilization and restoration of the shaft and cage to ensure the long-term preservation and safety of the shaft area, maintaining its historic integrity while addressing structural risks.**

WHY THIS PROJECT MATTERS:

- **Heritage Tourism:** Thaynes Mine is featured in Park City Museum’s guided hikes and Park City Mountain Resort’s Silver to Ski tours. Preserving the Hoist House ensures future generations of skiers, hikers, and bikers can experience this living history.
- **Historic Significance:** By restoring the historical features of the **shaft and cage** that housed the Nordberg Electric Hoist that once lifted miners—and later skiers—1,700 feet to the surface.
- **Community Pride:** The Thaynes Mine tells the story of Park City’s evolution from a silver mining town to a world-class ski destination.
- **Urgency:** Severe snow loads in 2022–2023 caused structural damage. Without immediate intervention, this irreplaceable site risks further collapse.

COMMUNITY IMPACT

When Thaynes Mine is restored and preserved, visitors will be able to:

- Peer through the chain-link barriers to see the original shaft and cage.
- Stand where mining turned into skiing – transforming Park City forever
- Experience guided tours led by the Park City Museum, with future expansion to audio-assisted mobile guides (like TravelStorys).

The project creates **adaptive reuse** of a historic site, blending preservation with public engagement and tourism.

The Thaynes Mine is more than a building—it is the link between Park City’s mining roots and its rise as a world-class ski town. With funding support, we can protect this landmark, open it for public interpretation, and ensure that its story continues to inspire visitors for generations to come.

Anticipated STRUCTURAL UPGRADES & COSTS (including Shaft and Cages)				
DESCRIPTION/NOTES	UNIT	UNIT COST	QUANTITY	TOTAL COST
2-Workers	Hours	\$55.00	120	\$13,200.00
1-Supervisor	Hours	\$80.00	120	\$9,600.00
1-Welder	Hours	\$100.00	120	\$12,000.00
1-Telehandler	Hours	\$150.00	80	\$12,000.00
Tools and Equipment	Day	\$150.00	15	\$2,250.00
Materials	Misc.	\$5,000	1	\$5,000.00
Overhead & Profit	%	15%	1	\$8,107.50
Contingency	%	20%	1	\$12,431.50
TOTAL:				\$74,589.00

THE XCAVATION COMPANY, INC.

P.O. Box 310
568 South Foothill, #7
Kamas, Utah 84036
Office: (435) 783-6977 Cell: (435) 640-0571

July 17, 2026

Proposal to the Park City Museum and Friends of ski Mining History.
Attention: Brian Buck.

Estimate for metal walls and roof around the entrance to the Thaynes shaft compartments.

Work would include footings, walls, and roof as per plans by Calder Richards dated 12/2024 and titled Rebuild of the historic Thaynes mine building in Park City, Utah

I estimate the work will take 3 weeks to complete at the following rates.

2- Workers @ 55.00 each per hr 120 hrs = \$ 13,200.00
1-Supervisor 80.00 per hr 120 hrs = \$ 9,600.00
1-welder 100 per hr 120 hrs = \$12,000.00
1-Telehandler 150.00 per hr 80 hrs = \$12,000.00
Tools and Equipment 150 per day 15 days = \$ 2,250.00
Materials, sawcut, Concrete, I-Beams, etc. = \$ 5,000.00
Overhead and profit 15% = \$ 8107.50

TOTAL	EST	\$ 62,157.50
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All work will be completed for Cost plus 15% at the following rates.

Supervisor \$ 80.00 per hr
Labor \$ 55.00 per hr each
Welder \$ 100.00 per hr
Trucks, Tools and Equipment \$ 150.00 per day.
Materials at cost.
Profit and overhead 15 %

If you have any questions, please call.

Thank You,
Vincent Clark Martinez
The Xcavation Company Inc
435-640-0571



Planning Department

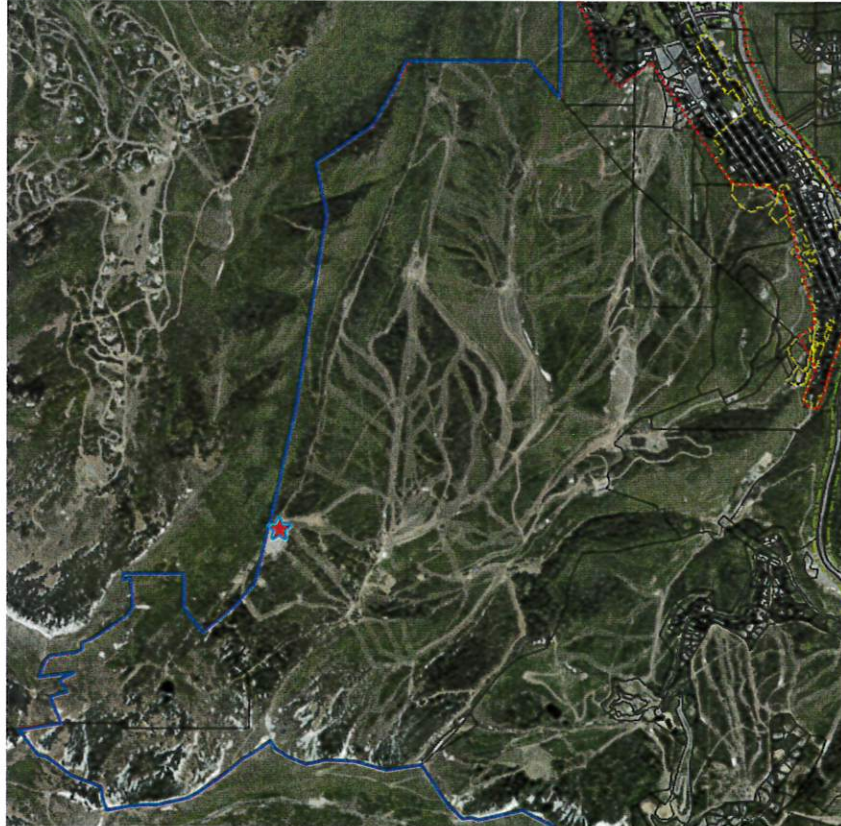
January 2, 2026

Park City Historical Society, Inc.
Morgan Pierce, Applicant's Representative

CC: TCFC LeaseCo, LLC

Re: Historic District Design Review Pre-Application Waiver Letter
Property Address: PCA-S-98-PCMR-1
Zoning District: Recreation Open Space
Historic Designation: Significant Historic Site

Planning staff reviewed the Historic District Design Review Pre-Application submitted on December 23, 2025, regarding the Thaynes Mine Site, a Significant Historic Site in the Recreation Open Space Zoning District, to repair the Mine Site Hoist House, Garage Door Façade, Shaft Tower, Watchmen and Fire Hydrant Sheds, and Ore Shed Façade, according to the Thaynes Mine Preservation Project Description (Attachment 1) and the Plans (Attachment 2).





Planning Department

Following the review of the proposed project, Planning staff determined the project is minor construction having little or no negative impact on the historic character of the surrounding neighborhood or the Historic District. Therefore, pursuant to Land Management Code (LMC) § 15-11-12(A)(3), the project is not required to complete the full Historic District Design Review process. However, adherence to the following standards is required:

- The proposed work shall comply with the Historic Preservation Board's August 7, 2024 Material Deconstruction Conditions of Approval:
 - All historic materials shall remain on site.
 - The Applicant shall preserve as many materials as possible that are associated with the 1937 Hoist House form and later additions, while rehabilitating the 1937 Hoist House form and later additions.
- The proposed work shall comply with the Universal Regulations for Historic Commercial Sites, outlined in LMC § 15-13-3(A):
 - Changes to a site or building that have acquired historic significance in their own right shall be retained and preserved.
 - Historic exterior features of a building shall be retained and preserved to the greatest extent possible.
 - Distinctive materials, components, finishes, construction techniques, and examples of craftsmanship shall be retained and preserved.
 - Deteriorated or damaged historic features and elements shall be repaired rather than replaced. When the severity of deterioration or existence of structural or material defects requires replacement, the replacement feature or element shall match the original in design, dimension, texture, material, and finish.
- The proposed work shall be carried out according to the Project Description (Attachment 1) and the Plans (Attachment 2).
 - Windows shall not be glazed; instead of new glazing, steel security grids will be installed in the Hoist House window frames.
- The proposed work requires a Building Permit and Final Inspection by both the Building and Planning Departments.
- Modifications to the project require a modification application submittal to the Planning Department, payment of application fee, review for compliance with required standards, and Planning and Building Department approval.

Should you have any questions or concerns, please contact elissa.martin@parkcity.gov or 435-699-7741.

Sincerely,

A handwritten signature in blue ink, appearing to be "Elissa Martin", written over a horizontal line.



Planning Department

Rebecca Ward
Planning Director

Attachment 1: Preservation Project Description
Attachment 2: Rehabilitation Plans

ATTACHMENT 1: PROJECT DESCRIPTION

Thaynes Mine Preservation

Project Description

December 2025

OVERVIEW:

The Thaynes Mine started in 1937 when the Silver King Coalition Mine (SKCM) began construction of a shaft headframe, hoist house, boarding house, and waste rock conveyor in upper Thaynes Canyon. The shaft sinking commenced in 1937 and was finished in 1939 at a total depth of 1,772 feet. Another building was built after 1939 that connected the hoist house with the shaft. Concrete rock bins and an enclosed shaft tower were also built at this time along with some ancillary buildings east of the shaft. The shaft was connected to other underground workings of the SKCM and lifted many tons of waste rock from the mine for disposal on the large waste rock storage pile across the road from the shaft. The Spiro Tunnel was one of these underground workings that was connected to the shaft at the 1,700-foot depth.

Mining operation of the Thaynes shaft ceased in 1947. It was then restored to operation between 1965 and 1969 as part of an underground ski lift that used the Spiro Tunnel to transport skiers from Park City about 2.5 miles underground to the shaft where they were lifted to the surface to begin skiing. Some of the yellow-painted subway cars used for this purpose are preserved at the Park City Museum and the yellow-painted shaft cage used to lift the skiers is preserved at the Thaynes shaft.

In 2020 the Friends of Ski Mountain Mining History (FOSMMH), a committee of the Park City Museum, completed the stabilization of the wooden waste rock conveyor at the Thaynes Mine. The FOSMMH commissioned an engineering design effort to stabilize the Thaynes shaft from collapse. The Utah Division of Oil, Gas & Mining used this design to implement close the shaft in the summer of 2025.

The record snowfall in the winter of 2022/2023 caused the collapse of the roof over the main Thaynes mine building in April 2023. In August 2024 FOSMMH utilized funds provided by Park City Municipal Corporation (PCMC) and the Park City Mountain Resort (PCMR) to remove the dangerous collapsed roof.

All of the other buildings at the site were crushed by the 2022/2023 winter snow load and are considered by FOSMMH to be unrepairable and should be removed as a separate scope of work. Usable building materials from these structures to be deconstructed would be salvaged for use by FOSMMH on other mine stabilization projects.

Remaining work to be done at the Thaynes mine site includes

- Repair the walls and roof of the hoist house, including final cleaning of the building interior and opening up the windows,

- Repair of the garage door façade of the main mine building,
- Repair of the watchman shed just outside the garage door,
- Repair of the fire hydrant shed,
- Constructing a new front for the shaft tower, and
- Repair of the ore shed façade.

PROJECT NAME:

Thaynes Mine Preservation Project

PROPOSED PROJECT:

Sustain cultural and heritage tourism in Park City by taking steps to repair portions of the Thaynes Mine facilities that represent the mining and ski recreation history of Park City. The repairs to the hoist house, watchman shed, hydrant shed, and ore shed facade are related to the mining heritage of the site. The repairs to the shaft tower and garage door façade are in homage to the early development of the Park City ski recreation industry and the unique skier subway.

When the project is completed, skiers at Park City Mountain and summer hikers and bikers will be able to view the hoist room via the reopened windows and see the shaft with the cages and the famous skier subway exit. In the future the Park City Museum will seek authorization from the property owner, TCFC PC LeaseCo LLC, and Park City Mountain Resort to lead guided tours of the Thayne hoist house and general site. Other than these controlled tours, there would be no public access into the preserved hoist house, shaft tower, and watchman shed. The rest of the site would be open for public inspection.

FOSMMH PROPOSES:

Preliminary engineering studies were completed in 2024 to determine what stabilization of the damaged structures are feasible. During 2025 engineering was completed to repair the Thaynes hoist house, garage door façade, ore shed façade, and front of the shaft tower. Repairs to the watchman shed and hydrant shed were also designed. The plans and specifications for these repairs are shown in the Calder Richards drawing set named, Rebuild & Repair of Historic Thaynes Mine Building Structures Park City, Utah (enclosed with this narrative).

Plugging the shaft by the Utah Division of Oil, Gas and Mining occurred in 2025 using Federal funding. With PCMC approval, FOSMMH plans to begin work in 2026 to repair the hoist house, watchman shed, hydrant shed, garage door façade, ore shed façade, and front of the shaft tower.

Hoist House

The existing conditions of the hoist house are shown on Drawings A101 and 102 of the Calder Richards drawing set. In 2023 the entire roof of the hoist house collapsed. The walls were

damaged to be slightly out of plumb but can be straightened and are strong enough to support a new roof. These walls will be straightened as needed and upgraded with additional steel structure and cable braces. An entirely new, steel roof structure will be erected and attached to the reinforced walls. This roof structure will be covered with galvanized steel decking to form a strong roof able to withstand future snow loads. The designs for these repairs are shown on Drawings S101 and 102 of the Calder Richards drawing set.

The interior walls of the hoist house will be repaired as required and the interior cleaned up and painted. Once the hoist house repairs are completed it will be connected to the nearby 120v power supply and interior LED lights and switches will be installed. A security system with cameras and digital video recorder will be installed with the ability to record any potential vandalism in real time.

The hoist house and shaft tower are fitted with steel window frames containing broken glass window panes. The windows of the hoist house have been covered with steel plates that will be removed. All the 487 broken window panes in the hoist house and shaft tower will be cleaned out and the window panes will be left open with no new glazing. Steel security grids will then be attached to the inside of the hoist house windows to prevent entry into the building through the open window panes.

Garage Door Façade

The old skier subway lifted skiers up the Thaynes shaft where they existed the building through the rollup garage door. There are multiple historic photographs of skiers leaving the building this way while the shaft was in operation. FOSMMH believe it is important to preserve the garage door façade for its ski history importance. The garage door façade on the Thaynes mine building will be rebuilt with a new steel frame and salvaged corrugated sheathing to match the existing garage door façade. The existing garage door and rails will be retained in the new façade. This steel frame will be strengthened with diagonal steel braces. The new frame and braces will be attached to the existing concrete foundation walls that will be repaired and strengthened as needed. The current roof structure and walls behind the garage door facade will be removed. The design for the repair of the garage door façade is shown on Drawing S103 of the Calder Richards drawing set.

Shaft Tower

The bottom of the shaft tower was totally enclosed in the former mine building. When the roof and walls in this area collapsed in 2023 the bottom of the shaft tower became open to the elements. This condition exposes the top of the shaft and the cages displayed there to damage from exposure to the weather and allows unauthorized entry of persons into the bottom of the shaft tower. This will be corrected with a new shaft enclosure that will be built in front of the shaft tower with a roof and walls to protect the shaft from the weather. The front of this new structure will be covered with chain link so visitors to the site can see the cages in the headframe, including the yellow painted cage that was used in the 1960s as a ski lift, but they

will not be able to enter the shaft tower. The design for this structure is shown on Drawing S104 of the Calder Richards drawing set.

The new structure will be self-supporting with a new steel frame but will be built to match the roof line and width of the existing opening in the bottom of the shaft tower. It will extend 6.5 feet out from the front of the existing shaft tower. It will be roofed with steel decking covered with salvaged, weathered corrugated metal from the existing Thaynes mine building, or excess material from the Silver King site. The side walls will be the same as the existing side walls of the mine building or repaired as required to match.

Watchman Shed and Fire Hydrant Shed

The watchman shed in front of the garage door façade appears to be in good shape but the wood foundation under it has failed. The shed will be jacked up off its current foundation and a new foundation of treated wood will be installed under it. The shed will then be replaced onto the new foundation and the interior floor and walls will be repaired. Repairs to the exterior walls and roof will be made as needed and salvaged, weathered corrugated metal will be used to make repairs. The existing condition of the watchman shed, and the proposed scope of repairs to it, are shown on Drawing A103 of the Calder Richards drawing set.

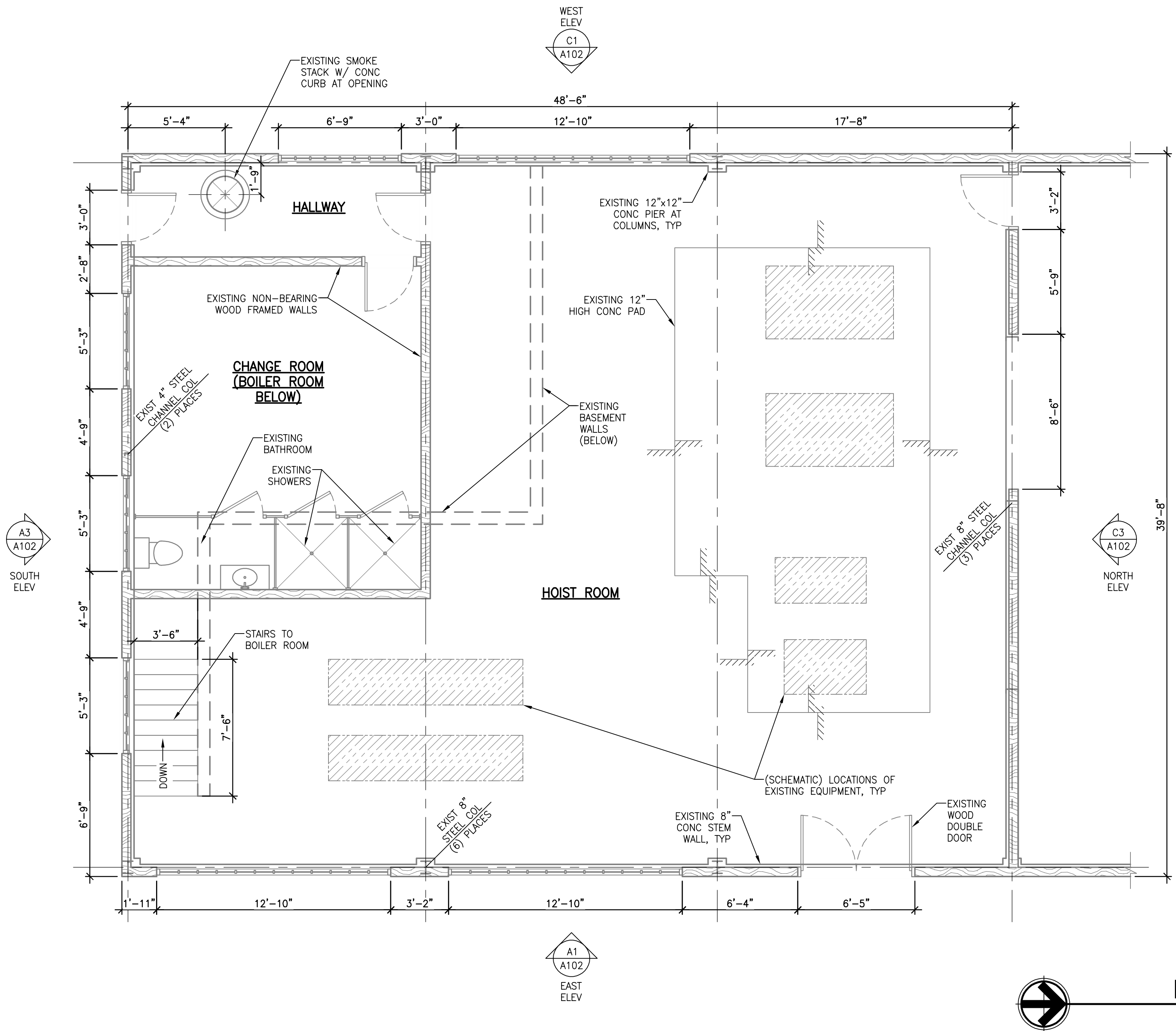
The fire hydrant shed located just past the main mine building will be repaired in like manner as the watchman shed. The existing condition of the fire hydrant shed, and the proposed scope of repairs to it, are also shown on Drawing A103 of the Calder Richards drawing set.

Ore Shed Façade

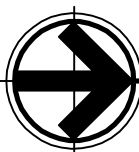
The ore shed located north of the main mine building was damaged from snow loading some years ago but was practically destroyed when the record snow of 2023 collapsed the ore conveyor structure onto the ore shed. The best remaining wall of the ore shed is the front façade that contains an attractive bifold garage door. This wall is in good shape but is leaning due to lack of support from the collapsed walls behind it. This wall will be straightened and braced with new pole shores attached to the existing foundation walls. The suspension of the garage door will be repaired as needed and the door will be set in the closed condition. The existing condition of the ore shed facade, and the proposed scope of repairs to it, are shown on Drawing A104 of the Calder Richards drawing set.

ATTACHMENT 2: REHABILITATION PLANS

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HOIST BUILDING
EXISTING FLOOR PLAN
SCALE: 1/4" = 1'-0"



NOTE: ALL DIMENSIONS HAVE BEEN MEASURED IN THE FIELD AND ARE APPROXIMATE.

