



**PARK CITY MUNICIPAL CORPORATION
PLANNING DEPARTMENT ADMINISTRATIVE PUBLIC HEARING MINUTES
PLANNING DEPARTMENT CONFERENCE ROOM
MARSAC MUNICIPAL BUILDING
JUNE 18, 2026**

STAFF PRESENT: Rebecca Ward, Planning Director; Elissa Martin, Planning Project Manager; Jacob Klopfenstein, Planner II

Planning Director, Rebecca Ward, called the meeting to order at 12:00 p.m.

1. REGULAR AGENDA

- A. 36 Prospect Avenue – Extension of a Conditional Use Permit –** The Applicant Requests a One-Year Extension to the Conditional Use Permit Approved by the Planning Commission on May 28, 2025. PL-26-06925.

Director Ward reported that there are three items on the Administrative Public Hearing Meeting agenda that have been withdrawn, which are Items 1A, 1B, and 1C. As a result, there will not be public hearings held on the items related to 36 Prospect Avenue.

- B. 36 Prospect Avenue – Extension of a Steep Slope Conditional Use Permit –** The Applicant Requests a One-Year Extension to the Steep Slope Conditional Use Permit Approved by the Planning Commission on May 28, 2025. PL-26-06924.

This item was withdrawn. There was no public hearing held.

- C. 36 Prospect Avenue – Extension of a Historic District Design Review –** The Applicant Requests a One-Year Extension to the Historic District Design Approval by the Planning Department on July 17, 2025. PL-26-06923.

This item was withdrawn. There was no public hearing held.

- D. 301 Marsac Avenue – Historic District Design Review –** The Applicant Proposes Constructing a New Single-Family Dwelling on a Non-Historic Site in the Historic Residential - 1 Zoning District. PL-23-05944.

Planning Project Manager, Elissa Martin, presented the Staff Report and reported that this is a Historic District Design Review (“HDDR”) application for 301 Marsac Avenue. She explained that 301 Marsac Avenue is a Non-Historic Site that is currently vacant. It has Very Steep Slopes and is located within the Historic Residential – 1 Zoning District. On August

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13, 2026, the Planning Commission approved a Plat Amendment and Steep Slope Conditional Use Permit (“SSCUP”) for the development of a single-family dwelling.

In June 2022, an Encroachment Agreement was recorded for the encroachment of the foundation and decks of the duplex at 301 and 303 Ontario Avenue across the common rear lot line. The Plat Amendment creates one lot for a single-family dwelling and a no-build parcel for the area at the rear of the property with the encroachments. It also dedicates a portion of the property along the frontage of SR 224 to the Utah Department of Transportation (“UDOT”) as public right-of-way. The SSCUP Final Action Letter had Conditions of Approval to modify the plans prior to HDDR Final Action in order to comply with the Historic District Regulations and to mitigate the snowshed impacts of the roof.

The applicant has been working with Planning Staff on updates to the plans. Those updates have been made, and all information is included in the Meeting Materials Packet. Manager Martin reported that the updates addressed several items, including the visibility of the roof deck railing, ensuring that final grade is within 4 feet of existing grade, and reducing the size of the secondary façade decks and ensuring that they meet the setback exception requirements. She noted that the proposed single-family dwelling is accessed from Marsac Avenue with a 16-foot-wide driveway, which is the minimum requirement.

The single-family dwelling meets the Historic Residential – 1 Zoning District maximum building footprint and complies with the front, rear, and side setbacks. The patios that encroach into the setbacks comply with the setback exceptions and are flush with final grade. The two required parking spaces for the single-family dwelling are provided in the two-car garage. Manager Martin reported that the single-family dwelling does not exceed the zone height of 27 feet above existing grade. The internal height is 34 feet at its highest point. The structure steps back at least 10 feet at 23 feet from existing grade. The contributing roof form has a compliant 7:12 roof pitch. The retaining walls step with the natural grade and the change from existing to final grade does not exceed 4 feet in height, with the exception of one grade cut, which is called out in the plans to be revised prior to the submission of a Building Permit. This is outlined in Condition of Approval #13.

The proposed single-family dwelling is designed to be simple in form with unadorned materials and restrained ornamentation. The design does not directly imitate historic structures and is a modern and contemporary interpretation of the selected style of architecture. The building steps up the Very Steep Slope and terraced retaining walls minimize the appearance of large cuts and fill. The exterior elements are designed to be of human scale and are compatible with neighboring historic structures. The massing is broken into modules to reflect the scale and height of the buildings in the streetscape.

The primary entrance is centered on the front façade of the structure and is well defined. The windows are predominantly 2:1 vertical orientation and the glazing have a compatible solid to void ratio of historic buildings. Manager Martin reported that the proposed vegetation will be used to screen retaining walls and decks. The side-by-side garage doors are horizontally offset in the front wall plane by 2 feet. The external siding is Pioneer Millworks

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Accoya, which is a solid wood with acetylate treatment and a dark black stain. The windows are proposed to be aluminum clad wood, and the roof is a black metal seam.

Several Conditions of Approval were reviewed. Manager Martin reported that there are conditions related to the submittal of a storm water and drainage mitigation plan, re-grading, the Solar Reflexivity Index of the roofing materials, and screening. Staff recommends the Planning Director review the HDDR to construct a new single-family dwelling at 301 Marsac Avenue, conduct a public hearing, and consider approval based on the Findings of Fact, Conclusions of Law, and Conditions of Approval outlined.

Director Ward opened the public hearing at 12:08 p.m. There were no comments. Director Ward closed the public hearing at 12:09 p.m.

Director Ward mentioned Sheet A203 on Page 46 of the Draft Final Action Letter. Manager Martin stated that it is her understanding that the below grade structures shown are part of the foundation. Director Ward noted that this can be clarified during the Building Permit stage to ensure it is not in the setback. As she reads the plans, that is what she sees but wants to ensure this is clarified at the time of the Building Permit.

Discussions were had about the timing of the Plat and the expiration of the SSCUP. The applicant, Gregory Wood, stated that the final revisions should be done next week. The hope is to be able to submit a permit within 30 days. Unless there is a delay from the City, the intention is to have everything submitted in advance of the August deadline.

MOTION: Director Ward APPROVED the Historic District Design Review for 301 Marsac Avenue, based on the following:

Background:

1. 301 Marsac Avenue is a vacant Lot with Very Steep Slopes.
2. The Duplex structure behind 301 Marsac Avenue at 301 and 303 Ontario Avenue encroaches into 301 Marsac Avenue.
3. An encroachment agreement was recorded on June 3, 2022 for the encroachments of the foundation and decks of the Duplex at 301 and 303 Ontario Avenue (Entry No. 01190328).
4. On August 13, 2025, the Planning Commission approved the Marsac Avenue Plat Amendment to create a 3,750-square-foot Lot for 301 Marsac Avenue with a 431-square-foot no-build parcel that contains the encroachments associated with the Duplex at 301 and 303 Ontario Avenue.
5. The Plat has not yet been recorded, and this HDDR approval is conditioned upon recordation of the Plat with Summit County by August 12, 2026.

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6. On August 13, 2025, the Planning Commission approved a Steep Slope Conditional Use Permit (SSCUP) for the proposed SFD at 301 Marsac Avenue on Very Steep Slopes ranging between 90% - 100% with Conditions of Approval.

Findings of Fact:

1. The Applicant submitted an HDDR application for a 4,000-square-foot SFD on Lot 1 at 301 Marsac Avenue, accessed from UDOT Highway 224 (Marsac Avenue).
2. Land Management Code (LMC) § 15-2.2-3 outlines Lot and Site requirements for the HR-1 Zoning District:

HR-1 Lot and Site Requirements	Analysis
Minimum Lot Size - 1,875 square feet	<i>Complies:</i> 3,750 square feet
Maximum Lot Size - 3,750 square feet	<i>Complies:</i> 3,750 square feet
Minimum Lot Width - 25 feet	<i>Complies:</i> 65 feet
Maximum Building Footprint - 1,519 square feet	<i>Complies:</i> 1,514 square feet
<p>Front and Rear Setbacks – Lots up to 75 feet (inclusive): 10-foot Setback each, 20 feet combined.</p> <p>LMC § 15-2.2-3(G)(4) allows for the roof overhang to extend into the Front Setback up to three feet.</p> <p>LMC § 15-2.2-3(G)(6) allows for driveways and Parking Areas in the Front Setback.</p> <p>LMC § 15-2.2-3(H)(10) allows for Patios, decks, pathways, steps, or similar Structures not more than thirty inches (30") above Final Grade, not including any required handrail, and located at least one foot (1') from the Rear Lot Line Fences, walls, and retaining walls not more than four feet (4') in height, or as permitted in Section 15-4-2, Fences and Retaining Walls.</p>	<p><i>Complies:</i></p> <p>Lot 1 of 301 Marsac Avenue is 62.68 feet in depth; the Front and Rear Setbacks total 20 feet. The proposed SFD is outside the 10-foot Front Setback and the 10-foot Rear Setback.</p> <p>The roof overhang extends 1 foot into the Front Setback. The Applicant proposes a 16-foot-wide driveway in the Front Setback that widens to 22 feet to access the two-car garage. The 16-foot width of the driveway at the curb is the minimum width required by UDOT for driveway access from SR 224/Marsac Avenue.</p> <p>The rear rooftop patio is at grade and extends into the 10-foot Rear Setback; at its furthest extent it is 1 ½ feet from the rear Lot Line.</p> <p>The proposal includes retaining walls that encroach into the Front Setback and are no more than four feet in height from Final Grade.</p>

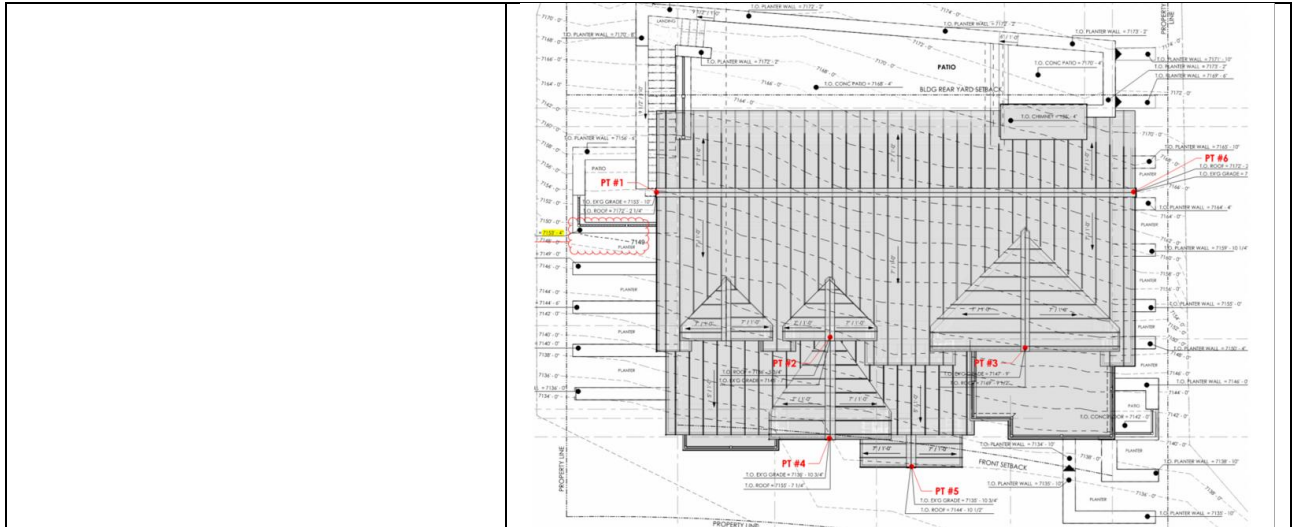
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<p>Side Setbacks – Lots over 62.5 feet in width and under 75 feet in width require minimum five-foot Side Setbacks and combined Side Setback of 18 feet.</p> <p>LMC § 15-2.2-3(J) <i>Lot and Site Requirements, Side Setback Exceptions</i> allow the following within the Side Setbacks:</p> <p>Patios, decks, pathways, steps, or similar Structures not more than 30 inches in height above Final Grade, not including any required handrails.</p> <p>Fences, walls, and retaining walls as permitted in Section 15-4-2, <i>Fences and Retaining Walls</i>, which states:</p> <p>Fences and retaining walls shall not exceed six feet (6') in height measured from Final Grade within any required Rear Setback or Side Setback.</p>	<p><i>Complies:</i></p> <p>The width of the Lot is 65 feet. The proposed SFD is six feet from the southern Side Lot line and 12 feet from the northern Side Lot line, for a total of 18 feet combined Side Setback.</p> <p>A patio and stairway on the northern secondary façade towards the rear of the Structure encroaches into the Side Setback and is flush with Final Grade; the patio on the southern secondary façade towards the front of the Structure also encroaches into the Side Setback and is at grade (see HDDR section below for screening requirements.)</p> <p>See Condition of Approval 14: The plans show retaining walls that encroach into the Side Setbacks on each side of the Structure. Condition of Approval 14 requires the retaining walls not to exceed six feet in height from Final Grade within any required Rear or Side Setback.</p>
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- LMC § 15-2.2-5 outlines the Building Height requirements for the HR-1 Zoning District:

