



**PLANNING DEPARTMENT ADMINISTRATIVE PUBLIC HEARING  
SUMMIT COUNTY, UTAH  
May 21, 2026**

The Planning Department of Park City, Utah, will hold a Public Hearing in person at the Marsac Municipal Building, Planning Department Conference Room, at 445 Marsac Avenue, Park City, Utah 84060. Meetings will also be available online and may have options to listen, watch, or participate virtually.

Zoom Link: <https://us02web.zoom.us/j/88167820277>

**1. REGULAR AGENDA - 12:00PM**

- 1.A. **300 McHenry Avenue – Administrative Conditional Use Permit** – The Applicant Proposes to Construct Nine Walls Over Six Feet in Height for Landscaping at a Single Family Dwelling in the Estate Zoning District. PL-26-06882  
(A) Public Hearing; (B) Continuation to a Date Uncertain
- 1.B. **2909 Estates Place – Administrative Conditional Use Permit** – The Applicant Requests Approval to Maintain a 15-Foot-Tall Golf Net in the Rear Setback in the Residential Development Zoning District. PL-26-06891  
(A) Public Hearing; (B) Action
- 1.C. **1455 Woodside Avenue – Extension of Historic District Design Review** – The Applicant Requests a One-Year Extension to a Material Deconstruction and Relocation Approval for a Significant Historic Structure in the Recreation Commercial Zoning District. PL-26-06898  
(A) Public Hearing; (B) Action
- 1.D. **732 Crescent Road – Extension of Steep Slope Conditional Use Permit** – The Applicant Requests a One-Year Extension to a Steep Slope Conditional Use Permit Approval to Construct an Addition to a Landmark Historic Structure in the Historic Residential - 1 Zoning District. PL-26-06875  
(A) Public Hearing; (B) Action
- 1.E. **844 Empire Avenue – Extension of Historic District Design Review Approval** – The Applicant Requests a One-Year Extension to the Historic District Design Review Approved by the Planning Director on May 1, 2025. PL-26-06902  
(A) Public Hearing; (B) Action
- 1.F. **121 Sampson Avenue – Extension of a Historic District Design Review** – The Applicant Requests a One-Year Extension to Construct a New Single-Family Dwelling on a Steep Slope on a Vacant Lot. PL-26-06901  
(A) Public Hearing; (B) Action

Pursuant to the Americans with Disabilities Act, individuals needing special accommodations during the meeting should notify the Planning Department at 435-615-5060 or [planning@parkcity.gov](mailto:planning@parkcity.gov) at least 24 hours prior to the meeting.

**\*Parking is available at no charge for meeting attendees who park in the China Bridge parking**

**structure.**

# Planning Department Staff Report



**Subject:** 300 McHenry  
**Application:** PL-26-06878  
**Author:** Meredith Covey, Planner II  
**Date:** May 21, 2026  
**Type of Item:** Administrative Conditional Use Permit

## Recommendation

Continue the public hearing to a date uncertain to allow the Applicant time to update their plans.

## Description

Applicant: Robert Carey

Location: 300 McHenry Avenue

Zoning District: Estate  
Sensitive Land Overlay

Adjacent Land Uses: Single-Family Dwellings; Open Space

Reason for Review: Retaining walls greater than six feet in height require an Administrative Conditional Use Permit.<sup>1</sup>

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<sup>1</sup> LMC [§ 15-4-2](#)

# Planning Department Staff Report



**Subject:** 2909 Estates Place  
**Application:** PL-26-06891  
**Author:** Lillian Zollinger, Planner III  
**Date:** May 21, 2026  
**Type of Item:** Administrative Conditional Use Permit – Golf Net

## Recommendation

(I) Review the proposed 15-foot-tall golf net, (II) conduct a public hearing, and (III) consider approving the Administrative Conditional Use Permit based on the Findings of Fact, Conclusions of Law, and Conditions of Approval outlined in the Draft Final Action Letter (see Exhibit A).

## Description

**Applicant:** Sally Wilson  
**Location:** 2909 Estates Place  
**Zoning District:** Residential Development  
**Adjacent Land Uses:** Residential, Golf Course  
**Reason for Review:** The Planning Director conducts a public hearing and takes Final Action on Administrative Conditional Use Permits.<sup>1</sup>

ACUP Administrative Conditional Use Permit  
LMC Land Management Code  
RD Residential Development  
SFD Single-Family Dwelling

*Terms that are capitalized as proper nouns throughout this staff report are defined in LMC [§ 15-15-1](#).*

## Background

2909 Estates Place is a 21,800-square-foot unusual Lot in the Residential Development (RD) Zoning District and Lot 14 of the Meadow Estates Subdivision No. 1A in the Park Meadows neighborhood. There is an existing Single-Family Dwelling (SFD) on the site, as well as an existing 15-foot-tall and 45-foot-wide golf net. The Applicant requests approval to maintain the existing 15-foot-tall net within the Rear Setback to screen the site from golf balls from the neighboring course.

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<sup>1</sup> LMC [§ 15-1-8\(E\)](#)

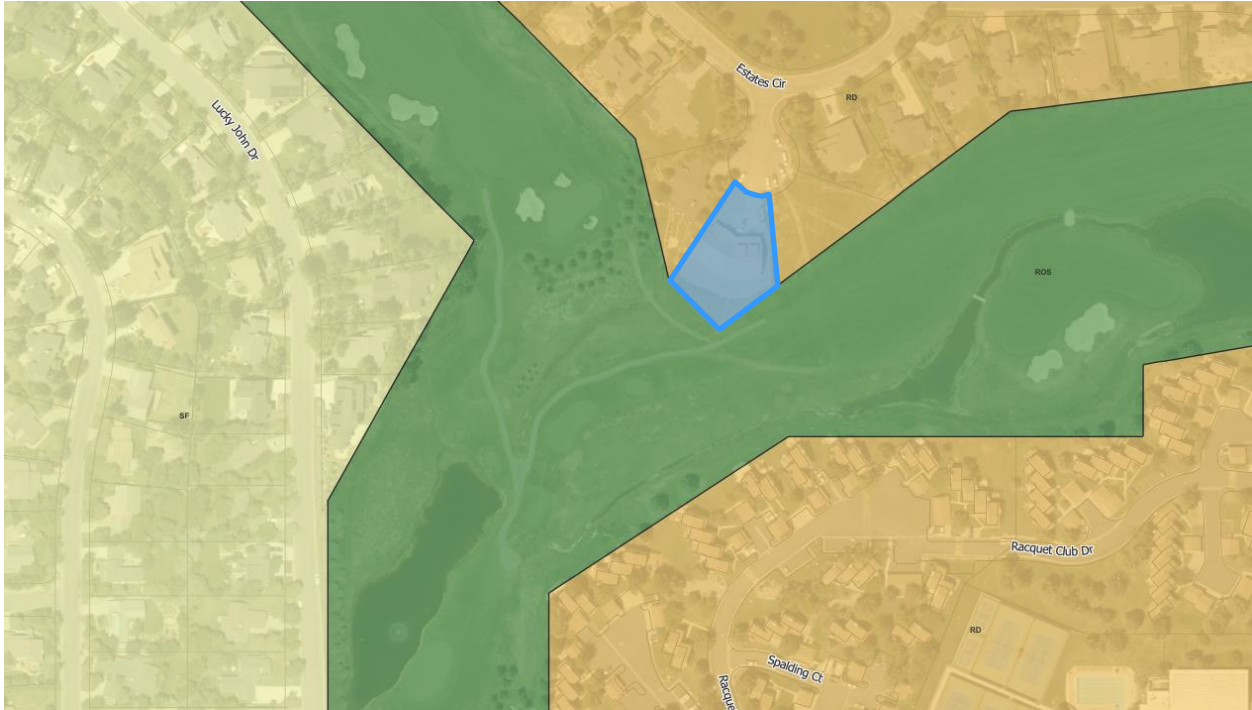


Figure 1: 2909 Estates Place highlighted blue by staff on an excerpt from the Zoning Map. The RD Zoning District is orange, the Single-Family Zoning District is yellow, and the Recreation and Open Space Zoning District and the Park Meadows Golf Course are green.

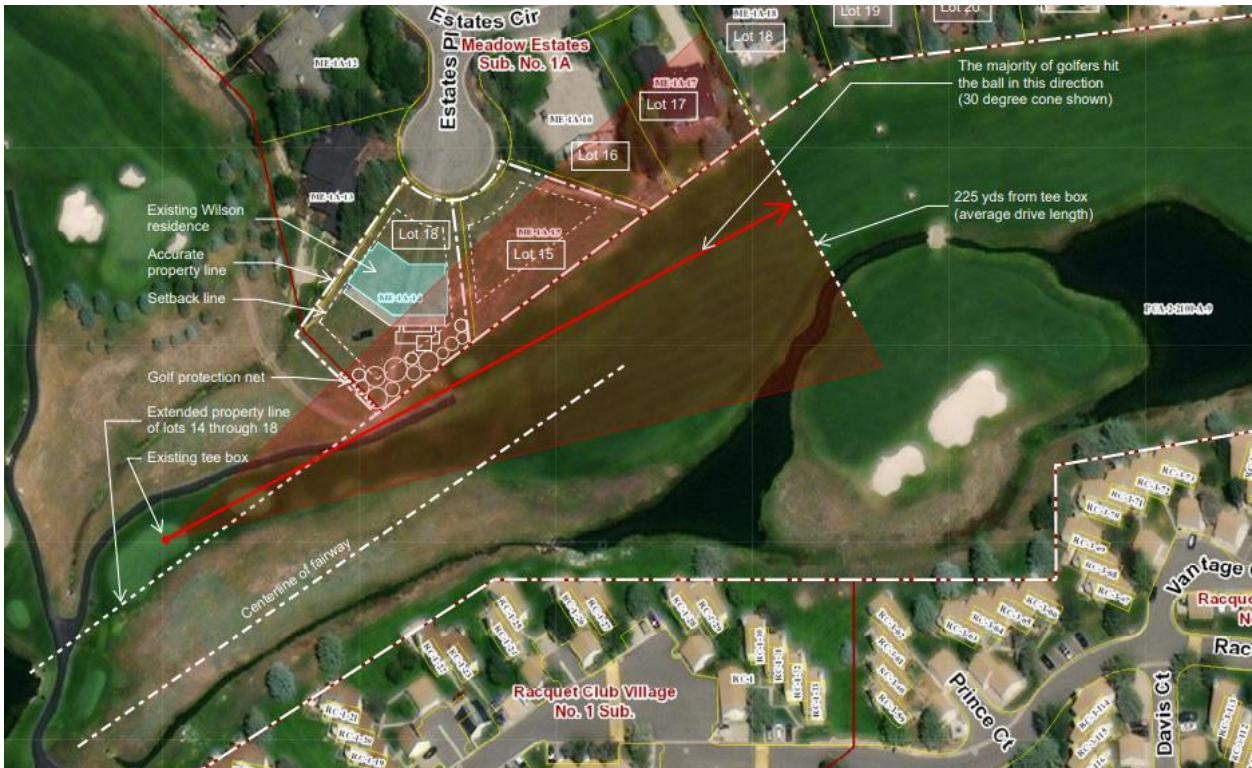


Figure 2: Golf analysis provided by the Applicant.

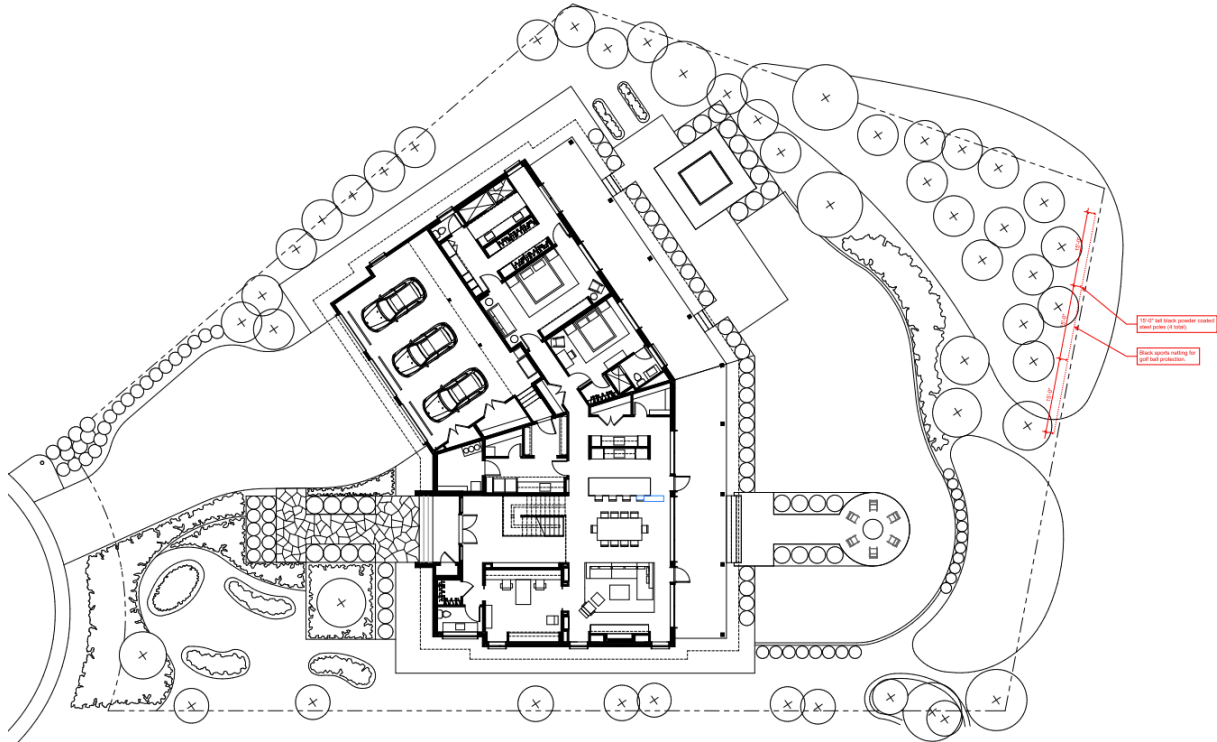


Figure 3: Proposed plans provided by the Applicant.



Figure 4: The existing golf net fence on an excerpt from Nearmap.

**Analysis**

See the Final Action Letter (Exhibit A).

**Department Review**

The Planning and Executive Departments reviewed this report.

### **Notice**

Staff published notice on the City's website and the Utah Public Notice website and posted notice to the property on May 7, 2026. Staff mailed courtesy notice to adjacent property owners on May 7, 2026.<sup>2</sup>

### **Public Input**

Staff did not receive any public input at the time this report was published.

### **Alternatives**

The Planning Director may:

- Approve the ACUP.
- Deny the ACUP and direct staff to make Findings for the denial.
- Request additional information and continue the discussion to a date certain.

### **Exhibits**

- A: Draft Final Action Letter  
Attachment 1 – Proposed Plans
- B: Applicant's Narrative

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<sup>2</sup> LMC [§ 15-1-21](#)



**Planning Department**

May 21, 2026

Sally Wilson

**NOTICE OF PLANNING DEPARTMENT ACTION**

**Description**

Address: 2909 Estates Place

Zoning District: Residential Development

Application: Administrative Conditional Use Permit

Project Number: PL-26-06891

Action: APPROVED WITH CONDITIONS (See Below)

Date of Final Action: May 21, 2026

Project Summary: The Applicant Proposes a 15-Foot-Tall Golf Net in the Rear Setback in the Residential Development Zoning District.

**Action Taken**

On May 21, 2026, the Planning Director conducted a public hearing and approved the Administrative Conditional Use Permit for a 15-foot-tall golf net, according to the following Findings of Fact, Conclusions of Law, and Conditions of Approval.

**Findings of Fact**

1. 2909 Estates Place is a Single-Family Dwelling (SFD) in the Residential Development Zoning District.
2. 2909 Estates Place is Lot 14 of the Meadow Estates Subdivision No. 1A in the Park Meadows neighborhood.
3. The Applicant requests approval to maintain a 15-foot-tall and 45-foot-wide golf net in the Rear Setback to screen the site from golf balls from the neighboring course.
4. Land Management Code (LMC) Chapter 15-2.13 outlines the requirements for the Residential Development (RD) Zoning District.



**Planning Department**

5. LMC § 15-15-1 defines Fence as, “A Structure to separate or divide outdoor Areas. The term Fence includes, but is not limited to, net Screening for golf balls, and masonry walls. A Fence need not be sight obscuring or light tight.”
6. Pursuant to LMC § 15-2.13-2(B)(40), Fences greater than six feet in Height from Final Grade are a Conditional Use and require an Administrative Conditional Use Permit (ACUP) in the RD Zoning District.
7. LMC § 15-2.13-3 outlines the following Lot and Site requirements for the RD Zoning District:

Requirement	Analysis of Proposal
Density – 3 units per acre	There is an existing SFD and the Applicant is not proposing any changes to the Density.
Front Setback – 20 feet	There are no proposed Structures in the Front Setback.
Rear Setback – 15 feet	<p><b>Reason for review –</b>            LMC § 15-2.13-3(E)(9) outlines exceptions to the Rear Setbacks, which include: “Fences, walls, and retaining walls not more than six feet (6’) in height.”</p> <p>Additionally, “Fences and walls greater than six feet (6’) in height requires an administrative Conditional Use permit.”</p>
Side Setbacks – 12 feet	There are no proposed Structures in the Side Setbacks.

8. LMC § 15-2.13-4 outlines the maximum Building Height is 28 feet. The existing net is 15 feet tall and complies.
9. Land Management Code Section 15-4-2 outlines requirements for Fences and Retaining Walls.
10. Pursuant to LMC § 15-4-2(A), “The height of retaining walls in the Side or Rear Setback may exceed six feet (6’), measured from Final Grade, subject to approval of an Administrative Conditional Use permit[.]”



**Planning Department**

11. The proposal, as conditioned, complies with the Conditional Use Permit criteria outlined in Land Management Code Section 15-1-10(E).
12. There are certain Uses that, because of unique characteristics or potential impacts on the municipality, surrounding neighbors, or adjacent land Uses, may not be Compatible in some Areas or may be Compatible only if certain conditions are required that mitigate or eliminate the detrimental impacts.
13. The Planning Department shall approve a Conditional Use if reasonable conditions are proposed, or can be imposed, to mitigate the reasonably anticipated detrimental effects of the proposed Use in accordance with applicable standards. The Planning Department may deny the Conditional Use if the proposed Use cannot be substantially mitigated by the proposal or imposition of reasonable conditions to achieve compliance with applicable standards. LMC § 15-1-10.

<b>CUP Review Criteria</b>	<b>Analysis of Proposal</b>
Size and location of the Site	No Required Mitigation – The size and location of the site are not being modified. The Applicant is requesting approval to maintain an existing golf net that is 15 feet tall.
Traffic considerations including capacity of the existing Streets in the Area	No Required Mitigation – The proposed net will not impact traffic.
Utility capacity, including Storm Water run-off	No Required Mitigation – The Snyderville Basin Water Reclamation District reviewed the proposal on May 5, 2026, and confirmed the proposal complied with their standards.
Emergency vehicle Access	No Required Mitigation - The Park City Fire District reviewed the proposal on May 5, 2026, and confirmed the proposal complied with their standards.
Location and amount of off-Street parking	No Required Mitigation – The proposed golf net does not require additional parking.