- NOTES ON EXISTING CONDITONS**
1. DUE TO THE COMPLEXITY OF THE EXISTING STRUCTURE, IT IS RECOMMENDED THAT THE CONTRACTOR AND SUBCONTRACTORS PERFORM A SITE INVESTIGATION TO OBSERVE THE EXISTING CONDITONS PRIOR TO PREPARING FINAL BUDGETS AND/OR BIDS TO PERFORM THE WORK.
 2. BECAUSE OF DIFFICULT FIELD ACCESS, ONLY LIMITED SITE OBSERVATIONS WERE PERFORMED PRIOR TO PREPARATION OF THE STRUCTURAL DRAWINGS. ALL DIMESIONS SHOWN ON THE DRAWINGS ARE APPROXIMATE. SOME CONDITONS SHOWN ON THE PLANS AND DETAILS MAY BE CONFLICTING WITH THE ACTUAL EXISTING CONDITONS ENCOUNTERED ON SITE.
 3. IF CONFLICTS BETWEEN THE STRUCTURAL DRAWINGS AND EXISTING CONDITONS OCCUR, PLEASE NOTIFY THE STRUCTURAL ENGINEER FOR HIS REVIEW. REVISED DETAILING AND/OR ADDITIONAL FRAMING MAY BE REQUIRED.
 4. IF ADDITIONAL DAMAGED AREAS IN THE STRUCTURE ARE ENCOUNTERED DURING CONSTRUCTION, PLEASE NOTIFY THE STRUCTURAL ENGINEER FOR FURTHER ASSESSMENT.
 5. THE CONTRACTOR MUST FIELD VERIFY ALL THE CONDITONS SHOWN AND FIELD MEASURE LENGTHS AND ELEVATIONS PRIOR TO FABRICATION AND ERECTION.

- PLAN NOTES:**
- CIRCLED NOTES ARE KEYED ON PLAN.
1. --
- ②. --

LEGEND:

	CHANGE IN ELEVATION		EXIST WOOD FRAMED WALL
	EXIST STEEL COL (WIDE FLANGE, CHANNEL)		
	NEW STEEL COL (WIDE FLANGE, CHANNEL, HSS)		

CALDER RICHARDS
CONSULTING ENGINEERS
1805 SOUTH REDWOOD RD, SUITE 102, SALT LAKE CITY, UT 84108
T: 801.466.1199 F: 801.467.2486

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THAYNES MINE HOIST BUILDING
EXISTING CONDITIONS

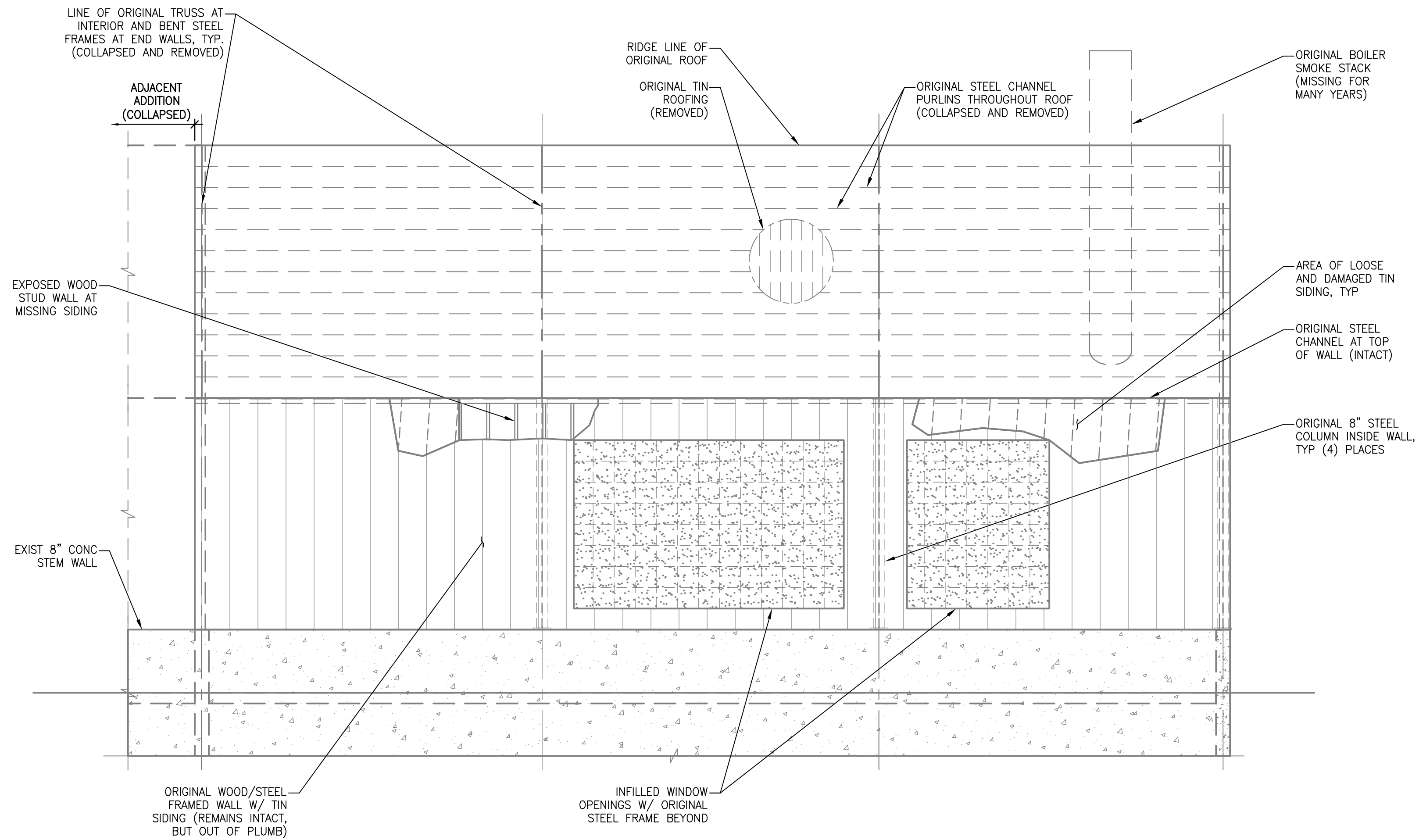
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Job #	20024.05
DRAWN BY:	DAW
DESIGNED BY:	DAW

HISTORIC
THAYNES
MINE BUILDING

PARK CITY HISTORICAL STRUCTURES

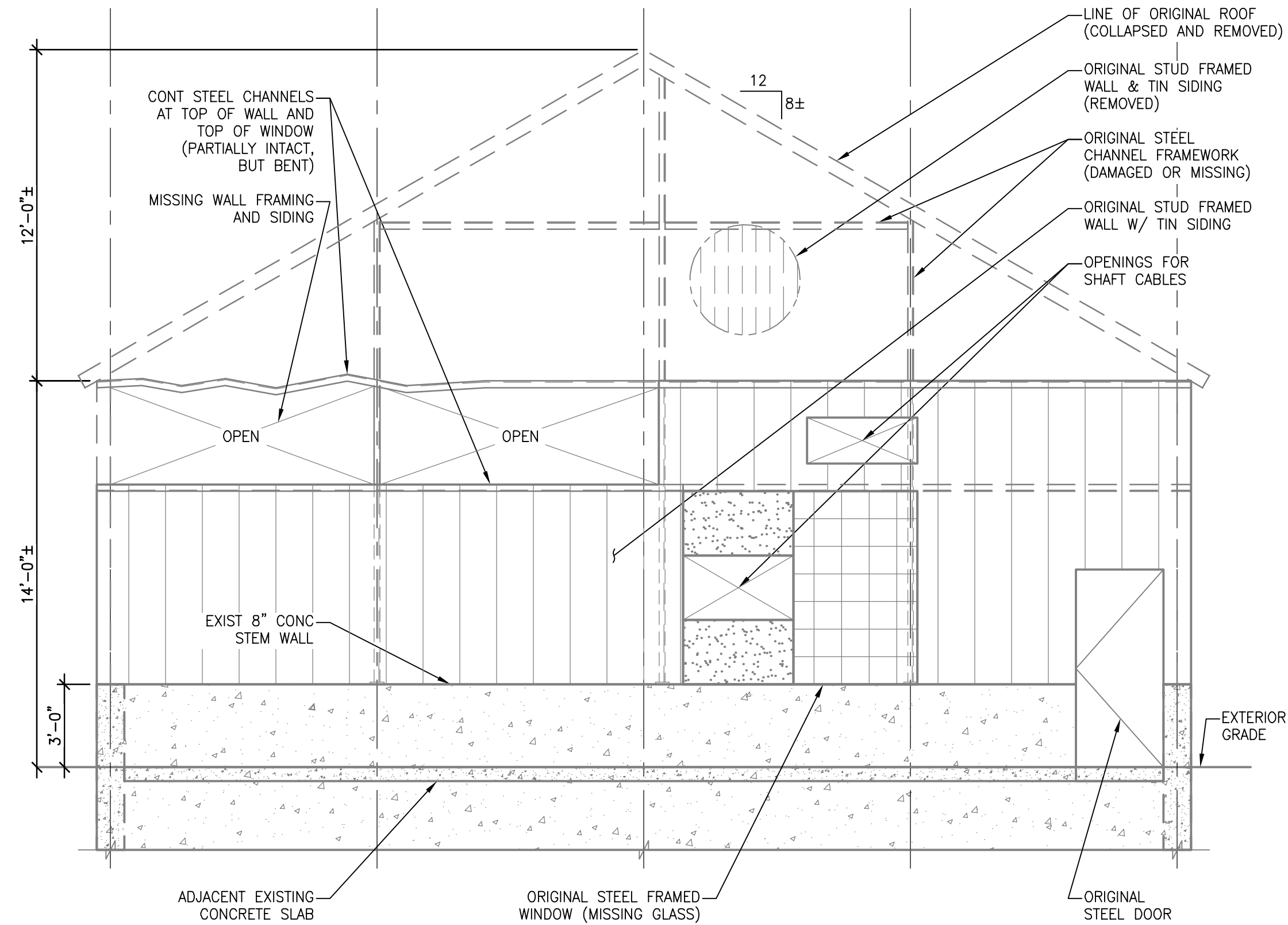
A101



C1

HOIST HOUSE - EXISTING WEST WALL ELEVATION

SCALE: 1/4" = 1'-0"

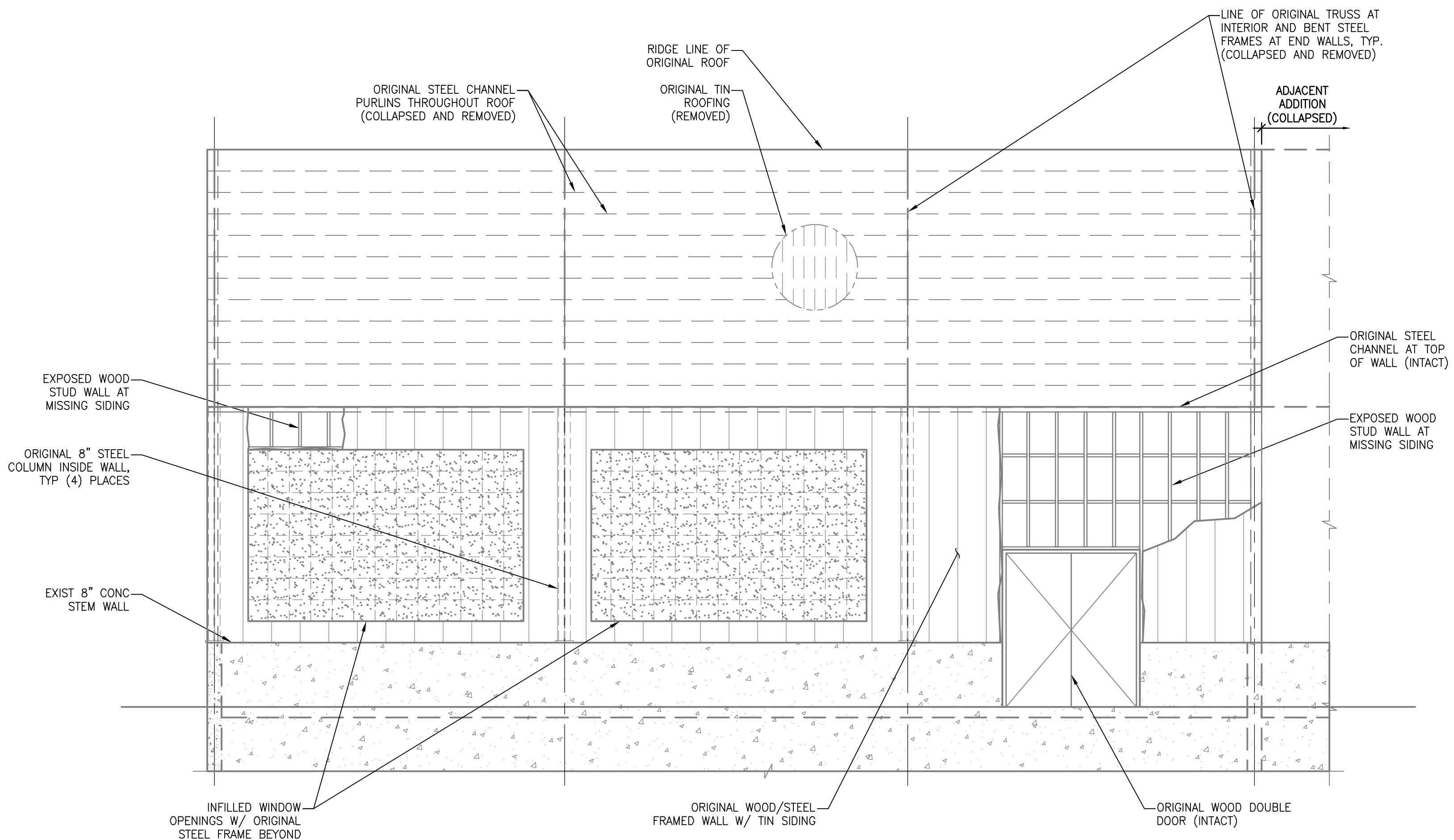


C3

HOIST HOUSE - EXISTING NORTH WALL ELEVATION

SCALE: 1/4" = 1'-0"

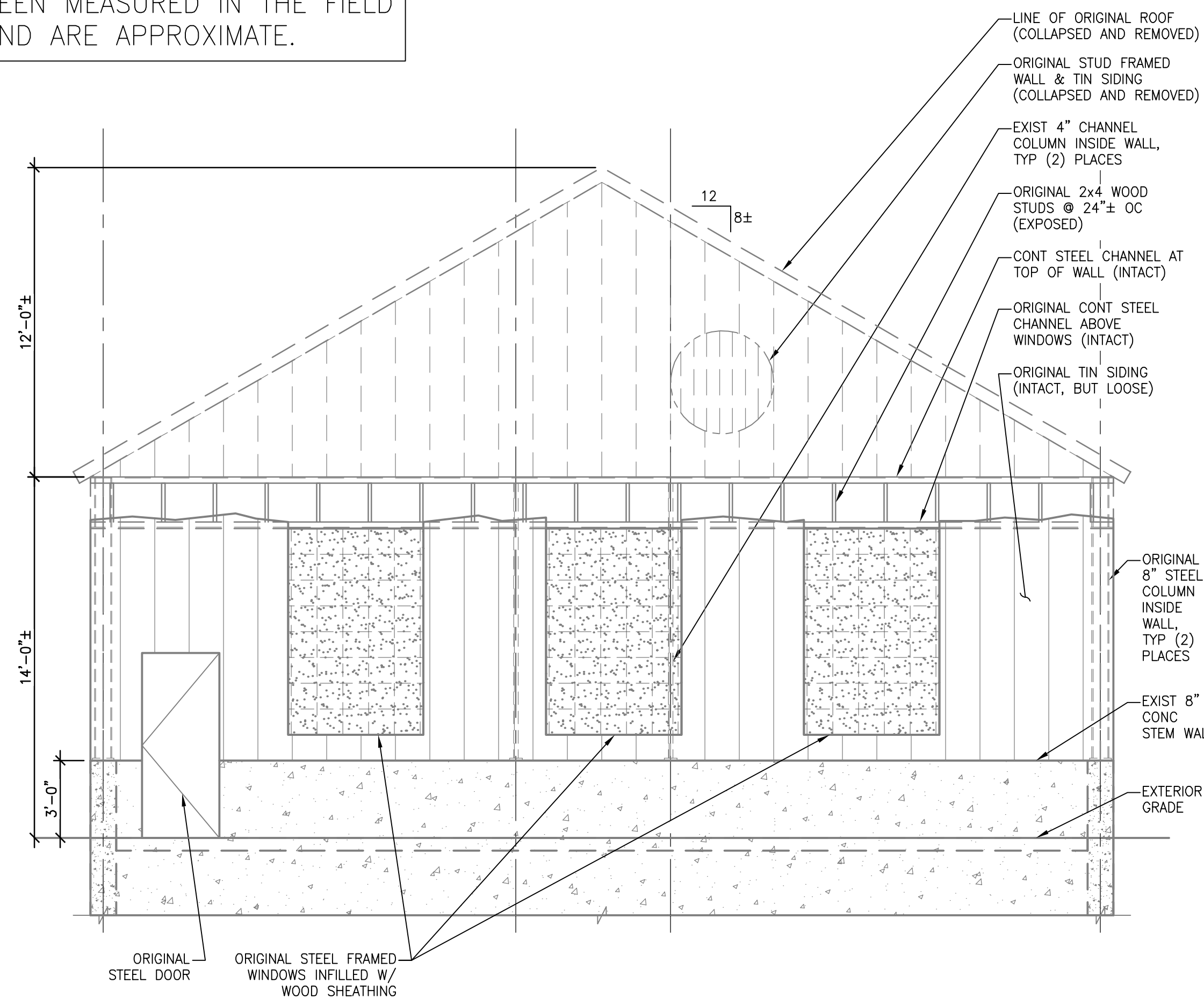
NOTE: ALL DIMENSIONS HAVE BEEN MEASURED IN THE FIELD AND ARE APPROXIMATE.



A1

HOIST HOUSE - EXISTING EAST WALL ELEVATION

SCALE: 1/4" = 1'-0"



A3

HOIST HOUSE - EXISTING SOUTH WALL ELEVATION

SCALE: 1/4" = 1'-0"

REVISIONS	COMMENTS
DATE	

Job #
20024.05

DRAWN BY:
DJA

DESIGNED BY:
JR

**HISTORIC
THAYNES
MINE BUILDING**

PARK CITY HISTORICAL STRUCTURES

A102

THAYNES MINE AUXILIARY STRUCTURES EXISTING CONDITIONS AND SCOPE OF REPAIRS

Job #:	20024.05
DRAWN BY:	DJK
DESIGNED BY:	JR

PARK CITY HISTORICAL STRUCTURES

A103



SCALE: 1/4" = 1'-0"



SCALE: $1/4" = 1'-0"$

1. PROVIDE TEMPORARY SUPPORTS TO RAISE EXISTING STRUCTURE FOR PLACEMENT OF NEW TIMBER "SLEEPER" FOUNDATION.
2. EXCAVATE AND REMOVE EXISTING DETERIORATED SLEEPER SUPPORTS AT PERIMETER. THEN REPLACE WITH PRESSURE TREATED TIMBERS OF EQUIVALENT SIZE TO LEVEL STRUCTURE.
3. LEVEL STRUCTURE AS MUCH AS POSSIBLE WITHOUT DAMAGING WALL AND ROOF FRAMING.
4. REMOVE AND REPLACE EXISTING FLOOR FRAMING THAT HAS BEEN DAMAGED BY ROT OR DETERIORATED.
5. REMOVE AND REPLACE EXISTING DECKING FOR PLACEMENT OF NEW FRAMING AS NEEDED.
6. RE-ATTACH EXISTING CORRUGATED METAL SIDING AND/OR REPLACE DAMAGED SIDING WITH SALVAGED MATERIAL TO MATCH EXISTING.
7. RE-ATTACH EXISTING TIN ROOFING AND/OR REPLACE DAMAGED ROOFING WITH SALVAGED MATERIAL TO MATCH EXISTING.



SCALE: $1/4" = 1'-0"$

NOTE: ALL DIMENSIONS HAVE BEEN MEASURED IN THE FIELD AND ARE APPROXIMATE.



SCALE: $1/4" = 1'-0"$

1. PROVIDE TEMPORARY SUPPORTS TO RAISE EXISTING STRUCTURE FOR PLACEMENT OF NEW TIMBER "SLEEPER" FOUNDATION.
2. EXCAVATE AND REMOVE EXISTING DETERIORATED SLEEPER SUPPORTS AT PERIMETER. THEN REPLACE WITH PRESSURE TREATED TIMBERS OF EQUIVALENT SIZE TO LEVEL STRUCTURE.
3. LEVEL STRUCTURE AS MUCH AS POSSIBLE WITHOUT DAMAGING WALL AND ROOF FRAMING.
4. REMOVE AND REPLACE EXISTING 4x6 FLOOR FRAMING THAT HAS BEEN DAMAGED OR IS DETERIORATED.
5. REMOVE AND REPLACE EXISTING 1x1 DECKING FOR PLACEMENT OF NEW FRAMING AS NEEDED. ADD NEW EXTERIOR GRADE APA RATED SHEATHING OVER EXISTING DECKING AS NEEDED FOR A CLEAN, EVEN SURFACE.
6. RE-ATTACH EXISTING CORRUGATED METAL SIDING AND/OR REPLACE DAMAGED SIDING WITH SALVAGED MATERIAL TO MATCH EXISTING.
7. INSPECT EXISTING ROOF FRAMING AND REPLACE DAMAGED AS NEEDED.
8. RE-ATTACH EXISTING CORRUGATED METAL ROOFING AND/OR REPLACE DAMAGED ROOFING WITH SALVAGED MATERIAL TO MATCH EXISTING.