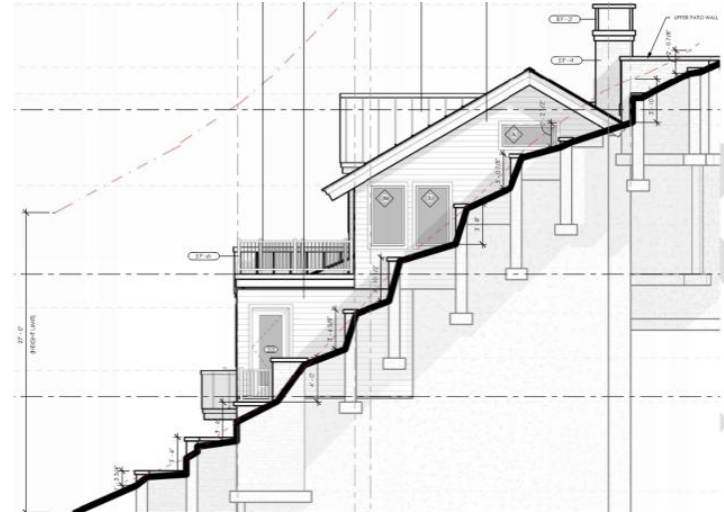
HR-1 Building Height Requirements	Analysis
<p>Final Grade must be within four feet of Existing Grade</p>	<p><i>See Condition of Approval 14:</i> The proposed Final Grade is within four feet of Existing Grade as demonstrated in the Applicant's elevation plan (roof plan) that shows Existing Grade topo lines and elevations of top of retaining walls, with the exception of one retaining wall that causes a change in Grade that exceeds four feet by four inches (see comment on Plans).</p>

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Building Height – maximum 27 feet above Existing Grade.

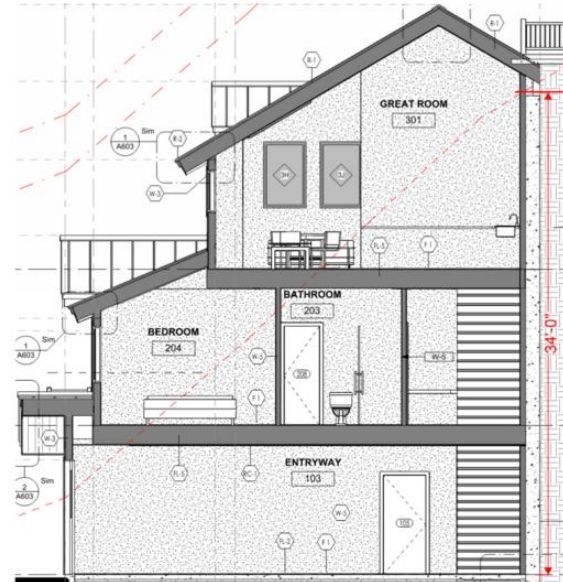
Complies: The proposed Structure does not exceed 27 feet above Existing Grade.



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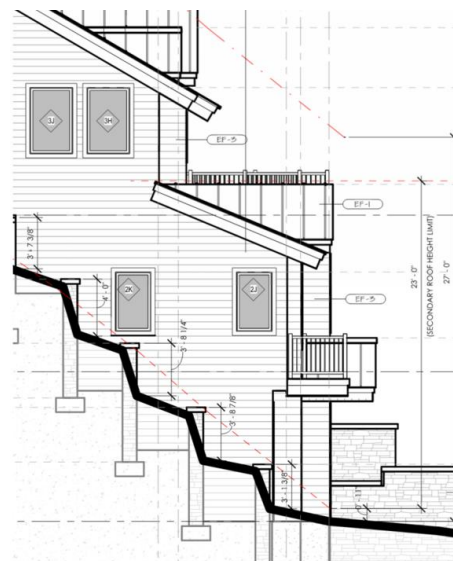
Maximum interior height of 35 feet, measured from the lowest finish floor plane to the point of the highest wall top plate that supports the ceiling joists or roof rafters.

Complies: The proposed Structure is 34 feet in height at its highest point, measured from lowest finish floor plane to the point of the top of the wall plate that supports the ceiling joists or roof rafters.

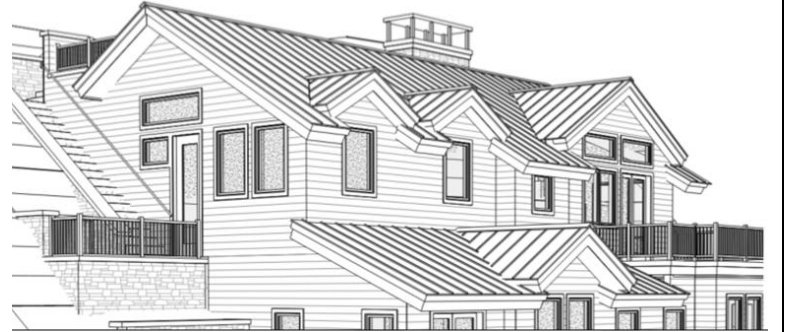


A ten foot (10') minimum horizontal step in the downhill facade is required. The horizontal step shall take place at a maximum height of 23 feet from where the Building Footprint meets the lowest point of existing Grade.

Complies: The Structure steps back 10 feet at 23 feet on the east side, on the downhill portion of the Lot.



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<p>The roof pitch of a Structure's Contributing Roof Form shall be between seven: twelve (7:12) and twelve: twelve (12:12) and shall occupy a minimum horizontal distance of 20 feet measured from the primary facade to the rear of the building, as viewed from the primary public right-of-way.</p>	<p>Complies: The roof pitch of the Contributing Roof Form has a compliant 7:12 roof pitch and occupies a minimum horizontal distance of 20 feet measured from the primary façade to the rear of the building.</p> 
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4. LMC § 15-13-8(A) *Regulations for New Residential Infill Construction in Historic Districts, Universal Regulations* outlines requirements for SFDs:

- a. The proposed SFD is a simple building form, with unadorned materials and restrained ornamentation.
- b. The proposed SFD does not directly imitate existing historic structures and is designed with a contemporary interpretation of the selected style of architecture.
- c. The proposed SFD is differentiated from historic structures in that it is a modern interpretation of historic structures, yet it is compatible with historic structures in materials, features, size, scale, proportion and massing. The SFD is proposed to be clad in horizontal wood siding, the deck railings include vertically oriented balusters, and the overall Structure is broken into smaller modules with varied sloping roof forms that reflect the scale and massing of historic structures.
- d. The building is designed to step up the Very Steep Slope, with terraced retaining walls that minimize the appearance of large cuts and fill.
- e. The exterior elements are designed to be of human scale and are compatible with neighboring Historic Structures.
- f. The scale and height of the proposed Structure reflects the predominant pattern of the Streetscape.

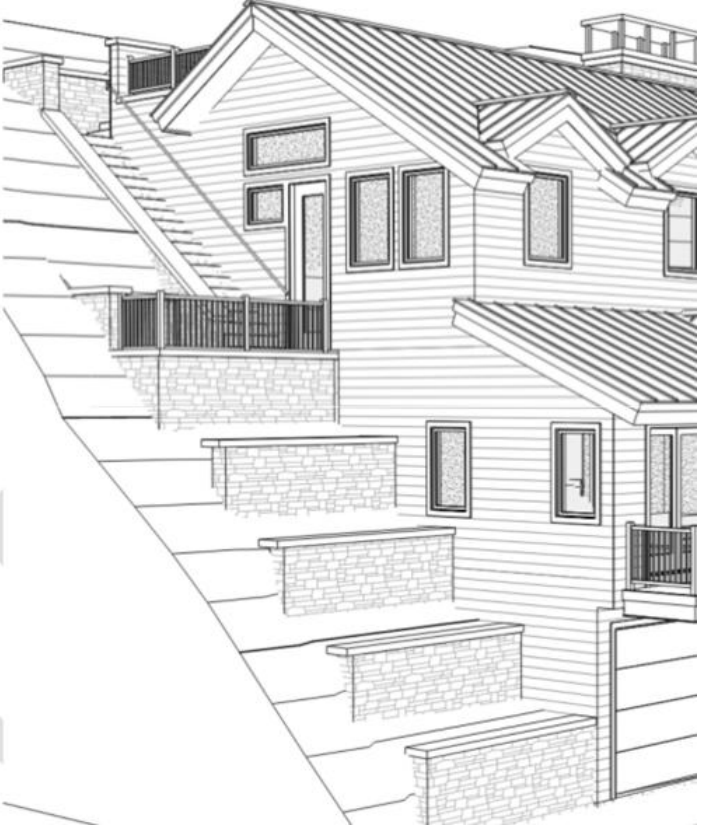
5. LMC § 15-13-8(B) *Regulations for New Residential Infill Construction in Historic Districts, Specific Guidelines* outlines requirements for new SFDs:

1. Site Design	Analysis of Proposal
<p>a) Building Setback and Orientation LMC § 15-13-8(8)(1)(a) states, "Structures shall be located on a site in a way that follows the predominant pattern of</p>	<p><i>Complies:</i> The proposed SFD is sited such that it is consistent with the pattern of the surrounding Structures and Lot conditions, maintaining the minimum Setbacks required by the HR-1 Zoning District.</p>

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<p>historic buildings along the street, maintaining traditional setbacks, orientation of entrances, alignment along the street, and open space."</p>	
<p>b) Topography and Grading: LMC § 15-13-8(8)(1)(b) states, "Building and site design shall respond to natural features. New infill residential buildings shall step down or up to follow the existing contours of steep slopes."</p>	<p><i>Complies:</i> The proposed Structure steps with the downhill slope of the site and while extensive retaining walls will be required to accomplish the construction, the cuts in retaining walls are terraced and step with grade.</p>
<p>c) Landscaping and Vegetation: "Existing landscape features that contribute to the character of the Historic District and existing landscape features that provide environmental sustainability benefits shall be respected and maintained." "A detailed landscape plan, particularly for areas viewable from the primary public right-of-way, which respects the manner and materials traditionally used in the Historic Districts, shall be provided."</p>	<p><i>See Condition of Approval 5:</i> Impacts to existing vegetation shall be minimized; any areas disturbed during construction surrounding the proposed work shall be brought back to their original state. The Applicant's Landscape Plan details areas viewable from the primary public right of way, where landscaping contributes to the character of the Historic District and vegetation is used for screening the retaining walls. <i>See Condition of Approval 6:</i> The proposed landscaping shall be at least 50% Water Wise and compliant with § 15-5-5(N). The Applicant shall provide an updated Water Wise irrigation plan at Building Permit submission.</p>
<p>d) Retaining Walls - LMC § 15-13-8(B)(1)(d) states, "a site shall be contoured in a way that reduces the need for retaining walls. . . the visual impact shall be minimized by creating gradual steps or tiers and by using perennial plant material." "New retaining walls shall be consistent with historic retaining walls in terms of mass, scale, design, materials, and scale of materials. Simple board-formed</p>	<p><i>Complies:</i> The proposed development of an SFD on the Very Steep Slope requires retaining walls; the proposed retaining walls step with the slope and create terraced areas for landscaping to screen the retaining walls. The proposed retaining walls will be constructed of stacked stone or board- formed concrete, consistent with the mass, scale and design of historic retaining walls.</p>

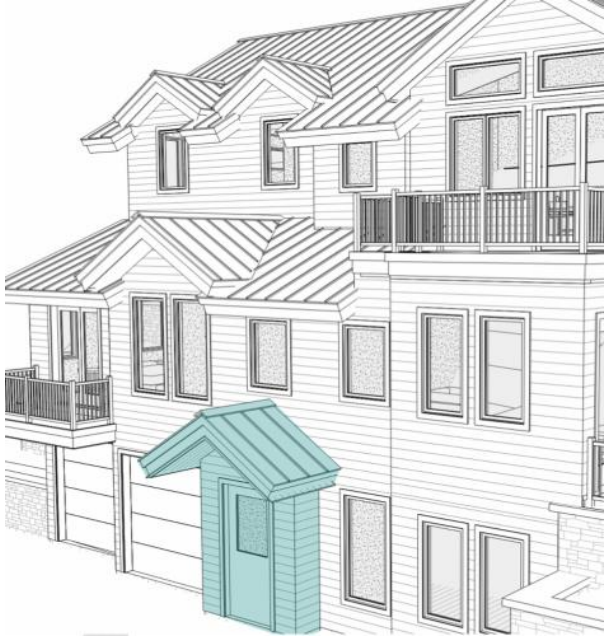
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<p>concrete, stacked stone and other traditional materials are recommended”</p>	
<p>f) Paths, Steps, Handrails, & Railings (Not Associated with Porches) – LMC § 15-13-8(B)(1)(f) states, “new hillside stairs and any associated railings or handrails shall be visually subordinate to the associated building(s) or structure(s) in size, scale, and proportion, and shall complement the Historic District in material, size, scale, and proportion, and massing.”</p>	<p><i>Complies:</i> The rooftop patio is accessed from the third level patio /landing on the north side of the Structure, with an external stairway. The steps leading up to the rooftop patio have a simple metal railing that runs along the side of the Structure’s external wall and is visually subordinate to the Structure in size and scale.</p> 
<p>h) Parking Area & Driveways – LMC § 15-13-8(B)(1)(h) states, “Off-street parking areas shall be located within the rear yard and beyond the rear wall plane of the primary structure when feasible. When locating a parking area in a rear yard is not physically possible, the off-street parking area and associated vehicles should be visually buffered from</p>	<p><i>Complies:</i></p> <p>The site is constrained with the Very Steep Slope and the minimal depth of the Lot – the Applicant proposes Off-Street parking in a two-car garage located at the front of the Structure, to satisfy the two required Off-Street parking spaces, pursuant to LMC § 15-3-6. The garage entrances are offset from the primary entrance by two feet.</p> <p>The Applicant’s plans show a 16-foot-wide curb cut for the driveway, which is the required minimum width per</p>