**Planning Department**

Internal vehicular and pedestrian circulation system	No Required Mitigation – The proposed golf net does not impact the vehicular or pedestrian circulation systems.
Fencing, Screening, and landscaping to separate the Use from adjoining Uses	<b>Complies</b> – The proposed golf net is to screen the SFD from the golf course.
Building mass, bulk, and orientation, and the location of Buildings on the Site; including orientation to Buildings on adjoining Lots	<b>Complies</b> – The proposed golf net is to screen the SFD from the golf course.
Usable Open Space	No Required Mitigation – The proposed golf net does not require additional parking.
Signs and lighting	No Required Mitigation – The Applicant does not propose signs or lighting.
Physical design and Compatibility with surrounding Structures in mass, scale, style, design, and architectural detailing	<b>Review requested –</b> The existing golf net is 15 feet tall and the posts are black powder steel poles.
Noise, vibration, odors, steam, or other mechanical factors that might affect people and Property Off-Site	No Required Mitigation – The proposed golf net does not cause noise or other mechanical factors.
Control of delivery and service vehicles, loading and unloading zones, and Screening of trash and recycling pickup Areas	No Required Mitigation – The proposed golf net does not require delivery or service vehicles.
Expected Ownership and management of the project as primary residences, Condominiums, time interval	<b>Complies</b> - The proposed net is entirely within the property and will be maintained by the property owner.



**Planning Department**

<p>Ownership, Nightly Rental, or commercial tenancies, how the form of Ownership affects taxing entities</p>	
<p>Within and adjoining the Site, Environmentally Sensitive Lands, Physical Mine Hazards, Historic Mine Waste and Park City Soils Ordinance, Steep Slopes, and appropriateness of the proposed Structure to the existing topography of the Site</p>	<p>No Required Mitigation – The proposed golf net is not on environmentally sensitive lands.</p>
<p>Reviewed for consistency with the goals and objectives of the Park City General Plan; however such review for consistency shall not alone be binding</p>	<p>The General Plan Community Character Strategy 2B states, “Strengthen existing neighborhoods through context-sensitive design requirements” The proposed net is like other nets in the neighborhood that are adjacent to the Park Meadows Country Club golf course.</p>
<p>Radon mitigation; the Planning Director or Planning Commission shall require residential Conditional Uses to include the installation of a basic radon remediation system that allows for the installation of a radon remediation air handler if or when radon mitigation is required for the space in accordance with residential building codes</p>	<p>Not applicable.</p>

14. The Development Review Committee reviewed the proposal on May 5, 2026, and confirmed the proposal complies with the required standards.

15. The Engineering Department requires Conditions of Approval 5 and 6.



## Planning Department

### Conclusions of Law

1. The proposal, as conditioned, complies with Land Management Code Chapter 15-2.13 *Residential Development District*.
2. The proposal, as conditioned, complies with Land Management Code Section 15-4-2 *Fences and Retaining Walls*.
3. The proposal, as conditioned, complies with Land Management Code Section 15-1-10 *Conditional Use Review Process*.

### Conditions of Approval

1. Final building plans shall be substantially similar to the plans reviewed on May 21, by the Planning Director. Any significant changes, modifications, or deviations from the approved plans that have not been approved in advance by the Planning and Building Departments may result in a stop work order.
2. The Applicant shall obtain a Building Permit for the existing golf net and complete all inspections by Building and Planning.
3. The existing golf net may not exceed 15 feet in height or 45 feet in width.
4. The proposed golf net shall be supported by four black powder coated steel poles and shall be limited to black golf netting material.
5. The golf net requires structural engineering, building permit approval, and final inspection.
6. The existing golf net is in a five-foot-wide utility easement. Prior to building permit submittal, the Applicant shall complete an at-risk agreement.

This Final Action may be appealed pursuant to LMC § 15-1-18. If you have questions or concerns regarding this Final Action Letter, please call (385) 481-2038 or email [lillian.zollinger@parkcity.gov](mailto:lillian.zollinger@parkcity.gov).

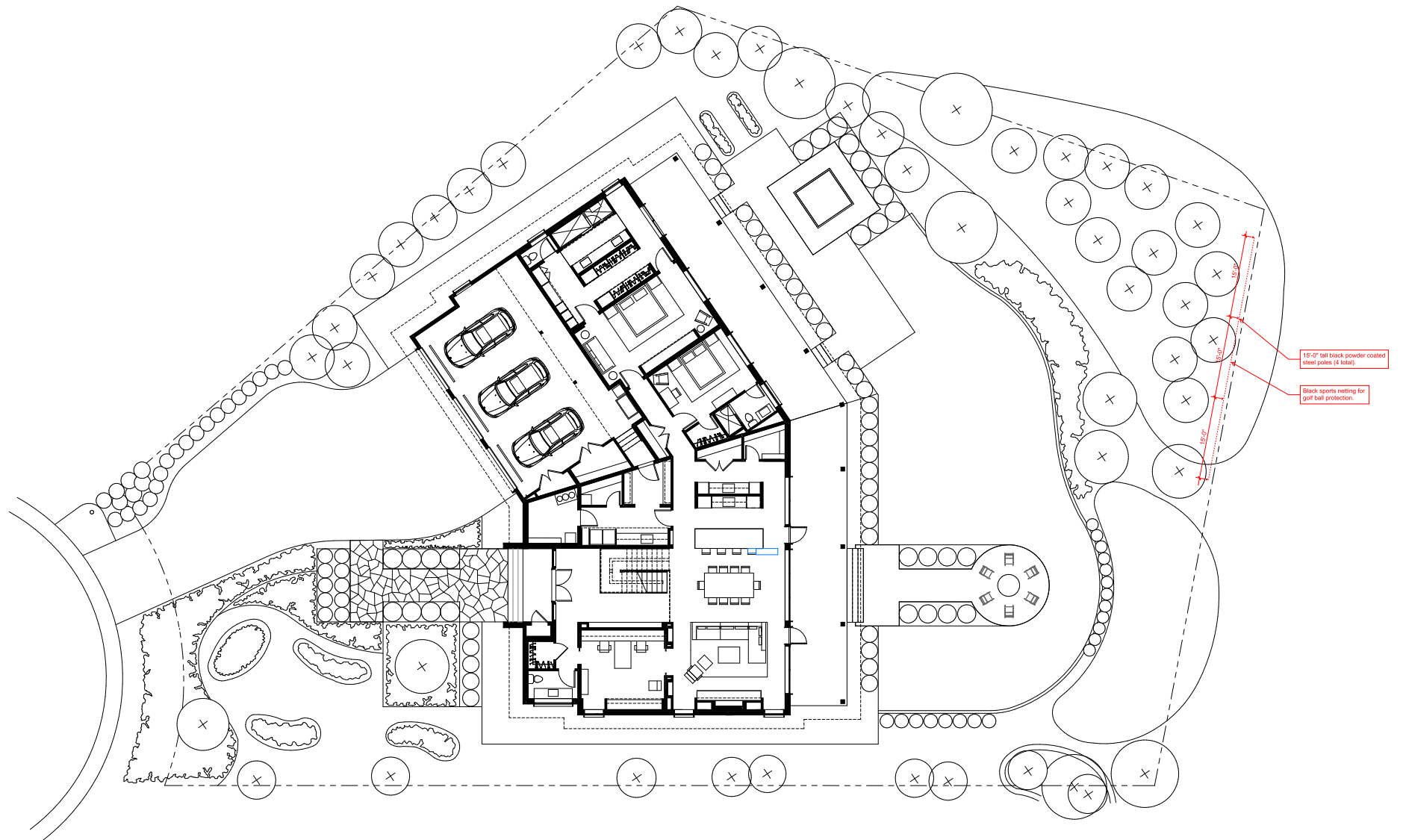
Sincerely,

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Rebecca Ward,  
Planning Director

CC: Lillian Zollinger

Attachment 1 – Proposed Plans



We are writing to request an Administrative Conditional Use Permit (CUP) for a golf protection net installed on our property in June 2025. We apologize for the delay in submitting this application, as we only recently became aware that the netting is classified as a fence and therefore requires both planning approval and a building permit.

Our property is uniquely situated along the Park Meadows Country Club (PMCC) golf course. We didn't realize until after moving into the house in June of 2024 the disproportionately high frequency of golf ball intrusion we would get compared to neighboring properties. This creates a site-specific hardship and presents both a risk of property damage and a legitimate safety concern, including multiple near-miss incidents involving occupants and guests.

During the design of our rear yard, we worked closely with Mike Councilman (PMCC General Manager) and Ben Timmons (PMCC Superintendent) to implement mitigation measures, including the construction of a berm and installation of a stand of trees. While these efforts were undertaken in good faith and in coordination with the golf course, they ultimately proved ineffective. During our first summer in 2024, two windows and four solar panels were broken, and we experienced several near misses involving personal safety.

In the spring of 2025, we again collaborated with Mr. Councilman and Mr. Timmons to develop a more effective solution. The resulting design—a golf net 15 feet high and 45 feet wide—was finalized and installed by a reputable contractor. Since installation, we have experienced no further property damage or safety incidents in the protected area.

We would also note that there is precedent throughout the golf course for similar protective measures addressing site-specific conditions. Our netting is not visible from the street in front of our home and is only faintly visible from Lucky John Drive, with the nearest vantage point approximately 700 feet away.



*View of Wilson Residence from Lucky John Drive taken 03.29.26 with golf protection net raised and landscape barriers in place.*

Park Meadows Country Club is scheduled to open for the season on April 17, 2026. Given the demonstrated safety risks, we have kept the netting in place to protect both occupants and property.

This request is fundamentally a matter of both life safety and property safety. We have notified adjacent neighbors that they will be contacted as part of this process. Accordingly, we respectfully request that the City prioritize review of our application.

Thank you for your consideration.

# Planning Department Staff Report



**Subject:** 1455 Woodside Avenue  
**Application:** PL-26-06898  
**Author:** Lillian Zollinger, Planner III  
**Date:** May 21, 2026  
**Type of Item:** Historic District Design Review Extension

## Recommendation

(I) Review the proposed Historic District Design Review Extension, (II) conduct a public hearing, and (III) consider approving the Extension for one year based on the Draft Findings of Fact, Conclusions of Law, and Conditions of Approval (Exhibit A).

## Description

**Applicant:** Diane Newland, represented by Molly Guinan  
**Location:** 1455 Woodside Avenue, a Significant Historic Site  
**Zoning District:** Recreation Commercial  
**Adjacent Land Uses:** Residential, Multi-Unit Dwellings  
**Reason for Review:** The Planning Director conducts a public hearing and takes Final Action on a Historic District Design Review Extension.<sup>1</sup>

HPB Historic Preservation Board  
HSI Historic Site Inventory  
LMC Land Management Code  
RC Recreation Commercial  
SFD Single-Family Dwelling

*Terms that are capitalized as proper nouns throughout this staff report are defined in LMC [§ 15-15-1](#).*

## Background

On March 5, 2025, the Historic Preservation Board (HPB) reviewed the proposal to remove a 1960s addition, restore the front porch, and Relocate 1455 Woodside Avenue, a Significant Historic Structure, conducted a public hearing, and directed staff to draft a Final Action Letter approving the project ([Packet Item 6.B.](#); [Meeting Minutes](#)).

On May 7, 2025, the HPB approved the Material Deconstruction and Relocation ([Packet Item 7.C.](#); [Meeting Minutes](#)) and on May 9, 2025, the HPB Chair signed the Final Action Letter. See Exhibit B for the Final Action Letter and Approved Plans.

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<sup>1</sup> LMC [§ 15-11-12\(E\)](#)

## **Analysis**

Land Management Code (LMC) [§ 15-11-12\(E\)](#) states, “The Planning Director or designee may grant an extension of [a Historic District Design Review] approval for one (1) additional year when the Applicant is able to demonstrate no change in circumstance that would result in an unmitigated impact or that would result in a finding of non-compliance with the Park City General Plan or the Land Management Code in effect at the time of the extension request. Change of circumstance includes physical changes to the Property or surroundings. Notice shall be provided consistent with the original [Historic District Design Review] approval per Sections 15-1-12 and 15-1-21. Extension requests must be submitted to the Planning Department in writing prior to the date of the expiration of the [Historic District Design Review] approval.”

On April 24, 2026, prior to the May 9, 2026 expiration date, the Applicant submitted the Extension application and request in writing. See Exhibit C for the Applicant’s extension request.

The Applicant proposes no changes to the original approval.

There has been no change in circumstance, nor have there been any changes to the property or surroundings that would result in an unmitigated impact or a finding of noncompliance.

Staff provided notice consistent with the original approval pursuant to LMC Sections 15-1-12 and 15-1-21.

## **Department Review**

The Planning and Executive Departments reviewed this report.

## **Notice**

Staff published notice on the City’s website and the Utah Public Notice website and posted notice to the property on May 7, 2026. Staff mailed courtesy notice to property owners within 100 feet on May 7, 2026.<sup>2</sup>

## **Alternatives**

The Planning Director may:

- Approve the Extension.
- Deny the Extension and direct staff to make Findings for the denial.
- Request additional information and continue the discussion to a date uncertain.

## **Exhibits**

A: Draft Final Action Letter

Attachment 1 - May 9, 2025 HPB Final Action Letter and Approved Plans

B: Request for Extension

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<sup>2</sup> LMC [§ 15-1-21](#)



**Planning Department**

May 21, 2026

Diane Newland  
CC: Molly Guinan

**NOTICE OF PLANNING DEPARTMENT ACTION**

**Description**

Address: 1455 Woodside Avenue  
Significant Historic Site

Zoning District: Recreation Commercial

Application: Extension

Project Number: PL-26-06898, Extension of Material Deconstruction and Relocation (PL-23-05777)

Action: APPROVED WITH CONDITIONS

Date of Final Action: May 21, 2026

Project Summary: The Applicant proposes a one-year extension of the Historic Preservation Board’s May 7, 2026 approval for Material Deconstruction to remove a 1960s addition, restore the front porch of the Significant Historic Structure to its 1904 form, and Relocate the Historic Structure to a three-foot south Side Setback and 12-foot, 6-inch Front Setback.

**Action Taken**

On May 21, 2026, the Planning Director conducted a public hearing and approved the extension of the Historic District Design Review Material Deconstruction and Relocation for 1455 Woodside Avenue based on the Findings of Fact, and Conclusions of Law, and Conditions of Approval:

**Findings of Fact**

1. 1455 Woodside Avenue is a Significant Historic T/L cottage constructed circa 1904.
2. On March 5, 2025, the Historic Preservation Board (HPB) reviewed the proposal to remove a 1960s addition, restore the front porch, and Relocate 1455



## Planning Department

Woodside Avenue, a Significant Historic Structure, conducted a public hearing, and directed staff to draft a Final Action Letter approving the project.

3. On May 7, 2025, the HPB approved the Material Deconstruction and Relocation and on May 9, 2025, the HPB Chair signed the Final Action Letter.
4. Land Management Code (LMC) § 15-11-12(E) states, "The Planning Director or designee may grant an extension of [a Historic District Design Review] approval for one (1) additional year when the Applicant is able to demonstrate no change in circumstance that would result in an unmitigated impact or that would result in a finding of non-compliance with the Park City General Plan or the Land Management Code in effect at the time of the extension request. Change of circumstance includes physical changes to the Property or surroundings. Notice shall be provided consistent with the original [Historic District Design Review] approval per Sections 15-1-12 and 15-1-21. Extension requests must be submitted to the Planning Department in writing prior to the date of the expiration of the [Historic District Design Review] approval."
5. On April 24, 2026, prior to the May 9, 2026 expiration date, the Applicant submitted the Extension application and request in writing. See Exhibit B for the Applicant's extension request.
6. The Applicant proposes no changes to the original approval.
7. There has been no change in circumstance, nor have there been any changes to the property or surroundings that would result in an unmitigated impact or a finding of noncompliance.
8. Staff provided notice consistent with the original approval pursuant to LMC § 15-1-12 and § 15-1-21.

### Conclusions of Law

1. The extension complies with LMC § 15-11-12(E).

### Conditions of Approval

1. All Conditions of Approval outlined in the HPB's Final Action Letter dated May 9, 2025, continue to apply.
2. This extension shall expire May 7, 2027.

This Final Action may be appealed pursuant to LMC § 15-1-18. If you have questions or concerns regarding this Final Action Letter, please call (435) 615-5068 or email [lillian.zollinger@parkcity.gov](mailto:lillian.zollinger@parkcity.gov).



**Planning Department**

Sincerely,

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Rebecca Ward,  
Planning Director

CC: Lillian Zollinger, Project Planner

Attachment 1 – May 9, 2025 Historic Preservation Board Final Action Letter and  
Approved Plans

DRAFT



**Planning Department**

May 9, 2025

Diane and Bill Newland  
1455 Woodside Avenue  
Park City, UT 84060

CC: Molly Guinan

**NOTICE OF HISTORIC PRESERVATION BOARD ACTION**

**Description**

Address: 1455 Woodside Avenue

Zoning District: Recreation Commercial

Application: Material Deconstruction and Relocation

Project Number: PL-23-05777

Action: APPROVED WITH CONDITIONS

Date of Final Action: May 7, 2025

Project Summary: The Applicant proposes Material Deconstruction to remove a 1960s addition, restore the front porch of the Significant Historic Structure to its 1904 form, and Relocate the Historic Structure to a three-foot south Side Setback and 12-foot, 6-inch Front Setback.

**Action Taken**

On May 7, 2025, the Historic Preservation Board conducted a public hearing and approved the removal of a 580-square-foot 1960s addition and restoration of the front porch materials, and directed staff to draft a Final Action Letter approving the Relocation of the Significant Historic Structure according to the following Findings of Fact, and Conclusions of Law, and Conditions of Approval:

**Findings of Fact**

1. 1455 Woodside Avenue is a Significant Historic T/L cottage constructed circa 1904.
2. The site is in the Recreation Commercial Zoning District.
3. The site is a metes-and-bounds parcel approximately 83 feet in depth and 107 feet, 5 inches in width, 9,047 square feet.



## Planning Department

4. The Significant Historic Structure is 1,065.44 square feet.

### Material Deconstruction

5. There is an addition on the rear of the Significant Historic Structure constructed in the 1960s. The Applicant proposes to remove the addition and restore the Significant Historic Structure to the 1904 form.
6. The 1960s addition, while over 50 years old, does not contribute to the historic significance of the site because it does not represent the Mature Mining Era (1894-1930) form. The Applicant proposes to rehabilitate the Significant Historic Site to its 1904 form.
7. Removal of the 1960s addition will allow the Applicant to construct an addition, which will be subject to LMC § 15-13-2, *Regulations for Historic Residential Sites*, including a required transitional element that will separate the 1904 form from the addition, and will require compatibility in materials and massing with the 1904 form.
8. No historic material from the 1904 form is proposed to be removed and the removal of the non-historic addition complies with LMC § 15-11-12.5(A)(b), *Historic Preservation Board Review For Material Deconstruction*.