THAYNES MINE AUXILIARY STRUCTURES ORE SHED FACADE STABILIZATION

Job #: 20024.05
DRAWN BY: DJK
DESIGNED BY: JR

PARK CITY HISTORICAL STRUCTURES

A104



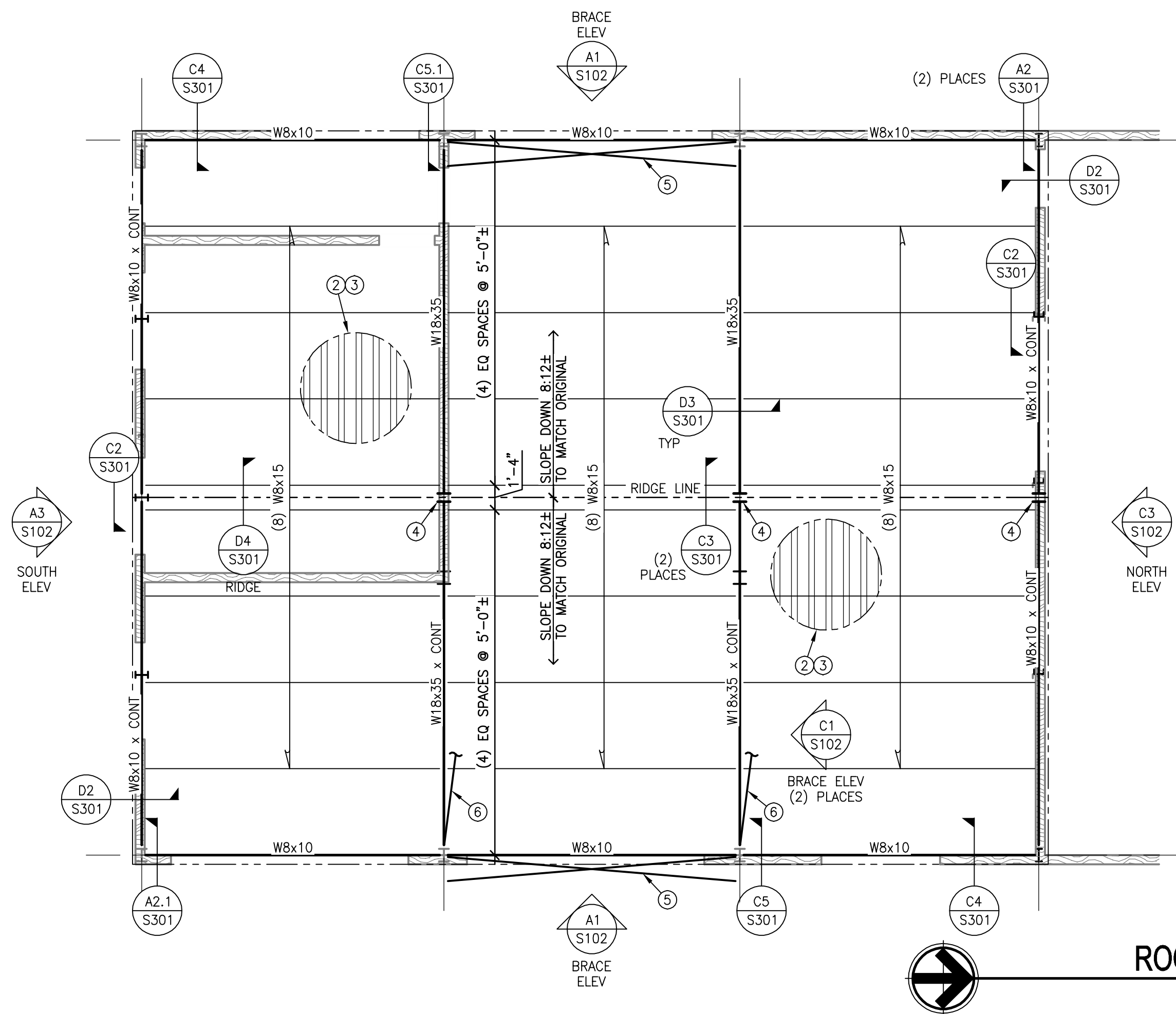
SCALE: $3/8" = 1'-0"$



SCALE: 3/8" = 1'-0"

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HOIST ROOM
ROOF FRAMING PLAN

SCALE: 3/16" = 1'-0"

NOTES ON EXISTING CONDITONS

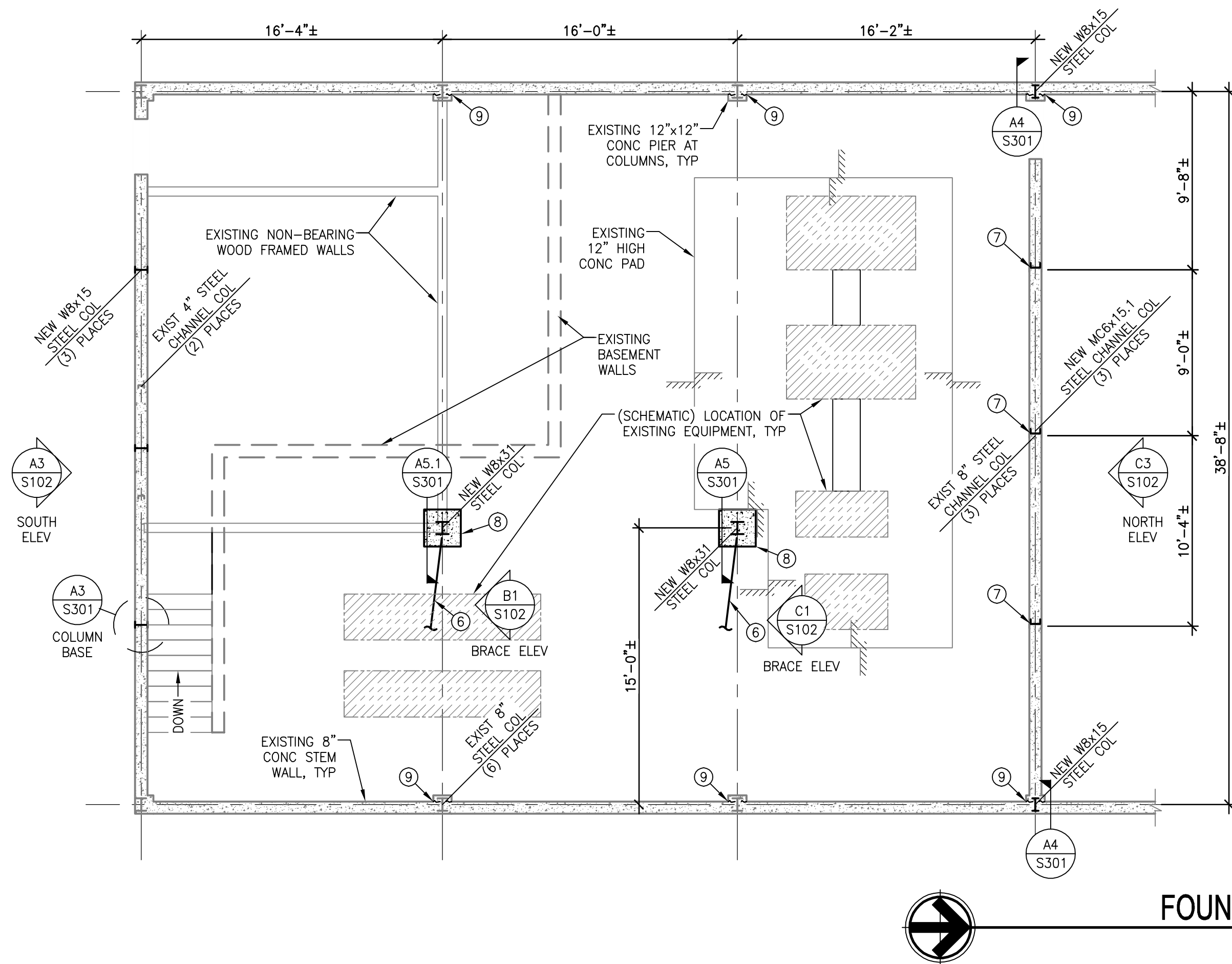
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5. THE CONTRACTOR MUST FIELD VERIFY ALL THE CONDITONS SHOWN AND FIELD MEASURE LENGTHS AND ELEVATIONS PRIOR TO FABRICATION AND ERECTION.

PLAN NOTES:

1. SEE STRUCTURAL NOTES ON SHEET S001 FOR ADDITIONAL INFORMATION.
2. NEW ROOF DECK SHALL BE 1 3/8" DEEP, 22 GAUGE, GALVANIZED, OR EQUIVALENT. PLACE DECK (3) SPANS CONTINUOUS, MINIMUM. ATTACH DECK AS FOLLOWS:
A. SPAN PERPENDICULAR TO SUPPORTS: (5) HILTI X-EDN PIN ANCHORS (EQ. SPACED).
B. SPAN PARALLEL TO SUPPORTS: HILTI X-EDN PIN ANCHORS @ 12" OC.
C. SEAMS: #10 TEK SCREWS @ 24" OC.
3. REMOVE EXISTING TIN ROOFING AT ALL LOW ROOFS AND MAIN ROOF. PLACE NEW TIN ROOF ABOVE STRUCTURAL DECK. SEE DETAIL D5/S301 FOR ATTACHMENT.
4. DENOTES BEAM SPLICE AT RIDGE LINE.
5. 7/8"Ø "X" CABLE BRACING, SEE DETAIL B3/S301.
6. W5x19 DIAGONAL BRACE BETWEEN NEW AND EXISTING COLUMN.
7. STITCH WELD NEW MC6 CHANNEL TO EXISTING 8" CHANNEL, SEE DETAIL B5/S301.
8. NEW 12" DEEP CONCRETE COLUMN BASE, SEE DETAIL A5/S301.
9. PRESSURE INJECT EPOXY INTO SEPARATIONS IN PIER.

LEGEND:

	STEP IN ROOF LINE		NEW STEEL TRUSS OR BEAM
	NEW STRUCTURAL DECK W/ NEW TIN ROOF OVERLAY TO MATCH EXIST		NEW STEEL JOIST OR PURLIN
	EXIST STEEL COL (WIDE FLANGE, CHANNEL)		
	NEW STEEL COL (WIDE FLANGE, CHANNEL, HSS)		



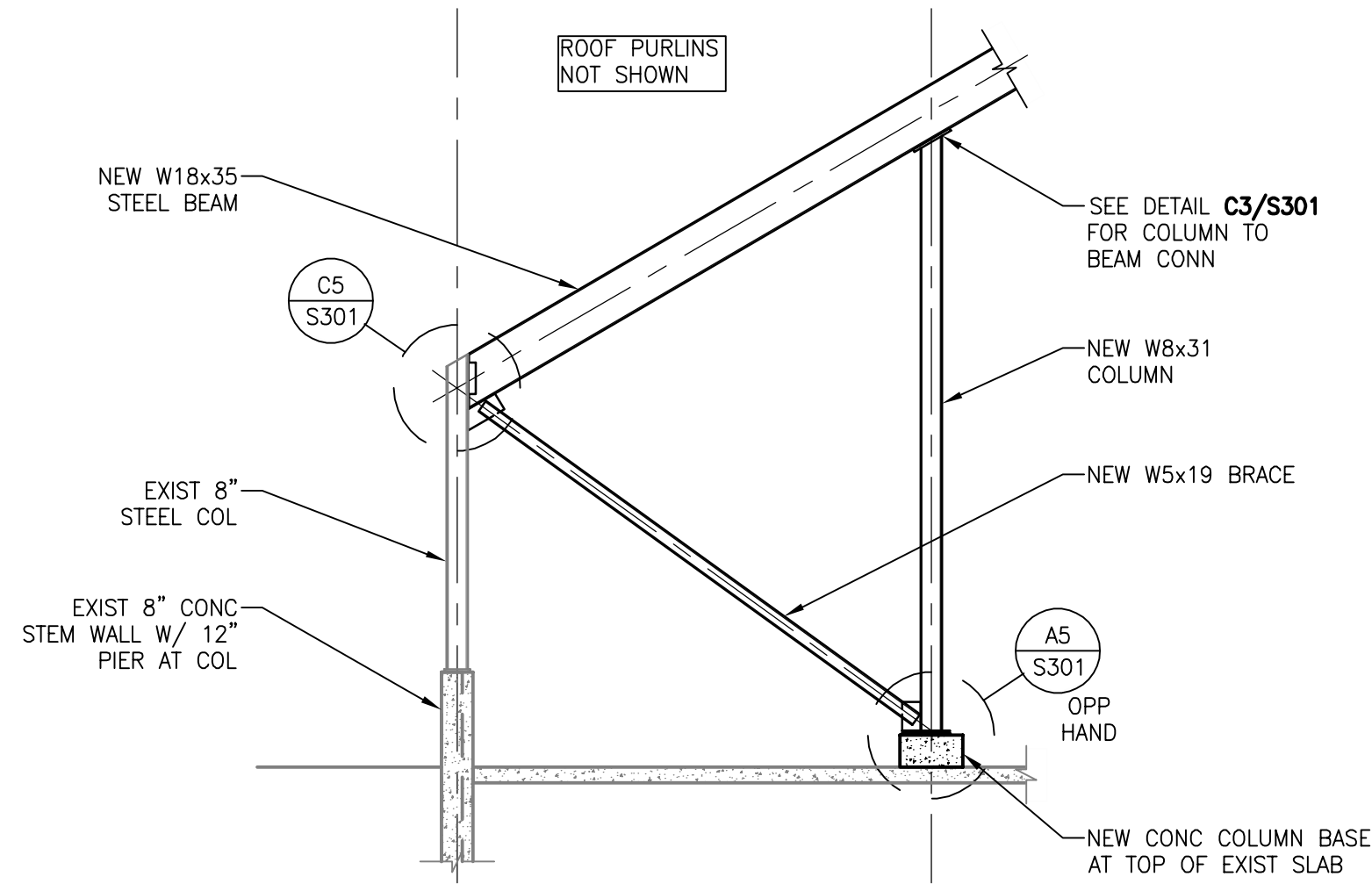
HOIST ROOM
FOUNDATION PLAN

SCALE: 3/16" = 1'-0"

REVISIONS	COMMENTS
DATE	

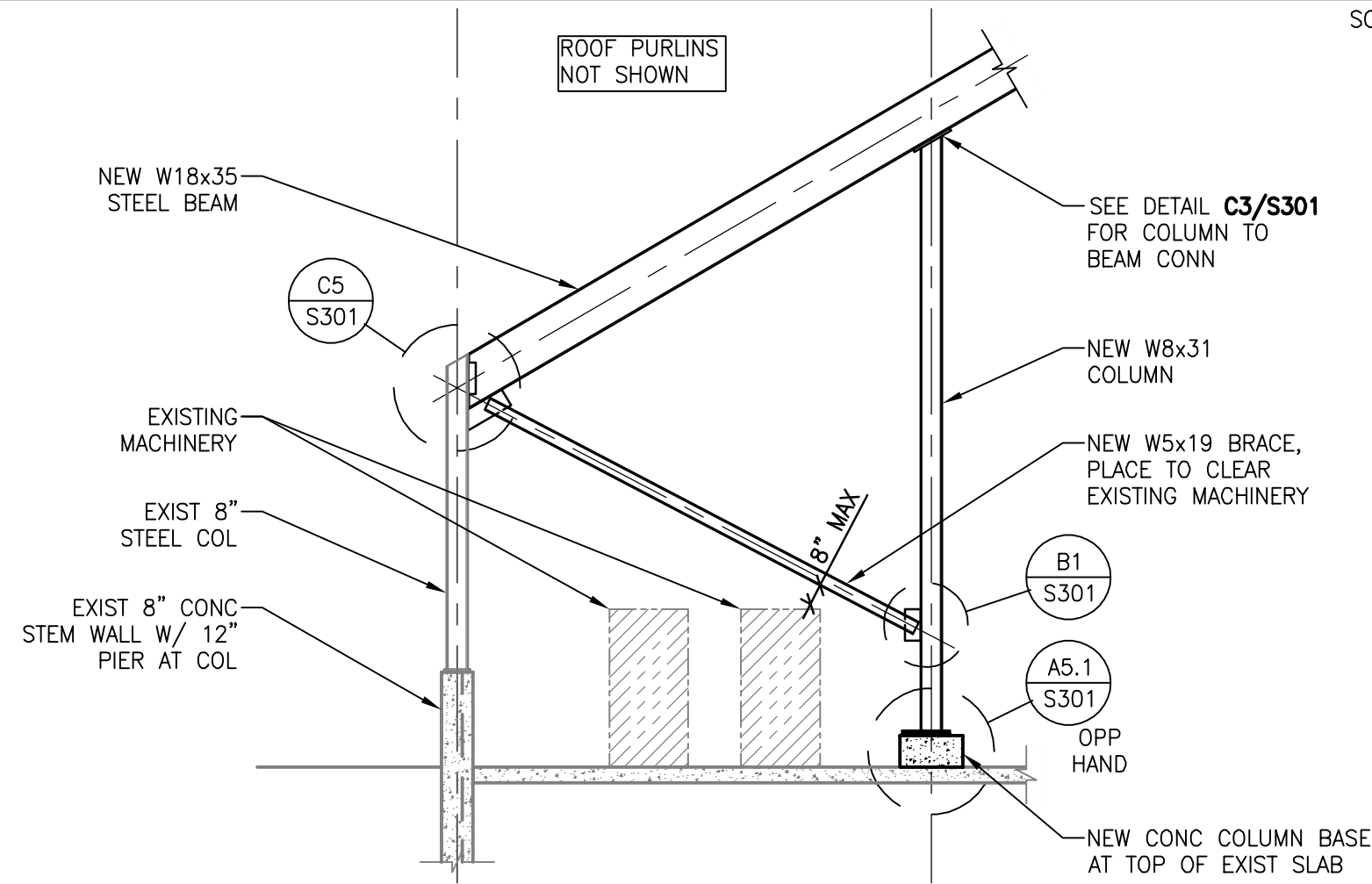
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DRAWN BY	DJM
DESIGNED BY	JP

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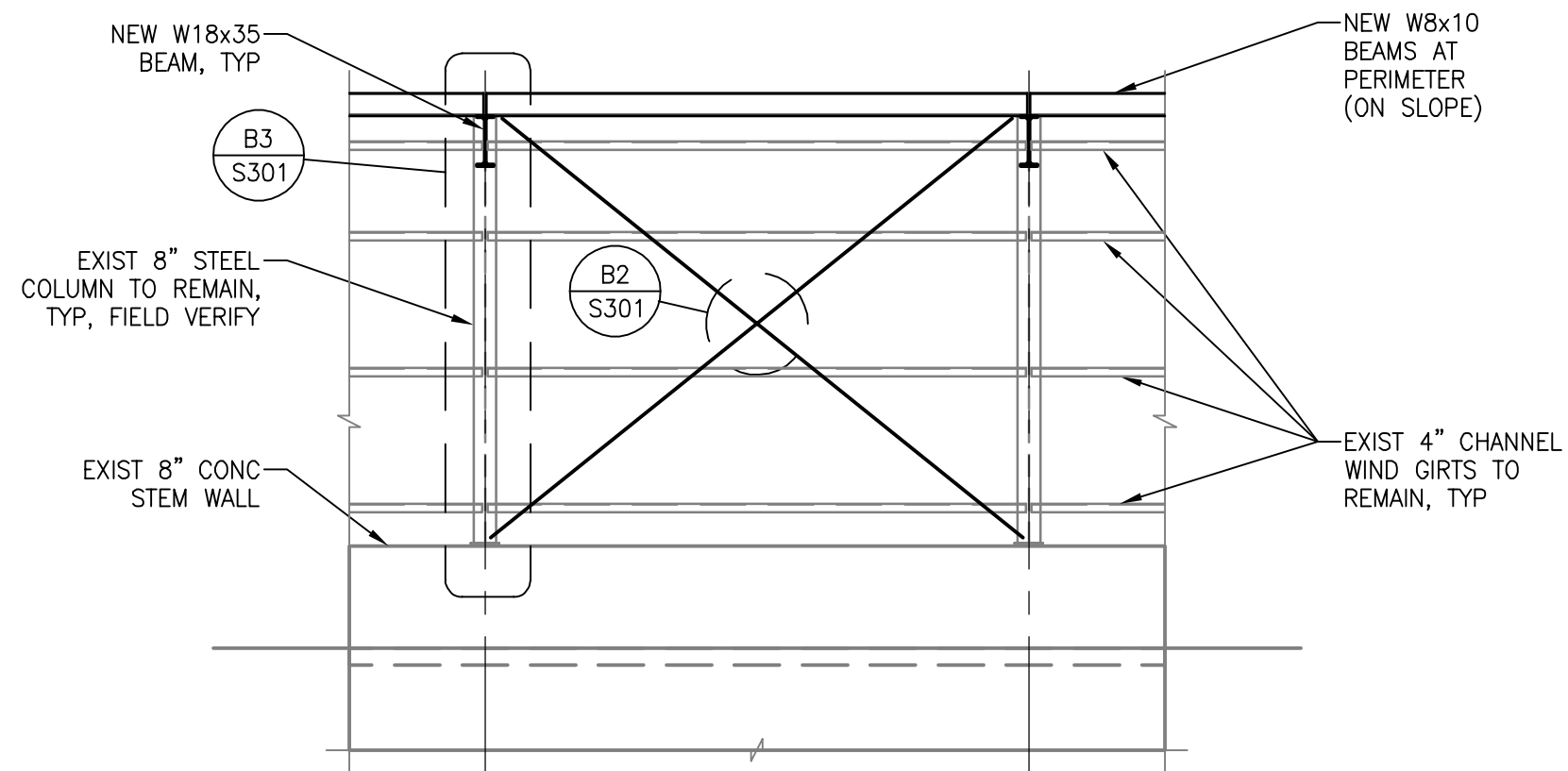
HOIST ROOM - INTERIOR BRACE ELEVATION

SCALE: 3/16" = 1'-0"