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<p>adjacent properties and the primary public right-of-way”.</p> <p>“For an approved two-car garage, a maximum 12-foot-wide curb cut and driveway in the Front Setback is allowed, and the driveway may widen to 22 feet to access the two-car garage”.</p>	<p>UDOT standards for ingress/egress on SR 224. The driveway is within the Front Setback and widens to 22 feet to provide access to the two-car garage at the front of the Structure, which is off-set from the primary entrance.</p> <p>The 301 Marsac Ave Plat includes a 10-foot snow storage easement over the property’s frontage along SR 224.</p>
<p>2. Primary Structures</p>	<p>Analysis of Proposal</p>
<p>a) Mass, Scale, & Height - § 15-13-8(B)(2)(a) states, “the perceived scale of new buildings shall respect the scale established by historic buildings in the character zone. Abrupt change of scale in the character zone is inappropriate, especially when a new, larger building would directly abut smaller historic buildings.</p> <p>The perceived scale of new buildings shall respect the scale established by historic buildings in the character zone.</p> <p>A larger building shall be divided into ‘modules’ that reflect the mass, scale, proportions, and size of historic buildings within the Streetscape or character area.</p> <p>Larger-scaled projects shall also include variations in roof height in order to break up the form, mass and scale of the overall structure. When the overall length of a new structure is greater than seen historically, the design shall employ methods—changes in wall plane, roof</p>	<p><i>Complies:</i></p> <p>The SFD is compliant with Zoning District regulations regarding Building Footprint, Setbacks, height, massing and dwelling volume requirements of the Steep Slope Criteria.</p> <p>The proposed SFD includes variations in roof height and roof form to break up the mass and scale of the overall Structure.</p> <p>The primary facade is two stories in height before the Structure steps back and provides a break in the primary façade for a third story.</p> <p>The mass of the building is broken up into modules that relate to the dimensions of the buildings along the street front, to minimize the perceived mass of the Structure and to reflect the mass, scale and proportions of historic buildings within the character area.</p>

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<p>heights, use of modules, etc. to diminish the visual impact of the overall building mass, form and scale.”</p>	
<p>b) Foundation – LMC § 15-13-8(B)(2)(b) states, "No more than two (2) feet of the new foundation shall be visible above final grade on secondary and tertiary facades."</p>	<p><i>See Condition of Approval 14:</i> No more than two feet of foundation shall be visible on the proposed SFD.</p>
<p>c) Doors -- LMC § 15-13-8(B)(2)(c) states, "All buildings that face the street shall have a well-defined primary entrance." “Doors shall be designed and finished with trim elements similar to those used historically.”</p>	<p>Complies: The primary entrance is centered on the front façade of the Structure and is well defined by protruding out from the front wall plane by two feet, is proud of the garage and is covered with a gabled roof. The proposed door is a simple unadorned wood door with half-lite glazing.</p>  <p>The image is a black and white architectural line drawing of a three-story residential building. The building features a mix of window sizes and styles, including double doors on the ground floor and a balcony on the second floor. A specific door on the ground floor is highlighted in a teal color, showing a simple design with a small transom window above it. The drawing illustrates the building's massing and facade details.</p>
<p>d) Windows -- LMC § 15-13-8(B)(2)(d) states, "Ratios of solid-to-void that are compatible with surrounding historic buildings shall be used" and “Windows shall be historic size and shall relate to the human scale of the Historic District.”</p>	<p><i>Complies:</i> The window styles are limited in design types, and a majority are consistent with the historic 2:1 ratio. The glazing is balanced with the siding on each side of the structure. There are limited accent windows with a smaller 2:1 ratio that are primarily on the secondary facades. The original two sets of double glass doors on the front façade, third-story deck have been reduced to one double door.</p>

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<p>“Wood or metal windows similar to those used historically are preferred but aluminum-clad wood windows are also appropriate. Vinyl and aluminum windows are inappropriate.”</p>	<p><i>Complies:</i> The proposed windows are aluminum clad wood.</p>
<p>e) Roofs - LMC § 15-13-8(B)(2)(e), states, "Roofs of new residential infill buildings shall be visually compatible with roof shapes and orientation of surrounding Historic Sites and adjacent buildings that contribute to the character of the Historic District." LMC § 15-2.2-5 requires a roof pitch of at least 7:12.</p>	<p><i>Complies:</i> The proposed gable and shed roof forms are compatible with surrounding Structures, and the contributing roof form has a roof pitch of 7:12.</p>
<p>3. LMC § 15-13-8(B)(3) Mechanical and Utility Systems and Service Equipment: “Mechanical and/or utility equipment, including heating and air conditioning units, meters, and exposed pipes, shall be located on the back of the building or in another inconspicuous location.” “Ground-level equipment shall be screened from view using landscape elements such as fences, low stone walls, or perennial plant materials”.</p>	<p><i>See Condition of Approval 12:</i> All mechanical equipment shall be fully screened from adjacent properties and from the primary public ROW. No ground-level mechanical equipment is proposed.</p>
<p>4. Materials: a. “Building materials shall be compatible in scale, proportion, texture, finish and color to materials used on Historic Structures in the Historic District. The dimensions of masonry units, wood siding, and other building materials shall be similar to those used historically.”</p>	<p><i>Complies:</i> The Applicant proposes nickel cut horizontal wood siding for the primary siding material and a seamed metal roof. See Condition of Approval 10 regarding the maximum reflectivity for the metal roof.</p>

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<p>b. "The primary siding material for new structures shall appear similar to those on historic structures in the Streetscape or character area. Historically, the most common material on primary structures was painted horizontal lap siding with a reveal between 6 to 8 inches."</p>	
<p>5. Paint and Color: "Wood siding that is not painted, shall be finished with a durable stain or treatment that complements and does not distract from adjacent Historic Structures or the character area. Refer to the Master List of Non-Historic Materials and Finishes on file with the Planning Department for wood finishes and treatments that are compatible with the Historic Districts".</p>	<p><i>Complies:</i> the proposed wood siding is Pioneer Millworks Accoya Black – which is solid wood with an acetylate (vinegar) treatment that makes it rot and moisture resistant and highly durable. The wood is finished with a dark black stain.</p> 
<p>6. Garages: LMC § 15-13-8(B)(6)(b) states, "Garages featuring a side-by-side parking configuration shall maintain a 2-foot horizontal offset in the front wall plane."</p> <p>"Single vehicle garage doors not greater than 9 feet wide by 9 feet high shall be used to access the garage."</p>	<p><i>Complies:</i> The side-by-side garage doors are offset horizontally by two feet.</p> <p>The two single-car garage doors are nine feet wide by nine feet tall.</p>

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7. Pursuant to LMC § 15-13-8(B)(7) “Decks shall be constructed in inconspicuous areas where visually minimized from the primary public right-of-way, usually on the tertiary façade. When built on a secondary façade of a new structure, a deck should be screened from the primary public right-of-way with fencing and/or appropriate native landscaping.”

“The visual impact of a deck should be minimized by limiting its size and scale. Introducing a deck that visually detracts from a new structure or substantially alters a site’s proportion of built area to open space is not appropriate.”

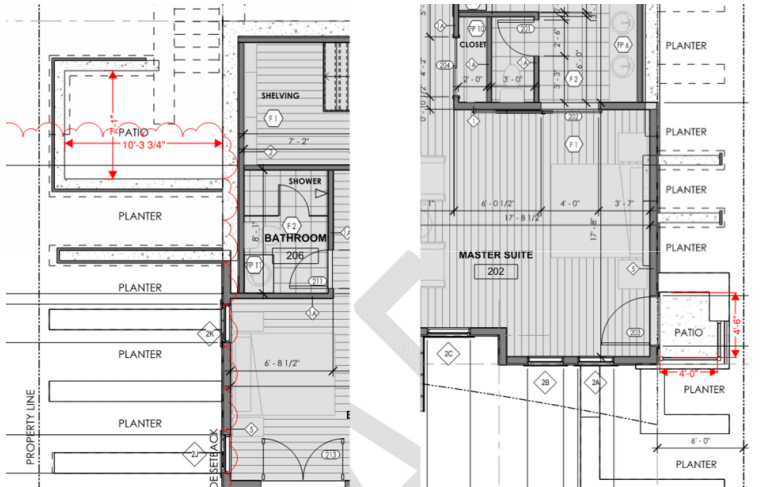
“Decks and related steps and railings shall be constructed of materials and in styles that are compatible with the structure to which they are attached as well as

Complies: The proposed SFD includes a roof top deck/patio at the rear of the Structure, which is not visible from the primary public ROW. Two decks are proposed on the primary façade – the larger size front façade deck is over the second story and has been reduced in size from previous iterations. The smaller front façade deck extends over the garage door and has also been reduced in size from previous iterations.

Two patios are proposed on the secondary façade within the terraced retaining walls (one on each side). The northern secondary façade patio is approximately 10 feet wide by 7 feet deep and is located towards the rear of the Structure and within the Side Setback; this patio provides access to the stairwell which leads to the roof top patio. The southern secondary façade deck is 4-feet wide by 4 ½ feet deep and is located towards the front of the Structure but does not extend beyond the front wall plane.

The visual impact of the secondary façade decks is mitigated by vegetative screening in the terraced retaining wall planters.

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<p>with the character of the Historic District as a whole.”</p> <p>Decking materials such as fiber cement or plastic-wood composite floor boards shall not be used unless they are made of a minimum of 50% recycled and/or reclaimed materials.</p>	<p>The size of the decks do not visually detract from the new SFD or substantially alter the site’s proportion of built area to open space, as the footprints of each deck are relatively small compared to the overall Structure, and the secondary façade decks are incorporated into the pattern of the stepped retaining walls.</p> <p>Deck railings are constructed with vertical balusters and will be metal or wood, consistent with the character of the Streetscape.</p> <p>See <i>Condition of Approval 11</i> regarding deck materials.</p> 
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Conclusions of Law:

1. The proposal complies with LMC § 15-11-12 *Historic District or Historic Site Review*.
2. As conditioned, the proposed SFD at 301 Marsac Avenue complies with the HR-1 Zoning District requirements according to LMC § 15-2.2.
3. As conditioned, the proposed SFD at 301 Marsac Avenue complies with the *Regulations for New Residential Infill Construction (and Non-Historic Sites) in Historic Districts* according to LMC § 15-13-8.

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Conditions of Approval:

1. Final building plans and construction details shall reflect substantial compliance with the plans approved June 18, 2026 by the Planning Department. Any changes, modifications, or deviations from the approved design that have not been approved in advance by the Planning and Building Departments may result in a stop work order.
2. If the Applicant does not obtain a complete Building Permit within one year of the date of this approval, this HDDR approval will expire unless the Applicant submits a written extension request to the Planning Department prior to the expiration date and the Planning Department approves an extension.
3. The Applicant is responsible for notifying the Planning and Building Departments prior to making any changes to the approved plans.
4. Any changes, modifications, or deviations from the approved scope of work shall be submitted in writing for review and approval/denial in accordance with the applicable standards by the Planning Director or their Designee prior to construction.
5. Impacts to existing vegetation shall be minimized; any areas disturbed during construction surrounding the proposed work shall be brought back to their original state; the Applicant shall replace any significant vegetation removed in an equivalent manner on site.
6. The proposed landscaping shall be at least 50% Water Wise and compliant with § 15-5-5(N). The Applicant shall provide an updated Water Wise irrigation plan at Building Permit submission.
7. The Applicant shall submit detailed storm water and drainage mitigation plans to the Engineering Department for review and approval prior to Building Permit issuance.
8. The Applicant shall configure drainage behind retaining walls away from the walls to abate retaining wall failure.
9. The site shall be re-graded so as to blend with the grade of the adjacent slope and so all water drains away from the structure and does not enter the foundation.
10. Roofing materials shall have a Solar Reflectivity Index (SRI) of 35 or less.