### Reconstruction of Porch

9. There is an existing historic porch form with materials that have been replaced – the wood base was replaced with a concrete pad and the wood posts were replaced and are now failing. The Applicant proposes to remove the porch and restore the wood materials.
10. LMC § 15-13-2(A) states, "Owners are encouraged to reproduce missing historic elements that were original to the building, but have been removed." LMC § 15-13-2(B)(2)(g)(4) states, "Replacement porches shall be constructed of materials and in styles that are compatible with the structure to which they are attached. When possible the reconstructed porch shall be based on physical or documentary evidence; when no such evidence exists, the design shall be based on historic porches found on comparable historic structures."
11. The proposed plans comply with these sections because the Applicant proposes to reconstruct the front porch with appropriate materials for the time.

### Relocation

1. The Significant Historic Structure is 22 feet, eight inches from the southeastern property line, and the Applicant proposes to Relocate it to maintain a three-foot south Side Setback and 12-foot, 6-inch Front Setback.



**Planning Department**

2. The Historic Preservation Board finds the proposed Relocation complies with LMC § 15-11-13, wherein:

A. For a Significant Site all the following shall be met:

i. A licensed structural engineer has certified that the Historic Structure can successfully be relocated and the applicant has demonstrated that a professional building mover will move the building and protect it while being stored; and  
**Complies: The Applicant provided a Physical Conditions Report completed by Mission Structural, which noted "...the lift and relocation of this historic structure can be accomplished so long as exploratory work is carried out and structural modifications are implemented if and where required. In addition, structural stabilization methods will be required prior to relocation and code compliant connections must be engineered to secure the existing structure to its new foundation."**

ii. The proposed relocation will not have a detrimental effect on the structural soundness of the building or structure;  
**Complies: In the Physical Conditions report, Mission Structural noted that the following should be further analyzed and may be required prior to lifting to ensure the soundness of the Significant Historic Structure for lifting:**

- **Installing new structural hardware connections between existing boundary elements.**
- **Constructing temporary braces strategically placed within the boundary walls.**
- **Diaphragm reinforcement for the interior floor wood planks.**

B. For Significant sites, at least one of the following shall be met:

- i. The proposed relocation will abate demolition of the Historic Structure on the Site; or  
**Not met**
- ii. The Planning Director and Chief Building Official determine that the building is threatened in its present setting because of hazardous



## Planning Department

conditions and the preservation of the building will be enhanced by relocating it; or

### **Not met**

- iii. The Historic Preservation Board, with input from the Planning Director and the Chief Building Official, determines that unique conditions warrant the proposed relocation and/or reorientation on the existing Site. Unique conditions shall include all of the following:
  - (1) The historic context of the Historic Structure has been so radically altered that the proposed relocation will enhance the ability to interpret the historic character of the Historic Structure and the Historic District or its present setting; and  
**Complies: Since the Historic Structure is in the Recreation Commercial Zoning District, the setting of the structure is unique, and the setting of the area has been significantly modified. The original historic context of this area has been radically altered due to new construction allowed in the Recreation Commercial Zoning District that would typically be more restricted in a Historic Zoning District.**
  - (2) The proposed relocation will not diminish the overall physical integrity of the Historic District or diminish the historical associations used to define the boundaries of the district; and  
**Not Applicable: As the Historic Structure is in the Recreation Commercial Zoning District, this criterion does not apply.**
  - (3) The historical integrity and significance of the Historic Structure will not be diminished by relocation and/or reorientation; and  
**Complies: The Historic Structure will be preserved and not be diminished by its proposed relocation.**
  - (4) The potential to preserve the Historic Structure will be enhanced by its relocation.  
**Complies: As conditioned, with the creation of a Lot for the Significant Historic Site that is 37 feet and 4 inches in width, and subdividing the remaining parcel to create a middle 26-foot, 8-inch-wide Lot and 43-foot**



## Planning Department

**4 1/2-inch-wide Lot, the proposed relocation will enhance the site by creating a transition between adjacent new northern development and the three Historic Sites to the south.**

### Conclusions of Law

1. The removal of the 1960s addition to the Significant Historic Structure, as conditioned, complies with the requirements of LMC § 15-11-12.5 *Material Deconstruction*.
2. The restoration of the Significant Historic Structure porch, as conditioned, complies with the requirements of LMC § 15-13-2 *Regulations for Historic Residential Sites*.
3. The relocation of the Significant Historic Structure, as conditioned, complies with the requirements of the LMC § 15-11-13, *Relocation And/Or Reorientation Of A Historic Building Or Historic Structure*.

### Conditions of Approval

1. The Applicant must complete Historic District Design Review and Subdivision prior to submitting a building permit.
2. The Applicant shall submit a Subdivision Application and propose to the Planning Commission three Lots: the southern Historic Lot shall measure 37 feet, 4 inches in width, the middle Lot shall measure 26 feet, 8 inches in width, and the northern-most Lot shall measure 43 feet, 4 ½ inches in width.
3. The Relocation of the Significant Historic Structure is conditioned upon approval of a Subdivision as conditioned herein, and recordation of the Subdivision plat with Summit County.
4. The Applicant shall locate the driveway on the north side of the Historic Structure to create a buffer between the Historic Structure and new development.
5. The Setbacks on the Historic Lot shall be 12-foot, 6-inch Front Setback, three-foot Side Setbacks, and 12-foot, 6-inch Rear Setback.
6. The Applicant shall provide the City with a Financial Guarantee, in accordance with LMC § 15-11-19, to be recorded with the Summit County Recorder's Office prior to submitting a building permit.

If you have questions or concerns regarding this Final Action Letter, please call (435) 615-5068 or email [lillian.zollinger@parkcity.org](mailto:lillian.zollinger@parkcity.org).

Sincerely,



**Planning Department**

DocuSigned by:

*Douglas Stephens*  
84AB0B8F15194A8...

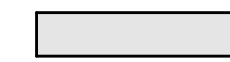

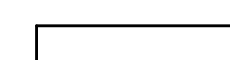


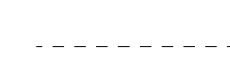
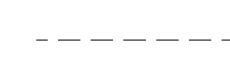
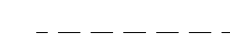
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Doug Stephens,  
Historic Preservation Chair

CC: Lillian Zollinger, Project Planner

# Proposed Historic Lot Modification

## Legend

-  Lot 2 Non-Historic
-  Lot 1 Single Family Residence With Reposition Of Historic House
-  Building Footprint
-  Paved Driveway
-  Property Line
-  Building Pad (Demarcates Setbacks)
-  Lot Boundary
-  Parking Space

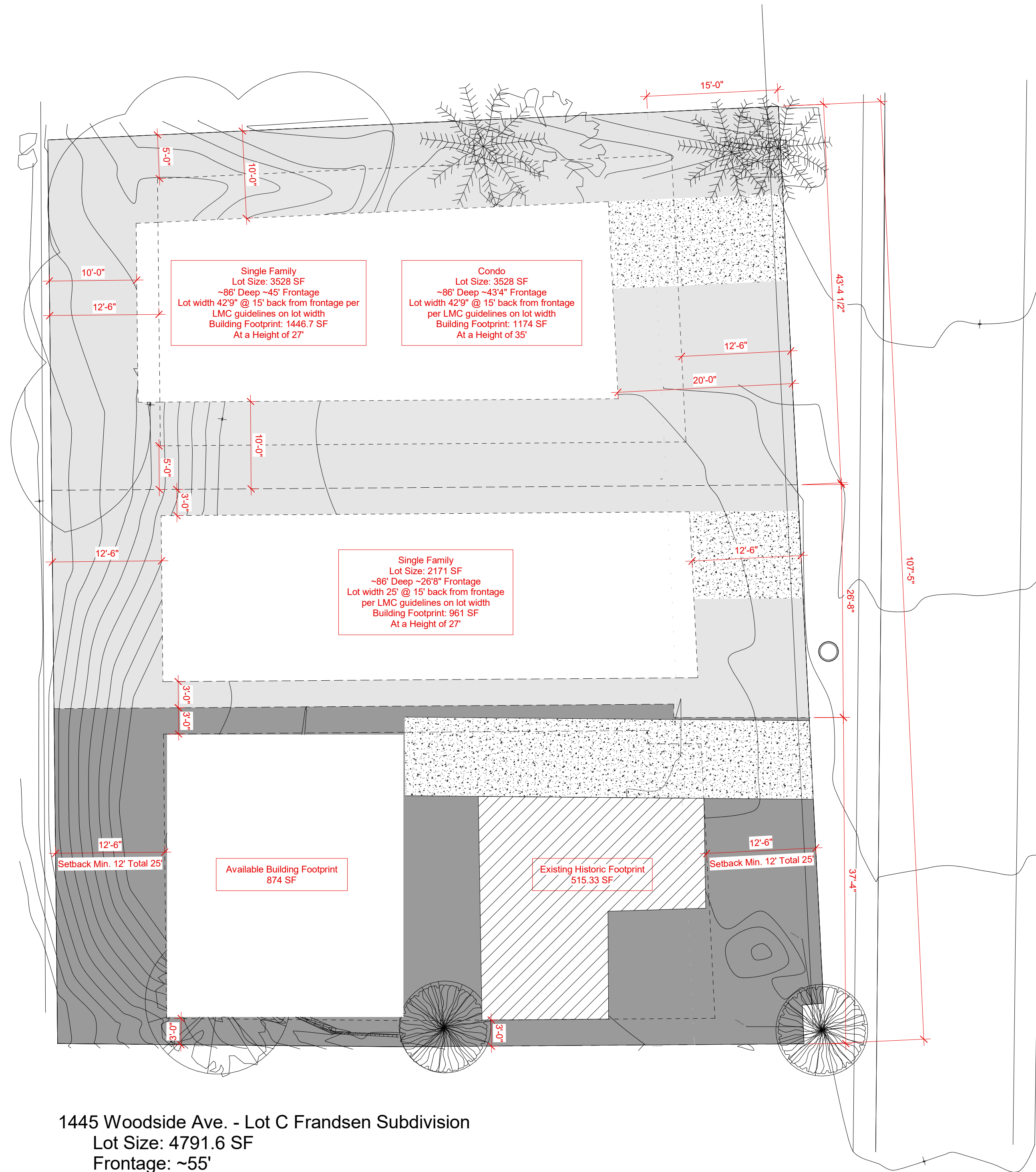
## Proposed Lot 1

Lot Size: 3348 SF  
~87' Deep ~37.4' Width

Per LMC 15-2.16-5 (D),  
Max. Building Footprint:  
1,387 SF (515.33 SF  
Historic Included)  
Max. Height: 27'

Historic home moves:  
to the 3' South side yard  
setback and 12'6" to East  
from yard setback.

~3' to East ~19'5" to South



1445 Woodside Ave. - Lot C Frandsen Subdivision  
Lot Size: 4791.6 SF  
Frontage: ~55'

Per LMC Table 15-2.16,  
Required Side Setbacks: 5' Min. 18' Total

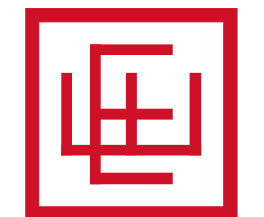
1439 Woodside Ave. - Lot A Frandsen Subdivision  
Lot Size: 3920.4 SF  
Frontage: ~55.5'

Per LMC Table 15-2.16,  
Required Side Setbacks: 5' Min. 14' Total

Lot configurations for illustrative purposes only  
for single family homes, subject to requirements  
of Park City Municipal Land Management Code,  
and all required Park City Municipal approvals.  
Not to be relied upon by Buyer as representative  
of any aspect of possible development. Buyer to  
conduct own due diligence.

1 Proposed Plan HPB working copy  
private driveway  
1/8" = 1'-0"

ELLIOTT WORKGROUP LLC  
1441 West Ute Blvd, Suite 100  
Park City, Utah 84098  
435-649-0092 or 801-415-1839  
elliottworkgroup.com



Newlands  
Newland Residence

1455 Woodside Ave  
Park City, UT 84060

Project Status

Notice: This design development package is to be used in  
conjunction with the collective knowledge and expertise of  
the project team to further develop the project design,  
details and scope. Estimating and budgets should not be  
based solely on these documents. No bidding or  
construction should be based on these documents.

Rev.	Date	Description

ISSUE DATE: 2025.03.19  
OWNER PROJECT NO: .  
CONTRACT NO: .  
DRAWN BY: Author  
CHECKED BY: Checker  
DESIGNED BY: Designer  
EWG PROJECT NO: 2024.12  
COPYRIGHT: Elliott Workgroup, LLC

SHEET TITLE

HPB proposal Doc

AO-049

ELLIOTT WORKGROUP



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Written Statement:

An extension is being filed to allow for additional time to begin the project after the passing of our clients husband. Due to her change in personal circumstances, she has not been able to start the project as soon as she had planned.

No modifications to the original approval are being requested.

# Planning Department Staff Report



**Subject:** 732 Crescent Road  
**Application:** PL-26-06875  
**Author:** Lillian Zollinger, Planner III  
**Date:** May 21, 2026  
**Type of Item:** Steep Slope Conditional Use Permit Extension

## Recommendation

(I) Review the proposed Steep Slope Conditional Use Permit Extension, (II) conduct a public hearing, and (III) consider approving the Extension for one year based on the Draft Findings of Fact, Conclusions of Law, and Conditions of Approval (Exhibit A).

## Description

**Applicant:** Wasatch Holdings, LLC  
**Location:** 732 Crescent Road, a Landmark Historic Site  
**Zoning District:** Historic Residential - 1  
**Adjacent Land Uses:** Residential, Open Space  
**Reason for Review:** The Planning Director takes Final Action on an Extension of Steep Slope Conditional Use Permits.<sup>1</sup>

HDDR Historic District Design Review  
HR-1 Historic Residential - 1  
LMC Land Management Code

*Terms that are capitalized as proper nouns throughout this staff report are defined in LMC [§ 15-15-1](#).*

## Background

732 Crescent Road is [Landmark Historic Structure](#) on the City's Historic Sites Inventory<sup>2</sup> and an unusual 5,668-square-foot Lot in the Historic Residential-1 (HR-1) Zoning District.

On October 2, 2024, the Historic Preservation Board approved the reconstruction of the Carl Winter's Addition A, the removal of 60 square feet of material from Addition C to accommodate a transitional element and Material Deconstruction to accommodate a basement and addition to the Landmark Historic Structure on a secondary façade ([Packet Item 7.A](#); [Minutes](#)). The Historic Preservation Board approved the restoration of the Landmark Historic Structure to its 1938 form.

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<sup>1</sup> LMC [§ 15-1-10\(G\)](#)

<sup>2</sup> LMC [§ 15-11-10\(D\)\(1\)\(c\)](#)

On March 12, 2025, the Planning Commission approved the Preliminary Subdivision Plat (PL-22-05223) to create one Lot from metes-and-bounds Parcel PC-338-B ([Packet Item 5.D.](#); [Minutes](#)).

On April 2, 2025, the Planning Commission approved a Steep Slope Conditional Use Permit (PL-23-05740) to construct the basement and rear addition on the Landmark Historic Site ([Packet Item 5.E.](#); [Minutes](#)).

On June 5, 2025, the Planning Director approved the 732 Crescent Tram Subdivision Plat (PL-22-05223) ([Packet Item 2.B.](#), [Minutes](#)) and the Historic District Design Review (HDDR) (PL-23-05741) for 732 Crescent Road ([Packet Item 2.C.](#), [Minutes](#)). The HDDR expires on June 5, 2025.

On September 12, 2025, Summit County recorded the 732 Crescent Tram Subdivision Plat (Recorder [No. 1240947](#)).

### **Analysis**

Land Management Code (LMC) [§ 15-1-10\(G\)](#) states:

*“Unless otherwise indicated, Conditional Use permits expire one (1) year from the date of Planning Commission approval, unless the Conditional Use has commenced on the project or a Building Permit for the Use has been issued. The Planning Director may grant an extension of a Conditional Use permit for one (1) additional year when the Applicant is able to demonstrate no change in circumstance that would result in an unmitigated impact or that would result in a finding of non-compliance with the review criteria in Section 15-1-10 (E) or other provisions of the Land Management Code in effect at the time of the extension request...*

*The Planning Commission may grant an additional one (1) year extension when the Applicant is able to demonstrate no change in circumstance that would result in an unmitigated impact or that would result in a finding of non-compliance with review criteria in Section 15-1-10(E) or other provisions of the Land Management Code in effect at the time of the extension request. Change of circumstance includes physical changes to the Property or surroundings. Notice shall be provided consistent with the original Conditional Use permit approval per Section 15-1-12. Extension requests must be submitted in writing prior to the expiration of the Conditional Use permit.”*

On March 31, 2026, prior to the April 2, 2026 expiration date, the Applicant submitted the Extension application and request in writing (Exhibit C).

The Applicant proposes no changes to the original approval.

There has been no change in circumstance, nor have there been any changes to the property or surroundings that would result in an unmitigated impact or a finding of noncompliance.

Staff noticed the extension pursuant to the requirements of LMC [§ 15-1-12](#).

### **Department Review**

The Planning and Executive Departments reviewed this report.

### **Notice**

Staff published notice on the City's website and posted notice to the property on May 7, 2026. Staff mailed courtesy notice to property owners within 300 feet on May 7, 2026.<sup>3</sup>

### **Alternatives**

The Planning Director may:

- Approve the Extension.
- Deny the Extension and direct staff to make Findings for the denial.
- Request additional information and continue the discussion to a date uncertain.

### **Exhibits**

A: Draft Final Action Letter

Attachment 1: April 2, 2025 Planning Commission Final Action Letter and Approved Plans

B: Request for Extension

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<sup>3</sup> LMC [§ 15-1-21](#)



**Planning Department**

May 21, 2026

Wasatch Holdings, LLC  
CC: Bill Van Sickle

**NOTICE OF PLANNING DEPARTMENT ACTION**

**Description**

Address: 732 Crescent Road  
Landmark Historic Site

Zoning District: Historic Residential - 1

Application: Extension

Project Number: PL-26-06875, Extension of Steep Slope Conditional Use Permit (PL-23-05740)

Action: APPROVED WITH CONDITIONS (See Below)

Date of Final Action: May 21, 2026

Project Summary: The Applicant proposes a one-year extension of the Planning Commission's April 2, 2025 Steep Slope Conditional Use Permit approval to construct a basement and rear addition to a Landmark Historic Structure at 732 Crescent Road on Very Steep Slopes.

**Action Taken**

On May 21, 2026, the Planning Director conducted a public hearing and approved the extension of the 732 Crescent Road Steep Slope Conditional Use Permit according to the following Findings of Fact, Conclusions of Law, and Conditions of Approval:

**Findings of Fact**

1. 732 Crescent Road is Landmark Historic Structure and an unusual 5,668-square-foot Lot in the Historic Residential-1 (HR-1) Zoning District.
2. On April 2, 2025, the Planning Commission approved a Steep Slope Conditional Use Permit to construct a basement and rear addition to a Landmark Historic Structure at 732 Crescent Road on Very Steep Slopes.
3. Land Management Code (LMC) § 15-1-10(G) states "[t]he Planning Director may grant an extension of a Conditional Use permit for one (1) additional year when the Applicant is able to demonstrate no change in circumstance that would result in an unmitigated impact or that would result in a finding of non-compliance with



## Planning Department

the review criteria in Section 15-1-10(E) or other provisions of the Land Management Code in effect at the time of the extension request. Change of circumstance includes physical changes to the Property or surroundings. Notice shall be provided consistent with the original Conditional Use permit approval per Section 15-1-12. Extension requests must be submitted in writing prior to the expiration of the Conditional Use permit.”