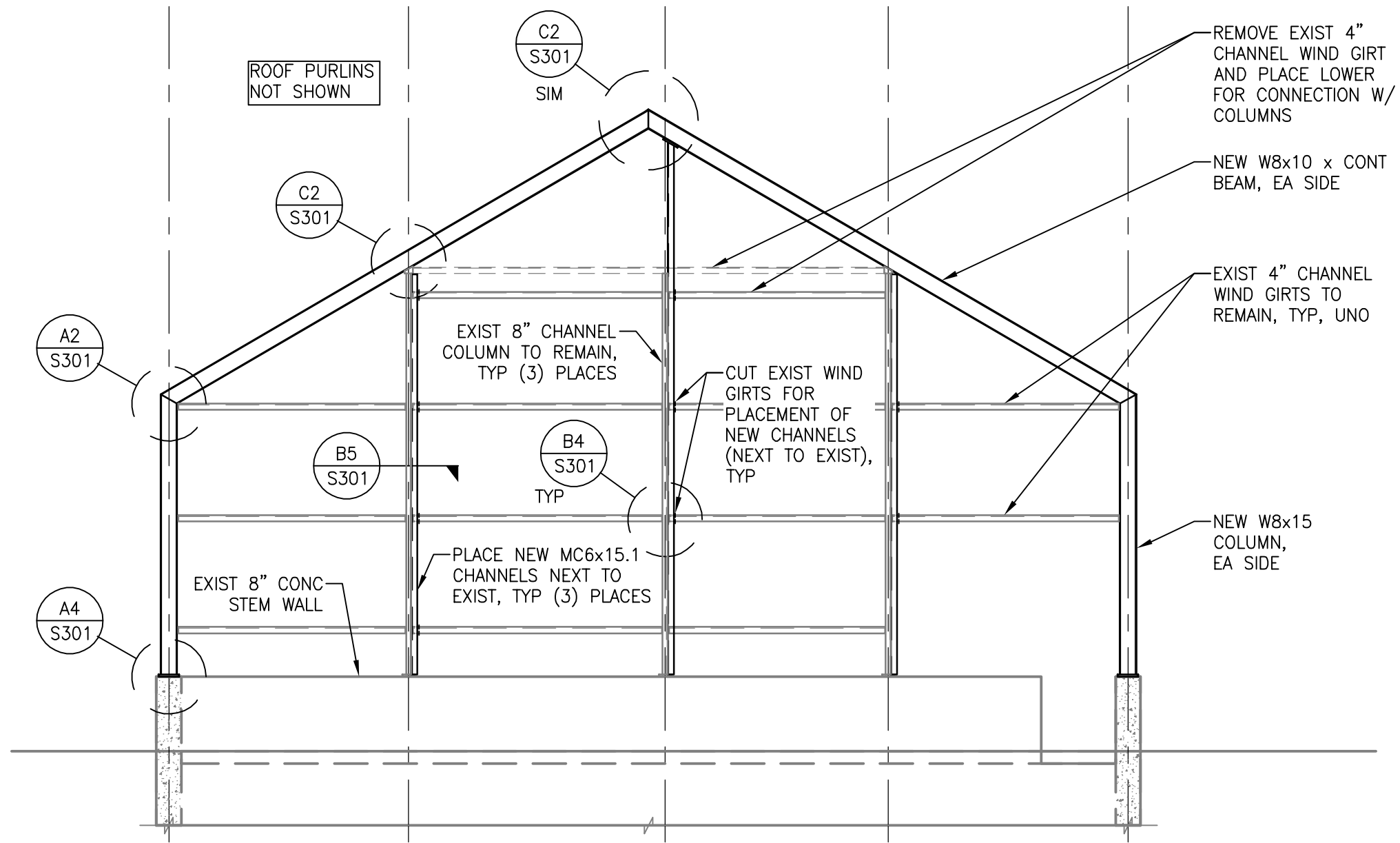
HOIST ROOM - INTERIOR BRACE ELEVATION

SCALE: 3/16" = 1'-0"



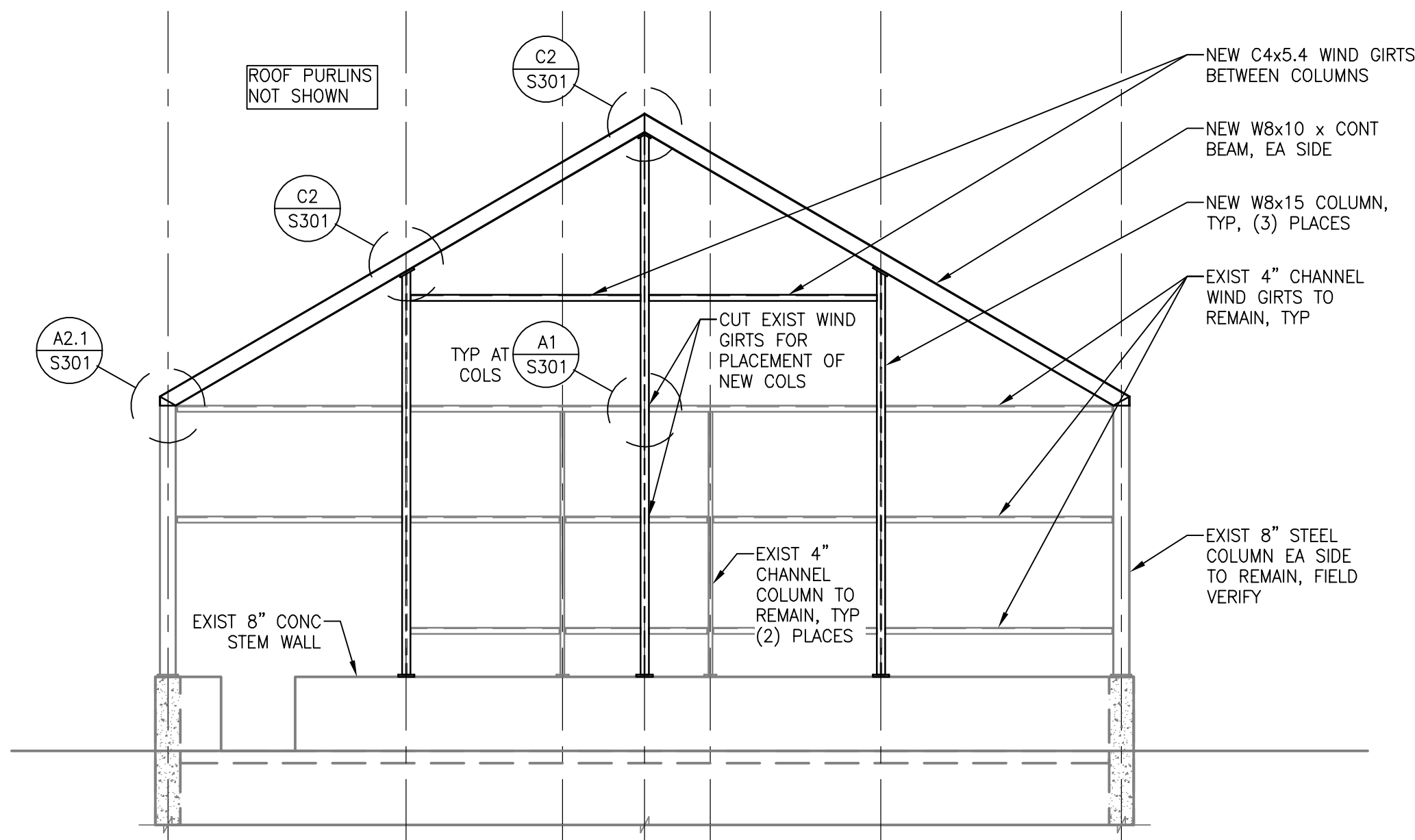
HOIST ROOM - EAST / WEST WALL SCHEMATIC BRACE ELEVATION

SCALE: 3/16" = 1'-0"



HOIST ROOM - NORTH WALL SCHEMATIC ELEVATION

SCALE: 3/16" = 1'-0"



HOIST ROOM - SOUTH WALL SCHEMATIC ELEVATION

SCALE: 3/16" = 1'-0"

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THAYNES MINE HOIST BUILDING
WALL ELEVATIONS

REVISIONS	COMMENTS
DATE	

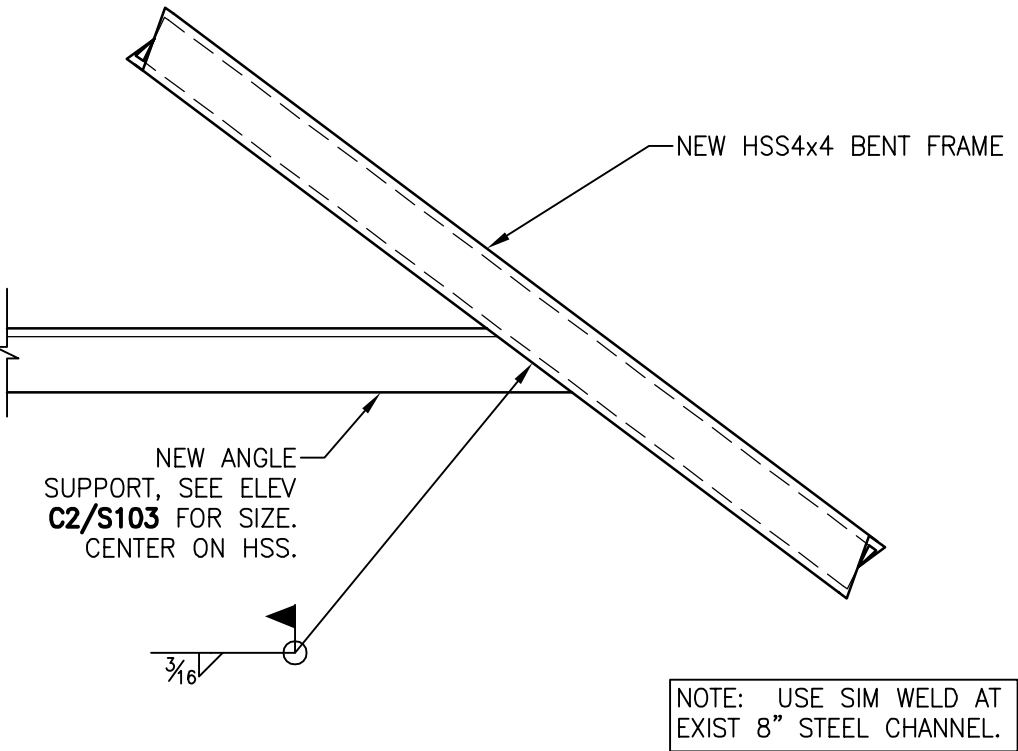
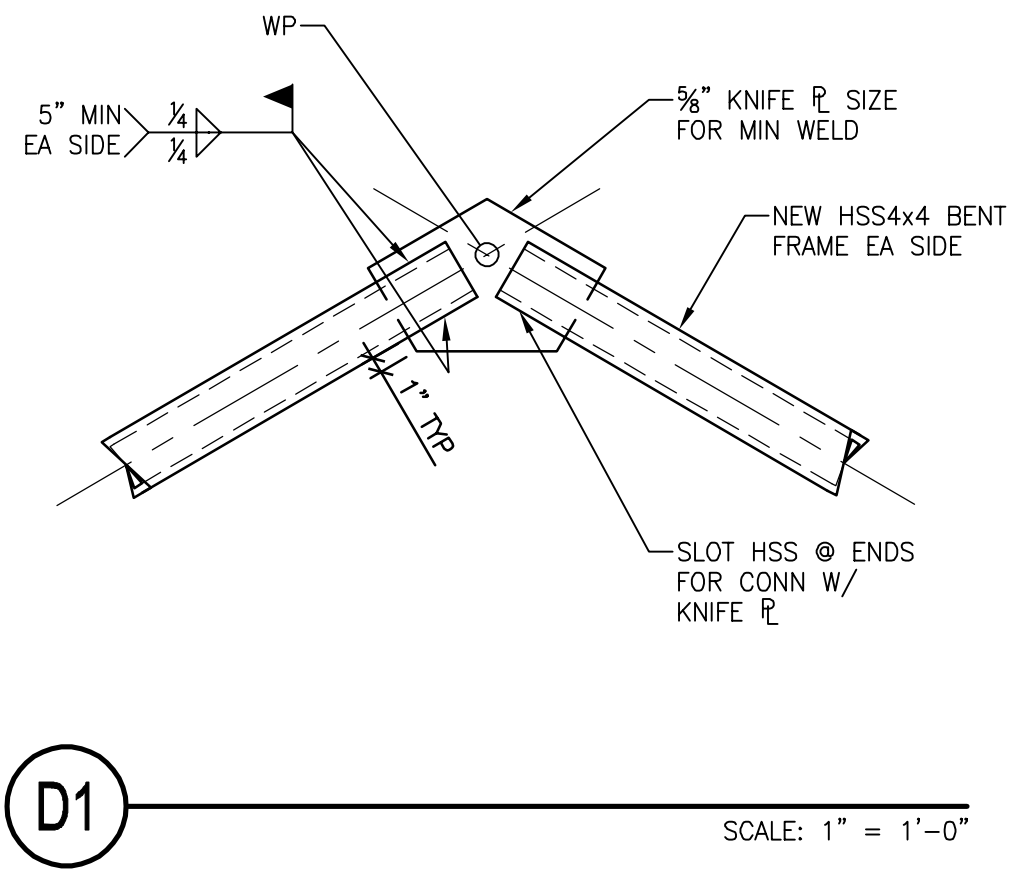
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Drawn By:	DJM
Designed By:	JS

HISTORIC
THAYNES
MINE BUILDING

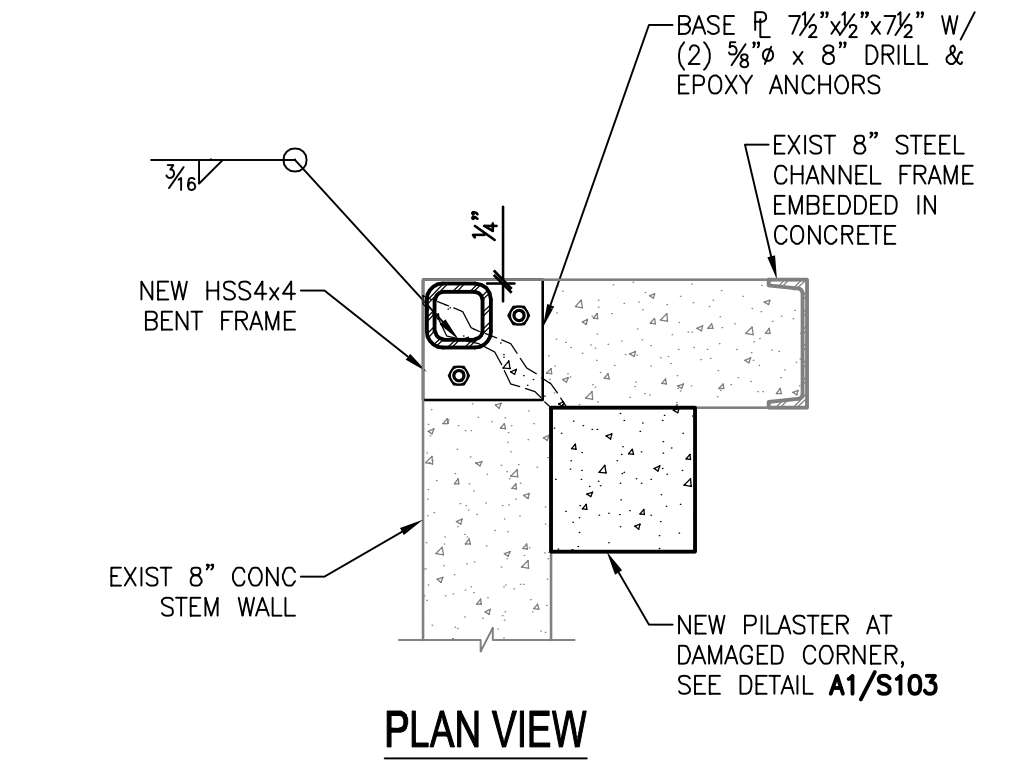
PARK CITY HISTORICAL STRUCTURES

S102

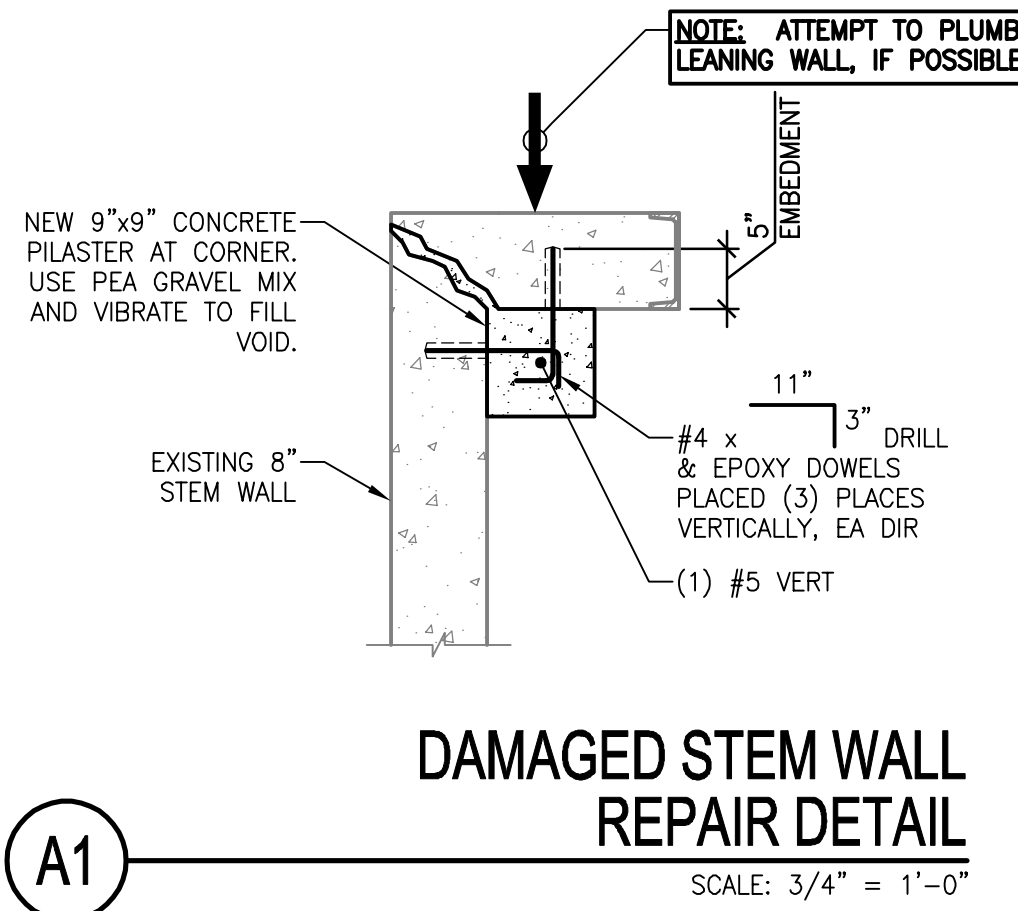
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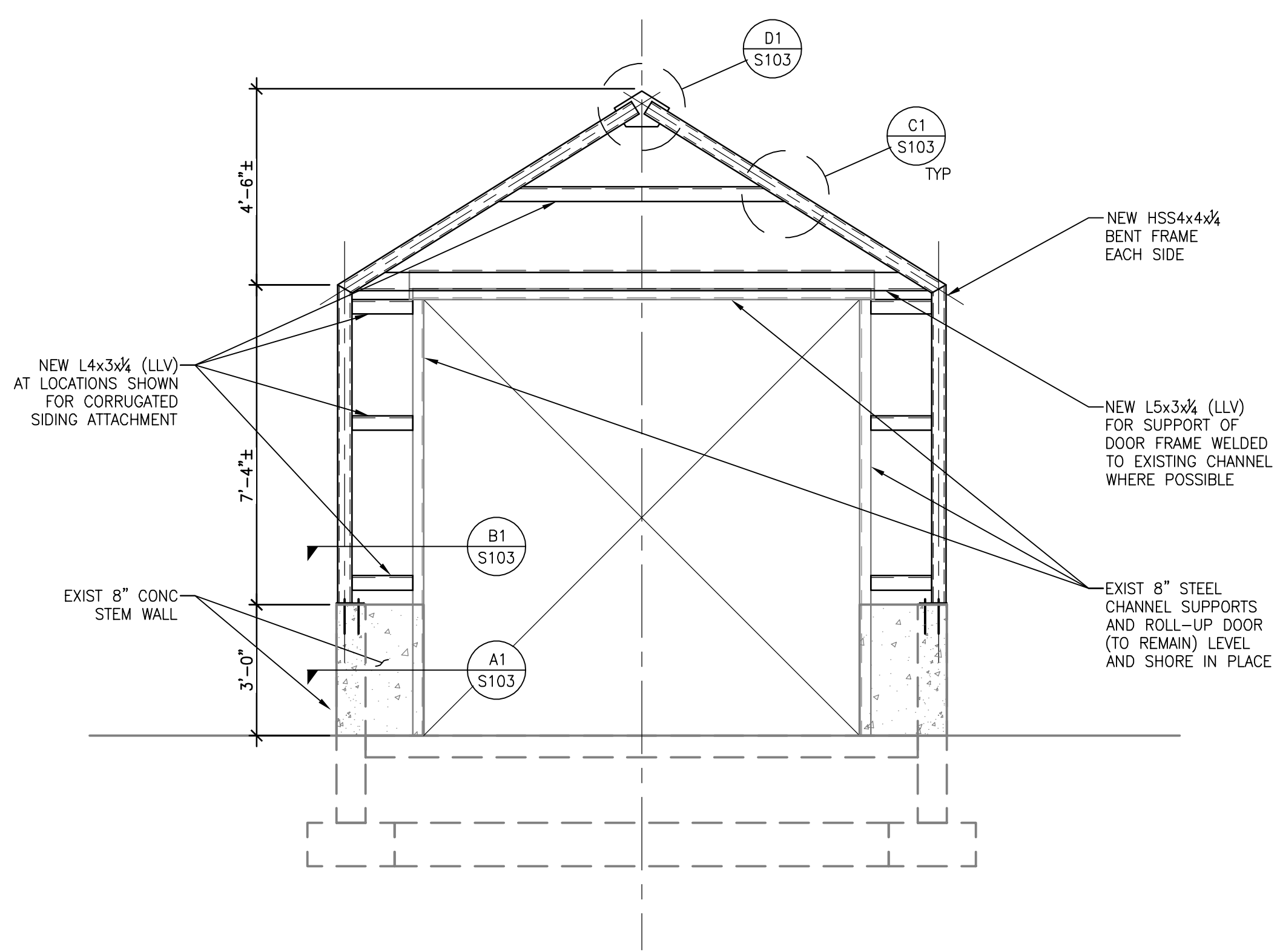
C1 SCALE: 1" = 1'-0"