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11. Decking materials such as fiber cement or plastic-wood composite floor boards shall not be used unless they are made of a minimum of 50% recycled and/or reclaimed materials.
 12. All mechanical equipment shall be fully screened from adjacent properties and from the primary public ROW.
 13. The Building Permit Plans shall clearly illustrate Existing and Final Grade, demonstrating that the difference between Final Grade and Existing Grade does not exceed four vertical feet, except for the placement of approved window wells, emergency egress, and a garage entrance; additionally, the construction plans shall clearly illustrate the proposed retaining walls, demonstrating that they do not exceed six feet in height from Final Grade within any required Rear or Side Setback.
 14. No more than two feet of foundation shall be visible on the proposed SFD.
 15. The existing Duplex encroachments at 301 and 303 Ontario Avenue may be maintained and repaired pursuant to the limitations and restrictions outlined in LMC Chapter 15-9. If the 301 and 303 Ontario Avenue encroachments are removed, the property owner of 301 Marsac Avenue is responsible for stabilizing and revegetating the Parcel A no-build area and shall submit a landscape plan to the Planning, Building, and Engineering Departments for review and approval.
 16. This HDDR approval is pending recordation of the 301 Marsac Plat Amendment with the Summit County Recorder by August 12, 2026.
- E. 405 Woodside Avenue – Historic District Design Review –** The Applicant Proposes a Remodel and Rear Addition to a Single-Family Dwelling at a Significant Historic Site in the Historic Residential – 1 Zoning District. PL-25-06510.

Planner II, Jacob Klopfenstein, presented the Staff Report and explained that this is an HDDR application for 405 Woodside Avenue. The HDDR is for a remodel, transitional element, and rear addition at a Significant Historic Site in the Historic Residential – 1 Zoning District. The applicant previously obtained Historic Preservation Board approval to remove approximately 40 square feet of siding from the rear façade in October 2025 in order to accommodate the transitional element. The Planning Commission also approved a SSCUP for the site on March 11, 2026. There is currently a guest house and shed on the site that are proposed to be removed, as required by Ordinance No. 2022-27.

Planner Klopfenstein shared a rendering of the proposed project with the rear addition in the back. The proposal complies, as conditioned, with the Historic Residential – 1 Zoning District requirements as well as Off-Street Parking Requirements and Historic District Regulations. Several Conditions of Approval were reviewed. Planner Klopfenstein reported

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that there is a condition that requires a WaterSense labeled irrigation controller if irrigation is used. The applicant is also required to submit more detailed storm water management and drainage plans prior to the issuance of a Building Permit. There are conditions related to retaining wall drainage and on-site snow storage as well.

Staff recommends the Planning Director review the HDDR application for 405 Woodside Avenue, conduct a public hearing, and consider approval based on the Findings of Fact, Conclusions of Law, and Conditions of Approval outlined in the Draft Final Action Letter.

Director Ward believed the renderings shown do not reflect the updated plans, as the transom above the door on the historic structure is removed in the final plans. This was confirmed. The applicant representative, Jonathan DeGray, stated that there was a comment received about the transom, but the renderings were not updated to reflect that.

Director Ward opened the public hearing at 12:18 p.m. There were no comments. Director Ward closed the public hearing at 12:18 p.m.

MOTION: Director Ward APPROVED the Historic District Design Review for 405 Woodside Avenue, based on the following:

Background:

1. The Applicant submitted HDDR and Steep Slope Conditional Use Permit (SSCUP) applications on April 23, 2025.
2. The Historic Preservation Board approved the Applicant's request to restore the front façade windows and trim, restore the front porch shed roof, replace non- historic siding, lift the Significant Historic Structure to construct a new foundation, and remove approximately 40 square feet of the rear façade to construct an addition on October 1, 2025.
3. The Plannin`g Commission approved the Applicant's SSCUP application on March 11, 2026.

Findings of Fact:

1. The Applicant proposes constructing an addition to the Significant Historic Structure to be used as a Single-Family Dwelling (SFD), an Allowed Use in the HR-1 Zoning District pursuant to Land Management Code (LMC) § 15-2.2-2(A)(1).
2. The Applicant proposes a 7,500-square-foot Lot, which complies with the minimum lot size requirement outlined in LMC § 15-2.2-3.
3. The 405 Woodside Avenue Subdivision Plat was approved on July 21, 2022, prior to the Maximum Lot Size being established in the HR-1 Zoning District on October 26, 2023 (Ordinance No. 2023-50), and pursuant to LMC § 15-2.2-

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- 4, Historic Buildings that exceed the maximum Lot Area are valid Non-Complying Structures.
4. The Applicant proposes a 50-foot-wide Lot, which complies with the minimum Lot width requirement outlined in LMC § 15-2.2-3.
 5. The Applicant proposes a maximum Building Footprint of 2,392 square feet, which complies with the maximum Building Footprint requirement of 2,460 square feet outlined in LMC § 15-2.2-3.
 6. LMC § 15-2.2-3 establishes Front and Rear Setbacks of 15 feet each for Lots greater than 100 feet in depth.
 - a. LMC § 15-2.2-3(G)(1) allows for walls and retaining walls within the Front Setback that do not exceed 4 feet. The Applicant proposes four concrete retaining walls, all four feet or less, in the Front Setback. Complies.
 - b. LMC § 15-2.2-3(G)(2) allows for uncovered steps leading to the Main Building, not more than four feet in height from Final Grade in the Front Setback. The Applicant proposes uncovered steps less than four feet from Final Grade in the Front Setback. Complies.
 - c. LMC § 15-2.2-3(G)(5) allows for sidewalks and pathways in the Front Setback. The Applicant proposes several sidewalks and pathways in the Front Setback. Complies.
 - d. LMC § 15-2.2-3(G)(6) allows for driveways leading to a Garage in the Front Setback. The Applicant proposes a driveway in the Front Setback. Complies.
 7. LMC § 15-2.2-3 establishes Side Setbacks of 5 feet each for Lots up to 50 feet wide.
 - a. The Significant Historic Structure encroaches into the north Side Setback by 3 feet, 4 inches. Pursuant to LMC § 15-2.2-4, Historic Buildings that do not comply with Building Setbacks are valid Non-Complying Structures. Complies.
 - b. On Lots that have a minimum required Side Setback of 5 feet, LMC § 15-2.2-3(J)(1) allows for Bay Windows¹ that are not more than 10 feet wide and do not project more than 2 feet into the Side Setback. The Applicant proposes a Bay Window on the upper level of the rear addition that is 10 feet wide and projects approximately 2 feet into the south Side Setback. Complies.
 - c. LMC § 15-2.2-3(J)(2) allows for chimneys not more than five feet wide and not projecting more than two feet into the Side Setback. The Applicant proposes a 5-foot-wide chimney projecting 1 foot, 8 inches into the north Side Setback. Complies.

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- d. LMC § 15-2.2-3(J)(3) allows for window wells not exceeding IBC requirements extending not more than four feet into the Side Setback. The Applicant proposes three four-foot-wide window wells extending 3 feet, 6 inches into the Side Setback. Complies.
 - e. LMC § 15-2.2-3(J)(4) allows for roof overhangs to extend two feet into the Side Setback. The Applicant proposes a roof overhang that encroaches 2 feet into the north Side Setback. The Applicant also proposes a 2-foot roof overhang in the south Side Setback.
 - f. LMC § 15-2.2-3(J)(7) allows for walls and retaining walls to extend into the Side Setbacks up to six feet. The Applicant proposes a series of concrete retaining walls in the Side Setbacks, all four feet or less. Complies.
 - g. LMC § 15-2.2-3(J)(11) allows for screened mechanical equipment that is set back at least three feet from the Side Lot Line. The Applicant proposes mechanical equipment mounted to the wall of the north façade of the proposed addition that is set back approximately three feet, three inches from the Side Lot Line and is screened by the Significant Historic Structure. Complies.
8. The Applicant proposes a Building Height of 20 feet, 1 inch, which is approximately 6 feet, 11 inches below the maximum Building Height outlined in LMC § 15-2.2-5.
 9. The Significant Historic Structure is 19 feet, 3 inches above Existing Grade and 28 feet, 10 inches deep and acts as the stepback for the proposed addition, required pursuant to LMC § 15-2.2-5.
 10. The Significant Historic Structure has a roof pitch of 10:12 that measures 26 feet back as viewed from Woodside Avenue. The 10:12 roof pitch of the Significant Historic Structure is the Contributing Roof Form for the Site.
 11. The proposed addition has a Contributing Roof Form of 3.5:12 that measures approximately 13 feet, 4 inches back, as viewed from Woodside Avenue, required pursuant to LMC § 15-2.2-5(C).
 12. The Applicant proposes a Final Grade that is approximately 5 feet, 1 inch above Existing Grade at the garage entrance and is within four feet of Existing Grade elsewhere on the site, which complies with LMC § 15-2.2-5.
 13. Pursuant to LMC § 15-2.2-4, existing Significant Historic Sites are exempt from Off-Street Parking requirements, so no Off-Street Parking is required. However, property owners of Historic Sites choosing to provide Off-Street Parking must ensure parking spaces comply with LMC Chapter 15-3, *Off-Street Parking*.

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- a. The Applicant proposes two parking spaces, both 11 feet wide and 20 feet deep, in a tandem configuration within the garage on the ground level of the proposed rear addition. Pursuant to LMC § 15-3-3(F), Parking Spaces must be at least 9 feet wide and 18 feet long, and the Applicant’s proposal complies.

14. Pursuant to LMC § 15-11-12, the Planning Department reviews Uses for compliance with LMC § 15-13-2 *Regulations for Historic Residential Sites* as outlined in the table below:

LMC § 15-13-2 Requirement	Analysis of Proposal
	<i>A. Universal Regulations</i>
LMC § 15-13-2(A)(1): A site should be used as it was historically or be given a new use that requires minimal change to the distinctive materials and features.	<i>Complies:</i> The Applicant proposes maintaining the SFD Use.
LMC § 15-13-2(A)(2): Changes to a site or building that have acquired historic significance in their own right should be retained and preserved.	<i>Complies:</i> There are no changes to the site that have acquired Historic significance.
LMC § 15-13-2(A)(3): The historic exterior features of a building should be retained and preserved.	<p><i>Complies:</i> The Historic Preservation Board approved the Applicant’s proposal to restore the front façade windows and trim, restore the front porch shed roof, replace non-historic siding, lift the Significant Historic Structure to construct a new foundation, and remove approximately 40 square feet of the rear façade to construct an addition on October 1, 2025.</p> <p>The Applicant does not propose any other changes to the exterior building features.</p>
LMC § 15-13-2(A)(4): Distinctive materials, components, finishes, and examples of craftsmanship should be retained and preserved. Owners are encouraged to reproduce missing historic elements that were original to the	<i>Complies:</i> As noted above, the Applicant proposes restoring the front façade windows and trim, as well as the front porch shed roof, and the Historic Preservation Board approved the proposal on October 1, 2025.

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<p>building, but have been removed.</p>	
<p>LMC § 15-13-2(A)(5): Standards for the Treatment of Historic Building Materials pursuant to Section 15-13-6 shall be adhered to.</p>	<p><i>Complies:</i> The Historic Preservation Board approved the Applicant’s proposal to remove approximately 40 square feet of the rear façade to accommodate the proposed addition on October 1, 2025. The Applicant proposes retaining all other Historic Materials.</p>
<p>LMC § 15-13-2(A)(6): Deteriorated or damaged historic features and elements should be repaired rather than replaced.</p>	<p><i>Complies:</i> The Historic Preservation Board approved the Applicant’s proposal to restore the front façade windows and trim, restore the front porch shed roof, replace non-historic siding, lift the Significant Historic Structure to construct a new foundation, and remove approximately 40 square feet of the rear façade to construct an addition on October 1, 2025. The Applicant does not propose replacing any other Historic features or elements.</p>
<p>LMC § 15-13-2(A)(7): Features that do not contribute to the significance of the site or building and exist prior to the adoption of these regulations, such as incompatible windows, aluminum soffits, or iron porch supports or railings, may be maintained; however, if it is proposed they be changed, those features must be brought into compliance with these regulations.</p>	<p><i>Complies:</i> The Applicant proposes restoring the front façade windows and trim and the front porch shed roof to bring the features into compliance.</p>
<p>LMC § 15-13-2(A)(8): Each site should be recognized as a physical record of its time, place and use. Owners are discouraged from introducing architectural elements or details that visually modify or alter the original building appearance when no evidence of such elements or details exists.</p>	<p><i>Complies:</i> The Applicant does not propose introducing architectural elements or details that visually modify or alter the original building appearance.</p>
<p>LMC § 15-13-2(A)(9): Chemical or physical treatments, if appropriate,</p>	<p><i>Complies:</i> The Historic Preservation Board approved the Applicant’s proposal to remove approximately 40 square feet of the rear façade to accommodate the</p>