4. The Applicant’s Steep Slope Conditional Use Permit expires April 2, 2026.
5. On March 31, 2026, prior to the expiration date, the Applicant submitted the Extension application and request in writing.
6. The Applicant proposes no changes to the original approval.
7. There has been no change in circumstance, nor have there been any changes to the property or surroundings that would result in an unmitigated impact or a finding of noncompliance.
8. Staff provided notice consistent with the original approval pursuant to LMC § 15-1-12.

### Conclusions of Law

1. The extension complies with LMC § 15-1-10(G).

### Conditions of Approval

1. All Conditions of Approval outlined in the Planning Commission’s Final Action Letter dated April 2, 2025, continue to apply.
2. This extension shall expire April 2, 2027.

This Final Action may be appealed pursuant to LMC § 15-1-18. If you have questions or concerns regarding this Final Action Letter, please call Lillian Zollinger, at 385-481-2038, or email [lillian.zollinger@parkcity.gov](mailto:lillian.zollinger@parkcity.gov).

Sincerely,

---

Rebecca Ward  
Planning Director

CC: Lillian Zollinger

Attachment 1 – April 2, 2025 Planning Commission Final Action Letter and Approved Plans

April 3, 2025

Wasatch Holdings, LLC



CC: Bill Van Sickle

**NOTICE OF PLANNING COMMISSION ACTION**

**Description**

Address: 732 Crescent Road Parcel PC-338-B

Zoning District: Historic Residential - 1

Application: Steep Slope Conditional Use Permit

Project Number: PL-23-05740

Action: APPROVED WITH CONDITIONS (See Below)

Date of Final Action: April 2, 2025

Project Summary: The Applicant Proposes to Construct a Basement and Rear Addition to a Landmark Historic Structure at 732 Crescent Road on Very Steep Slopes.

**Action Taken**

On April 2, 2025, the Planning Commission conducted a public hearing and approved the 732 Crescent Avenue Steep Slope Conditional Use Permit according to the following Findings of Fact, Conclusions of Law, and Conditions of Approval.

**Findings of Fact**

1. On April 5, 2022, the Applicant submitted a subdivision application for a three-lot subdivision that encompassed four metes and bounds parcels: PC-338-B, PC-320, PC-320-B and SA-137-1 (PL-22-05223).
2. The Applicant submitted a revised Plat in July of 2023 for a two-Lot subdivision of parcel PC-320 (the plat did not include 732 Crescent at that time).
3. On October 26, 2023, the Applicant submitted a Steep Slope Conditional Use Permit application to construct a basement and rear addition to the existing Landmark Historic Structure at 732 Crescent Road (PL-23-05740).

4. A revised Subdivision Plat was submitted on January 29, 2025 for a one-Lot subdivision of metes and bounds parcel PC-338-B or 732 Crescent Road, a Landmark Historic Site with an existing Historic Structure.
5. Revised house plans pertaining to the SSCUP application (PL-23-05740) were submitted in July 2024, October 2024, January 2025, and February 2025.
6. On March 12, 2025 the Planning Commission considered the SSCUP application and the preliminary Subdivision Plat application, approved the preliminary Subdivision Plat to create one Lot, and continued the SSCUP application to April 2, 2025, requesting the Applicant modify the design of the addition to meet the SSCUP criteria pursuant to LMC § 15-2.2-6 and to be consistent with the Historic District Design Regulations outlined in LMC § 15-13-2(4)(c), related to the scale and compatibility with the Historic Site.
7. On April 2, 2025 the Planning Commission reviewed the Applicant's modified plans for the addition, dated March 27, 2025 (Attachment 1).
8. An HDDR application (PL-23-05741) for the proposed addition has been submitted to the Planning Department and is pending Final Subdivision Plat and SSCUP approval.
9. The existing Landmark Historic Structure was originally constructed in 1904 with additions completed between 1926 and 1938 by Carl Winters; in 2017 the Historic Preservation Board approved the removal of the Winters additions to rehabilitate the Landmark Historic Structure to the early 1900s form; the homeowner at the time only demolished one of three of the non-historic additions, known as "Addition A".
10. On October 2, 2024, the Historic Preservation Board approved reconstruction of Addition A, the removal of 60 square feet of material from Addition C to accommodate a transitional element and the material deconstruction to accommodate a basement addition and rear addition to the Landmark Historic Structure on a secondary façade.
11. LMC § 15-2.2-4 exempts Landmark Historic Sites from maximum Lot Size regulations.
12. The proposed Lot is 5,668 square feet in area which yields a maximum building footprint of 2,061 square feet, per HR-1 Lot and Site Requirements.
13. The Applicant's updated plans (Attachment 1) indicate the Building Footprint of the proposed addition measures approximately 2,060 square feet. The footprint of the above grade rear addition measures 872 square feet.
14. The property has two Front Setbacks, one on the northwest boundary and the other along the northeast boundary, pursuant to LMC § 15-13-2 *Regulations for Historic Residential Sites*, which requires the front and side yard Setbacks of Historic Sites to be maintained, and the main original location of the main entry of the historic Structure be preserved.
15. LMC § 15-15 defines Lot Depth as *the minimum distance measured from the Front Property Line to the Rear Property Line of the same Lot*
16. The 732 Crescent Tram Lot is an irregular shaped Lot which varies between 116 feet and 90 feet in depth; the distance from the rear property boundary along the side Lot line to the point where the side lot line meets the front Lot line yields slightly over 91 feet. For a Lot with a Depth between 75 feet and 100 feet the

- required Front and Rear Setbacks are 13 feet and 12 feet (or vice versa) with a total combined 25 feet of Setbacks.
17. The 732 Crescent Tram Lot is under 62.5 feet in width, which requires minimum Side Setbacks of 5 feet, with a total combined of 14 feet.
  18. The proposed addition, as depicted in the House Plans dated March 27, 2025 (Attachment 1), complies with the Front, Rear and Side Setbacks of the proposed Lot.
  19. The proposed addition, as indicated in the house plans dated March 27, 2025, complies with the HR-1 Zone Height of 27 feet from Existing Grade and meets the internal Structure height of 35 feet as measured from the lowest finish floor plane to the point of the highest wall top plate that supports the ceiling joists or roof rafters.
  20. The proposed addition does not create a Lockout Unit or Accessory Apartment and therefore Off-Street Parking at the Landmark Historic Site is not required, pursuant to LMC § 15-2.2-4, additions to Historic Structures are exempt from Off-Street parking requirements, provided the addition does not create a Lockout Unit or Accessory Apartment
  21. The proposed basement addition includes a single-car-wide tandem garage for parking of two vehicles, that meets the maximum external door dimensions required by LMC § 15-13-2 *Regulations For Historic Residential Sites* and the minimum internal dimensions pursuant to LMC § 15-3-4 *Specific Parking Area And Driveway Standards For Single Family Residences And Duplexes*.
  22. The existing shared private driveway minimizes curb cuts on Crescent Road and is encouraged in the Historic District and Steep Slope CUP criteria.
  23. The Applicant submitted a Slope Analysis that includes vegetation and contour lines indicating most of the Parcel proposed for development of a Structure with a Building Footprint in excess of 200 square feet consists of Very Steep Slopes (40%+).
  24. LMC Chapter 15-2.2-6, *Development on Steep Slopes*, states “Development on Steep Slopes must be environmentally sensitive to hillside Areas, carefully planned to mitigate adverse effects on neighboring land and Improvements, and consistent with the Design Guidelines for Historic Districts and Historic Sites Chapter 15-13 and Architectural Review Chapter 15-5.”
  25. Although the site is minimally visible from Designated Vantage Points, the proposed addition will be highly visible from other Vantage Points in Old Town, from cross canyon and from Crescent Road and the Crescent Tram pathway.
  26. Pursuant to LMC § 15-2.2-6, criterion 6, Building Form and Scale, requires that the addition “must be stepped with the Grade and broken into a series of individual smaller components that are Compatible with the District”;
  27. Pursuant to LMC § 15-2.2-6, criterion 8, Dwelling Volume, “[t]he Planning Commission may further limit the volume of a proposed Structure to minimize its visual mass and/or to mitigate differences in scale between a proposed Structure and existing Structures”;
  28. LMC §15-13-2(B)(4) requires that if the footprint of an addition exceeds 50% of the footprint of the Historic Structure, the mass shall be broken into modules to reflect the mass and scale of those modules seen on the historic structure.

29. The overall Building Footprint of the proposed addition is nearly three times larger than the footprint of the existing Historic Structure, which is 759 square feet, though the above grade rear addition (872 sf) does not exceed 50% of the Historic Structure's footprint.
30. The proposed addition is broken into a series of smaller modules that reflect the scale of the Historic Structure and provide variation in roof height and orientation;
31. LMC § 15-13-2(B)(6), *Regulations for Historic Residential Sites*, requires that decks on the front façade of an addition shall be visually minimized from the public ROW;
32. The proposed addition includes a deck with a roof overhang on the third level which is visible from the primary public ROW and is not compliant with the HDDR standards;
33. As conditioned, the proposed addition complies with the HR-1 Steep Slope Conditional Use Permit Criteria, though further modifications to the addition may be required to comply with the HDDR requirements and conditions of approval.
34. The proposed addition does not prohibit a future public staircase that may be constructed from Crescent Tram to Empire Avenue.
35. The analysis of the Staff Report is incorporated herein.
36. Staff published notice on the City's website and the Utah Public Notice website and on March 17, 2025. Staff posted notice to the property and mailed courtesy notice to property owners within 300 feet on February 26, 2025. The Park Record published notice on March 19, 2025

### **Conclusions of Law**

1. As conditioned, the proposal complies with the LMC requirements in Chapter 15-2.2, Historic Residential - 1 (HR-1) Zoning District.
2. As conditioned, the proposal complies with the LMC requirements in Chapter 15-2.2-6, Development on Steep Slopes in the HR-1 Zoning District.
3. The proposal complies with the LMC requirements in Chapter 15-3, Off-Street Parking.

### **Conditions of Approval**

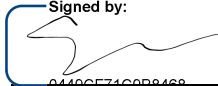
1. Final building plans and construction details shall reflect substantial compliance with the plans reviewed April 2, 2025, by the Planning Commission, except modifications required in the Conditions of Approval of this Final Action Letter, and pending design modifications required as part of the Historic District Design Review.
2. Prior to application for a Building Permit the Applicant shall obtain approval of the Historic District Design Review application, which may require additional modifications to the design of the addition and the driveway to comply with LMC Chapter 15-5 Architectural Review, Chapter 15-11 Historic Preservation, and Chapter 15-13, the Design Guidelines for Historic Districts and Historic Sites.
3. If the Applicant does not obtain a building permit within one year of the date of this approval, this SSCUP approval will expire unless the Applicant submits a written extension request to the Planning Department prior to the expiration date and the Planning Director approves an extension.

4. The applicant is responsible for notifying the Planning Department prior to making any changes to the approved plans; any changes, modifications, or deviations from the approved scope of work shall be submitted in writing for review and approval/denial in accordance with the applicable standards by the Planning Director or designee prior to construction.
5. Any changes, modifications, or deviations from the approved design that have not been approved in advance by the Planning and Building Departments may result in a stop work order.
6. Residential fire sprinklers are required for all new construction on this Lot, per requirements of the Chief Building Official.
7. Prior to HDDR approval, development plans shall be submitted that show all Significant Vegetation within twenty feet (20') of proposed Development; impact to existing vegetation shall be minimized and trees proposed to be removed will be replaced in a manner that mitigates the visual impact of the Structure when viewed cross canyon and from the Street.
8. The rear addition shall be designed and constructed in compliance with the HR-1 Zoning District requirements for Building Height, including the requirement for Final Grade to be within four vertical feet of Existing Grade, except for window wells, emergency egress and the garage entrance;
9. Retaining walls shall be no more than four feet in height and shall be screened to minimize their visual impact as they step down the slope; any areas disturbed during construction surrounding the proposed work shall be brought back to their original state.
10. The roof form above the third level deck of the addition shall be reduced in the final design per the HDDR evaluation.
11. Final plans for the driveway shall be evaluated as part of the HDDR for compliance with LMC § 15-13-2(B).
12. If the driveway is being extended or expanded, the gutter may need to be upgraded to handle increased runoff; additionally, the slope of the driveway shall not exceed 14%.
13. If the portion of the driveway that encroaches into the City public Right-of-Way is to be heated, an encroachment agreement approved by the Engineering Department shall be executed and recorded at Summit County.
14. Prior to the issuance of any Building Permits the Engineering Department shall review and approve the Applicant's Soils Investigation Report and a Geotechnical Report to ensure proper soil stabilization and drainage on site.
15. Prior to submitting a building permit, the Applicant shall submit a plan demonstrating how they will provide the temporary shoring needed during construction, subject to City Engineer approval
16. City Engineer review and approval of all lot grading, utility installations, public improvements, and drainage plans for compliance with City standards is a condition precedent to building permit issuance.
17. Because the home is 5' or less from the property line, Snow Shed and Access Agreements will need to be made with neighboring properties.

18. All outdoor lighting must be down-directed, fully shielded, with bulbs 3000 degree Kelvin or less. A fully shielded light is installed in such a manner that all light emitted either directly from the bulb, or indirectly by reflection or refraction, is below the horizontal plane through the fixture's lowest light-emitting part. The top and sides of a Fully Shielded fixture are made of completely opaque material such that light only escapes through the bottom of the fixture. Final lighting details shall show compliance with this condition and shall be reviewed by the Planning Staff prior to installation.
19. If a Lock-Out unit or Accessory Apartment is proposed at the property at a future date, off-street parking shall be evaluated for compliance with LMC § 15-3-6 Parking Ratio Requirements for Specific Land Use Categories.

If you have questions or concerns regarding this Final Action Letter, please call Elissa Martin, at 435-699-7741, or email [elissa.martin@parkcity.org](mailto:elissa.martin@parkcity.org).

Sincerely,

Signed by:  


4/3/2025

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0449CF71C9D8468...  
Sarah Hall  
Planning Commission Chair

CC: Elissa Martin

Attachment 1: 732 Crescent House Plans Dated March 27, 2025

# 732 Crescent

Historic Home, Lot A  
732 Crescent Street  
Park City, Utah 84060

Sheet List				
Sheet Number	Sheet Name	Current Revision	Current Revision Description	Current Revision Date
A1.01	Cover Sheet			
A1.02	General Notes			
A1.03	Area Calculation Plan			
A1.04	Site & Grading Plan			
A1.05	Site Details			
A1.06	Landscape Plan			
A2.01	Existing Floor Plans			
A2.02	Proposed Floor Plans			
A2.03	Proposed Floor Plans			
A2.04	Proposed Floor Plans			
A2.05	Proposed Floor Plans			
A2.07	Roof Plans			
A2.08	Schedules			
A3.01	Isometric Elevations			
A3.02	Elevations - Existing			
A3.03	Elevations - Existing			
A3.04	Elevations - Proposed			
A3.05	Elevations - Proposed			
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A4.02	Building Sections			
A4.03	Typical Wall Sections			
A4.04	Stair Sections			
A4.05	Fireplace Details			
A4.06	Typical Details			
A4.07	Code Compliance Details			
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A5.02	Main Level Ceiling Plan			
A5.03	Upper Level Ceiling Plan			
A6.01	Interior Elevations			
A6.02	Interior Elevations			
E1.01	Lower Level Electrical Plan			
E1.02	Main Level Electrical Plan			
E1.03	Upper Level Electrical Plan			
M1.01	Gas Piping Diagram			
S1.01	Isometric Foundation			
S1.02	Foundation Plan			
S2.01	Isometric Framing			
S2.02	Main Level Framing			
S2.03	Upper Level Framing			
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SD2	Structural Details			
SD3	Structural Details			
SGN	Structural General Notes			
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ENERGY VALUE ANALYSIS	
ROOF	R-42
2x6 WALLS	R-24
2x4 WALLS	R-13
FOUNDATION @SLAB ON GRADE	R-13
FLOORS	R-19
WINDOWS	U.28
DOORS	U.28

CODE ANALYSIS	
CONSTRUCTION TYPE	VB
OCCUPANCY	R-3
2015 IBC (International Building Code)	
2015 IRC (International Residential Code)	
2015 IPC (International Plumbing Code)	
2015 IMC (International Mechanical Code)	
2015 IECC (International Energy Conservation Code)	
2014 NEC (National Electrical Code)	

SYMBOL LEGEND			
	ROOM TAG		INTERIOR ELEVATION
	KEYNOTE TAG		EXTERIOR ELEVATION
	REVISION TAG		SPOT ELEVATION
	WINDOW TAG		BUILDING SECTION
	DOOR TAG		WALL SECTION SECTION
	HOSE BIB		DETAIL TAG

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Revision Schedule	
Revision Number	Revision Date

**732 Crescent**

Historic Home  
732 Crescent Street  
Park City, UT 84098

Cover Sheet

SCALE:  
As indicated

DATE  
27 MAR 2025

SHEET  
**A1.01**

Designed By	Construction Documents	Structural	General Contractor
Bill Van Sickle Van Sickle Design & Drafting 4383 Forestdale Road #205 Park City, Utah 84098 801.694.9683 bill.draftmaster@gmail.com	Bill Van Sickle Van Sickle Design & Drafting 4383 Forestdale Road #205 Park City, Utah 84098 801.694.9683 bill.draftmaster@gmail.com		

**COUNTY PLANNING NOTES:**

- THE FOLLOWING TWO ITEMS ARE REQUIRED AFTER THE PERMIT HAS BEEN ISSUED, AFTER THE FOUNDATION HAS BEEN POURED AND PRIOR TO A SHEARWALL/4-WAY INSPECTION.
  - A CERTIFICATE OF SURVEY TO VERIFY THE AS-BUILT LOCATION.
  - CERTIFICATE OF ELEVATION: THE ELEVATIONS OF THE TOP OF FOUNDATION WALLS OF AT LEAST THE FOUR (4) MAJOR CORNERS OR ROOF RIDGES TO VERIFY THE HEIGHT.

**COUNTY BUILDING NOTES:**

- RETAINING WALLS OVER 4' TALL OR SUPPORTING SURCHARGE REQUIRE A SEPERATE PERMIT.
- SWIMMING POOLS, SPAS, SOLAR, GEO THERMAL HEATING SYSTEMS, PHOTO VOLTAIC, AND WIND GENERATED SYSTEMS REQUIRE A SEPERATE PERMIT.
- SEPERATE PLANS, SPECIFICATIONS AND APPLICATIONS ARE TO BE SUBMITTED AND REVIEWED FOR APPROVAL PRIOR TO ISSUE OF THESE PERMITS.