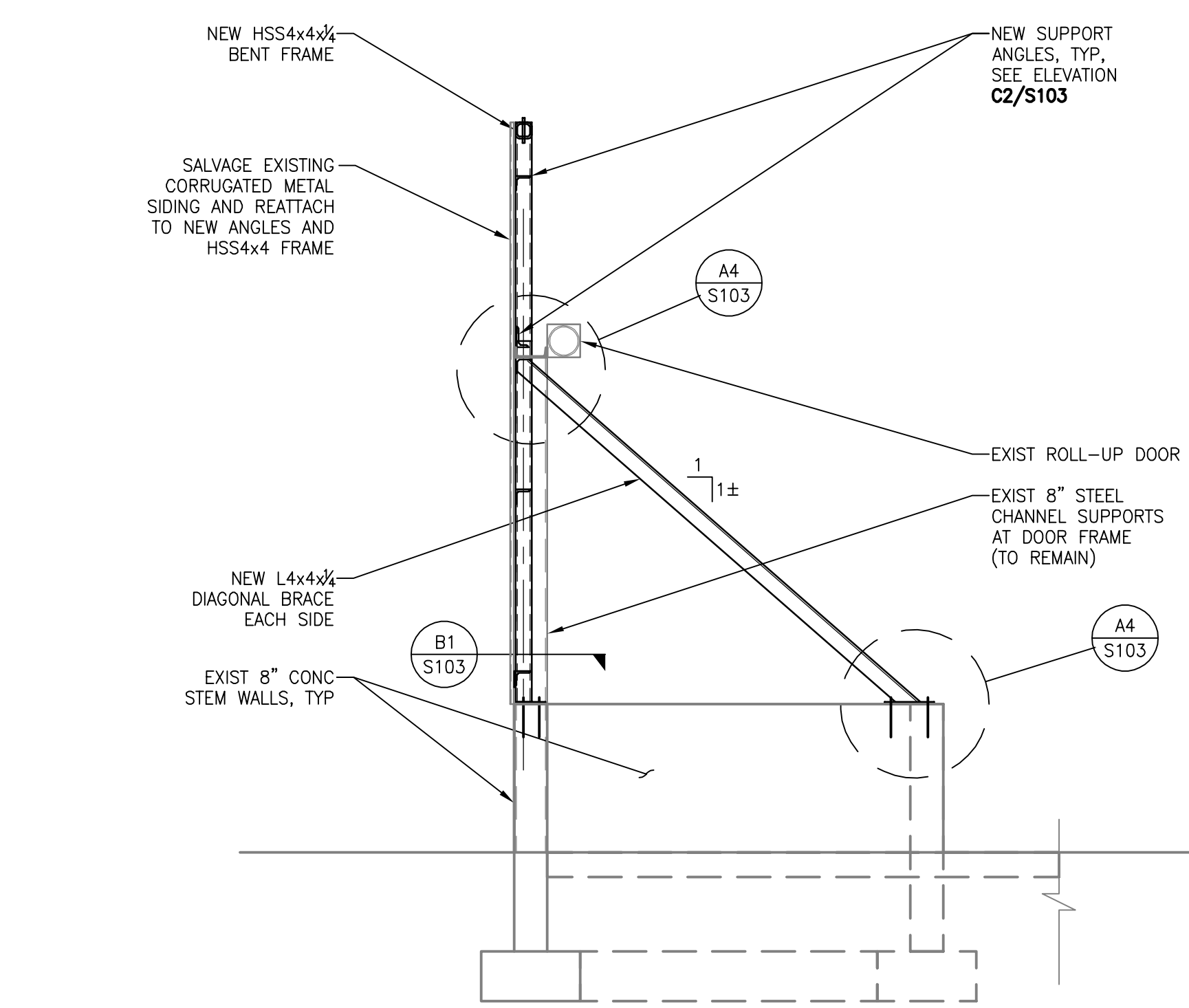
B1 SCALE: 1" = 1'-0"



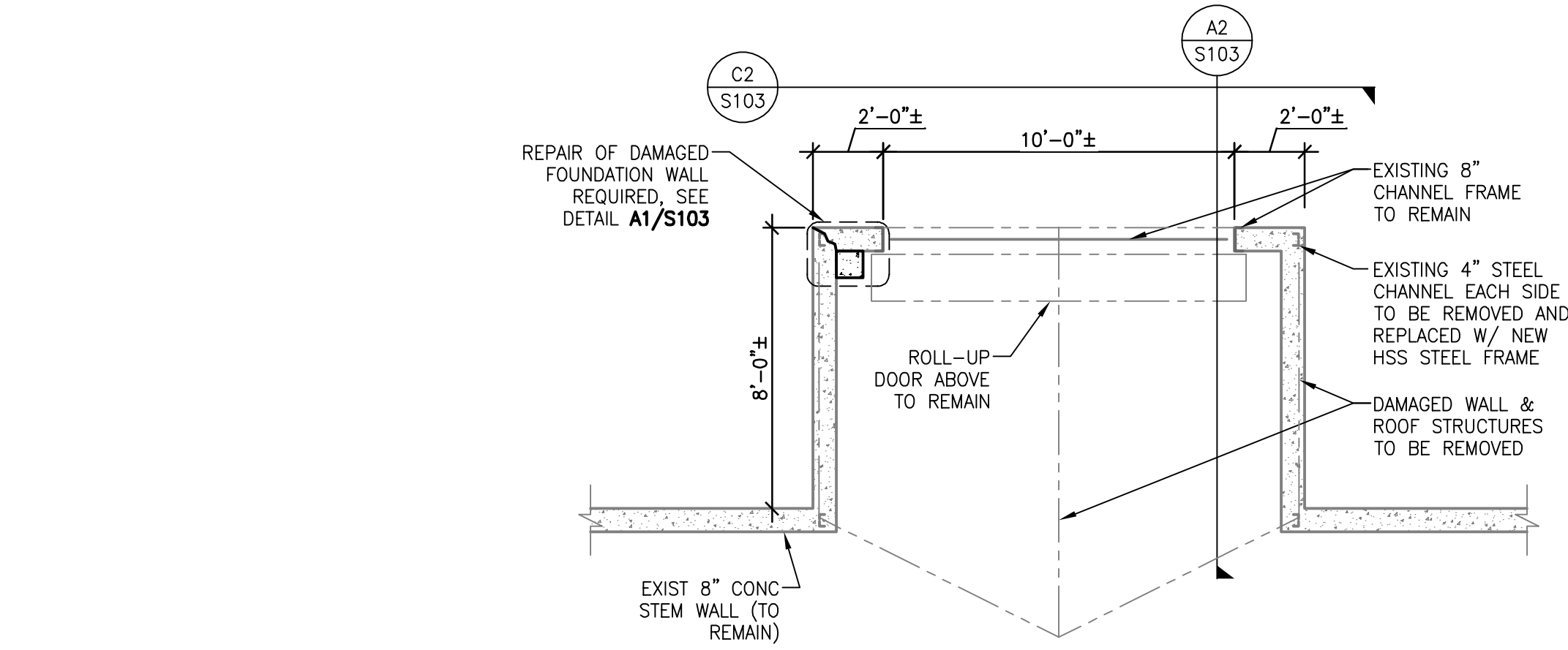
A1 SCALE: 3/4" = 1'-0"



C2 SCALE: 3/8" = 1'-0"

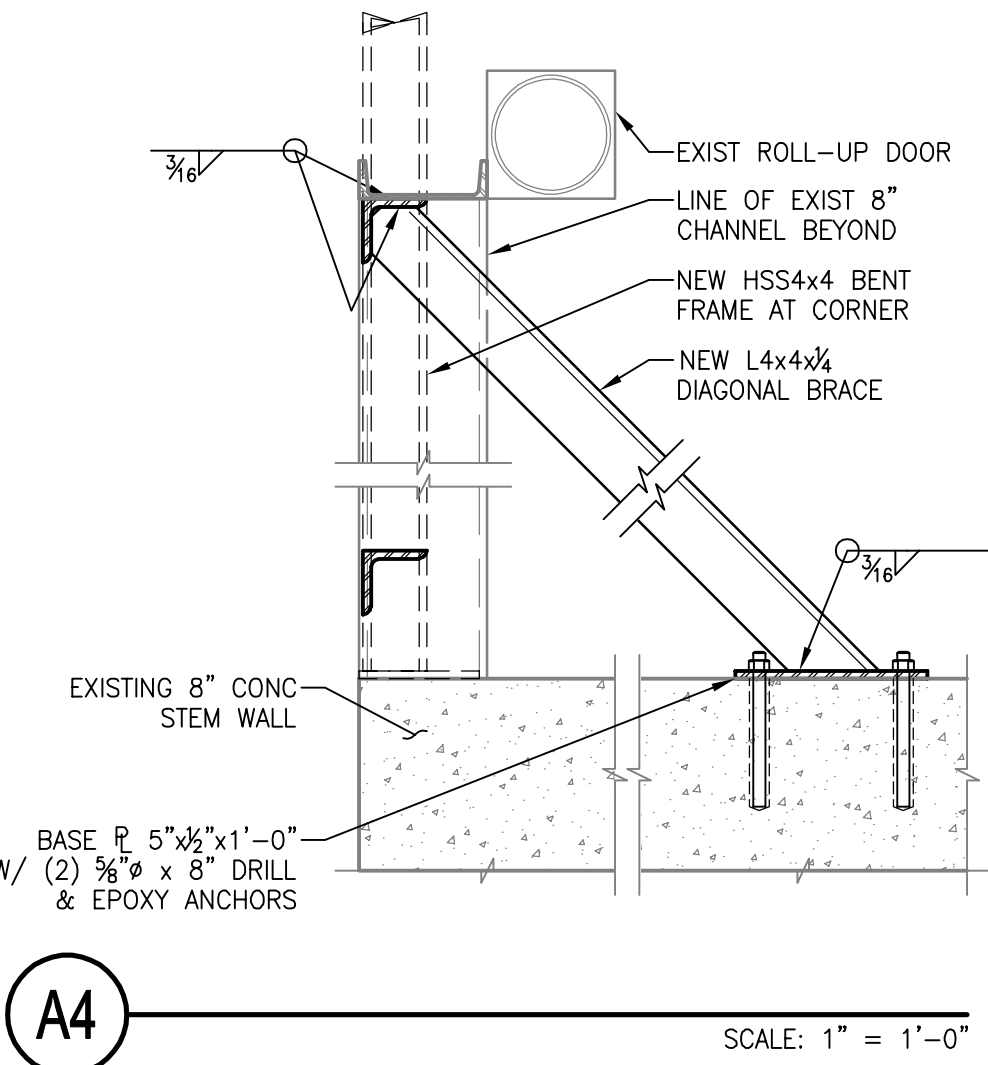


A2 SCALE: 3/4" = 1'-0"



C4 SCALE: 1/4" = 1'-0"

NOTE: ALL DIMENSIONS HAVE BEEN MEASURED IN THE FIELD AND ARE APPROXIMATE.



A4 SCALE: 1" = 1'-0"