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<p>should be undertaken using recognized preservation methods. Treatments that cause damage to historic materials should not be used. Treatments that sustain and protect, but do not alter appearance, are encouraged.</p>	<p>proposed addition on October 1, 2025. The Applicant proposes retaining all other Historic Materials.</p>
<p>LMC § 15-13-2(A)(10): New construction such as new additions, exterior alterations, repairs, upgrades, etc., should not destroy historic materials, features, and spatial relationships that characterize the historic site or historic building.</p>	<p><i>Complies:</i> The Historic Preservation Board approved the Applicant’s proposal to remove approximately 40 square feet of the rear façade to accommodate the proposed addition on October 1, 2025. The Applicant proposes retaining all other Historic Materials and maintaining the Significant Historic Structure in its Historic location on the Site.</p>
<p>LMC § 15-13-2(A)(11): New additions and related new construction should be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment could be restored.</p>	<p><i>Complies:</i> As noted above, the Historic Preservation Board approved the Applicant’s proposal to remove approximately 40 square feet of the rear façade to accommodate the proposed addition on October 1, 2025. The Applicant does not propose any changes that would compromise the essential form and integrity of the Significant Historic Structure if the proposed addition were removed in the future.</p>
<p>LMC § 15-13-2(A)(12): New materials shall reflect the character of the Historic District.</p>	<p><i>Complies:</i> The Applicant proposes wood, glass, metal, and masonry materials that are consistent with the character of the Historic District as outlined below.</p>
	<p><i>B. Specific Regulations</i></p>
	<p>1. Site Design</p>
<p>LMC § 15-13-2(B)(1)(a)(1): Maintain the existing front and side yard setbacks of Historic Sites.</p>	<p><i>Complies:</i> The Applicant proposes maintaining the Significant Historic Structure in its Historic location on the Site. The proposed addition complies with the HR-1 District Lot and Site Requirements as outlined above.</p>
<p>LMC § 15-13-2(B)(1)(a)(2): Preserve the original location of the main entry of the historic structure, if extant.</p>	<p><i>Complies:</i> The Applicant proposes maintaining the Significant Historic Structure in its Historic location on the Site.</p>
<p>LMC § 15-13-2(B)(1)(b)(1): Maintain the natural</p>	<p><i>Complies:</i> The Applicant proposes a Final Grade that is within four feet of Existing Grade. The Planning</p>

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<p>topography and original grading of the site when and where feasible.</p>	<p>Commission approved the Applicant's SSCUP on March 11, 2026.</p>
<p>LMC § 15-13-2(B)(1)(b)(2): The historic character of the site should not be significantly altered by substantially changing the proportion of built and/or paved area to open space, and vice versa.</p>	<p><i>Complies:</i> The Applicant proposes maintaining the Significant Historic Structure in its Historic location on the Site. The Significant Historic Structure will remain visually superior to the proposed rear addition:</p>  <p>Figure 1: Applicant's streetscape rendering showing Significant Historic Structure at 405 Woodside Avenue in red and proposed rear addition in grey.</p> <p>Additionally, the Lot is 150 feet deep and the proposed rear addition will be set back approximately 34 feet from the rear Lot line, so a large area in the rear of the Lot will be preserved as open space.</p>
<p>LMC § 15-13-2(B)(1)(b)(3): Respect and maintain existing landscape features that contribute to the historic character of the site and existing landscape features that provide sustainability benefits.</p>	<p><i>Complies:</i> The Applicant proposes retaining 15 existing trees at and around the Site and implementing 11 new trees.</p>
<p>LMC § 15-13-2(B)(1)(b)(4): Maintain established on-site native plantings. During construction, protect established vegetation to avoid damage. Replace damaged, aged, or diseased trees as necessary.</p>	<p><i>Complies:</i> The Applicant proposes retaining 15 existing trees at and around the Site and implementing 11 new trees.</p>

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<p>LMC § 15-13-2(B)(1)(c)(1): The character of a historic site shall not be significantly altered by substantially changing the proportion of built and/or paved area to open space.</p>	<p><i>Complies:</i> As noted above, the Applicant proposes maintaining the Significant Historic Structure in its Historic location on the Site. The Significant Historic Structure will remain visually superior to the proposed rear addition</p>
<p>LMC § 15-13-2(B)(1)(c)(2): Existing landscape features that contribute to the character of a historic site and/or existing landscape features that provide environmental sustainability benefits shall be preserved and maintained.</p>	<p><i>Complies:</i> As noted above, the Applicant proposes retaining 15 existing trees at and around the Site and implementing 11 new trees.</p>
<p>LMC § 15-13-2(B)(1)(c)(3): Established on-site native plantings shall be maintained.</p>	<p><i>Complies:</i> As noted above, the Applicant proposes retaining 15 existing trees at and around the Site and implementing 11 new trees.</p>
<p>LMC § 15-13-2(B)(1)(c)(4): A detailed landscape plan, particularly for areas viewable from the primary public right-of-way, which respects the manner and materials traditionally used in the Historic Districts, shall be provided.</p>	<p><i>Complies:</i> The Applicant provided a detailed landscaping plan dated March 27, 2025 (see Attachment 1). The proposed landscaping includes a series of terraced landscaped areas with tree clusters, shrubs, and grasses when viewed from the Woodside Avenue Right-of-Way.</p>
<p>LMC § 15-13-2(B)(1)(c)(5): Landscape plans shall balance water-efficient irrigation methods, drought-tolerant plants with existing plant material and site features that contribute to the historic character of the site.</p>	<p><i>Condition of Approval recommended:</i> The Applicant proposes drought-tolerant trees, shrubs, and other plants such as bigtooth maple, subalpine fir, and flowering crabapple.</p> <p>Staff recommends Condition of Approval 1, requiring the Applicant to install a WaterSense labeled irrigation controller pursuant to LMC § 15-5-5(N)(5) if using an irrigation system.</p>
<p>LMC § 15-13-2(B)(1)(c)(6): Use to advantage storm water management features such as gutters, downspouts, site topography, and vegetation that can improve</p>	<p><i>Condition of Approval recommended:</i> The Applicant has not provided a detailed storm water management and drainage plan. Condition of Approval 2 requires the Applicant to submit detailed storm water management and drainage plans to the Engineering Department for review prior to Building Permit issuance.</p>

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<p>the environmental sustainability of a site.</p>	
<p>LMC § 15-13-2(B)(1)(c)(7): The use of Water Wise Landscaping or permaculture strategies for landscape design shall be considered in order to maximize water efficiency.</p>	<p><i>Condition of Approval recommended:</i> The Applicant proposes drought-tolerant trees, shrubs, and other plants such as bigtooth maple, subalpine fir, and flowering crabapple. Staff recommends Condition of Approval 1, requiring the Applicant to install a WaterSense labeled irrigation controller pursuant to LMC § 15-5-5(N)(5) if using an irrigation system.</p>
<p>LMC § 15-13-2(B)(1)(c)(8): Along public rights of way, landscaped areas, street trees, and seasonal plantings shall be designed to enhance the pedestrian experience, complement architectural features, mitigate against Urban Heat Island effect, and/or screen utility areas.</p>	<p><i>Complies:</i> The Applicant proposes planting trees and implementing landscaped areas along the front of the Site adjacent to Woodside Avenue.</p>
<p>LMC § 15-13-2(B)(1)(c)(9): Installing plantings in areas like medians, divider strips, and traffic islands shall be considered.</p>	<p><i>Not Applicable:</i> The Applicant does not propose any medians, divider strips, or traffic islands.</p>
<p>LMC § 15-13-2(B)(1)(c)(10): Commercial properties typically have no setbacks along the principal façade.</p>	<p><i>Not Applicable:</i> The Site is not a commercial property.</p>
<p>LMC § 15-13-2(B)(1)(c)(11): Provide a detailed landscape plan that respects, particularly for areas visible from adjacent public rights-of-way the manner and materials historically used in the Historic Districts.</p>	<p><i>Complies:</i> The Applicant provided a detailed landscaping plan dated March 27, 2025 (see Attachment 1).</p>
<p>LMC § 15-13-2(B)(1)(c)(12): Landscape plans should balance water efficient irrigation methods and Water Wise Landscaping with existing plant materials and site features that contribute to the</p>	<p><i>Condition of Approval recommended:</i> The Applicant proposes drought-tolerant trees, shrubs, and other plants such as bigtooth maple, subalpine fir, and flowering crabapple. Staff recommends Condition of Approval 1, requiring the Applicant to install a WaterSense labeled irrigation controller pursuant to LMC § 15-5-5(N)(5) if using an irrigation system.</p>

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<p>historic significance of the site.</p>	
<p>LMC § 15-13-2(B)(1)(c)(13): Use to advantage storm water management features, such as gutters and downspouts as well as site topography and vegetation, that contribute to water retention and permeability of the historic site.</p>	<p><i>Condition of Approval recommended:</i> The Applicant has not provided a detailed storm water management and drainage plan. Condition of Approval 2 requires the Applicant to submit detailed storm water management and drainage plans to the Engineering Department for review prior to Building Permit issuance.</p>
<p>LMC § 15-13-2(B)(1)(c)(14): Where watering systems are necessary, use systems that minimize water loss, such as drip irrigation.</p>	<p><i>Condition of Approval recommended:</i> Staff recommends Condition of Approval 1 requiring the Applicant to install a WaterSense labeled irrigation controller pursuant to LMC § 15-5-5(N)(5) if using an irrigation system.</p>
<p>LMC § 15-13-2(B)(1)(d)(1): Historic retaining walls shall be preserved to the greatest extent possible.</p>	<p><i>Not Applicable:</i> There are no Historic retaining walls at the Site.</p>
<p>LMC § 15-13-2(B)(1)(d)(2): Maintain the historic height and setback of retaining walls along the street. Retaining walls of stone, concrete, or rock- faced concrete block that are original to the historic site should be preserved and maintained in their original dimensions.</p>	<p><i>Complies:</i> The proposed retaining walls are a maximum of four feet in height throughout the Site and comply with Setback regulations as outlined above. The Applicant proposes board-formed concrete material for all retaining walls.</p>
<p>LMC § 15-13-2(B)(1)(d)(3): Removing portions of historic retaining walls for new driveways and pathways should be avoided to the greatest extent possible, but where it must occur, visual impact should be minimized.</p>	<p><i>Not Applicable:</i> There are no Historic retaining walls at the Site.</p>
<p>LMC § 15-13-2(B)(1)(d)(4): Historic retaining walls should be repaired with materials that closely approximate the original.</p>	<p><i>Not Applicable:</i> There are no Historic retaining walls at the Site</p>

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<p>LMC § 15-13-2(B)(1)(d)(5): To abate retaining wall failure, improve drainage behind retaining walls to water drains away from the walls. Repair and preserve historic stone and mortar.</p>	<p><i>Condition of Approval recommended:</i> Staff recommends Condition of Approval 3, requiring that retaining wall drainage is designed to drain away from the walls.</p>
<p>LMC § 15-13-2(B)(1)(d)(6): New retaining walls should be consistent with historic retaining walls in design, material, scale of materials, as well as size and mass of the wall. Simple board-formed concrete, stone, and other historic materials are recommended over concrete block, asphalt, or other modern concrete treatments.</p>	<p><i>Complies:</i> The proposed retaining walls are a maximum of four feet in height throughout the Site and comply with Setback regulations as outlined above. The Applicant proposes board-formed concrete material for all retaining walls.</p>
<p>LMC § 15-13-2(B)(1)(d)(7): Non- extant historic retaining walls of concrete or stone specific to the Historic Site may be reconstructed based on physical or pictorial evidence.</p>	<p><i>Not Applicable:</i> There are no Historic retaining walls at the Site.</p>
<p>LMC § 15-13-2(B)(1)(d)(8): Maintain stone in its natural finish. It is not appropriate to paint, stain, or plaster over stone or concrete.</p>	<p><i>Complies:</i> The Applicant proposes maintaining the board-formed concrete walls in their natural finish.</p>
<p>LMC § 15-13-2(B)(1)(e)(1): Historic fencing should be preserved and maintained.</p>	<p><i>Not Applicable:</i> There is no Historic fencing at the Site.</p>
<p>LMC § 15-13-2(B)(1)(e)(2): Historic fencing may be reconstructed based on photographic evidence.</p>	<p><i>Not Applicable:</i> There is no Historic fencing at the Site.</p>
<p>LMC § 15-13-2(B)(1)(e)(3): New fencing should reflect the building's style and period. New wood and metal fencing located where viewable from adjacent public rights-of-way should</p>	<p><i>Complies:</i> The Applicant does not propose any new fencing.</p>