**PLAN NOTES:**

- RADON MITIGATION PLAN AF103.6 IN CRAWL SPACE OR UNDER SLAB ON GRADE PRESSURIZATION SYSTEM (PASSIVE) RADON PIPING IN CRAWL SPACE AT BOTTOM OF FOOTING LEVEL PLASTIC WITH 12" OVERLAP ON PLASTIC JOINTS. VERTICAL TERMINATION OF RADON PIPE THRU THE MECHANICAL ROOM THRU THE ROOF.
- ELECTRICAL OUTLET FOR IN-LINE POWER VENTED IN MECHANICAL ROOM
- THREE BLACKFLOW PREVENTERS WILL BE INSTALLED.
- R-1 RESIDENTIAL ZONE

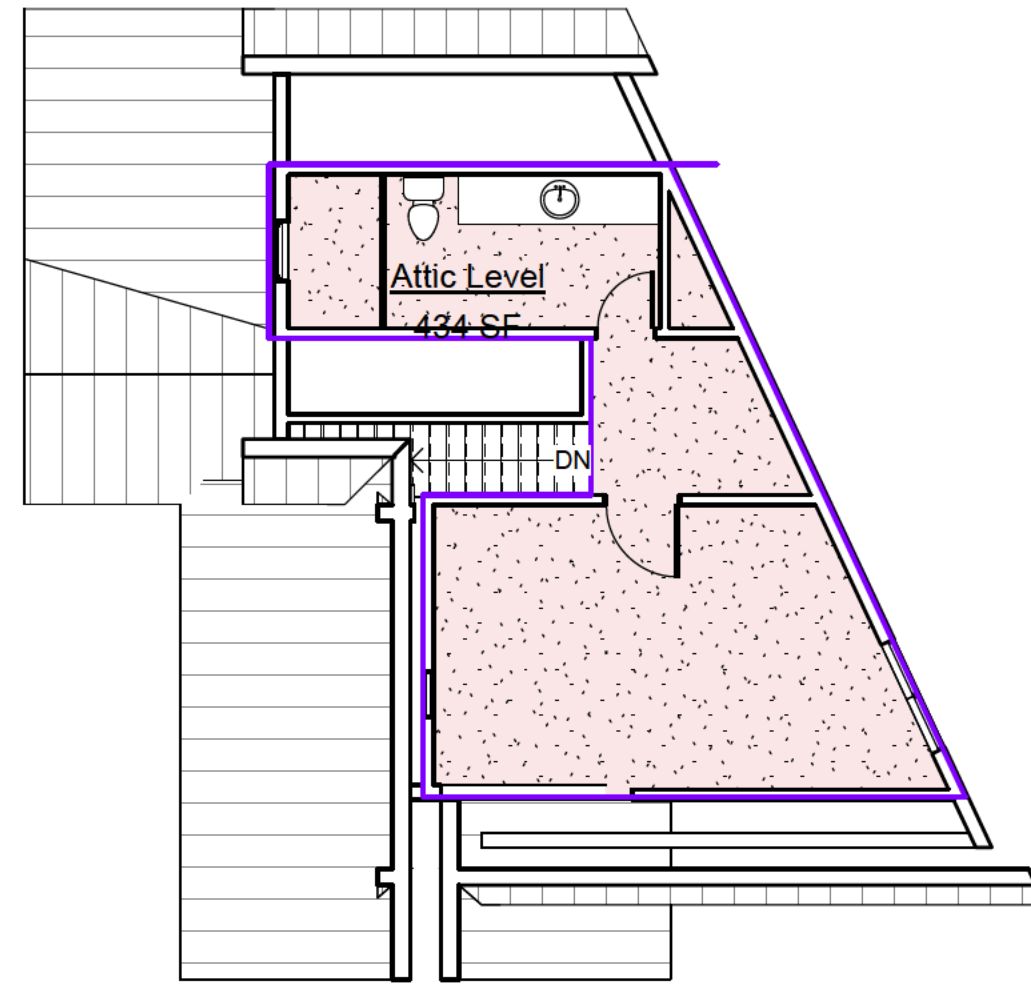


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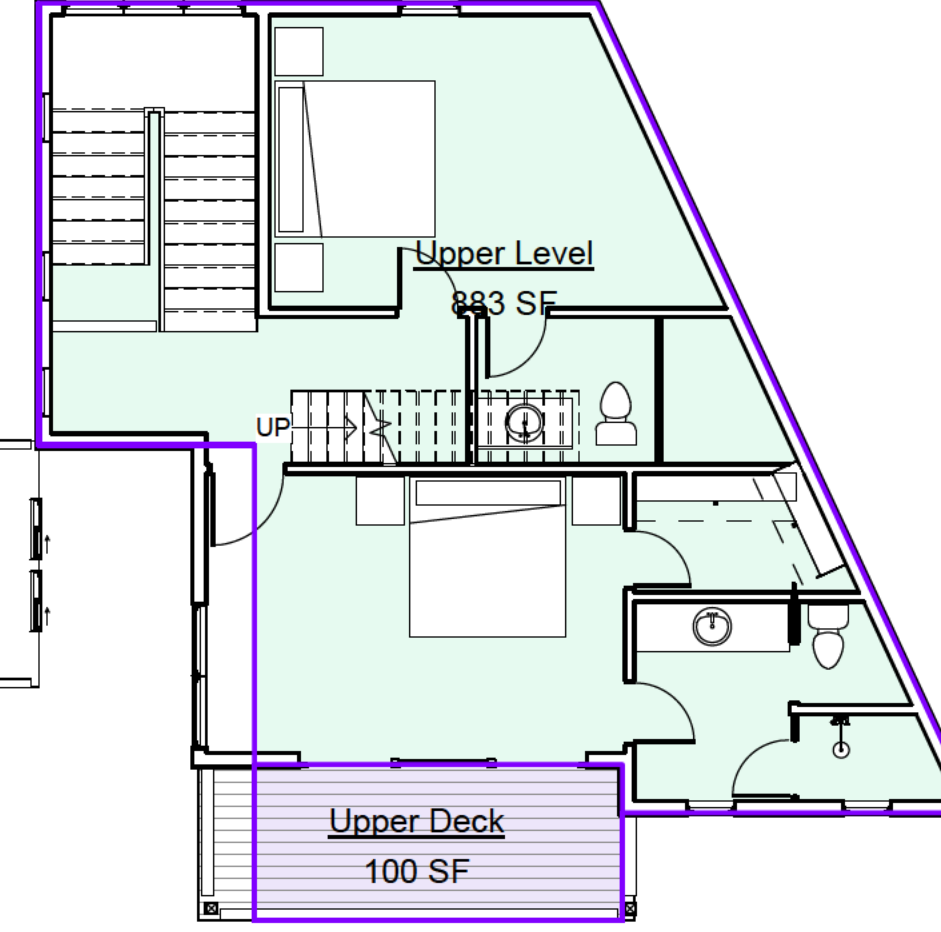
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**Building Area Legend**

Attic Level

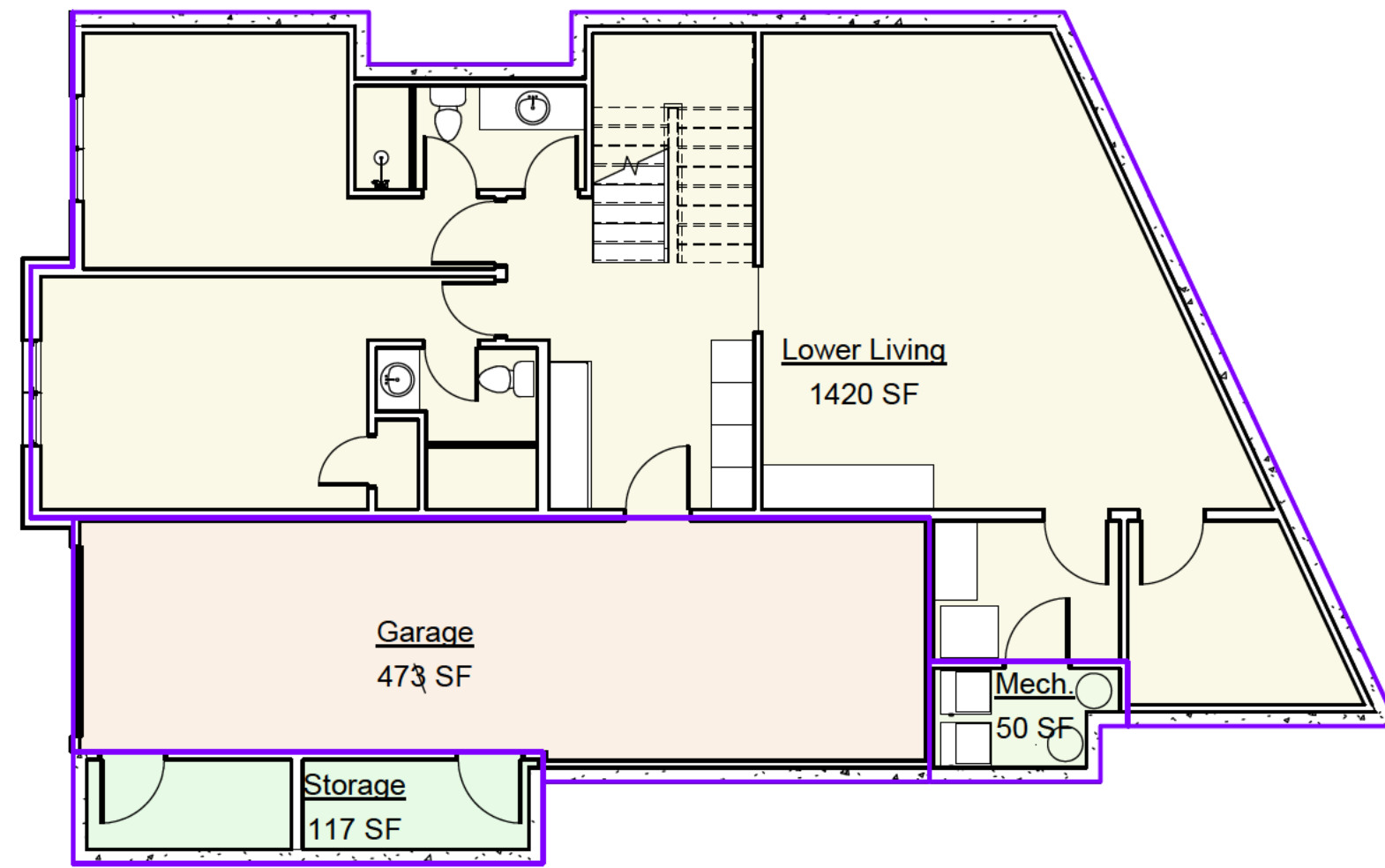
① Attic Level  
1/8" = 1'-0"



**Building Area Legend**

Upper Deck  
Upper Level

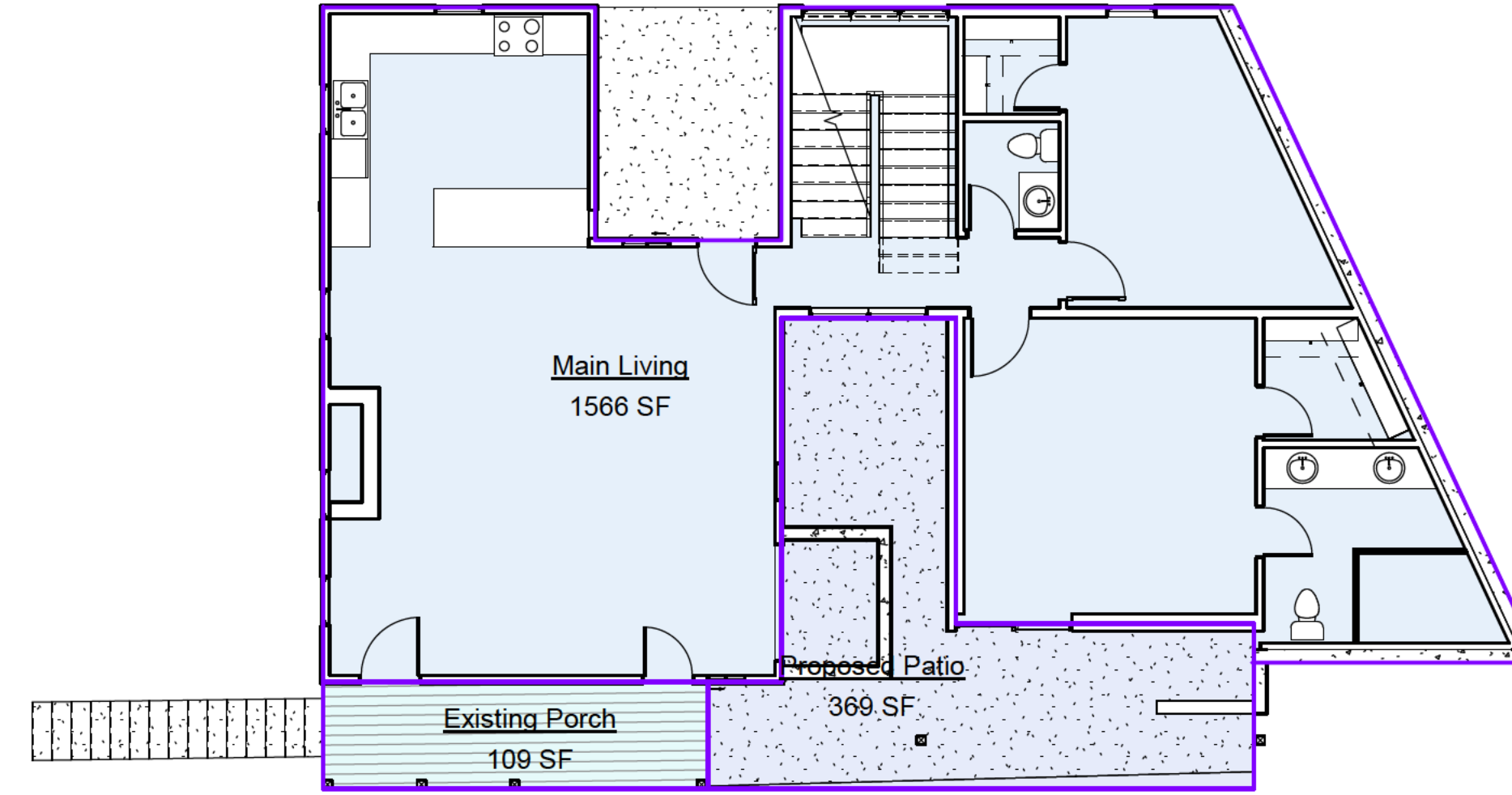
② Upper Level  
1/8" = 1'-0"



**Building Area Legend**

Garage  
Lower Living  
Mech.  
Storage

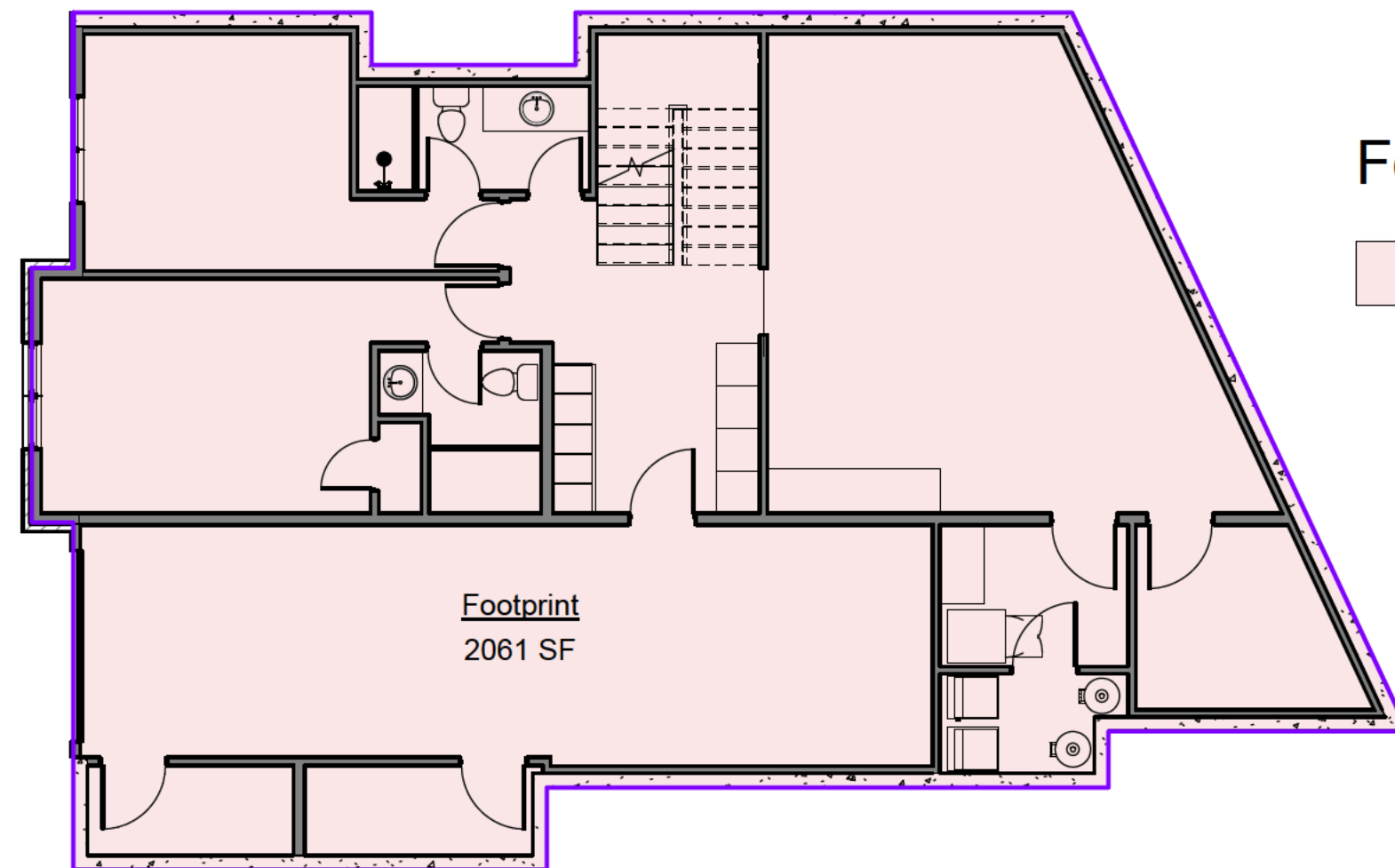
④ Lower Level  
1/8" = 1'-0"



**Building Area Legend**

Existing Porch  
Main Living  
Proposed Patio

③ Main Level  
1/8" = 1'-0"



**Footprint Area Legend**

Floor Area

⑤ Lower Level  
1/8" = 1'-0"

Square Footage - Exterior		
Number	Name	Area
C1	Existing Porch	109 SF
C2	Proposed Patio	369 SF
C3	Upper Deck	100 SF
		578 SF

Square Footage - Non Living		
Number	Name	Area
B1	Garage	473 SF
B2	Storage	117 SF
B3	Mech.	50 SF
		641 SF