PRELIM ONLY NOT FOR
CONSTRUCTION

THAYNES MINE AUXILIARY STRUCTURES
GARAGE DOOR FACADE STABILIZATION

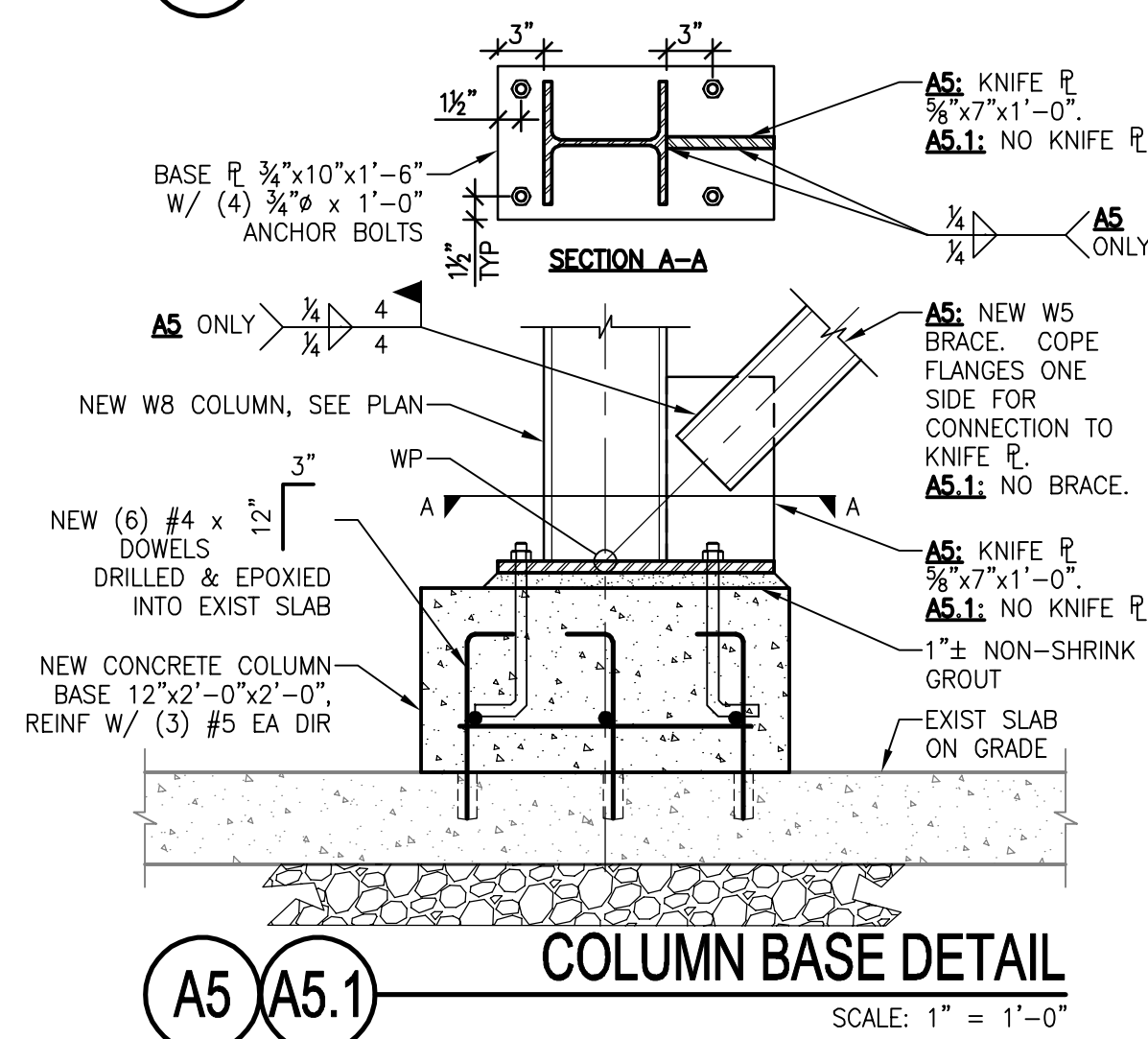
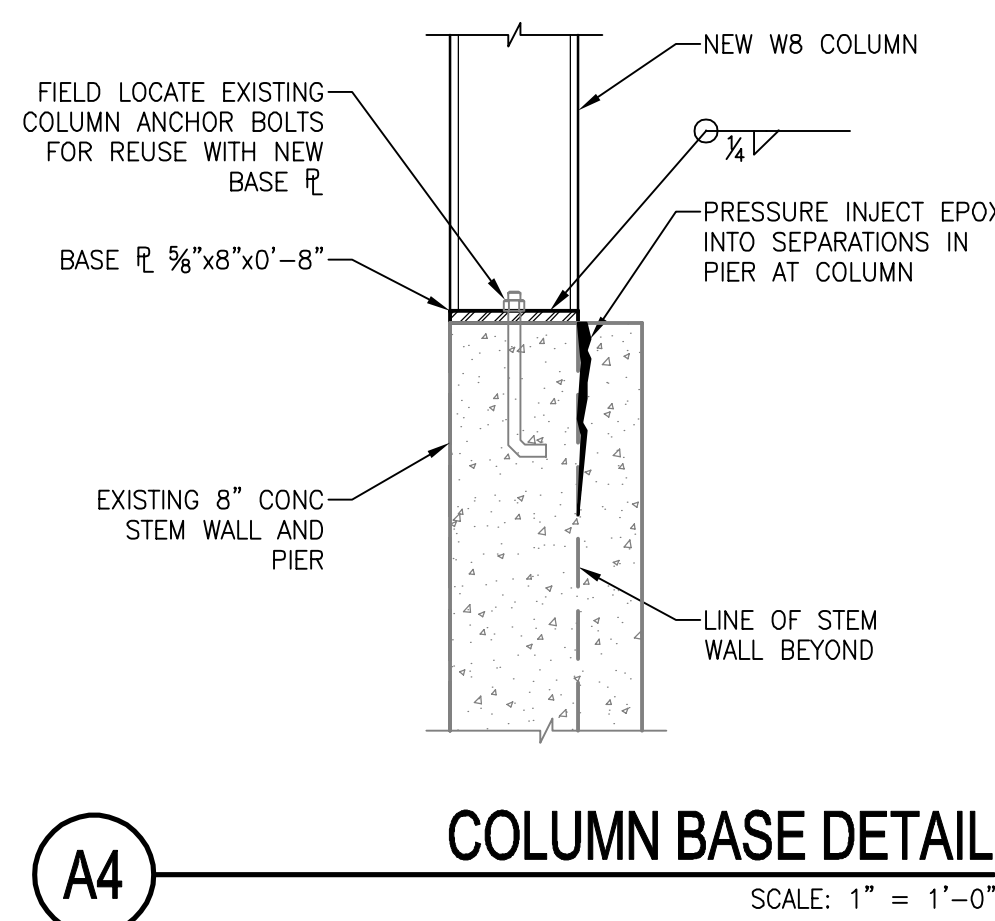
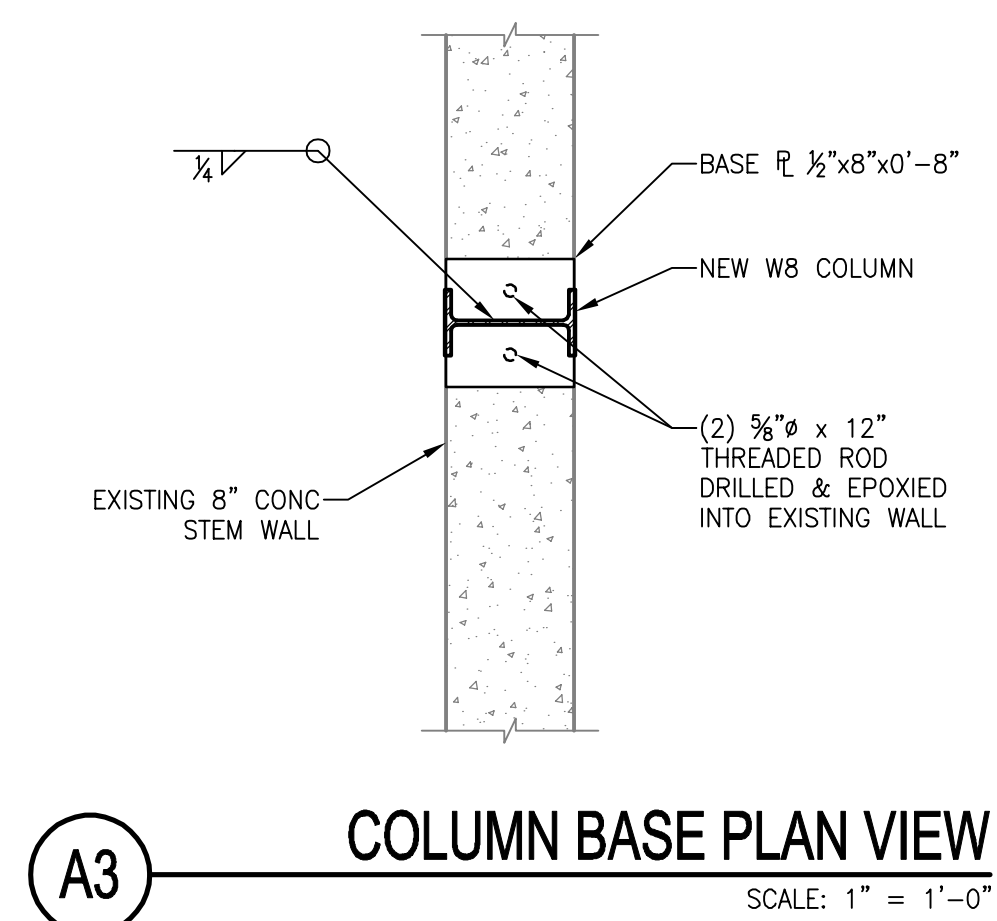
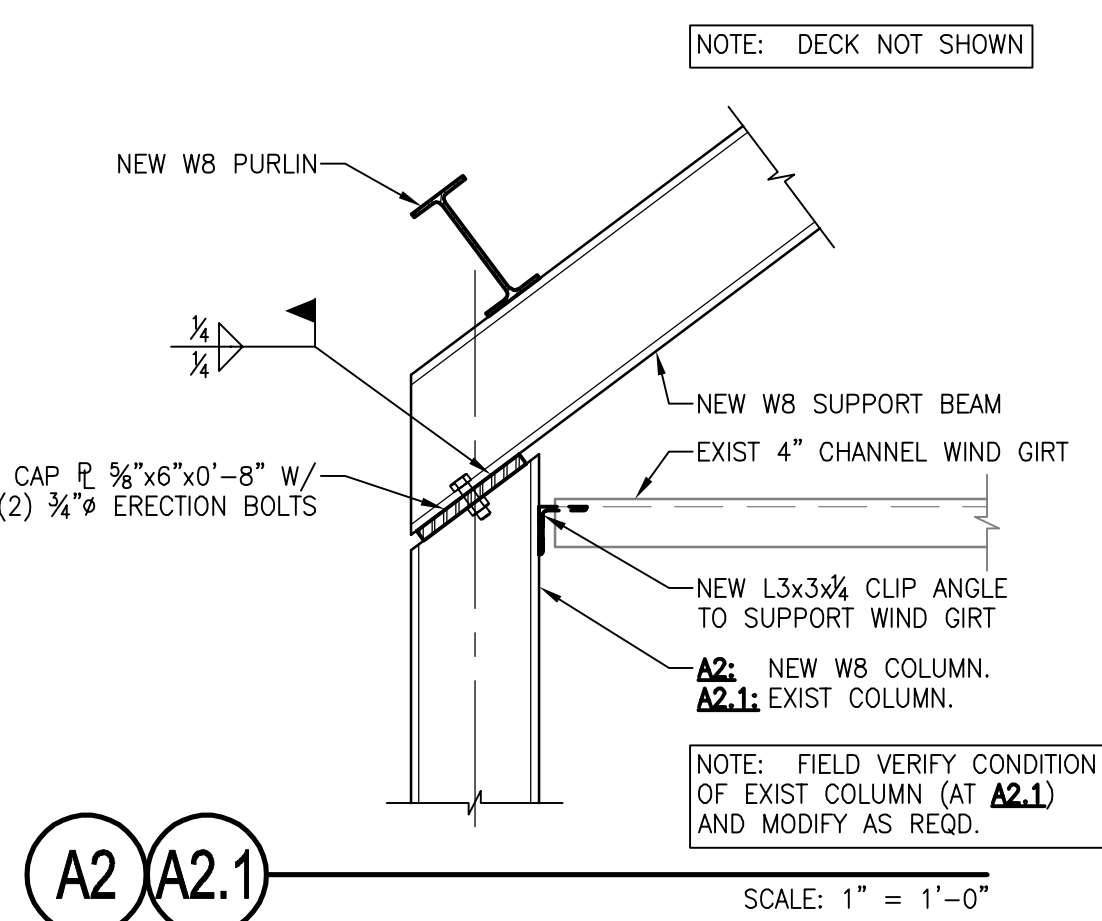
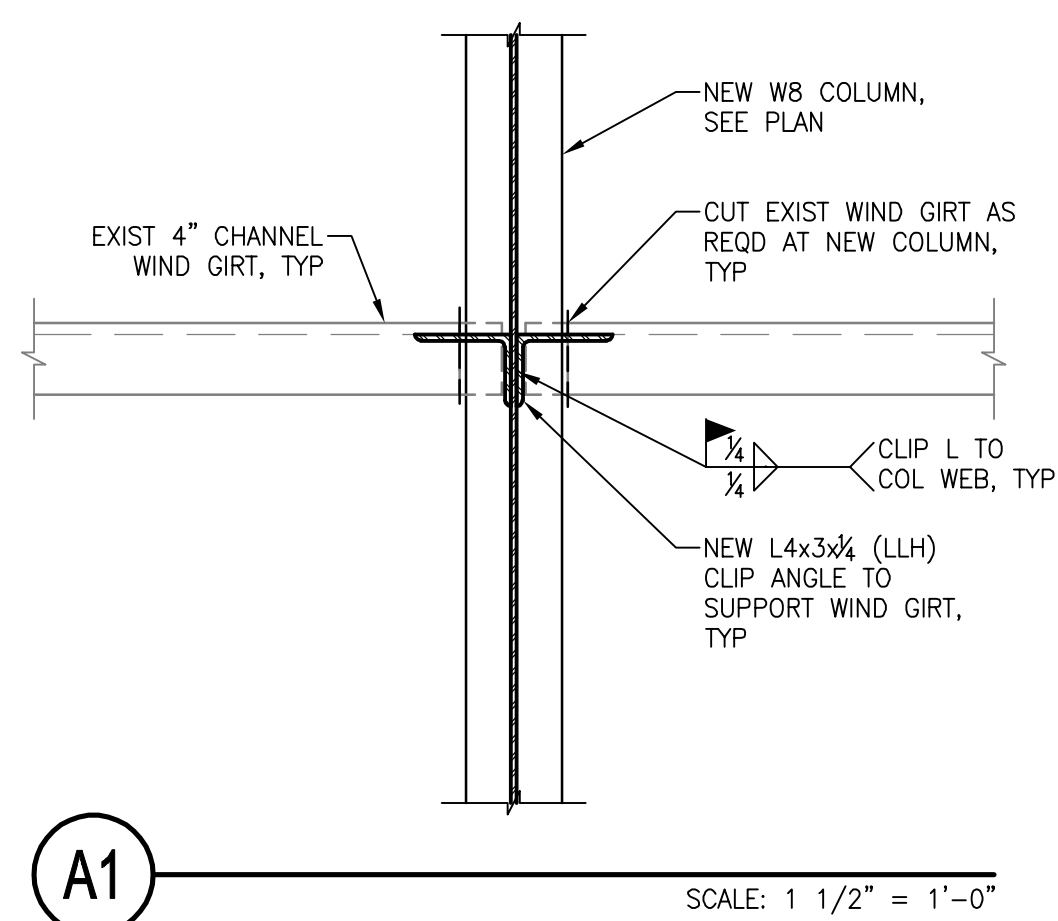
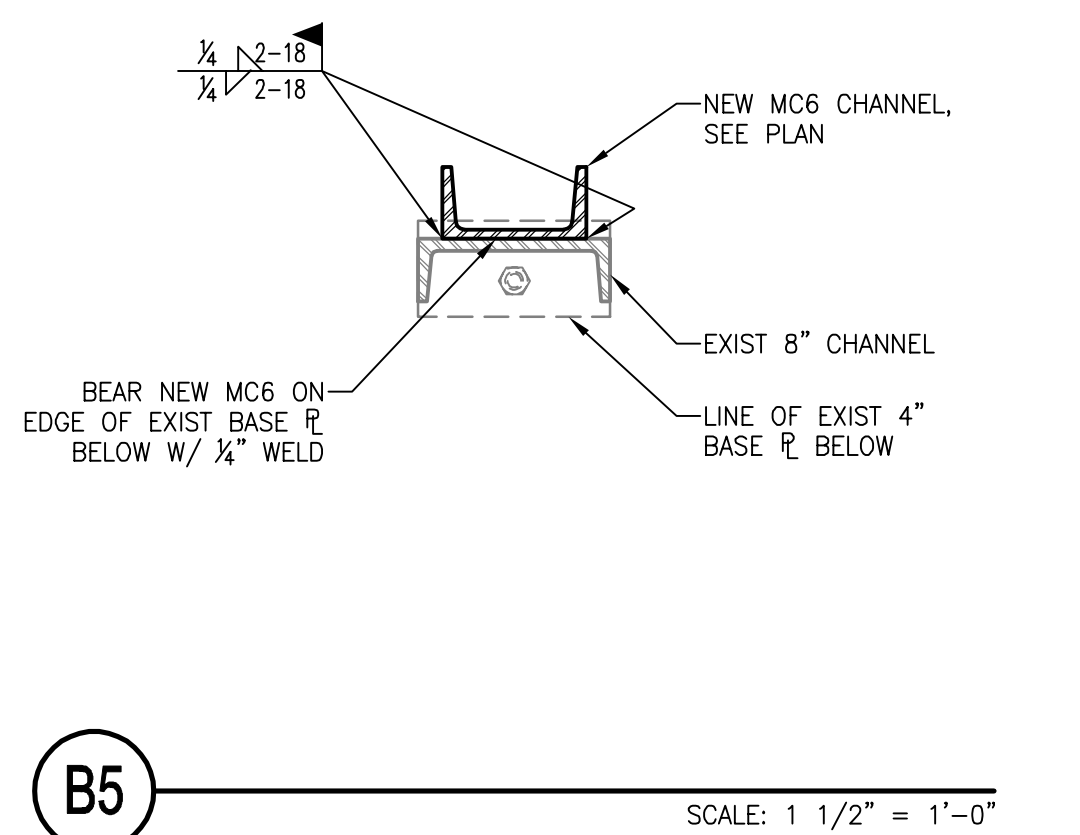
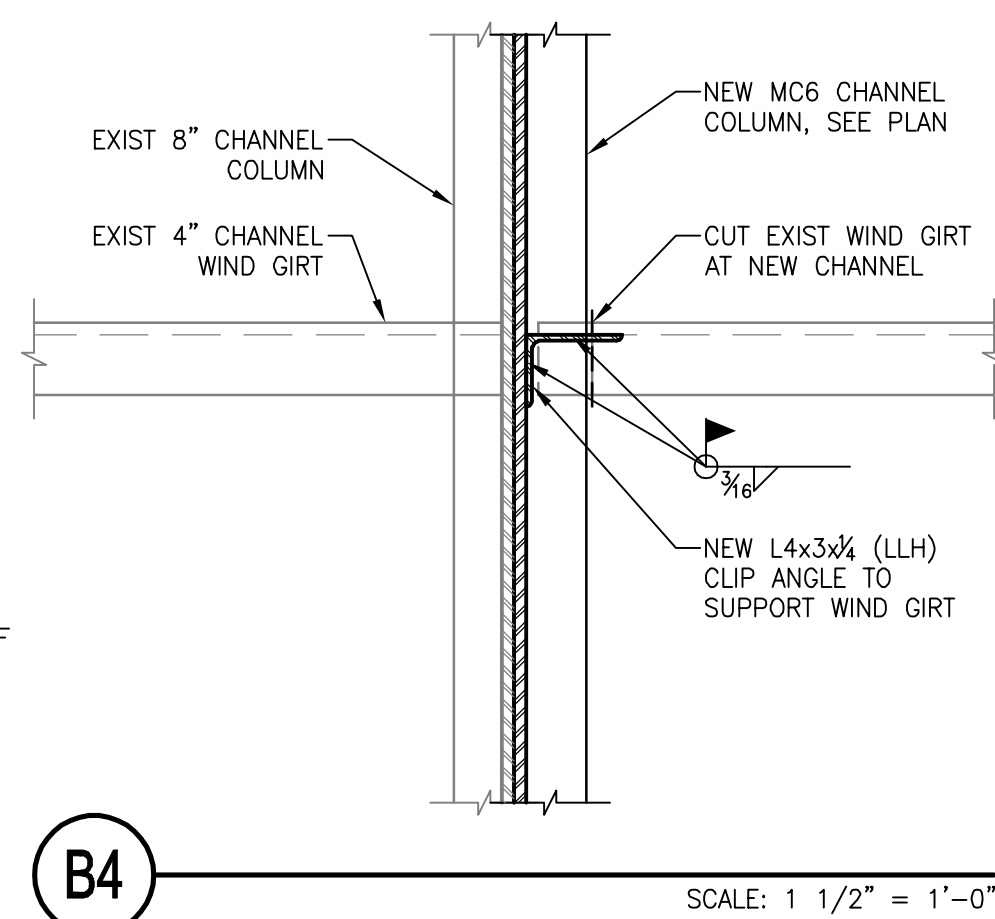
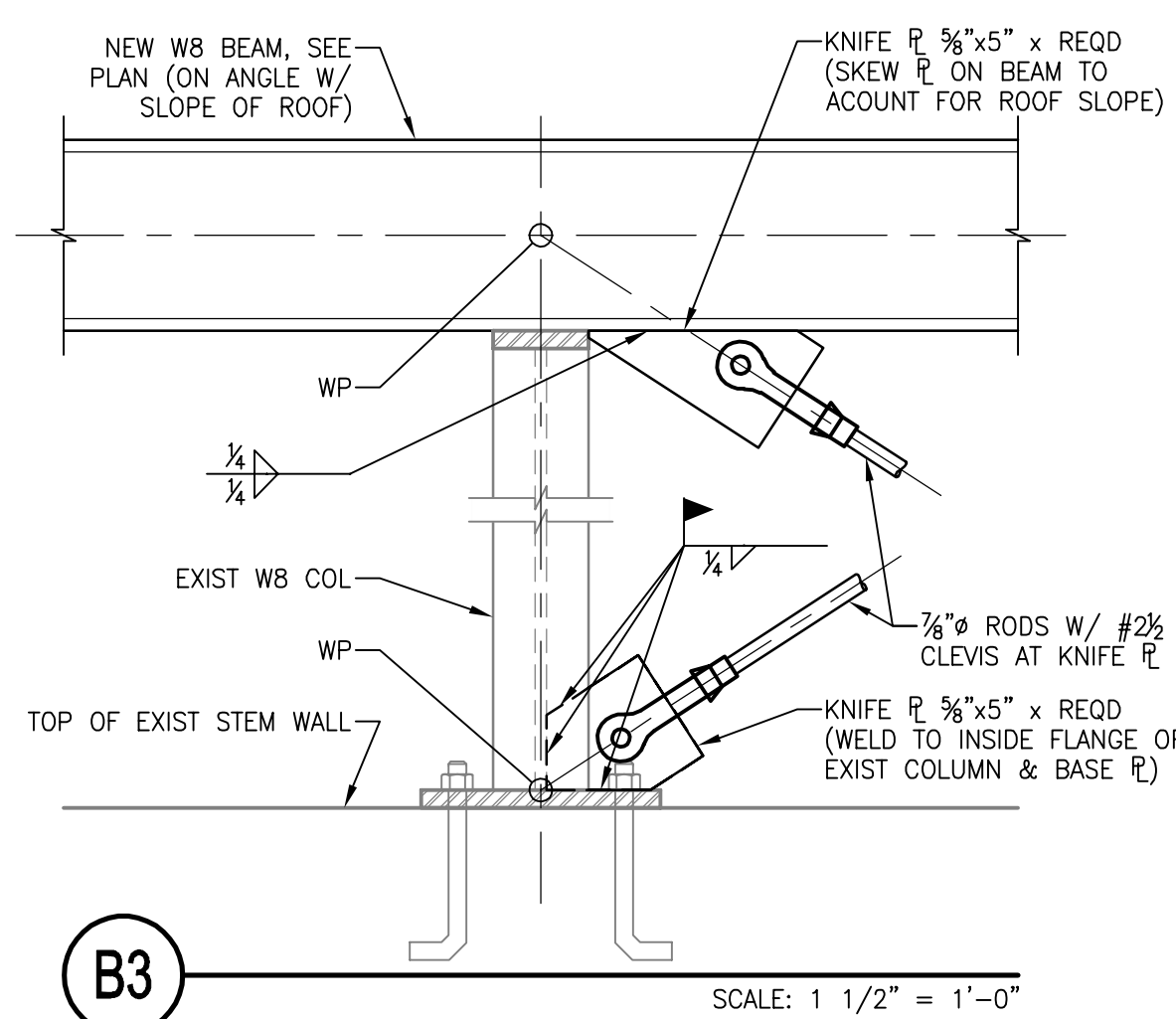
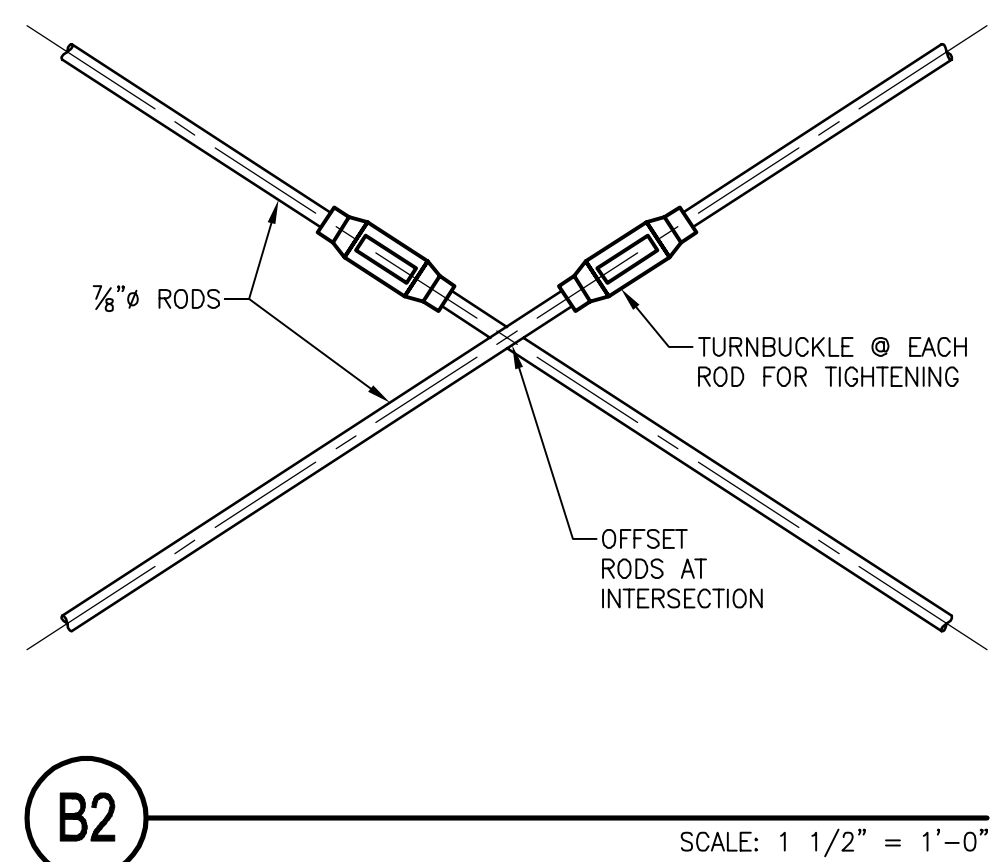