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feature traditional design and pattern.	
LMC § 15-13-2(B)(1)(e)(4): New fencing should be designed to minimize its environmental impacts.	<i>Complies:</i> The Applicant does not propose any new fencing.
LMC § 15-13-2(B)(1)(e)(5): Drought tolerant shrubs should be considered in place of fencing or walls.	<i>Complies:</i> The Applicant proposes shrubs and other landscaping elements throughout the Site.
LMC § 15-13-2(B)(1)(e)(6): Arbors emphasizing a fence gate or entry shall be subordinate to the associated historic building or structure and shall complement the design of the historic structure and fencing in materials, features, size, scale, and proportion, as well as massing to protect the integrity of the historic site.	<i>Complies:</i> The Applicant does not propose any arbors.
LMC § 15-13-2(B)(1)(f): Gazebos, Pergolas, and Other Shade Structures	<i>Complies:</i> The Applicant does not propose any gazebos, pergolas, or shade structures.
LMC § 15-13-2(B)(1)(g)(1): Minimize the visual impacts of on-site parking by incorporating landscape treatments for driveways, walkways, paths, building(s) and accessory structures in a comprehensive, complementary and integrated design.	<i>Complies:</i> The Applicant proposes landscaping throughout the site to screen the driveway and walkways from the primary Right-of-Way.
LMC § 15-13-2(B)(1)(g)(2): Provide landscaped separations between parking areas, drives, service areas, and public use areas including walkways, plazas, and vehicular access points.	<i>Complies:</i> The Applicant proposes landscaped separation on either side of the driveway.
LMC § 15-13-2(B)(1)(g)(3): When locating new off- street	<i>Complies:</i> The Applicant proposes a driveway with a maximum slope of 7%, which complies with driveway

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<p>parking areas, the existing topography of the site and integral site features should be minimally impacted.</p>	<p>slope requirements outlined in LMC § 15 3-3(A). The Planning Commission also reviewed and approved the driveway location and impacts as part of the SSCUP approval on March 11, 2026.</p>
<p>LMC § 15-13-2(B)(1)(g)(4): Off-street parking areas should be located within the rear yard and beyond the rear wall plane of the primary structure.</p>	<p><i>Complies:</i> The Applicant proposes Off-Street Parking in a garage that is set back approximately five feet from the rear wall plane of the Significant Historic Structure.</p>
<p>LMC § 15-13-2(B)(1)(g)(5): When locating driveways, the existing topography of the building site and significant site features should be minimally impacted.</p>	<p><i>Complies:</i> The Applicant proposes a driveway with a maximum slope of 7%, which complies with driveway slope requirements outlined in LMC § 15-3-3(A). The Planning Commission also reviewed and approved the driveway location and impacts as part of the SSCUP approval on March 11, 2026.</p>
<p>LMC § 15-13-2(B)(1)(g)(6): New driveways shall not exceed ten (10) feet in width.</p>	<p><i>Complies:</i> The Applicant proposes a driveway that is ten feet wide.</p>
<p>LMC § 15-13-2(B)(1)(g)(7): Shared driveways should be used when feasible.</p>	<p><i>Complies:</i> The Applicant does not propose a shared driveway. The Site is not adjacent to any other properties that have a need for a shared driveway.</p>
<p>LMC § 15-13-2(B)(1)(g)(8): Consider using textured and pour paving materials other than smooth concrete for driveways viewable from the adjacent public rights-of-way.</p>	<p><i>Complies:</i> The Applicant proposes a concrete driveway.</p>
<p>LMC § 15-13-2(B)(1)(g)(9): Consider avoiding paving up to the building foundation to reduce heat island effect, building temperature, damage to the foundation, and storm-water runoff problems.</p>	<p><i>Complies:</i> The Applicant does not propose paving up to the building foundation.</p>
<p>LMC § 15-13-2(B)(1)(g)(10): Snow storage from driveways should be provided on site.</p>	<p><i>Condition of Approval recommended:</i> Staff recommends Condition of Approval 4 requiring the Applicant to provide snow storage on-Site and to obtain an encroachment agreement with the Engineering Department for the proposed heated driveway.</p>

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<p>LMC § 15-13-2(B)(1)(h)(1): The original path or steps leading to the main entry, if extant, should be preserved and maintained.</p>	<p><i>Complies:</i> The Applicant proposes replacing wood steps leading to the main entry of the Significant Historic Structure with concrete steps in the same location.</p>
<p>LMC § 15-13-2(B)(1)(h)(2): Historic hillside steps that are an integral part of the landscape should be preserved and maintained.</p>	<p><i>Not Applicable:</i> There are no Historic hillside steps at the Site.</p>
<p>LMC § 15-13-2(B)(1)(h)(3): New hillside steps should be visually subordinate to the associated historic building or structure in materials, size, scale and proportion, as well as massing and shall complement the historic structure in materials, size, scale, and proportion, and massing to protect the integrity of the historic site.</p>	<p><i>Complies:</i> The Applicant proposes steps that are not more than four feet in height above Final Grade.</p>
<p>LMC § 15-13-2(B)(1)(h)(4): Historic handrails should be preserved and maintained.</p>	<p><i>Not Applicable:</i> There are no historic handrails at the Site.</p>
<p>LMC § 15-13-2(B)(1)(h)(5): New handrails and railings shall complement the historic structure in materials, size, scale and proportions, massing and design to protect the integrity of the historic structure and site.</p>	<p><i>Complies:</i> The Applicant proposes metal handrails throughout the Site.</p>
<p>2. Primary Structures</p>	
<p>LMC § 15-13-2(B)(2)(a)(1): Primary and secondary façade components, such as window/door configuration, wall planes, recesses, bays, balconies, steps, porches, and entryways shall be maintained in their original location on the façade.</p>	<p><i>Complies:</i> The Applicant does not propose changing the location of any façade components on the Historic Structure.</p>
<p>LMC § 15-13-2(B)(2)(a)(2):</p>	<p><i>Complies:</i> The Applicant proposes maintaining historic exterior materials, except for removing approximately</p>

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<p>Preserve and maintain historic exterior materials including wood siding (drop siding, clapboard, board and batten), frieze boards, cornices, moldings, shingles, etc., as well as stone and masonry.</p>	<p>40 square feet of the rear façade to construct the addition, approved by the Historic Preservation Board on October 1, 2025.</p>
<p>LMC § 15-13-2(B)(2)(a)(3): When disassembly of a historic element— window, molding, bracket, etc.—is necessary for its restoration, recognized preservation procedures and methods for removal, documentation, repair, and reassembly shall be used.</p>	<p><i>Complies:</i> The Applicant does not propose disassembling any Historic elements.</p>
<p>LMC § 15-13-2(B)(2)(a)(4): When historic exterior materials cannot be repaired, they shall be replaced with materials that match the historic in all respects.</p>	<p><i>Complies:</i> The Applicant does not propose replacing any historic exterior materials.</p>
<p>LMC § 15-13-2(B)(2)(a)(5): Substitute materials such as fiber cement or plastic-wood composite siding, shingles, and trim boards shall not be used unless they are made of a minimum of 50% recycled and/or reclaimed materials.</p>	<p><i>Complies:</i> The Applicant proposes using wood, metal, glass, and concrete materials throughout the Site. The Applicant does not propose fiber cement or any other substitute materials.</p>
<p>LMC § 15-13-2(B)(2)(a)(6): Substitute materials shall not be used on a primary or secondary façade unless the applicant can show that historic materials cannot be used.</p>	<p><i>Complies:</i> The Applicant does not propose any substitute materials.</p>
<p>LMC § 15-13-2(B)(2)(a)(7): Vinyl and aluminum siding are prohibited in the Historic Districts.</p>	<p><i>Complies:</i> The Applicant proposes cedar wood siding.</p>
<p>LMC § 15-13-2(B)(2)(a)(8): Avoid interior changes that</p>	<p><i>Complies:</i> The Applicant does not propose interior changes that would affect the exterior appearance of</p>

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<p>affect the exterior appearance of primary and secondary facades.</p>	<p>primary and secondary facades of the Significant Historic Structure.</p>
<p>LMC § 15-13-2(B)(2)(b)(1): The historic placement, orientation, and grade of a historic building shall be retained, as shall the original grade of the property where feasible.</p>	<p><i>Complies:</i> The Applicant proposes maintaining the Significant Historic Structure in its current, original location on the Site.</p>
<p>LMC § 15-13-2(B)(2)(b)(2): A new foundation shall not raise or lower a historic structure generally more than two (2) feet from its original floor elevation.</p>	<p><i>Complies:</i> The Applicant proposes raising the Significant Historic Structure a maximum of two feet from its original floor elevation to construct the new foundation.</p>
<p>LMC § 15-13-2(B)(2)(b)(3): A historic site shall be returned to original grade following construction of a foundation. When the original grade cannot be achieved, generally no more than six inches (6”) of the new foundation shall be visible above final grade on the primary and secondary facades.</p>	<p><i>Complies:</i> The Applicant proposes Final Grade within four feet of Existing Grade as outlined above. Condition of Approval 8 of the HPB’s October 1, 2025 Final Action Letter requires a plinth or trim board at the base of the Historic Structure to anchor it to the new foundation.</p>
<p>LMC § 15-13-2(B)(2)(b)(4): Re-grade the site so that all water drains away from the structure and does not enter the foundation.</p>	<p><i>Complies:</i> Condition of Approval 7 of the HPB’s October 1, 2025, Final Action Letter requires the site to be re-graded so that all water drains away from the structure.</p>
<p>LMC § 15-13-2(B)(2)(b)(5): A plinth, or trim board at the base of the historic structure, shall be added to visually anchor the historic structure to the new foundation.</p>	<p><i>Complies:</i> Condition of Approval 8 of the HPB’s October 1, 2025, Final Action Letter requires a plinth or trim board at the base of the Historic Structure to anchor it to the new foundation.</p>
<p>LMC § 15-13-2(B)(2)(b)(6): Any re-grading of the site shall blend with grade of adjacent sites and shall not create the need for incompatible retaining walls.</p>	<p><i>Complies:</i> The Applicant proposes Final Grade within four feet of Existing Grade and retaining walls that are a maximum of four feet in height.</p>

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<p>LMC § 15-13-2(B)(2)(b)(7): The form, material, and detailing of a new foundation shall be similar to the historic foundation (when extant) or similar to foundations of nearby historic structures.</p>	<p><i>Complies:</i> The Applicant proposes a concrete foundation.</p>
<p>LMC § 15-13-2(B)(2)(b)(8): Historic foundations shall not be concealed with masonry block, plywood panels, corrugated metal, or wood shingles.</p>	<p><i>Complies:</i> The Applicant does not propose concealing the foundation of the Historic Structure.</p>
<p>LMC § 15-13-2(B)(2)(b)(9): Window or egress wells, if needed, shall not be located on the primary façade.</p>	<p><i>Complies:</i> The Applicant does not propose window or egress wells on the primary façade.</p>
<p>LMC § 15-13-2(B)(2)(c)(1): Maintain and preserve historic door openings, doors, door surrounds, and decorative door features.</p>	<p><i>Complies:</i> The Applicant proposes maintaining Historic doors and door openings.</p>
<p>LMC § 15-13-2(B)(2)(c)(2): Restore historic door openings that are significant to the period of restoration. On primary facades, in particular, consider reconstructing, based on physical or documentary evidence, historic doorways that no longer exist.</p>	<p><i>Complies:</i> The Applicant proposes restoring the Historic front porch and door opening, which were previously enclosed.</p>
<p>LMC § 15-13-2(B)(2)(c)(3): Avoid changing the position, proportions, or dimensions of historic door openings.</p>	<p><i>Complies:</i> The Applicant does not propose any changes to Historic door openings.</p>
<p>LMC § 15-13-2(B)(2)(c)(4): Replacement doors shall be allowed only when it can be shown that the historic doors are no longer safe and/or serviceable and cannot be repaired to a safe and/or serviceable condition. Replacement doors shall</p>	<p><i>Complies:</i> The Applicant proposes wood and aluminum-clad wood doors.</p>

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<p>exactly match the historic door in size, material, profile, and style.</p>	
<p>LMC § 15-13-2(B)(2)(c)(5): When no physical or documentary evidence of original doors exists, replacement doors typically shall be of wood, with or without glazing, and shall complement the style of the historic structure.</p>	<p><i>Complies:</i> The Applicant proposes wood and aluminum-clad wood doors.</p>
<p>LMC § 15-13-2(B)(2)(c)(6): Storm doors and/or screen doors typical of the Mining Era may be used on primary or secondary facades when the applicant can show that they will not diminish the historic character of the building.</p>	<p><i>Complies:</i> The Applicant does not propose any storm doors.</p>
<p>LMC § 15-13-2(B)(2)(c)(7): New door openings may be considered on secondary facades. A new opening shall be similar in location, size, and type to those seen on the historic structure.</p>	<p><i>Complies:</i> The Applicant does not propose any new door openings on the Significant Historic Structure.</p>
<p>LMC § 15-13-2(B)(2)(c)(8): When a historic door opening is no longer functional on a primary façade, the door shall be retained and, if necessary, blocked on the interior side only. The door shall appear to be functional from the exterior.</p>	<p><i>Complies:</i> There are no historic door openings that are no longer functional.</p>
<p>LMC § 15-13-2(B)(2)(d)(1): Maintain and preserve historic window openings, windows, window surrounds, and decorative window features.</p>	<p><i>Complies:</i> The Applicant proposes maintaining Historic windows and window openings.</p>