Square Footage - Living		
Number	Name	Area
A1	Lower Living	1420 SF
A2	Main Living	1566 SF
A3	Upper Level	883 SF
A4	Attic Level	434 SF
		4303 SF

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Revision Schedule	
Revision Number	Revision Date

**732 Crescent**  
Historic Home  
732 Crescent Street  
Park City, UT 84098

**Area Calculation Plan**  
SCALE:  
1/8" = 1'-0"

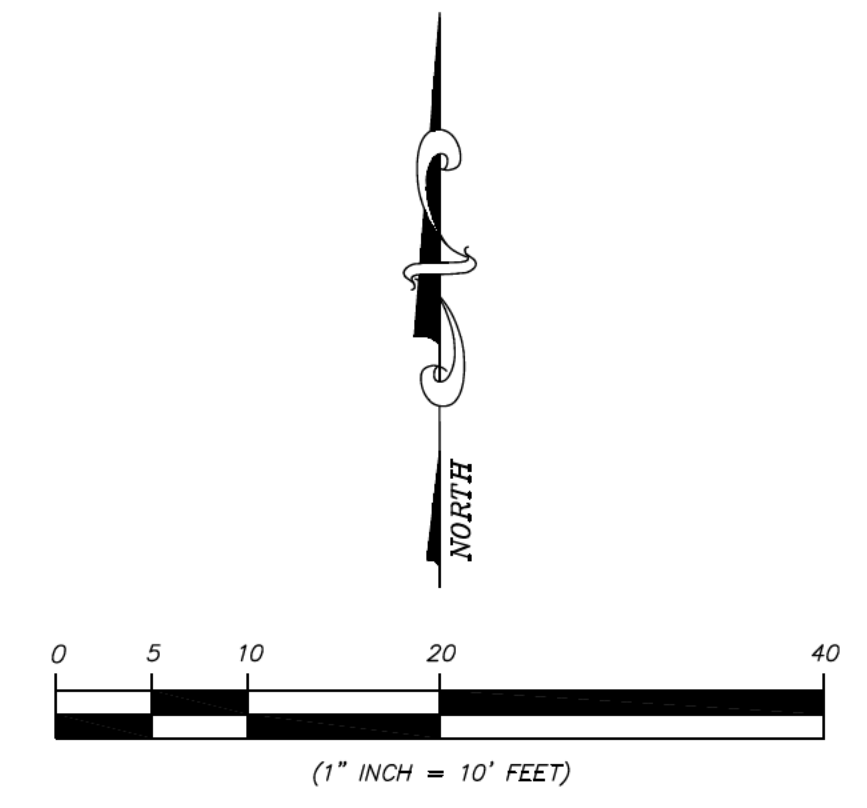
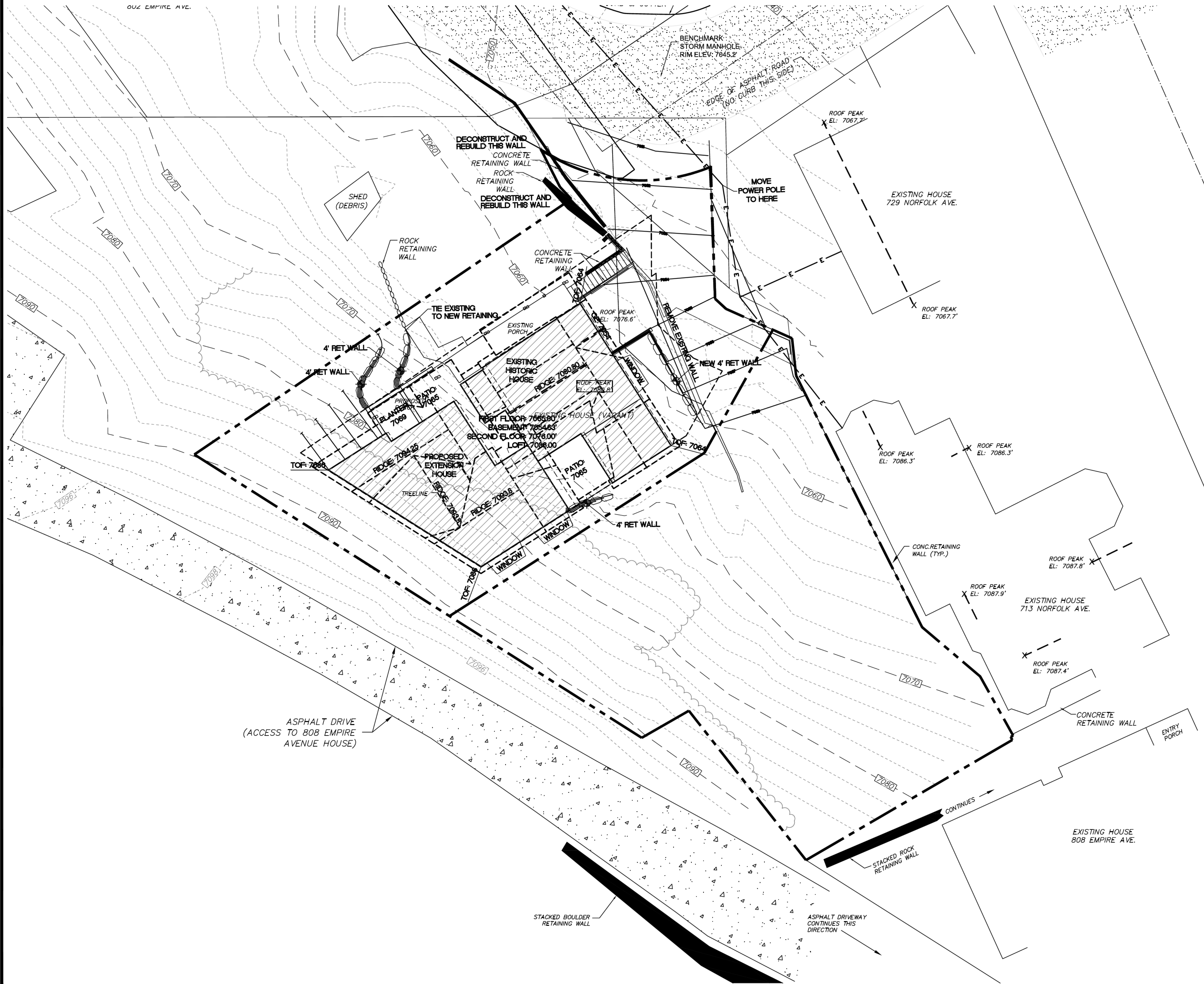
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27 MAR 2025

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# SITE DRAINAGE AND GRADING PLAN

HISTORIC HOUSE  
732 CRESCENT TRAM  
PARK CITY, UTAH



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BY BUILDING THESE PLANS THE CONTRACTOR UNDERSTANDS THAT THERE MAY BE OTHER CONDITIONS IN THE FIELD AND WILL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION AND WILL NOT BE RESPONSIBLE FOR ANY DAMAGE TO THE CLIENT OR OTHER THIRD PARTIES ARISING FROM THE USE OF THESE DRAWINGS.

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**VAN SICKLE**  
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Park City, UT 84098  
(801) 694-9683  
bill.draftmaster@gmail.com  
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CRESCENT TRAM SUBDIVISION HISTORIC HOUSE

HYNES RESIDENCE  
732 CRESCENT TRAM  
PARK CITY, UT 84098

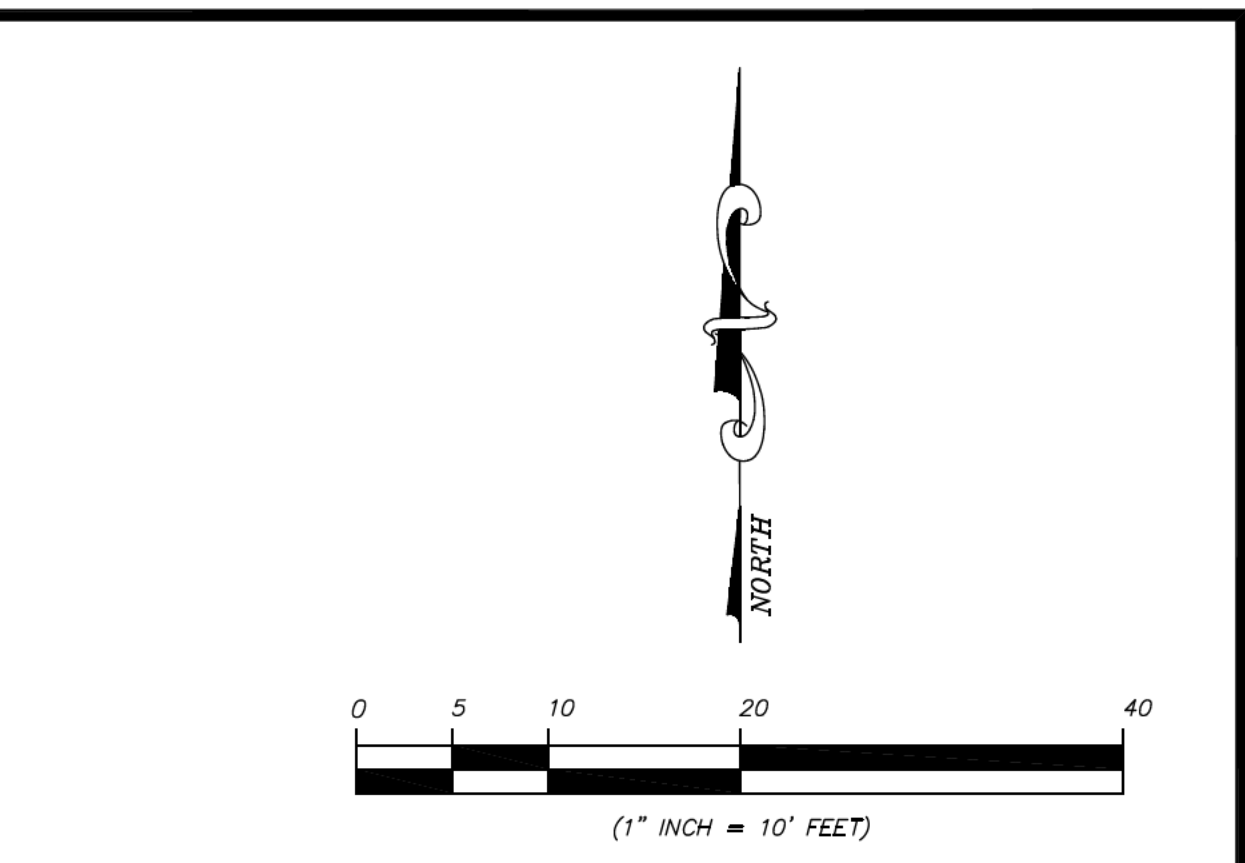
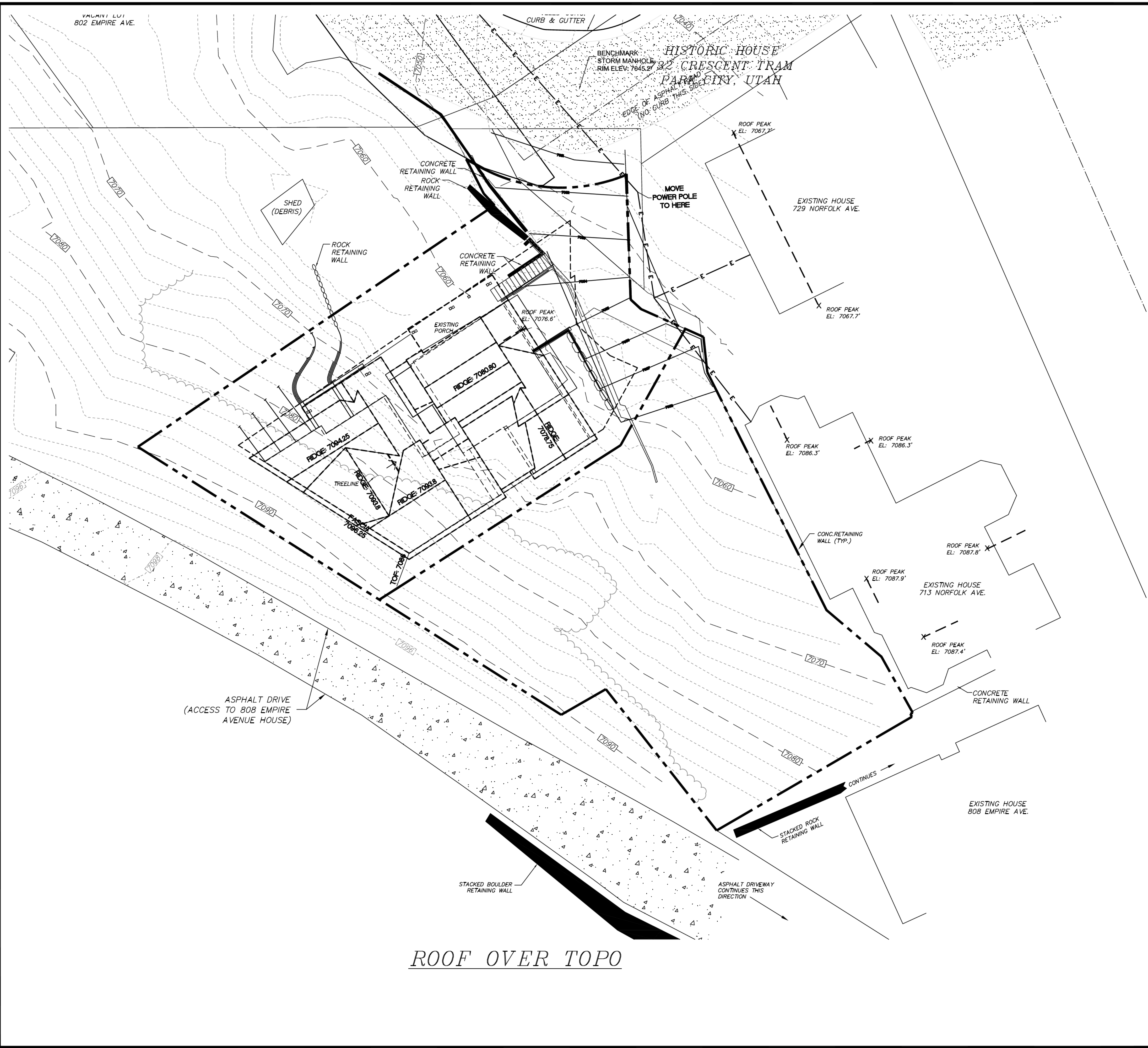
SITE DRAINAGE AND GRADING  
SCALE:  
1" = 10'

DATE OF PLANS  
27 MAR 2025

SHEET  
A1.04

LYING WITHIN THE NORTHEAST QUARTER OF SECTION 18,  
TOWNSHIP 1 SOUTH, RANGE 4 EAST  
SALT LAKE BASE & MERIDIAN  
SUMMIT COUNTY, UTAH

LEGEND			
	SUBJECT PARCEL		PROPERTY CORNER FOUND (AS NOTED)
	BUILDING ENVELOPE		FIRE HYDRANT
	ROAD CENTERLINE		SEWER MANHOLE
	CONTOUR MAJOR		TELECOM BOX
	CONTOUR MINOR		ELECTRICAL BOX
	10' P.U.E.		WATER MANHOLE



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 (801) 694-9683  
 bill.draftmaster@gmail.com  
 www.vansicklearchitecture.com

**CRESCENT TRAM SUBDIVISION HISTORIC HOUSE**

**HYNES RESIDENCE**  
 732 CRESCENT PARK CITY, UT 84098

**ROOF OVER TOPO**

**SCALE:**  
 1" = 10'

**DATE OF PLANS**  
 27 FEB 2025

**SHEET**  
 A1.04b

LYING WITHIN THE NORTHEAST QUARTER OF SECTION 18,  
 TOWNSHIP 1 SOUTH, RANGE 4 EAST  
 SALT LAKE BASE & MERIDIAN  
 SUMMIT COUNTY, UTAH

LEGEND			
	SUBJECT PARCEL		PROPERTY CORNER FOUND (AS NOTED)
	BUILDING ENVELOPE		FIRE HYDRANT
	ROAD CENTERLINE		SEWER MANHOLE
	CONTOUR MAJOR		TELECOM BOX
	CONTOUR MINOR		ELECTRICAL BOX
	10' P.U.E.		WATER MANHOLE

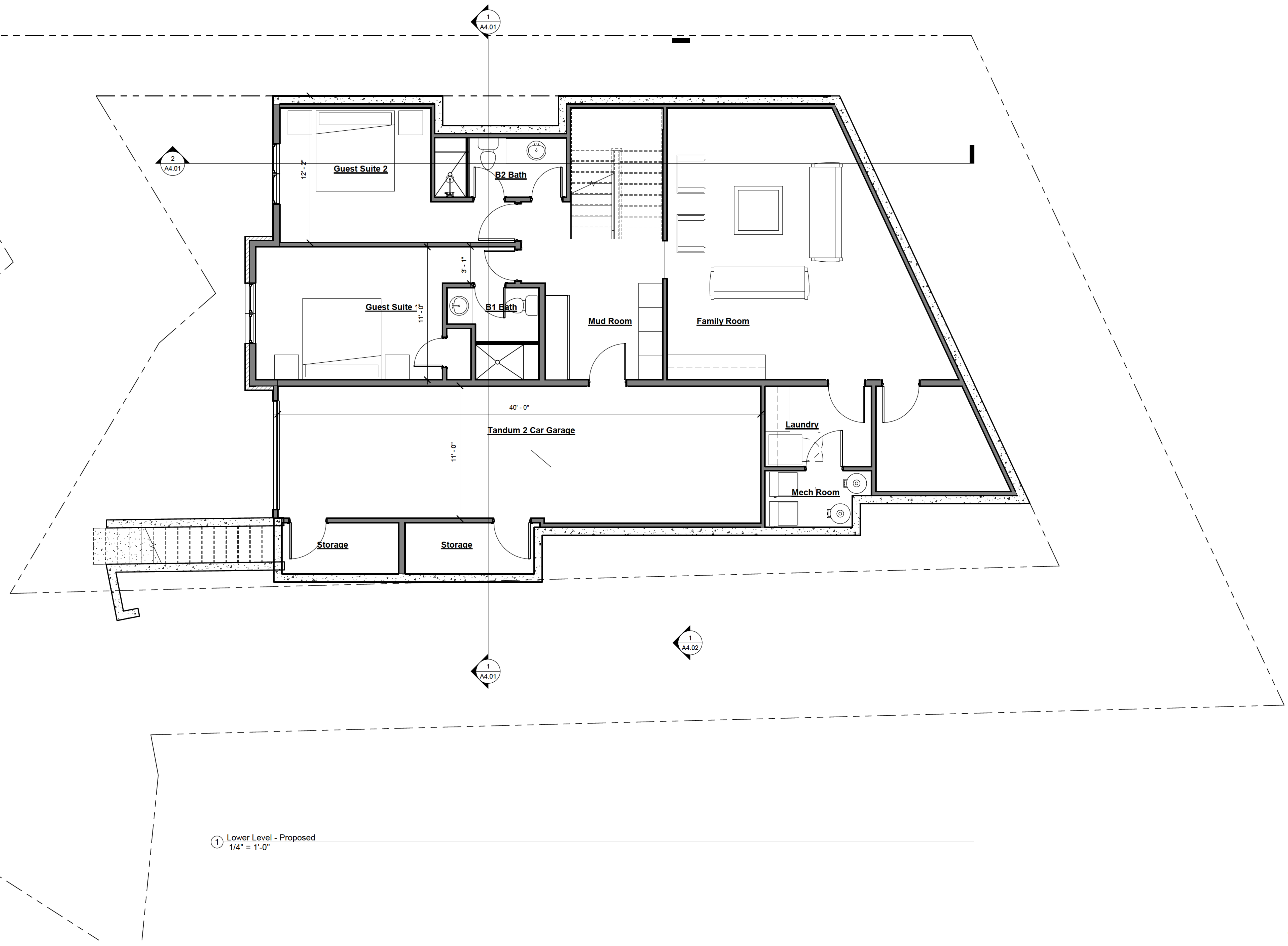


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① Lower Level - Proposed  
1/4" = 1'-0"