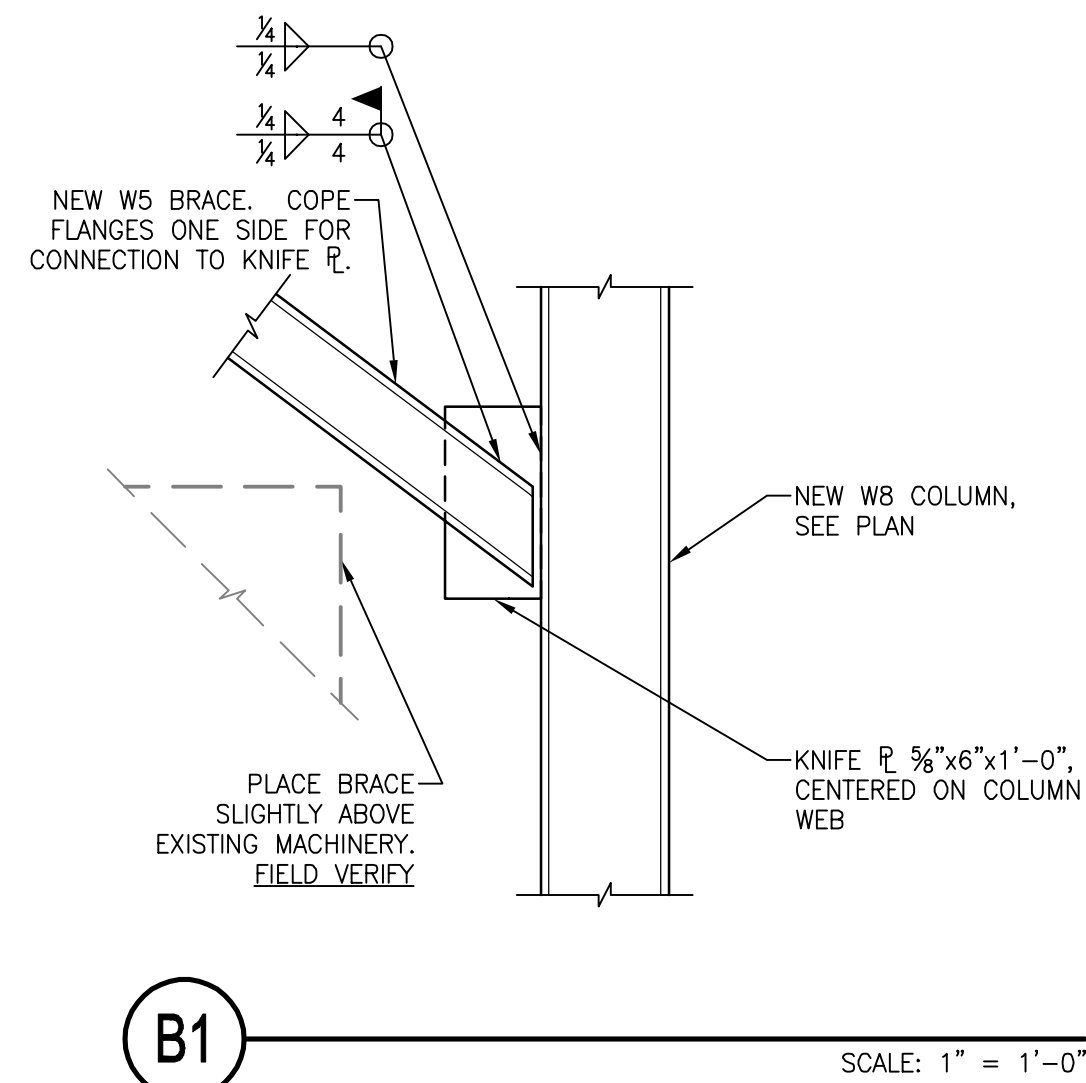
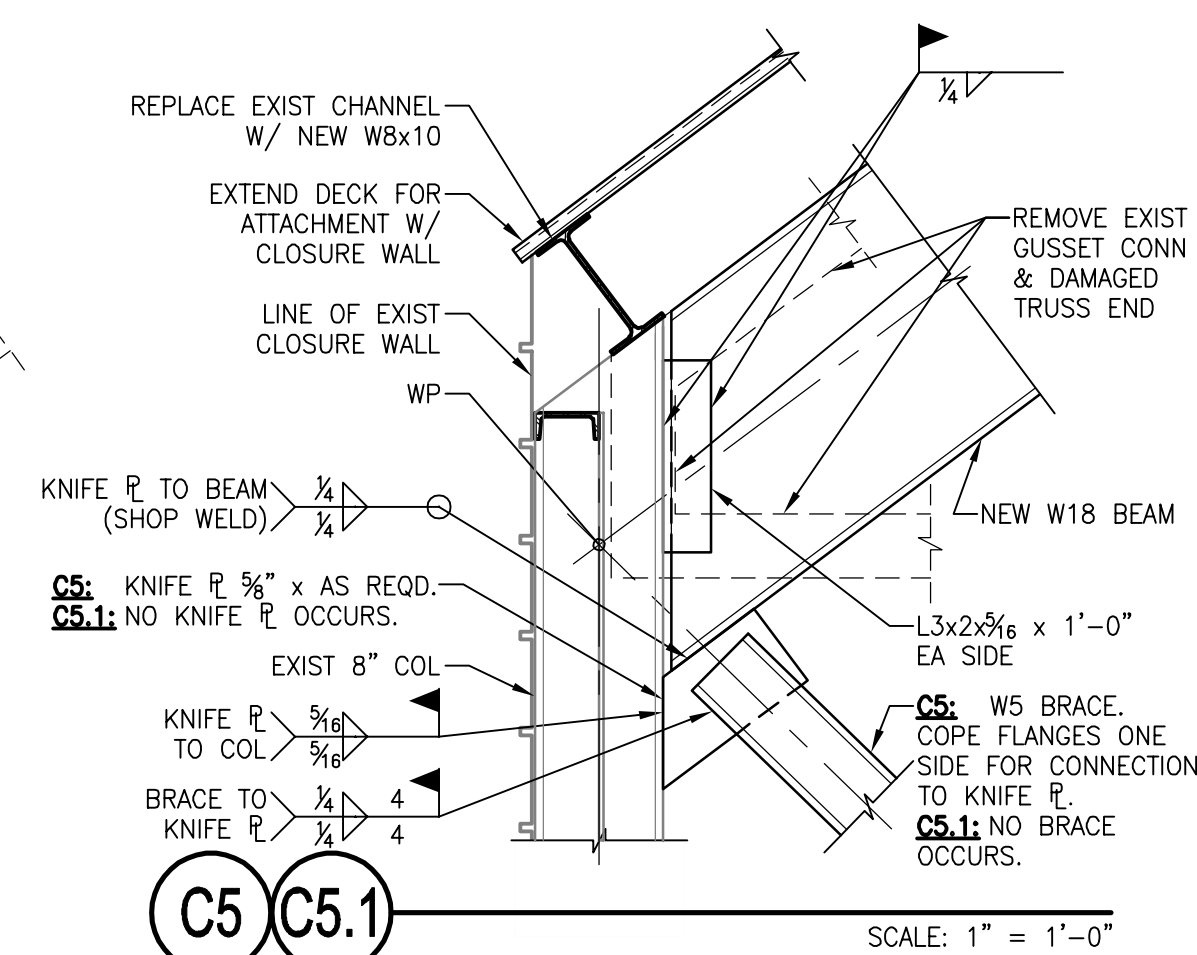
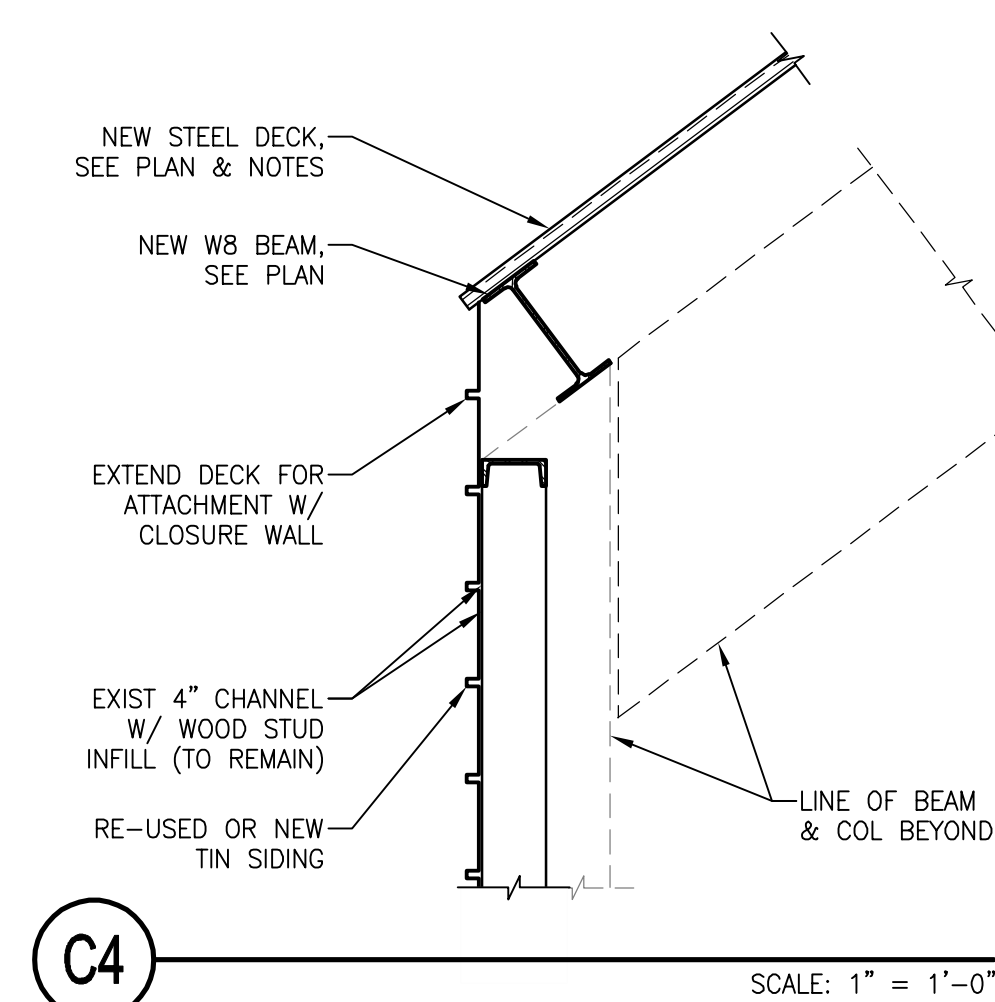
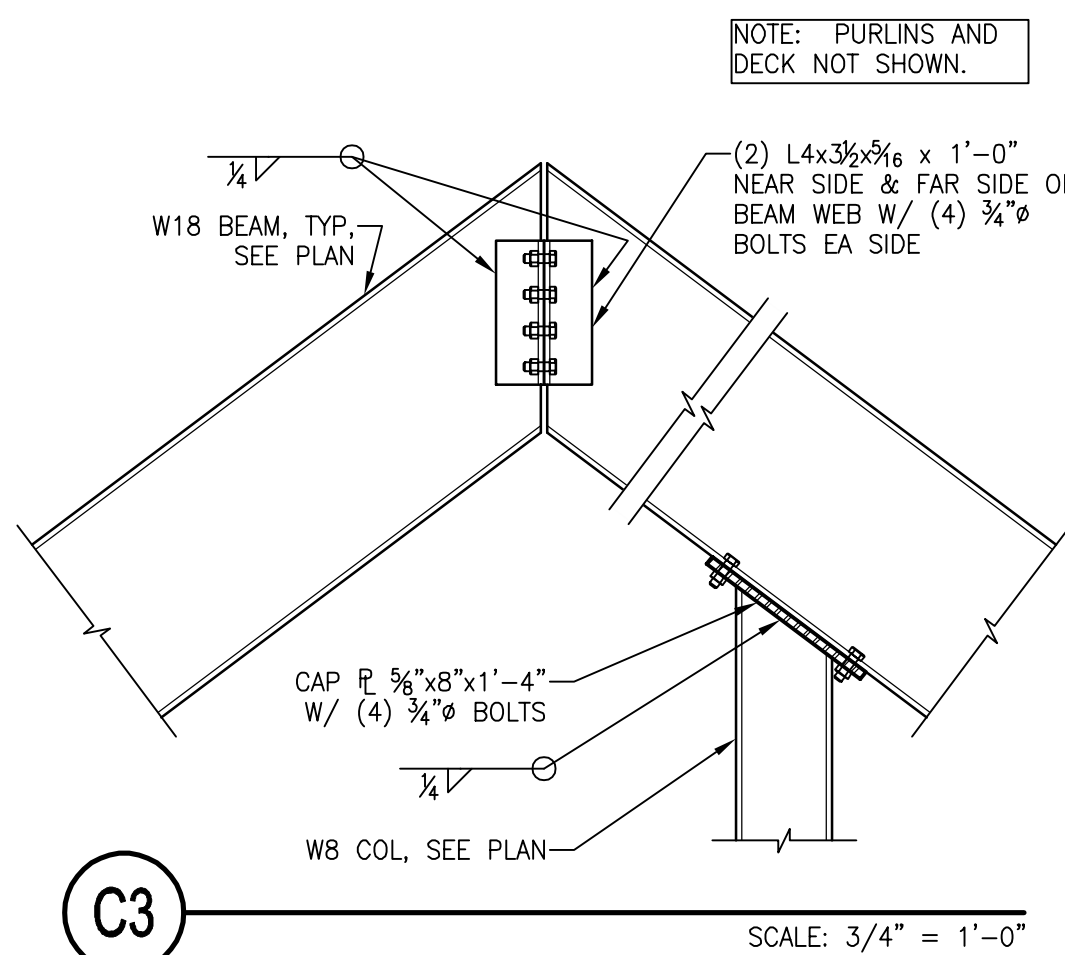
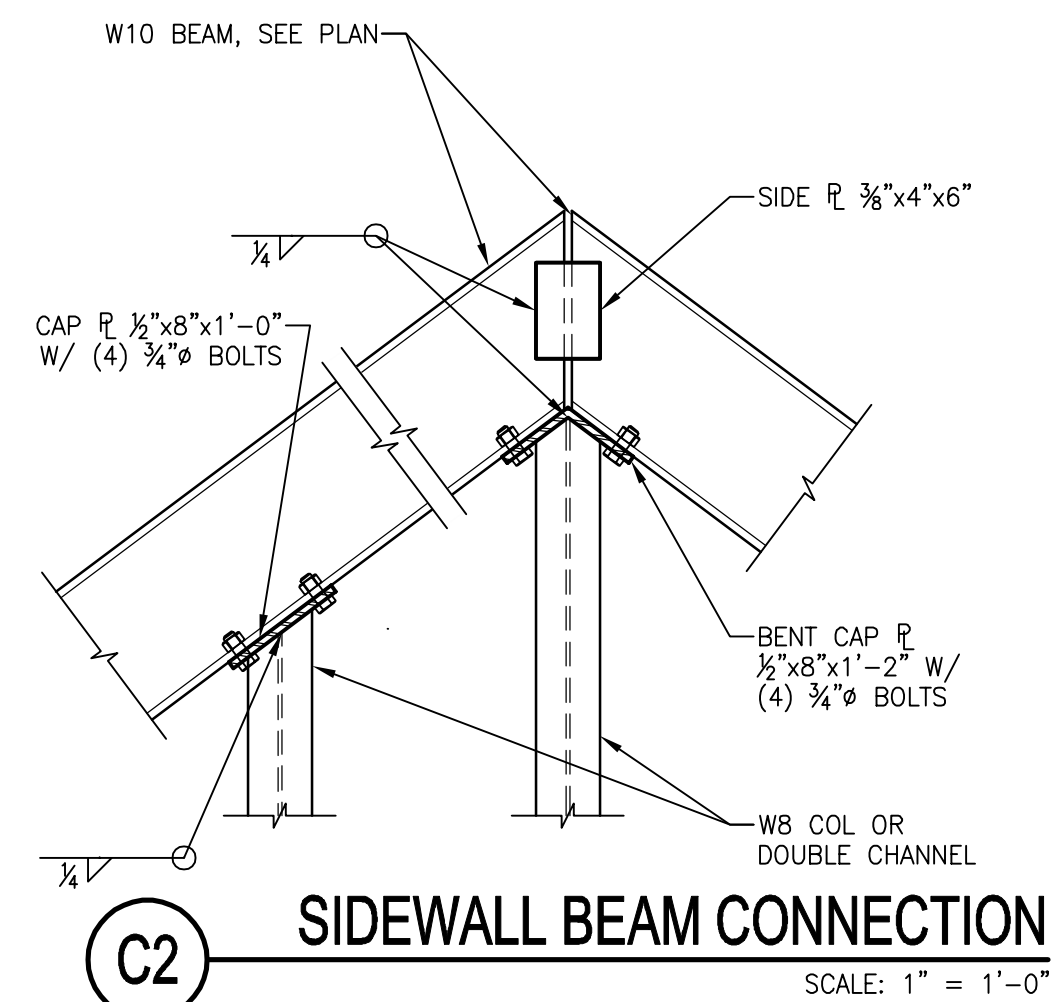
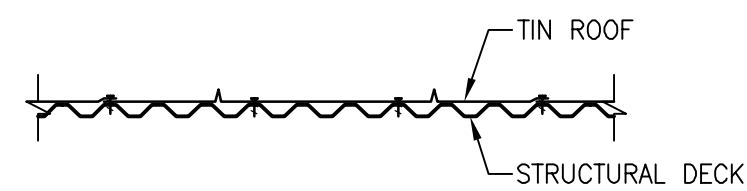
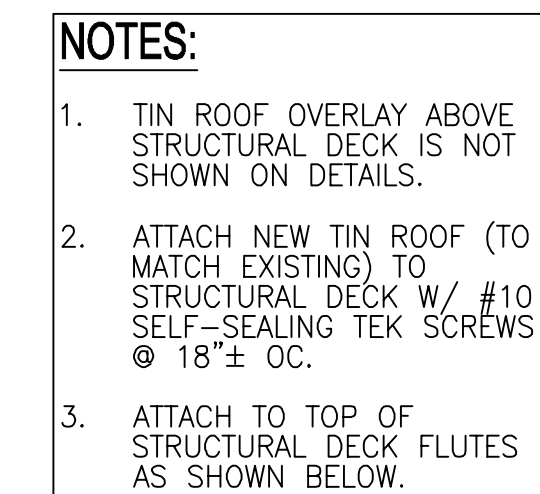
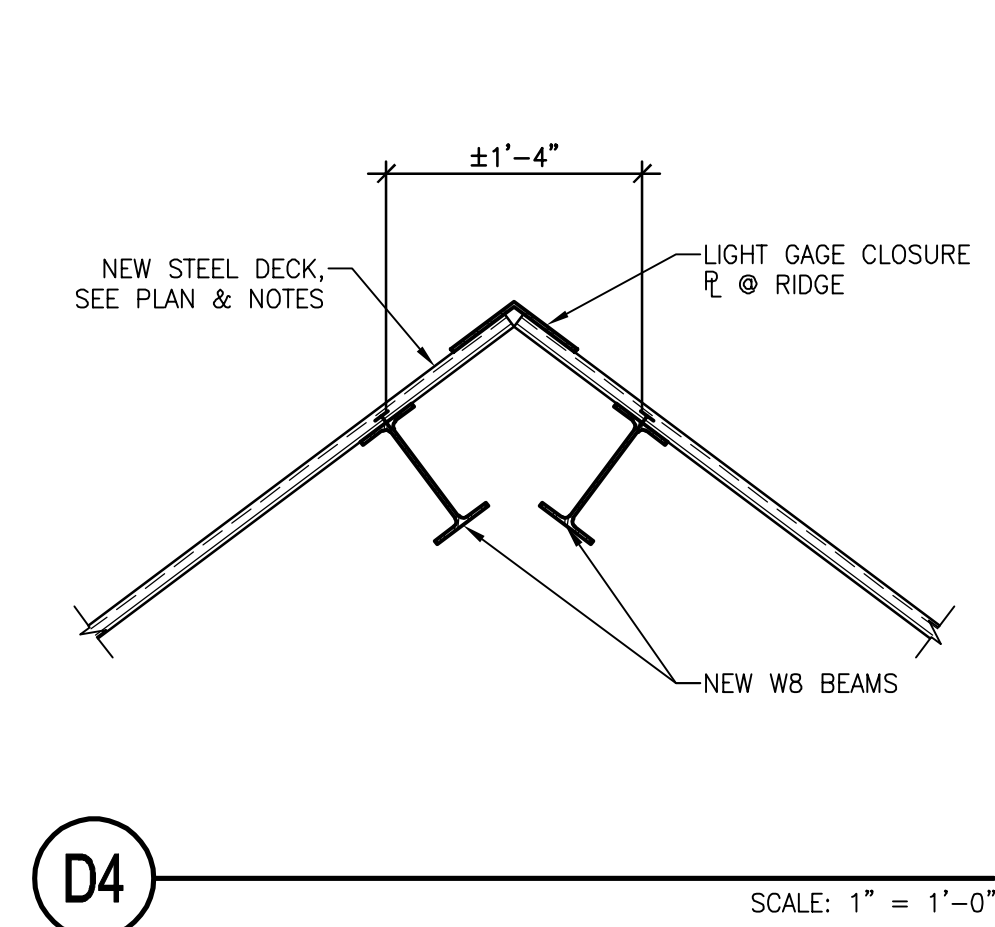
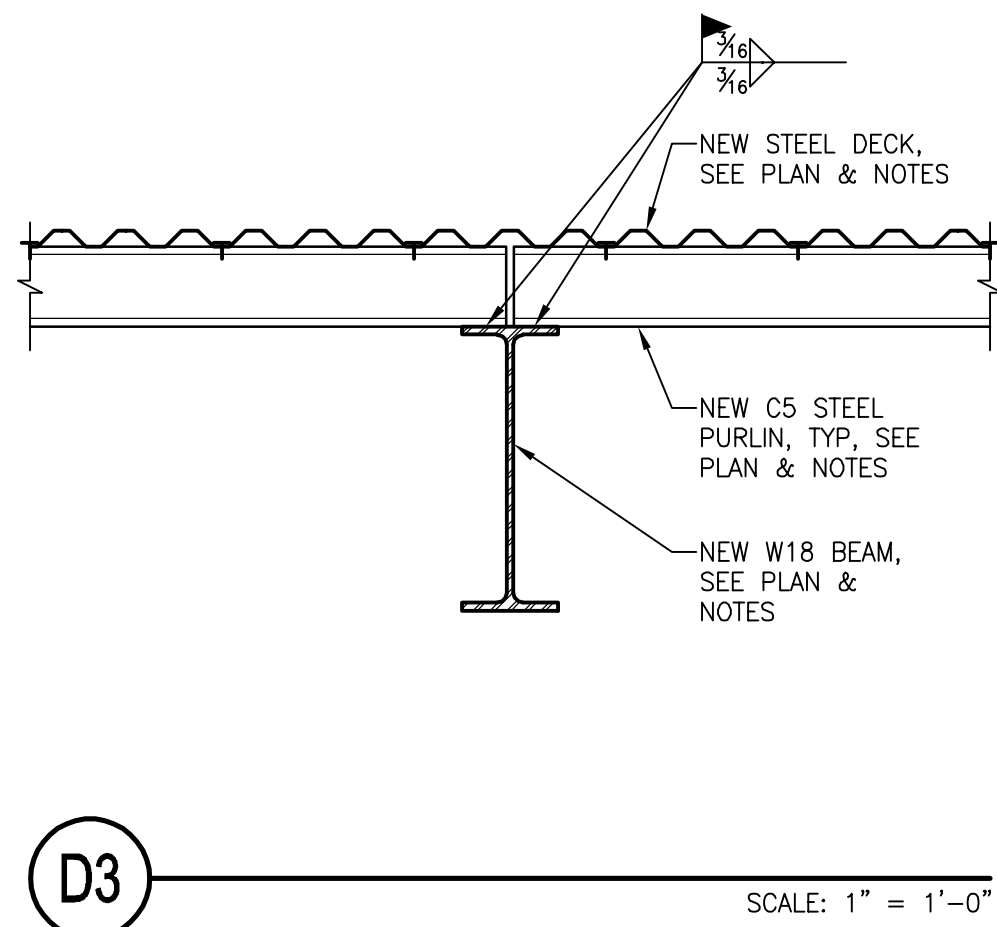
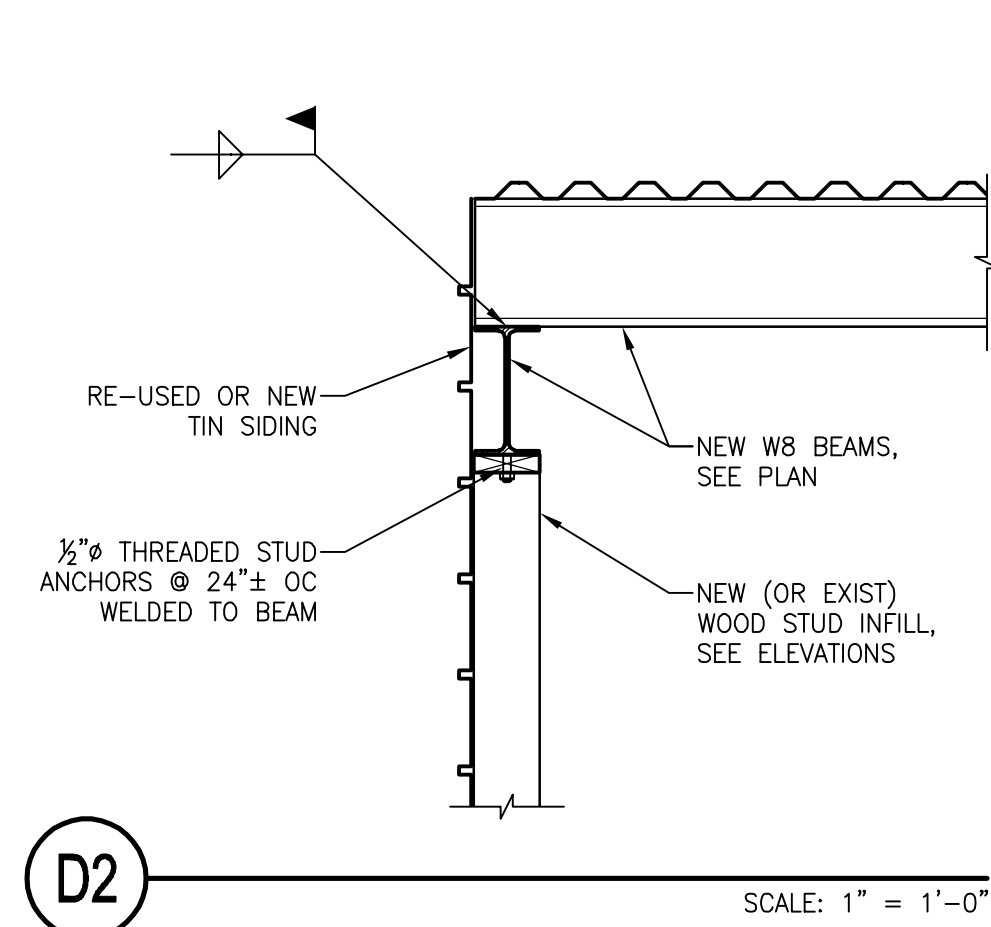
REVISIONS	COMMENTS
DATE	