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<p>LMC § 15-13-2(B)(2)(d)(2): Restore historic window openings that have been altered or lost over time. On primary facades, in particular, consider reconstructing, based on physical or documentary evidence, historic window openings that no longer exist.</p>	<p><i>Complies:</i> The Applicant proposes restoring the Historic front porch and two Historic window openings, which were previously enclosed.</p>
<p>LMC § 15-13-2(B)(2)(d)(3): Avoid changing the position, proportions, or dimensions of historic window openings. It is not appropriate to create additional openings or remove existing historic openings on primary or secondary facades that are visible from the primary right-of-way.</p>	<p><i>Complies:</i> The Applicant does not propose changing the position, proportions, or dimensions of historic window openings.</p>
<p>LMC § 15-13-2(B)(2)(d)(4): Maintain the historic ratio of window openings to solid wall.</p>	<p><i>Complies:</i> The Applicant proposes vertically oriented windows with spacing in-between panels to maintain separation between expanses of glazing.</p>
<p>LMC § 15-13-2(B)(2)(d)(5): When historic windows are present, replacement windows shall be allowed only when it can be shown that the historic windows are no longer safe, energy efficient and serviceable and the historic windows cannot be made safe, energy efficient and serviceable through repair. Replacement windows shall exactly-match the historic window in size, dimensions, glazing pattern, depth, profile, and material.</p>	<p><i>Complies:</i> The Applicant proposes replacing all windows with wood and aluminum-clad wood windows.</p>
<p>LMC § 15-13-2(B)(2)(d)(6): Maintain the original number of glass panes in a historic</p>	<p><i>Complies:</i> The Applicant proposes maintaining the original number of glass panes in a historic window on the Significant Historic Structure.</p>

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<p>window. Replacing multiple panes with a single pane is not appropriate.</p>	
<p>LMC § 15-13-2(B)(2)(d)(7): Replacing an operable window with a fixed window is inappropriate.</p>	<p>The Applicant does not propose replacing operable windows with fixed windows.</p>
<p>LMC § 15-13-2(B)(2)(d)(8): New window openings may be considered on secondary facades but only when placed beyond the midpoint.</p>	<p><i>Complies:</i> The Applicant does not propose any new window openings on the Historic Structure.</p>
<p>LMC § 15-13-2(B)(2)(d)(9): When no physical or documentary evidence of original windows exists, replacement windows typically shall be of wood and shall complement the style of the historic structure.</p>	<p><i>Complies:</i> The Applicant proposes wood and aluminum-clad wood windows.</p>
<p>LMC § 15-13-2(B)(2)(d)(10): New glazing shall match the visual appearance of historic glazing and/or be clear. Metallic, frosted, tinted, stained, textured and reflective finishes are generally inappropriate for glazing on the primary façade of the historic structure.</p>	<p><i>Complies:</i> The Applicant does not propose non-clear window finishes.</p>
<p>LMC § 15-13-2(B)(2)(d)(11): It is generally inappropriate to modify windows on the primary façade to accommodate interior changes.</p>	<p><i>Complies:</i> The Applicant does not propose modifying windows on the primary façade to accommodate interior changes.</p>
<p>LMC § 15-13-2(B)(2)(d)(12): Storm windows shall be installed on the interior of the window.</p>	<p><i>Complies:</i> The Applicant does not propose storm windows.</p>
<p>LMC § 15-13-2(B)(2)(e)(1): Avoid removing or obstructing a historic building's elements and</p>	<p><i>Complies:</i> The Applicant proposes half-round gutters that do not impact any Historic materials, are located away from architectural features, and will drain into the storm drain system at the site.</p>

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<p>materials when installing gutters and downspouts.</p>	
<p>LMC § 15-13-2(B)(2)(e)(2): When new gutters are needed, the most appropriate design for hanging gutters is half round. Downspouts shall be located away from architectural features and shall be visually minimized when viewed from the right-of-way.</p>	<p><i>Complies:</i> The Applicant proposes half-round gutters that do not impact any Historic materials, are located away from architectural features, and will drain into the storm drain system at the site.</p>
<p>LMC § 15-13-2(B)(2)(e)(3): Water from gutters and downspouts shall drain away from the historic structure.</p>	<p><i>Complies:</i> The Applicant proposes half-round gutters that do not impact any Historic materials, are located away from architectural features, and will drain into the storm drain system at the site.</p>
<p>LMC § 15-13-2(B)(2)(f)(1): Maintain and preserve historic chimneys and their decorative features as they are important character-defining features of historic structures.</p>	<p><i>Complies:</i> There are no Historic chimneys at the site.</p>
<p>LMC § 15-13-2(B)(2)(f)(2): Historic stovepipes shall be maintained and repaired when possible.</p>	<p><i>Complies:</i> There are no Historic chimneys at the site.</p>
<p>LMC § 15-13-2(B)(2)(f)(3): Repairs to chimneys shall be made so as to retain historic materials and design.</p>	<p><i>Complies:</i> There are no Historic chimneys at the site.</p>
<p>LMC § 15-13-2(B)(2)(f)(4): Chimneys shall not be covered with non-historic materials.</p>	<p><i>Complies:</i> There are no Historic chimneys at the site.</p>
<p>LMC § 15-13-2(B)(2)(f)(5): New chimneys and stove pipes shall be of a size, scale, and design that are appropriate to the character and style of the historic structure. New chimneys and stovepipes shall be visually minimized when viewed from adjacent public rights-of-way</p>	<p><i>Complies:</i> The Applicant proposes one new metal chimney on the proposed rear addition that is set back approximately 25 feet from the rear wall plane of the Significant Historic Structure and will be painted to match the roof color of the proposed rear addition.</p>

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<p>and shall be appropriate to the character and style of the historic structure.</p>	
<p>LMC § 15-13-2(B)(2)(g)(1): Preserve and maintain a historic porch by preserving the existing location, form, proportion, details, posts, railing, and stairs.</p>	<p><i>Complies:</i> The Applicant proposes restoring the Historic front porch and associated elements of the Significant Historic Structure, which was previously enclosed to create more interior living space.</p>
<p>LMC § 15-13-2(B)(2)(g)(2): Repair deteriorated historic elements of the porch.</p>	<p><i>Complies:</i> The Applicant proposes restoring the Historic front porch. There are no deteriorated historic elements of the porch.</p>
<p>LMC § 15-13-2(B)(2)(g)(3): Substitute decking materials such as fiber cement or plastic-wood composite floor boards shall not be used unless they are made of a minimum of 50% recycled and/or reclaimed materials.</p>	<p><i>Complies:</i> The Applicant proposes concrete material for the deck surface.</p>
<p>LMC § 15-13-2(B)(2)(g)(4): It may be appropriate, in some cases, to reconstruct historic porches. Replacement porches shall be constructed of materials and in styles that are compatible with the structure to which they are attached. When possible, the reconstructed porch shall be based on physical or documentary evidence; when no such evidence exists, the design shall be based on historic porches found on comparable historic structures.</p>	<p><i>Complies:</i> The Applicant proposes restoring the Historic front porch, which was previously enclosed to create more interior living space. The Applicant proposes reconstructing the Historic porch with wood and concrete materials based on Historic photos.</p>
<p>LMC § 15-13-2(B)(2)(g)(5): While modifications to porch posts and balustrades may be necessary to meet current code requirements, these elements shall not be substantially different in size</p>	<p><i>Complies:</i> The Applicant proposes wood posts for the restored Historic front porch. The Applicant proposes the posts in the Historic location on the porch according to Historic photos.</p>

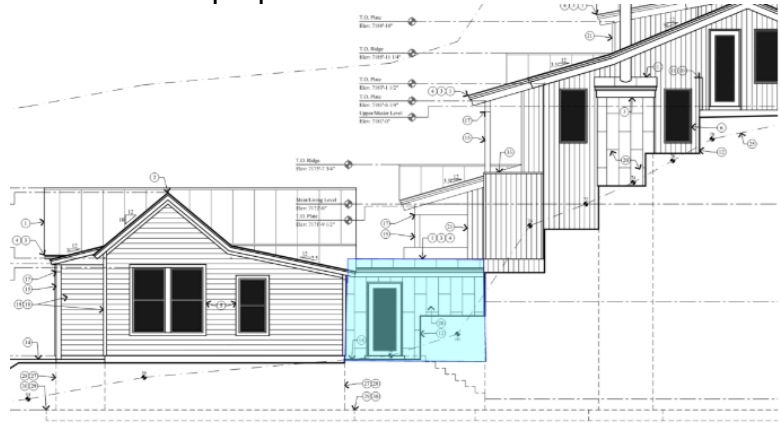
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and proportion than those seen historically.	
LMC § 15-13-2(B)(2)(g)(6): It is not appropriate to add decorative porch elements that are not known to have been used on a particular historic structure or on similar historic structures.	<i>Complies:</i> The Applicant does not propose any non-Historic decorative porch elements.
LMC § 15-13- 2(B)(2)(h): Architectural Features	<i>Complies:</i> The Applicant does not propose any impacts to architectural features on the Significant Historic Structure.
	<i>3. Mechanical Systems, Utility Systems, and Service Equipment</i>
LMC § 15-13-2(B)(3)(a): Mechanical equipment and utilities, including heating and air conditioning units, meters, and exposed pipes, shall be located on the tertiary façade or another inconspicuous location.	<i>Condition of Approval recommended:</i> The Applicant proposes wall-mounted mechanical equipment on the north façade of the proposed addition that will be screened from view by the Significant Historic Structure.
LMC § 15-13-2(B)(3)(b): Ground- level equipment shall be screened from view using landscape elements such as fences, low stone walls, or perennial plant materials.	<i>Condition of Approval recommended:</i> The Applicant proposes wall-mounted mechanical equipment on the north façade of the proposed addition that will be screened from view by the Significant Historic Structure.
LMC § 15-13-2(B)(3)(c): Rooftop Mechanical equipment is generally discouraged. Roof-mounted mechanical and/or utility equipment shall be screened and minimally visualized from all views.	<i>Complies:</i> The Applicant does not propose any rooftop mechanical equipment.
LMC § 15-13-2(B)(3)(d): Historic building elements shall not be removed or obstructed when installing mechanical systems and equipment.	<i>Complies:</i> The Applicant does not propose removing or obstructing any Historic elements to install mechanical equipment.
LMC § 15-13-2(B)(3)(e): Contemporary New	<i>Complies:</i> The Applicant does not propose any satellite dishes or antennae.

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<p>communication equipment such as satellite dishes or antennae shall be visually minimized when viewed from the primary public right-of-way.</p>	
	<p><i>4. Additions to Primary Structures</i></p>
<p>LMC § 15-13-2(B)(4)(a)(1): Additions to historic buildings should be considered only when it is demonstrated that the new use of the building cannot be accommodated by solely altering interior spaces.</p>	<p><i>Complies:</i> The Applicant proposes a rear addition to the Significant Historic Structure to provide additional living space, as well as Off-Street Parking in a garage on the ground level of the proposed addition. There is no Off-Street Parking currently available at the Site, and the Applicant could not implement Off-Street Parking by altering interior spaces of the Significant Historic Structure.</p>
<p>LMC § 15-13-2(B)(4)(a)(2): Additions to historic structures shall be considered with caution and shall be considered only on non-character defining facades, usually tertiary and occasionally secondary facades. Additions shall not compromise the architectural character of historic structures.</p>	<p><i>Complies:</i> The Applicant proposes an addition on the rear façade of the Significant Historic Structure that is set back a minimum of approximately five feet from the rear wall plane of the Historic Structure.</p>
<p>LMC § 15-13-2(B)(4)(a)(3): Additions should be visually subordinate to historic buildings when viewed from the primary public right-of-way.</p>	<p><i>Complies:</i> The Applicant proposes an addition on the rear façade of the Significant Historic Structure that is set back a minimum of approximately five feet from the rear wall plane of the Historic Structure. The Historic Structure will remain superior to the rear addition when viewed from Woodside Avenue.</p>
<p>LMC § 15-13-2(B)(4)(a)(4): Additions to historic structures shall not be placed so as to obscure, detract from, or modify historic roof forms.</p>	<p><i>Complies:</i> The proposed rear addition will not impact the roof form of the Significant Historic Structure.</p>
<p>LMC § 15-13-2(B)(4)(a)(5): Additions to historic structures shall not contribute significantly to the removal or loss of historic material.</p>	<p><i>Complies:</i> The Historic Preservation Board approved the Applicant’s proposal to remove approximately 40 square feet of the rear façade to accommodate the proposed addition on October 1, 2025. The proposed rear addition will not impact any additional Historic material.</p>