Job #	20024.05
DRAWN BY:	DA
DESIGNED BY:	DA

HISTORIC
THAYNES
MINE BUILDING

PARK CITY HISTORICAL STRUCTURES

S103



Criteria Evaluation	Scoring Value
Character defining historic elements of the structure and/or site will be preserved and/or restored as viewed from the primary right-of-way.	0: Non-visible historic elements will be preserved or restored 1: Few visible historic elements will be preserved or restored 2: Several visible historic elements will be preserved or restored 3: Majority of visible historic elements will be preserved or restored 4: All visible historic elements will be preserved or restored
Proposed improvements to the site will positively impact the vitality of the historic context of the neighborhood.	0: No proposed improvements 1: Minimal positive impact 2: General positive impact 3: Significant positive impact
Proposed design and scope of work uses best practices for the treatment of historic materials.	0: None 1: Insufficient 2: Average 3: Above average 4: Exceeds expectations
The historic features and elements of the structure and/or site will be enhanced by the proposed work.	0: Minimally enhanced 1: Generally enhance 2: Exceeds expectations
Proposed work facilitates reversal of non-historic elements or alterations.	0: None 1: Some 2: Exceeds expectations *Note: If no non-historic elements or alterations are present mark N/A.
Priority is given to restoration and treatment of historic materials, rather than replacing historic materials and features in-kind.	0: No priority given to restoration 1: Minimum priority given 2: Some priority given 3: General priority given 4: Exceeds expectations

Historic Preservation Board Staff Report



Subject: LMC Amendment – Chapter 15-11
Historic Preservation
Application: PL-26-06871
Authors: Elissa Martin, Planning Project Manager
Meredith Covey, Planner II
Jacob Klopfenstein, Planner II
Date: August 5, 2026
Type of Item: Work Session

Recommendation

Review potential Land Management Code (LMC) Amendments to Section 15-11-12.5 *Historic Preservation Board Review For Material Deconstruction* and provide feedback.

Background

According to LMC Chapter 15-11 *Historic Preservation*, the Historic Preservation Board (HPB) in part:

- Preserves the City's unique Historic character and encourages compatible design and construction through periodic updates to the Historic District regulations.
- Provides input to staff, the Planning Commission and City Council towards safeguarding the heritage of the City in protecting Historic Sites, Buildings, and/or Structures;
- Recommends to the Planning Commission and City Council ordinances that may encourage Historic preservation.
- Reviews and takes action on material deconstruction applications for those Sites listed on the Historic Sites Inventory.¹

During a work session on December 3, 2025, the HPB reviewed priorities for Historic Preservation identified in the [2025 General Plan](#), which calls for *regularly assessing and evaluating the Regulations for Historic Districts and Historic Sites in the LMC for consistency and potential modifications that further preservation efforts while supporting a degree of flexibility* (Strategy 5O)² ([Staff Report](#)). During the work session, the HPB recommended to the Planning Commission and City Council potential LMC amendments to achieve this General Plan Strategy, including updates to Chapter 15-11 *Historic Preservation* to improve consistency and clarify regulations for Material Deconstruction, Relocation or Reorientation, Lifting, and Panelization.

For this work session, the Planning team requests HPB feedback on potential updates to LMC [§15-11-12.5](#) *Historic Preservation Board Review For Material Deconstruction*. On December 17, 2015, the City Council established the current Material

¹ LMC [§ 15-11-5](#)

² [Park City General Plan 2025](#)

Deconstruction code through [Ord 15-53](#) ([Minutes](#), p. 12). Prior to that, removal of Materials on a Historic Site was a staff-level review.

This section outlines the review authority and procedures for Material Deconstruction requests and requires Material Deconstruction to comply with LMC Chapter [15-13 Regulations for Historic Districts and Historic Sites](#).

While LMC [§ 15-11-12.5](#) established the HPB as the review authority for Material Deconstruction involving Buildings on a Historic Site (main, attached, detached or public), and Significant or Landmark Accessory Structures, specific standards and evaluation criteria for Material Deconstruction remained in the Historic District Design Guidelines. Relevant standards in the earliest versions of the Design Guidelines included provisions like *Preserve the Original Shape of the Roof*, *Avoid Changing the Position of Windows*, and *Maintain Original Siding*. In the 2008-09 version of the Design Guidelines, the concept of *Historic Integrity* along with seven criteria related to Location, Design, Setting, Materials, Workmanship, Feeling, and Association, were introduced and Secretary of the Interior's Standards for *Preservation, Rehabilitation, Restoration & Reconstruction* were incorporated.

When the Design Guidelines were codified in 2019 ([Ord No. 2019-06](#)) under respective subsections within [Chapter 15-13 Regulations for Historic Districts and Historic Sites](#), the core principles of *Preservation, Rehabilitation, and Restoration* as well as the *Concept of Historic Integrity* and its seven criteria were codified in LMC [§ 15-15-1 Definitions](#) and were not referenced within LMC [§ 15-11-12.5 Material Deconstruction](#).

On February 27, 2020, City Council adopted [Ord No. 2020-14](#), further amending LMC [§ 15-11-12.5](#), updating the section title from “Demolition” to “Material Deconstruction” and adding the requirement for Material Deconstruction requests to comply with the standards in LMC Chapter [15-13 Regulations for Historic Districts and Historic Sites](#). The February 5, 2020 HPB staff report explains that at that time HPB reviewed Material Deconstruction requests using the *HPB Review Material Deconstruction Checklist*, a list of criteria often attached to HPB staff reports as an exhibit, which required Applicants to demonstrate that the removal of Material on a Historic Site is necessary for the renovation, rehabilitation or restoration of the Site, and that measures are taken to mitigate impacts to the historic integrity or historical significance of the Structure or Site. Staff recommended that “Material Deconstruction should be reviewed using the applicable Design Guidelines as the criteria for compliance rather than the *Material Deconstruction Checklist*”, stating that “the Design Guidelines provide enough specificity to review each type of Material Deconstruction category precisely” (February 5, 2020 [Staff Report](#)).

This report outlines the Planning team’s recommendations for potential updates to incorporate the specificity of criteria reviewed that were clarified in previous iterations:

- (I) Planning staff researched peer communities and state and national preservation standards relative to best practices for Material Deconstruction and recommends amendments to the LMC [§ 15-11-12.5 HPB Review for Material](#)

Deconstruction to re-establish core principles into the evaluation criteria.
(II) To streamline staff review of Material Deconstruction requests and provide clarity to Applicants, staff recommends updates to provide specificity regarding the requirement to comply with LMC Chapter 15-13 *Regulations for Historic Districts and Historic Sites*.
(III) Staff proposes amendments to LMC § 15-11-12.5 *Historic Preservation Board Review for Material Deconstruction* and LMC § 15-15-1 *Definitions* to improve consistency between sections and clarify the definition of Material Deconstruction.
(IV) Staff recommends amendments to clarify that the HPB reviews Material Deconstruction that modifies Historic Materials, while staff review is limited to repair of Historic Materials.

Analysis

(I) Planning staff researched peer communities and state and national preservation standards relative to best practices for Material Deconstruction and recommends amendments to LMC § 15-11-12.5 *Historic Preservation Board Review for Material Deconstruction* to re-establish core principles into the evaluation criteria.

Staff looked at several comparable communities' Historic District regulations or guidelines to better understand common standards and best practices for Material Deconstruction. In the *Town of Breckenridge Handbook of Design Standards for the Historic and Conservation Districts*, a chapter dedicated to *Rehabilitation of Existing Buildings* provides a breakdown of the different approaches: Adaptive Re-use, Preservation, Rehabilitation, Remodeling, Renovation, and Restoration, based on the [Secretary of the Interior's Standards for the Treatment of Historic Properties](#), which is similar to how Park City's past Design Guidelines were prefaced, in the section titled "Four Treatments for Historic Sites". Breckenridge requires that "Any alteration that would cause a reduction in the building's rating is not allowed". In other words, if the alteration to a Historic building impacts its *Historic Integrity* and causes the Historic Significance of the building to be compromised, it would not be allowed.

Similar to Park City's past Design Guidelines, Aspen's *Historic Preservation Design Guidelines* dedicate a section to the importance of the concepts of *Period of Significance* and *Historic Integrity*, also based on the Secretary of the Interior's Standards for the Treatment of Historic Properties.

The Utah State Historic Preservation Office (SHPO) provides several Historic Preservation Guides including, [Rehab Do's and Don'ts](#) and [Restoring a Historic Commercial Building](#), which echo many of the same core principles and design standards to ensure a Historic Site maintains its *Historic Integrity*.

Of the comparable communities that were researched along with state and national preservation standards, staff found that the common denominator is an emphasis on

following the core principles of *Restoration, Rehabilitation and Preservation* and ensuring that alterations to a Historic Site do not significantly impact *Historic Integrity*.

Material Deconstruction Core Principles

Most Material Deconstruction requests involve constructing an addition to a Historic Structure and/or rehabilitating or renovating a Historic Structure. The LMC defines Rehabilitation as:

REHABILITATION.

The act or process of making possible a compatible Use for a Property through repair, alterations, and additions while preserving those portions or features which convey its Historical, cultural, or architectural values.

Staff recommends referencing the definition of *Rehabilitation* in the evaluation criteria for Material Deconstruction requests that involve an addition, and to require that portions or features of the Historic Structure which convey the Historical, cultural or architectural values of the site be preserved.

Additionally, when Historic Materials are approved for removal as part of an addition, those Historic Materials should be salvaged and incorporated into the Site, either to make repairs to other facades of the Historic Structure or be integrated elsewhere on site, as a way to promote the core principle of *Preservation*, which the LMC defines as:

PRESERVATION.

The act or process of applying measures necessary to sustain the existing form, integrity, and materials of a Historic Property. Work, including preliminary measures to protect and stabilize the Property, generally focuses upon ongoing maintenance and repair of Historic materials and features rather than extensive replacement and new construction.

Staff recommends referencing the definition of *Preservation* and adding a requirement to the Material Deconstruction regulations that Historic Materials approved for removal must be salvaged and re-used on site.

When a Material Deconstruction request involves modifications to the Historic Structure as part of a renovation, such as removing windows or architectural features that may have been added at a later time, the core principle of *Restoration* applies to the project. The LMC defines Restoration as:

RESTORATION

The act or process of accurately depicting the form, features, and character of a property as it appeared at a particular period of time by means of removal of features from other periods in its history and Reconstruction of missing features from the restoration period.

Properties listed on Park City's Historic Sites Inventory as Significant or Landmark,

pursuant to LMC [§ 15-11-10](#), are assigned a Period of Significance based on the National Parks Service's seven aspects of Historic Integrity. The three eras of significance that make up Park City's Historic Districts are:

- The Settlement & Mining Industry Boom (1868-1893)
- Mature Mining Industry (1894-1930)
- Mining Decline & Emergence of Recreation Industry (1931-1962)

Staff recommends incorporating the definition of *Restoration* into the review criteria for Material Deconstruction, as it relates to projects that involve removing materials and restoring a Site to its Period of Significance. Applicants would be asked to provide a narrative on how the proposed Material Deconstruction advances or maintains the Significance of the Site.

The concept of *Historic Integrity*, which had originally been an integral part of the Historic District Design Guidelines prior to being codified under LMC [§ 15-15-1 Definitions](#), is pertinent to staff and HPB review of Material Deconstruction requests as the overarching core principle, to ensure a Historic Site retains its status as a Significant or Landmark Site. Staff recommends incorporating the Historic Integrity definition and criteria into LMC [§ 15-11-12.5](#), requiring Applicants to provide a narrative on how their project advances the aspects of Historic Integrity as defined. Additionally, staff recommends minor modifications to the definition to replace "Feeling" with "Period Association."

HISTORIC INTEGRITY. The ability of a Site to retain its identity and, therefore, convey its Significance in the history of Park City. Within the concept of Historic Integrity, Park City Municipal Corporation recognizes seven (7) aspects or qualities as defined by the National Park Service, that in various combinations define integrity. They are as follows:

1. **Location**. The place where the Historic Site was constructed or the Historical event took place.
2. **Design**. The combination of physical elements that create the form, plan, space, Structure, and style of a Site. Design includes such considerations as the structural system, massing, arrangement of spaces, pattern of fenestration, textures and colors of surface materials, type, amount and style of ornamental detailing, and arrangement and type of plantings in the designed landscape.
3. **Setting**. The physical environment, either natural or manmade, of a Historic Site, including vegetation, topographic features, manmade features (paths, fences, walls) and the relationship between Structures and other features or open space.
4. **Materials**. The physical elements that were combined or deposited during a particular period of time in a particular pattern or configuration to form a Historic Site.
5. **Workmanship**. The physical evidence of the crafts of a particular culture or people during any given period of history, including methods of construction,

- plain or decorative finishes, painting, carving, joinery, tooling, and turning.
6. **Period Association.** A Site's expression of the aesthetic of Historic sense of a particular period of time. Period Association results from the presence of physical features that, taken together, convey the Property's Historic character.
 7. **Association.** The direct link between an important Historic era or Person and a Historic Site. A Site retains association if it is in the place where the activity occurred and is sufficiently intact to convey that relationship to an observer.

Staff requests the HPB please provide feedback regarding the following:

Does the HPB concur with staff that Material Deconstruction requests should be evaluated based on the definitions and criteria for Rehabilitation, Preservation, and Restoration?

Does the HPB support incorporating the seven criteria for Historic Integrity into LMC § 15-11-12.5 to evaluate Material Deconstruction requests?

What additional information or analysis does the HPB need from Applicants and/or staff to effectively evaluate Material Deconstruction requests?

(II) To streamline staff review of Material Deconstruction requests and provide clarity to Applicants, staff recommends updates to provide specificity regarding the requirement to comply with Land Management Code Chapter 15-13 *Regulations for Historic Districts and Historic Sites*.

Common design standards for the treatment of Historic Materials, including exterior siding, roofs, windows and doors, porches, and other architectural features, are generally based on the [Secretary of the Interior's Standards for the Treatment of Historic Properties](#), such as the following:

- *Historic building materials should be preserved in place whenever feasible.*
- *Deteriorated historic features should be repaired rather than replaced.*
- *Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials.*
- *Historic window and door openings, surrounds and decorative features shall be maintained and preserved. Changing the position, proportions, or dimensions of historic window openings shall be avoided.*

LMC Chapter [15-13](#) reflects best practices and reinforces the core principles of Preservation, Restoration, Rehabilitation, and ultimately Historic Integrity. Currently, LMC [§ 15-11-12.5](#) (Material Deconstruction) states:

Prior to issuance of a Building Permit for any Material Deconstruction work, the

Review Authority shall review the proposed plans for compliance with Chapter 15-13 Regulations For Historic Districts and Historic Sites.

In addition to regulations for Historic Sites, LMC Chapter [15-13](#) contains regulations for non-Historic Sites, residential and commercial infill and various other types of activities regulated in the Historic Districts not related to Material Deconstruction of Historic Structures. The design standards pertinent to review of Material Deconstruction requests are grouped under specific subsections of Chapter [15-13](#) that deal with primary Historic structures, Historic exterior materials, and additions to Historic Structures. Because the above requirement does not reference specific subsections in Chapter [15-13](#) applicable to Material Deconstruction review, it is vague and causes both Applicants and staff to spend additional time sifting through LMC subsections of Chapter 15-13 to determine applicable regulations for Material Deconstruction review. Staff recommends this section be amended to specify applicable sections within LMC Chapter 15-13 that Material Deconstruction projects must comply with:

[15-11-12.5\(A\)\(2\)\(a\)](#)

Prior to issuance of a Building Permit for any Material Deconstruction work, the Review Authority shall review the proposed plans for compliance with ~~the following Chapter 15-13~~ Regulations For Historic Districts and Historic Sites outlined in Chapter 15-13:

- (1) For residential Significant or Landmark Historic Sites, all applicable regulations in § 15-13-2(A) *Universal Regulations*, § 15-13-2(B)(2) *Primary Structures* and for projects proposing an addition, § 15-13-2(B)(4) *Additions to Primary Structures*.
- (2) For commercial Significant or Landmark Historic Sites, all applicable regulations in § 15-13-3(A) *Universal Regulations*, § 15-13-3(B)(2) *Primary Structures* and for projects proposing an addition, § 15-13-3(B)(4) *Additions to Primary Structures*.

Staff requests the HPB please provide feedback regarding the following:

Does the HPB concur with staff regarding modifications to clarify applicable Chapter 15-13 sections?

(III) Staff proposes amendments to Land Management Code § 15-11-12.5 *Historic Preservation Board Review for Material Deconstruction* and LMC § 15-15-1 *Definitions* to improve consistency between sections and clarify the definition of Material Deconstruction.

The LMC defines Material Deconstruction in [§ 15-15-1](#) as:

MATERIAL DECONSTRUCTION OR DISMANTLING. The disassembly of structures for the purpose of salvaging and reusing as many of the construction materials or building components. In some cases, deconstruction or dismantling may be used to remove non-historic materials from a historic site or structure or

to remove those historic construction materials or building components that are beyond repair.

However, this definition does not align with the purpose of Material Deconstruction as outlined in LMC [§ 15-11-12.5](#), which lists the reasons for Material Deconstruction as:

- Routine Maintenance, including, but not limited to re-roof, chimney repair, foundation repair.
- Replacement or repair of Historic wood features, doors or windows, or Historic Site Features.
- Removal of Historic Material to accommodate new additions, new construction, or structural upgrades.

For clarity and to ensure that the definition is applied correctly in reviewing Material Deconstruction requests, staff recommends updating the definition to incorporate the items above and referencing the definition in LMC [§ 15-11-12.5](#). The proposed revised definition for Material Deconstruction is:

MATERIAL DECONSTRUCTION OR DISMANTLING ~~The disassembly of structures~~ removal of Historic Material for the purpose of repairing or replacing Historic Materials that are beyond repair, or to accommodate an addition, new construction, or structural upgrades. ~~for salvaging and reusing as many of the construction materials or building components.~~ In some cases, deconstruction ~~or dismantling~~ may be used for salvaging and reusing construction materials or building components of a Historic Site, or to remove non-historic materials from a historic site or structure ~~to achieve Restoration or to remove those historic construction materials or building components that are beyond repair~~

Staff requests the HPB please provide feedback regarding the following:

Does the HPB concur with staff regarding modifications to clarify the Material Deconstruction definition?

(IV) Staff recommends amendments to clarify that the Historic Preservation Board reviews Material Deconstruction that modifies Historic Materials, while staff review is limited to repair of Historic Materials.

The 2020 amendments, adopted by [Ord No. 2020-14](#), carved out minor Material Deconstruction items that could return to an Administrative Review by the Planning Director in order to streamline the process for Applicants with simple projects ([Staff Report](#); [Minutes](#), p. 37).

According to LMC [§ 15-11-12.5\(A\)](#), while the HPB reviews removal of Historic Material to accommodate *new additions, new construction, or structural upgrades*, the Planning Director reviews any Material Deconstruction application involving the following:

- a. Routine Maintenance, including, but not limited to:*

1. *Re-Roof;*
 2. *Chimney repair;*
 3. *Foundation repair; or*
 4. *Replacement or repair of the following:*
 1. *Historic wood features;*
 2. *Door or Window replacement; and*
 3. *Historic Site Features.*
- b. *Removing or Replacing Non-Historic Features.*

Staff recommends the HPB consider maintaining staff review for repair of Historic Materials but consider shifting all removal of Historic Materials to the HPB for review for clarity and consistency.

Staff requests the HPB please provide feedback regarding the following:

**Does the HPB concur with staff regarding the scope of Material
Deconstruction reviews?**

Department Review

The Planning and Executive Departments and City Attorney's Office reviewed this report.

Notice

Staff published notice on the City's website and the Utah Public Notice website on July 22, 2026. The *Park Record* published courtesy notice on July 22, 2026.³

³ LMC [§ 15-1-21](#)