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<p>LMC § 15-13-2(B)(4)(a)(6): Where the new addition abuts the historic building, a clear transitional element between the old and the new should be designed and constructed.</p>	<p><i>Complies:</i> The Applicant proposes a transitional element that is approximately 11 feet, 10 inches deep to provide separation between the Significant Historic Structure and proposed rear addition:</p>  <p>Figure 2: Excerpt from Applicant's plan's showing Significant Historic Structure at 405 Woodside on the left, proposed rear addition on the right, and transitional element highlighted in blue.</p>
<p>LMC § 15-13-2(B)(4)(a)(7): Maintain and preserve additions to structures that are significant to the era/period of restoration.</p>	<p><i>Complies:</i> There are no Historic additions to the Significant Historic Structure. The Applicant proposes restoring the Historic front porch, which was previously enclosed to create more interior living space.</p>
<p>LMC § 15-13-2(B)(4)(a)(8): In-line additions shall be avoided.</p>	<p><i>Complies:</i> The Applicant proposes an addition that is not in-line and is set back a at least five feet from the rear wall plane of the Historic Structure.</p>
<p>LMC § 15-13-2(B)(4)(b)(1): In-line additions should be avoided generally are not appropriate.</p>	<p><i>Complies:</i> The Applicant proposes an addition that is not in-line and is set back a at least five feet from the rear wall plane of the Historic Structure.</p>
<p>LMC § 15-13-2(B)(4)(b)(2): A transitional element shall be required for any addition to a historic structure where the footprint of the addition is 50% or greater than the footprint of the historic structure.</p>	<p><i>Complies:</i> The footprint of the proposed addition is approximately 1,486 square feet, which is approximately 140% of the footprint of the Historic Structure. The Applicant proposes a transitional element that is approximately 11 feet, 10 inches deep between the Historic Structure and addition.</p>
<p>LMC § 15-13-2(B)(4)(b)(3): When an addition to a historic structure is less than 50% of the historic structure's footprint but exceeds the height of the</p>	<p><i>Complies:</i> The footprint of the proposed addition exceeds the footprint of the Historic Structure, and the Applicant proposes a transitional element.</p>


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<p>historic structure due to either the greater height of the addition, site topography (e.g., an uphill addition), or both, a transitional element shall be required.</p>	
<p>LMC § 15-13-2(B)(4)(b)(4): On a rear addition, the width of the transitional element shall not exceed two-thirds (2/3) the width of the elevation to which the transitional element is connected. The transitional element shall be set in from the corners of the affected historic elevation by a minimum of two feet (2').</p>	<p><i>Complies:</i> The width of the rear elevation of the Significant Historic Structure to which the transitional element is attached is approximately 25 feet. The width of the transitional element is approximately 5 feet, 8 inches – less than a quarter of the width of the rear façade.</p> <p>The transitional element is set in approximately 2 feet, 9 inches from the northwest corner of the Significant Historic Structure and approximately 16 feet, 6 inches from the southwest corner.</p>
<p>LMC § 15-13-2(B)(4)(b)(5): In the case of additions to the secondary façade, visible from the primary public right-of-way, the transitional element shall be setback a minimum of five feet (5') from the primary façade. All other previous requirements apply.</p>	<p><i>Complies:</i> The Applicant proposes an addition and transitional element on the tertiary façade.</p>
<p>LMC § 15-13-2(B)(4)(b)(6): The depth of the transitional element (i.e., the distance between the affected historic elevation and the addition) shall be a minimum of one-third (1/3) the length of the least wide historic elevation adjacent to the impacted historic elevation.</p>	<p><i>Complies:</i> The Applicant proposes a transitional element that is approximately 11 feet, 10 inches deep – approximately ½ of the width of the 25-foot-wide rear elevation of the Significant Historic Structure to which it is attached.</p>
<p>LMC § 15-13-2(B)(4)(b)(7): The highest point of the transitional element shall be a minimum of two feet (2') lower than the highest ridgeline of the historic structure.</p>	<p><i>Complies:</i> The Applicant proposes a transitional element that is approximately 6 feet, 7 inches lower than the highest roof ridge of the Significant Historic Structure.</p>

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<p>LMC § 15-13-2(B)(4)(b)(8): Balconies and decks may be attached to the secondary facades of a transitional element; however, no roof deck is permitted on the transitional element.</p>	<p><i>Complies:</i> The Applicant does not propose roof deck on the transitional element. The transitional element will be covered by a shed roof.</p>
<p>LMC § 15-13-2(B)(4)(b)(9): When an existing non-historic or non-contributory addition is used as a transitional element, the preceding regulations for transitional elements shall not apply.</p>	<p><i>Complies:</i> The Applicant does not propose using an existing addition as the transitional element.</p>
<p>LMC § 15-132(B)(4)(c)(1): Additions shall complement the visual and physical qualities of the historic building. An addition shall not be designed to be an exact copy of the existing style or imply an earlier period or more ornate style than that of the historic building.</p>	<p><i>Complies:</i> The Applicant proposes wood, metal, and glass materials for the proposed addition that complement the Historic materials of the Significant Historic Structure. The Applicant does not propose an addition that is an exact copy of the architectural style of the Significant Historic Structure.</p>
<p>LMC § 15-13-2(B)(4)(c)(2): The addition shall be a contemporary interpretation of the historic structure's architecture style.</p>	<p><i>Complies:</i> The Applicant proposes wood, metal, and glass materials for the proposed addition, as well as vertically oriented windows, gabled roof forms, and other elements that represent a contemporary interpretation of the Significant Historic Structure's architecture style.</p>
<p>LMC § 15-13-2(B)(4)(c)(3): Additions shall be subordinate in scale to the primary historic structure. The footprint of an addition shall not exceed 50% of the footprint of the historic structure, including any additions that have achieved historic significance in their own right. If the footprint of the addition approaches or exceeds 50% of the footprint of the historic structure, the</p>	<p><i>Complies:</i> The proposed rear addition exceeds 50% of the footprint of the Significant Historic Structure. The Applicant proposes breaking up the massing of the proposed addition with separate gabled roof forms:</p>

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<p>mass shall be broken into modules to reflect the mass and scale of those modules seen on the historic structure.</p>	 <p>Figure 3: Excerpt from Applicant's plans showing front elevation of the Historic Structure and proposed addition at 405 Woodside Avenue.</p>
<p>LMC § 15-13-2(B)(4)(c)(4): Additions shall be visually subordinate to historic structures.</p>	<p><i>Complies:</i> The Historic Structure will remain superior to the rear addition when viewed from Woodside Avenue.</p>
<p>LMC § 15-13-2(B)(4)(c)(5): Large additions (additions with a footprint exceeding 50% of the footprint of the Historic Structure) shall be visually separated from historic buildings when viewed from the public right of way.</p>	<p><i>Complies:</i> The Applicant proposes a transitional element that is approximately 11 feet, 10 inches deep – approximately ½ of the width of the 25-foot-wide rear elevation of the Significant Historic Structure to which it is attached.</p>
<p>LMC § 15-13-2(B)(4)(c)(6): Building Components and materials used on additions shall be similar in scale and size to those found on the historic building.</p>	<p><i>Complies:</i> The Applicant proposes wood, metal, and glass materials for the proposed addition, as well as vertically oriented windows, gabled roof forms, and other elements that are similar in size and scale to those of the Significant Historic Structure.</p>
<p>LMC § 15-13-2(B)(4)(c)(7): Window shapes, patterns and proportions found on the historic building should be reflected in the new addition.</p>	<p><i>Complies:</i> The Applicant proposes windows on the new addition that are vertically oriented and reflect a 2:1 height-to-width ratio.</p>

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<p>LMC § 15-13-2(B)(4)(c)(8): Windows, doors and other features on a new addition shall be designed to be compatible with the historic structure and surrounding historic sites. Windows, doors and other openings shall be of sizes and proportions similar to those found on nearby historic structures.</p>	<p><i>Complies:</i> The Applicant proposes windows on the new addition that are vertically oriented and reflect a 2:1 height-to-width ratio.</p>
	<p>5. Garages</p>
<p>LMC § 15-13-2(B)(5)(c)(1): Single car wide tandem garages are recommended.</p>	<p><i>Complies:</i> The Applicant proposes a single-car wide garage on the rear addition, attached to the Significant Historic Structure. The Applicant proposes two parking spaces that are 11 feet wide and 20 feet deep in a tandem configuration within the garage.</p>
<p>LMC § 15-13-2(B)(5)(c)(2): A single vehicle garage door not greater than nine feet (9') wide and nine feet (9') high shall be used to access a basement garage addition. Glazing on garage doors shall be limited to no more than 30% of garage door.</p>	<p><i>Complies:</i> The Applicant proposes a garage door that is approximately 8 feet tall and 9 feet wide. The Applicant does not propose glazing on the garage door.</p>
<p>LMC § 15-13-2(B)(5)(c)(3): Garages featuring a side-by-side parking configuration, at a minimum, shall maintain a two foot (2') offset in the wall plane.</p>	<p><i>Complies:</i> The Applicant proposes tandem parking in the garage.</p>
	<p>6. Decks (Not Applicable: The Applicant Does Not Propose Any Decks)</p>
	<p>7. Balconies and Roof Decks</p>
<p>LMC § 15-13-2(B)(7)(a): New balconies and roof decks on a historic structure shall be visually subordinate to the historic structure from the primary right-of-way. Installing a balcony on a historic structure's primary façade is not allowed,</p>	<p><i>Complies:</i> The Applicant proposes a roof deck on the front façade of the proposed rear addition that will be screened by a metal railing. And will be set back approximately 12 feet, 6 inches from the rear wall plane of the Significant Historic Structure.</p> <p>The Applicant proposes a balcony on the front façade of the rear addition, above the garage, that will be set</p>

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however, a balcony may be considered on a secondary or tertiary facade.	back approximately five feet from the rear wall plane of the Significant Historic Structure.
LMC § 15-13-2(B)(7)(b): A new balcony shall be simple in design and compatible with the character of the historic structure. Simple wood and metal designs are appropriate for residential structures. Heavy timber and plastics are inappropriate materials.	<i>Complies:</i> The Applicant proposes steel, wood, and concrete materials for the roof deck and balcony.
LMC § 15-13-2(B)(7)(c): A roof deck on a new addition shall be visually minimized when viewed from the right-of-way.	<i>Complies:</i> The Applicant proposes a roof deck on the front façade of the proposed rear addition that will be screened by a metal railing. And will be set back approximately 12 feet, 6 inches from the rear wall plane of the Significant Historic Structure.
	<i>8. Historic Accessory Buildings (Not Applicable: There Are No Historic Accessory Buildings at the Site)</i>
	<i>9. New Accessory Buildings (Not Applicable: The Applicant Does Not Propose Any New Accessory Buildings)</i>

Conclusions of Law:

1. The proposal complies, as conditioned, with Land Management Code § 15-11-12 *Historic District or Historic Site Review*.
2. The proposal complies, as conditioned, with Land Management Code Chapter 15-2.2 *Historic Residential (HR-1) District*.
3. The proposal complies, as conditioned, with Land Management Code Chapter 15-3 *Off-Street Parking*.
4. The proposal complies, as conditioned, with Land Management Code § 15-13-2 *Regulations For Historic Residential Sites*.

Conditions of Approval:

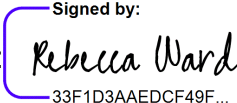
1. The Applicant shall install a WaterSense labeled irrigation controller pursuant to LMC § 15-5-5(N)(5) if using an irrigation system.
2. The Applicant shall submit detailed stormwater management and drainage plans to the Engineering Department for review prior to Building Permit issuance.

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3. Retaining wall drainage shall be designed to drain away from the walls.
4. The Applicant shall provide snow storage on-Site and obtain an encroachment agreement with the Engineering Department for the proposed heated driveway.
5. Pursuant to LMC § 15-11-9, the Applicant is required to provide a Financial Guarantee to ensure compliance with the conditions and terms of the Historic Preservation Plan.
6. All other previous conditions of approval applicable to this project remain in effect, including conditions of approval from the October 1, 2025 and March 11, 2026 Final Action Letters.
7. The proposed work requires a Building Permit.
8. The proposed work requires a Final Inspection by both the Building and Planning Departments.
9. Modifications to the project require a modification application submittal to the Planning Department, payment of application fee, review for compliance with required standards, and Planning and Building Department approval.
10. The designer, architect, and/or applicant shall be responsible for coordinating the approved architectural drawings, documents, and/or plans with the approved construction drawings and documents. The overall aesthetics of the approved HDDR architectural plans shall take precedence. Any discrepancies found among these documents that would cause a change in the approved construction drawings shall be reviewed and approved prior to construction.
11. This Historic District Design Review (HDDR) approval shall expire one year following the date of this letter at 5:00 PM (MT). The Applicant shall obtain a Building Permit for the proposed work prior to that date. If a Building Permit for the proposed work is not approved before that date, this Waiver Letter shall be voided, and the Applicant will be required to submit a new HDDR application to pursue the proposed work.

2. ADJOURNMENT

The Park City Administrative Public Hearing adjourned at approximately 12:19 p.m.

Approved by Planning Director:  Signed by:
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