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Revision Schedule	
Revision Number	Revision Date

**732 Crescent**  
Historic Home  
732 Crescent Street  
Park City, UT 84098

Proposed Floor Plans  
**SCALE:**  
1/4" = 1'-0"

**DATE**  
27 MAR 2025

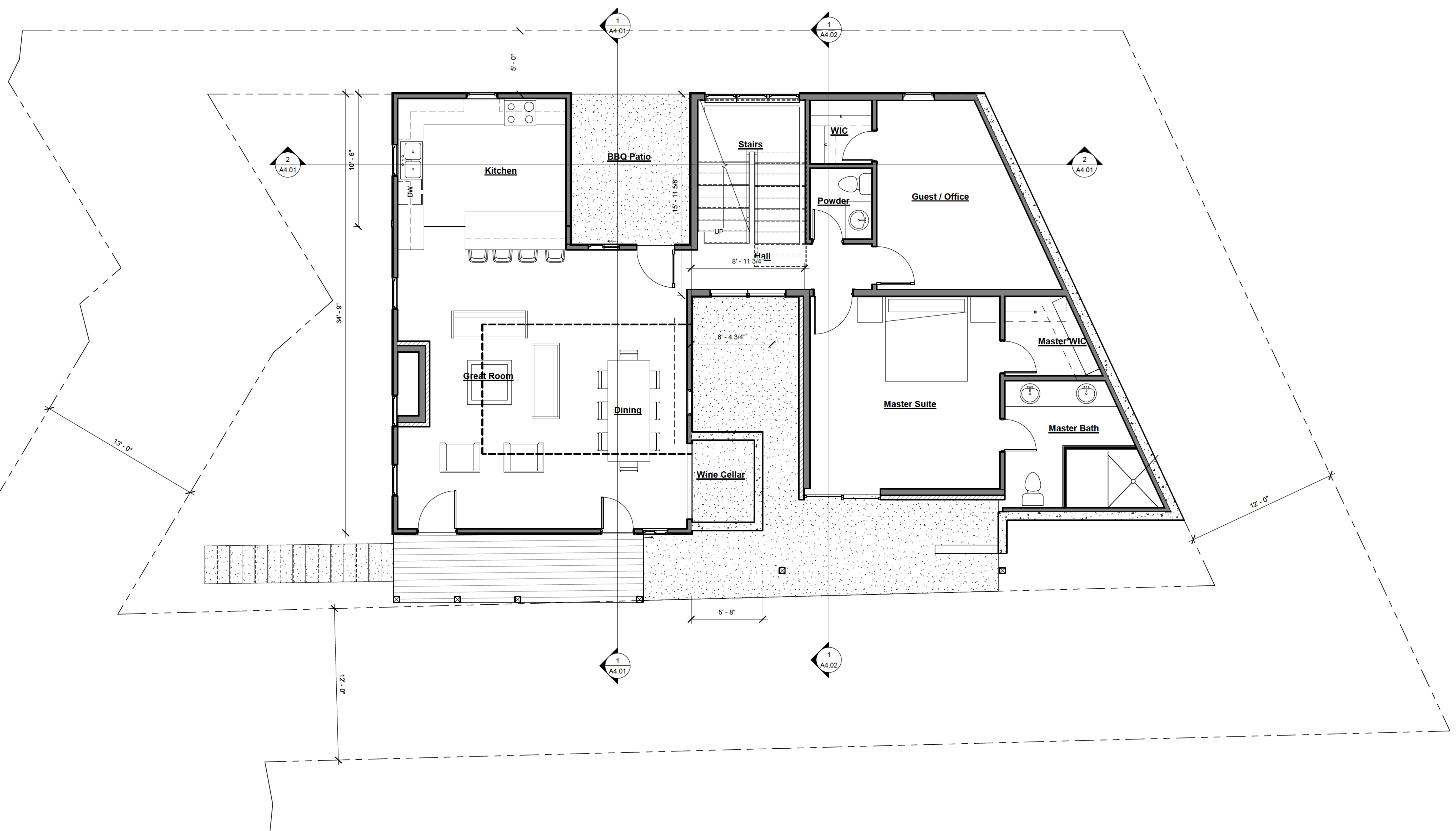
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① Main Level - Proposed  
1/4" = 1'-0"

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**732 Crescent**  
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Park City, UT 84098

Proposed Floor Plans  
**SCALE:**  
1/4" = 1'-0"

**DATE**  
27 MAR 2025

**SHEET**  
**A2.03**

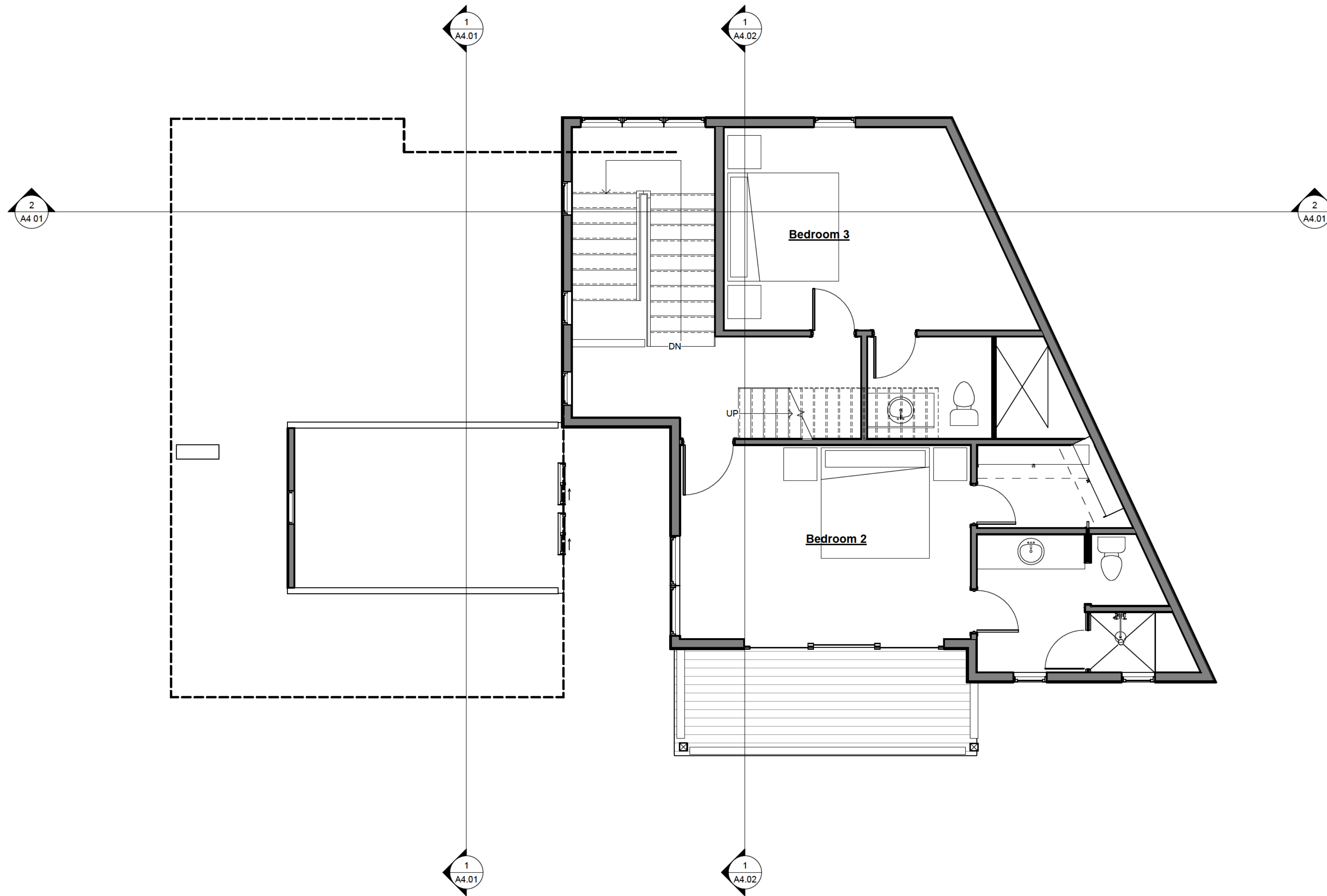
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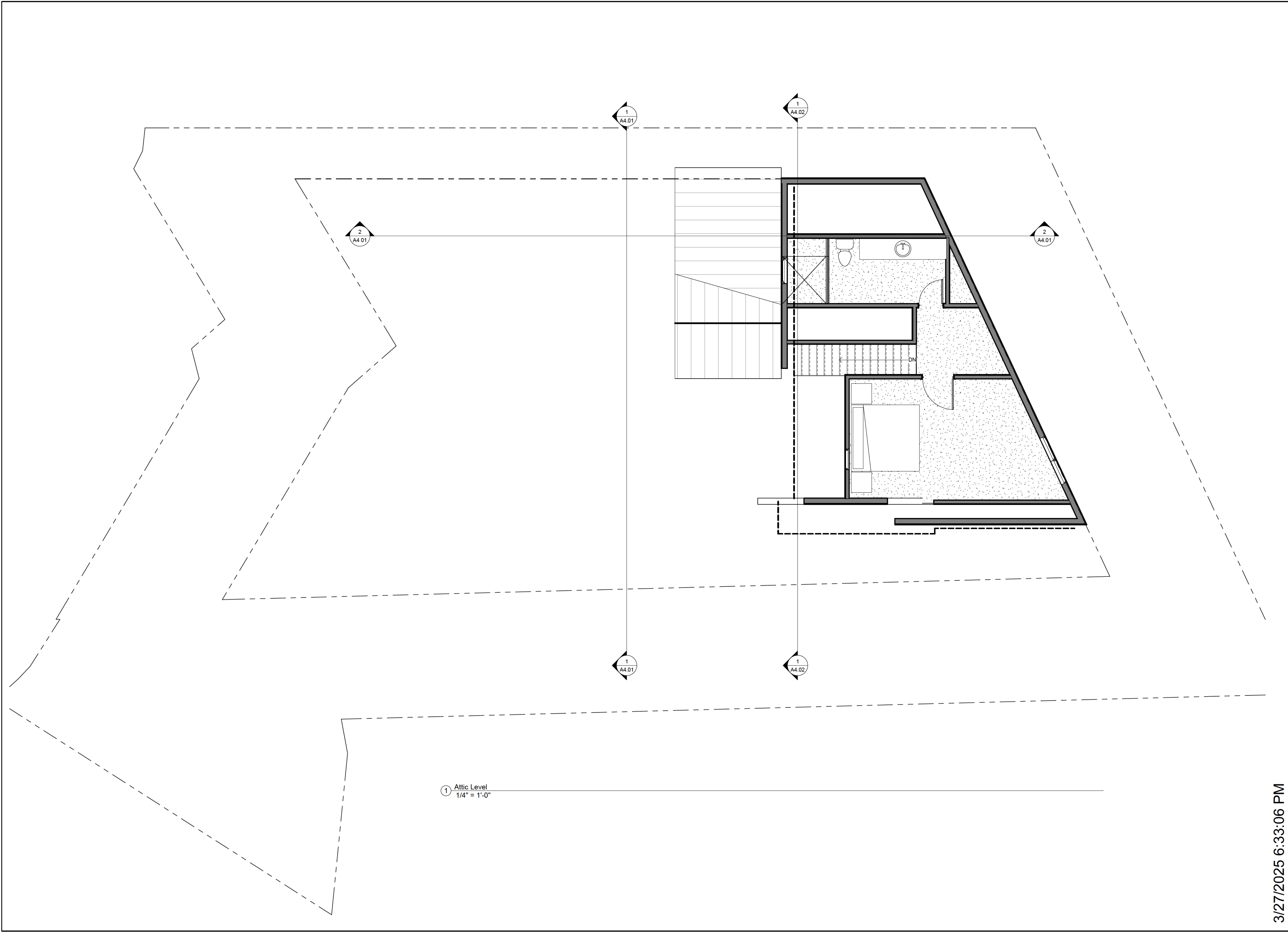
Proposed Floor Plans  
**SCALE:**  
1/4" = 1'-0"

**DATE**  
27 MAR 2025

**SHEET**  
**A2.04**

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① Upper Level - Proposed  
1/4" = 1'-0"



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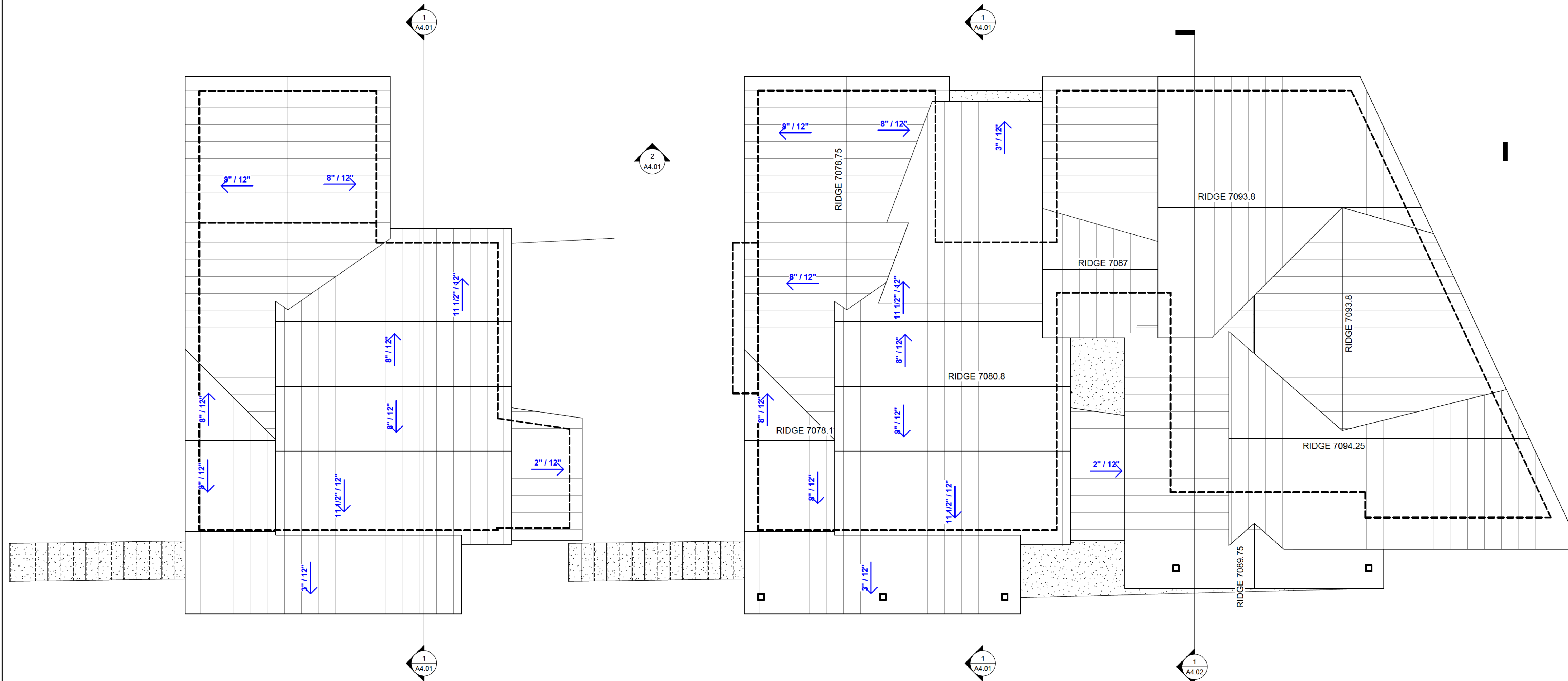
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① Roof Plan  
1/4" = 1'-0"

② Roof Plan - Proposed  
1/4" = 1'-0"

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Revision Schedule	
Revision Number	Revision Date

**732 Crescent**  
Historic Home  
732 Crescent Street  
Park City, UT 84098

Roof Plans  
SCALE:  
1/4" = 1'-0"

DATE  
27 MAR 2025

SHEET  
**A2.07**

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Room Finish Schedule							
Room Number	Room Name	Finish					Comments
		Floor	Base	Wall	Ceiling	Ceiling Height	
33	Guest / Office						
34	Powder						
35	WIC						
36	Stairs						
37	BBQ Patio						

Door Schedule				
Door Number	Width	Height	Family	Finish
				Comments
5	2' - 6"	6' - 8"	Door-Exterior-Single.0001	
66	3' - 0"	6' - 8"	Door-Exterior-Single.0001	

Window Schedule						
Mark	Rough Opening		Sill Height	Type	Tempered	Comments
	Width	Height				
8	2' - 6"	5' - 0"	1' - 8"	Window-Double-Hung		
11	2' - 0"	1' - 6"	5' - 2"	Window-Sliding-Double		
13	2' - 0"	2' - 0"	4' - 8"	Window-Fixed		
118	2' - 6"	5' - 0"	1' - 8"	Window-Double-Hung		
119	2' - 6"	5' - 0"	1' - 8"	Window-Double-Hung		
120	3' - 0"	1' - 6"	5' - 2"	Window-Fixed		
121	2' - 6"	1' - 6"	5' - 2"	Window-Sliding-Double		
122	2' - 6"	5' - 0"	1' - 8"	Window-Double-Hung		
123	2' - 6"	1' - 6"	3' - 0"	Window-Sliding-Double		
124	2' - 6"	1' - 6"	3' - 0"	Window-Sliding-Double		
125	2' - 0"	2' - 0"	4' - 2"	Window-Fixed		
126	2' - 6"	5' - 0"	1' - 8"	Window-Double-Hung		

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Revision Schedule	
Revision Number	Revision Date

**732 Crescent**  
Historic Home  
732 Crescent Street  
Park City, UT 84098

Schedules

SCALE:

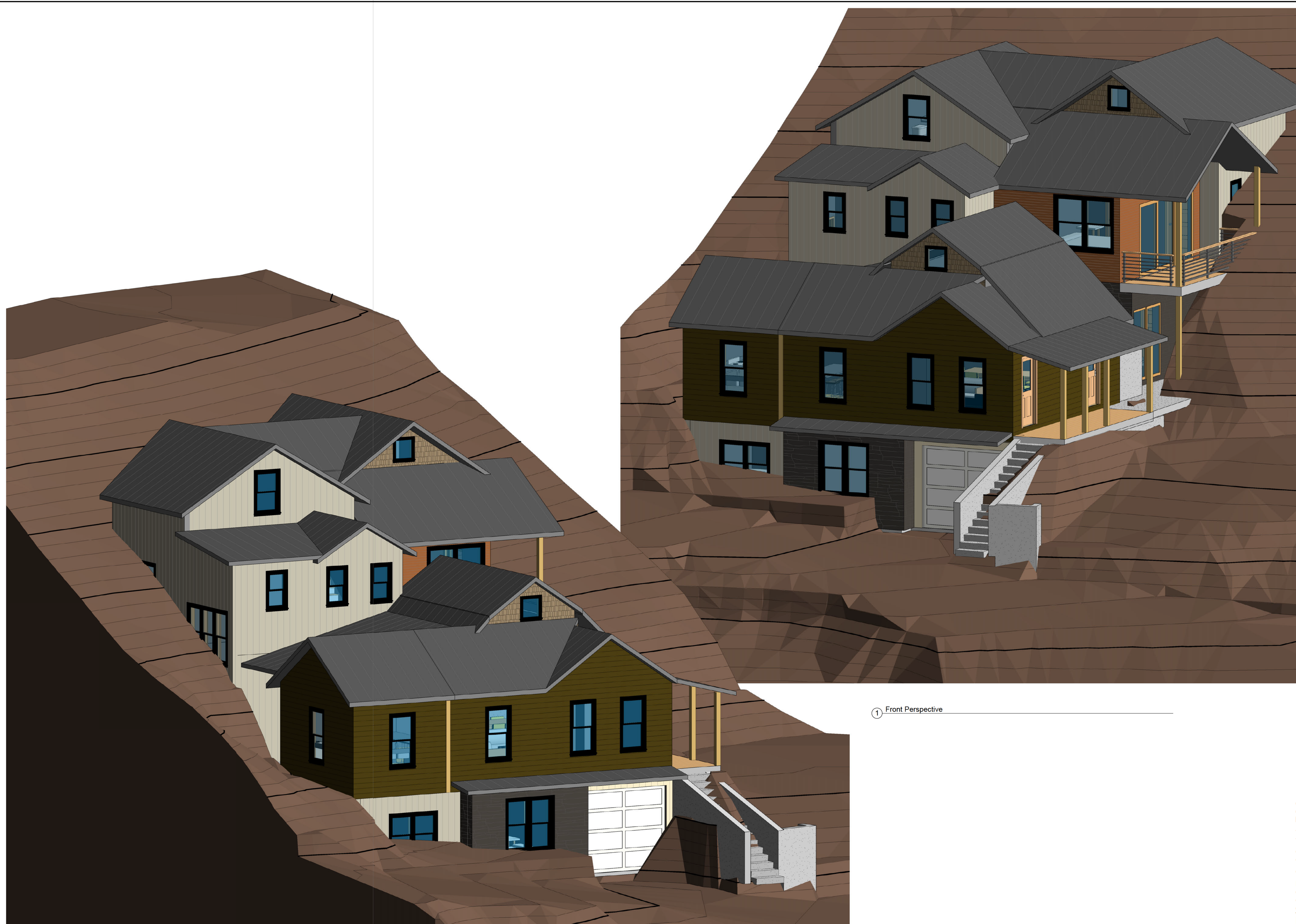
DATE

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② Side Perspective

① Front Perspective

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Revision Schedule	
Revision Number	Revision Date

**732 Crescent**  
Historic Home  
732 Crescent Street  
Park City, UT 84098

Isometric Elevations  
SCALE:

DATE  
27 MAR 2025

SHEET  
**A3.01**

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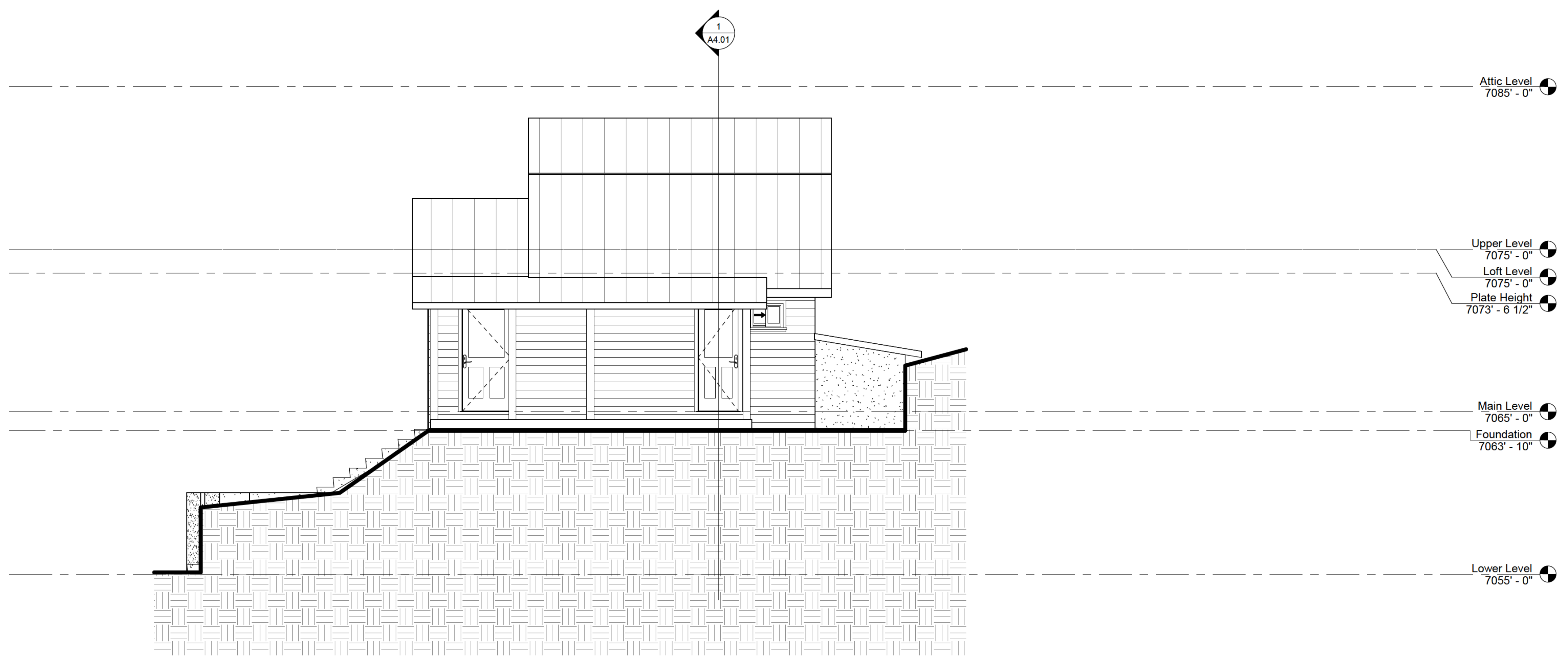
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① Exterior Elevation - East Existing  
1/4" = 1'-0"



② Exterior Elevation - North Existing  
1/4" = 1'-0"

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**732 Crescent**  
Historic Home  
732 Crescent Street  
Park City, UT 84098

Elevations - Existing  
SCALE:  
1/4" = 1'-0"

DATE  
27 MAR 2025

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**A3.02**

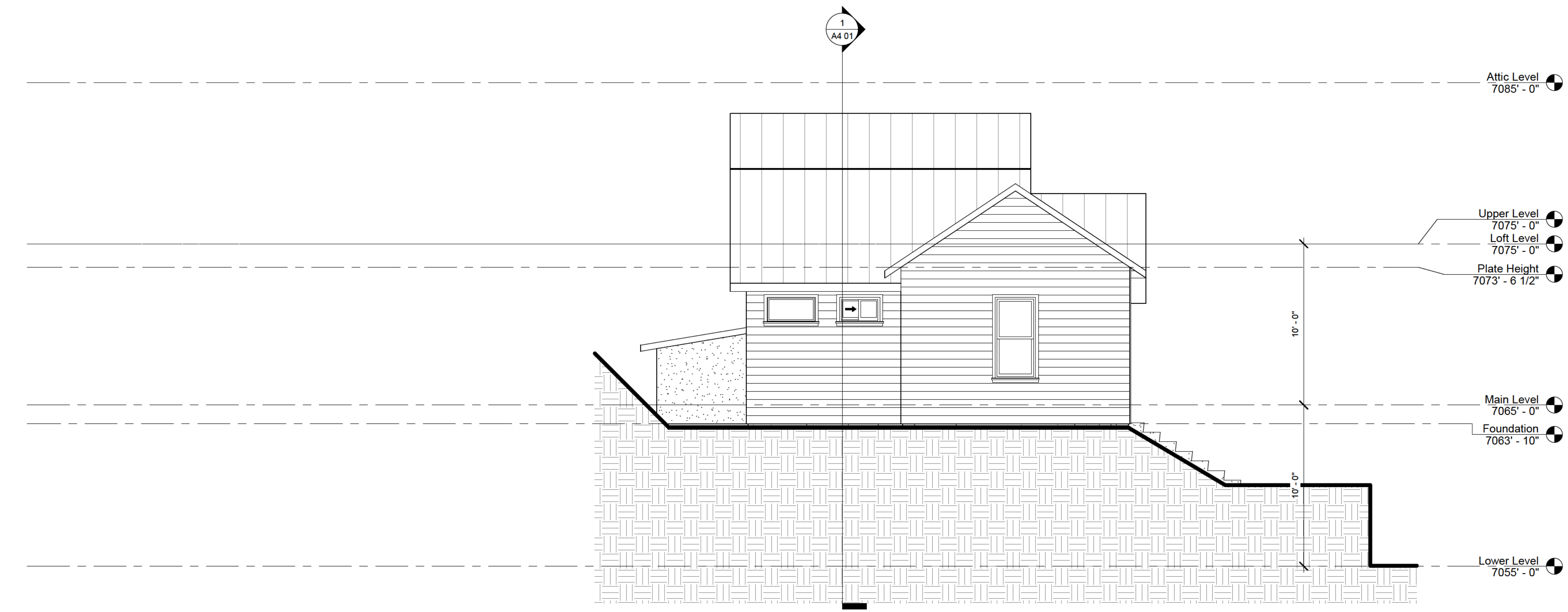
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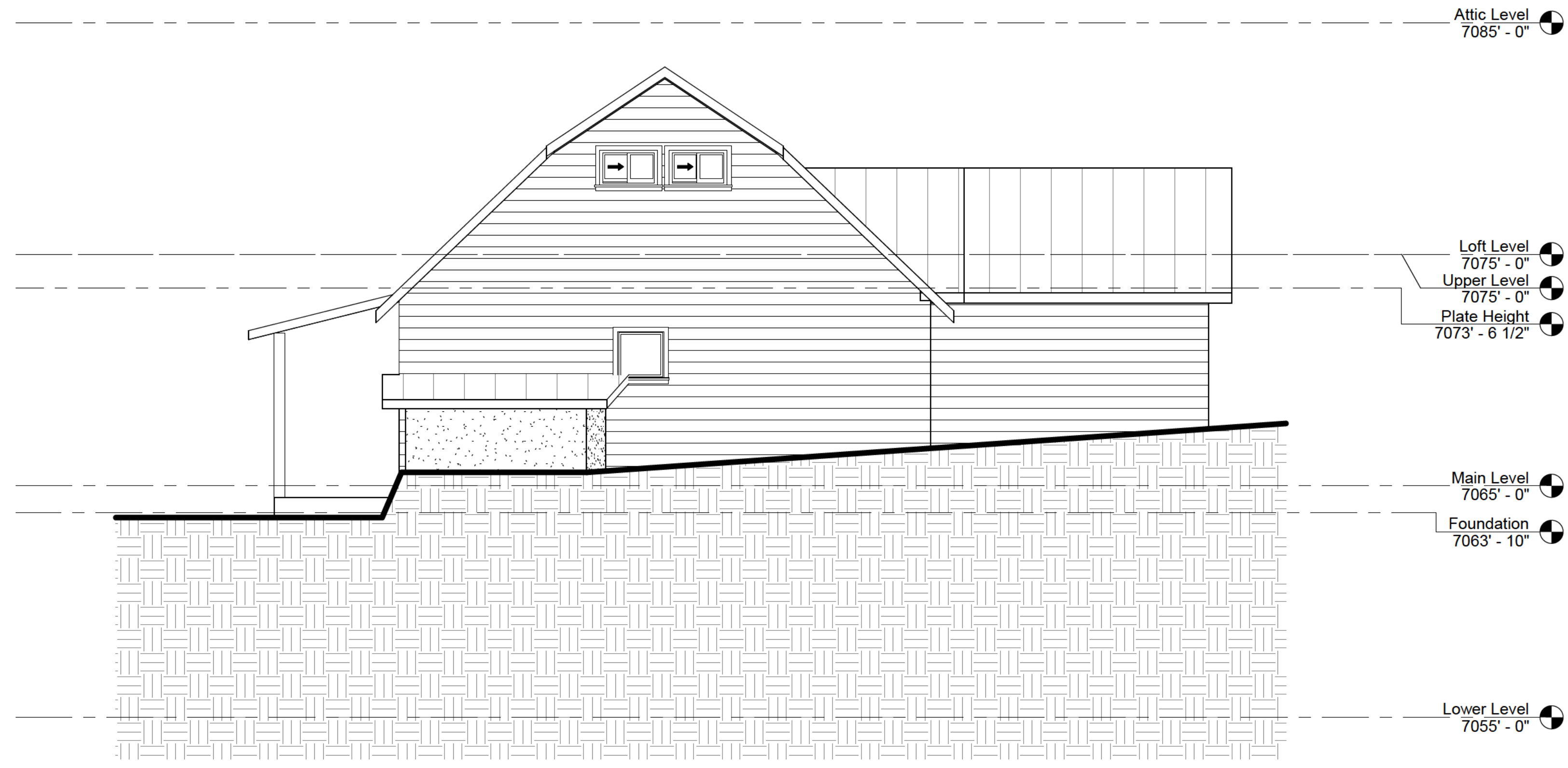
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1 Exterior Elevation - South Existing  
1/4" = 1'-0"



2 Exterior Elevation - West Existing  
1/4" = 1'-0"

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Revision Schedule	
Revision Number	Revision Date

**732 Crescent**  
Historic Home  
732 Crescent Street  
Park City, UT 84098

Elevations - Existing  
SCALE:  
1/4" = 1'-0"

DATE  
27 MAR 2025

SHEET  
**A3.03**

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Revision Schedule	
Revision Number	Revision Date

**732 Crescent**  
Historic Home  
732 Crescent Street  
Park City, UT 84098

Elevations - Proposed  
SCALE:  
1/4" = 1'-0"

DATE  
27 MAR 2025

SHEET  
**A3.04**



1 Exterior Elevation - East Proposed  
1/4" = 1'-0"

2 Exterior Elevation - North Proposed  
1/4" = 1'-0"

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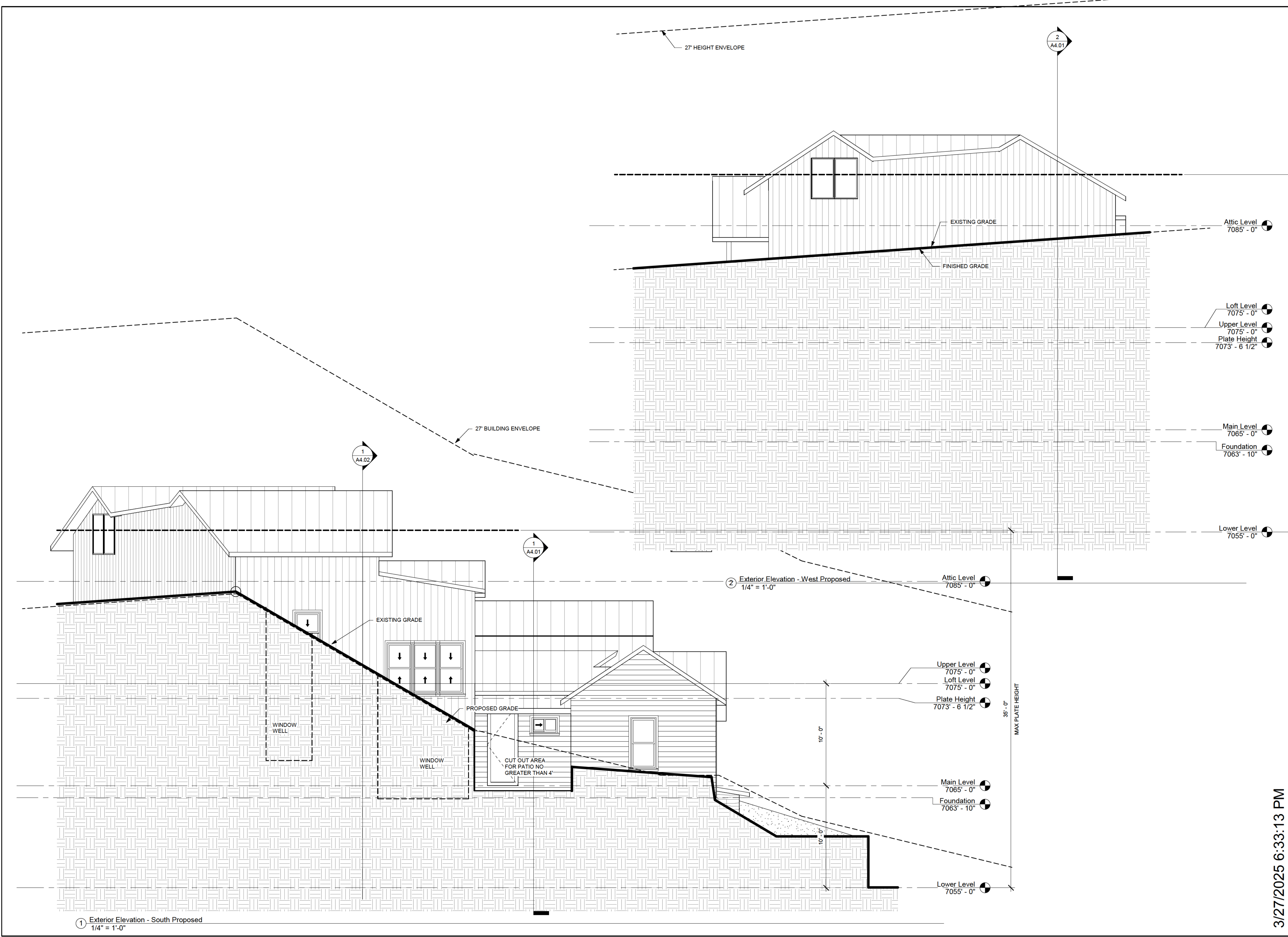
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Historic Home  
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Park City, UT 84098

Elevations - Proposed  
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DATE  
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**A3.05**

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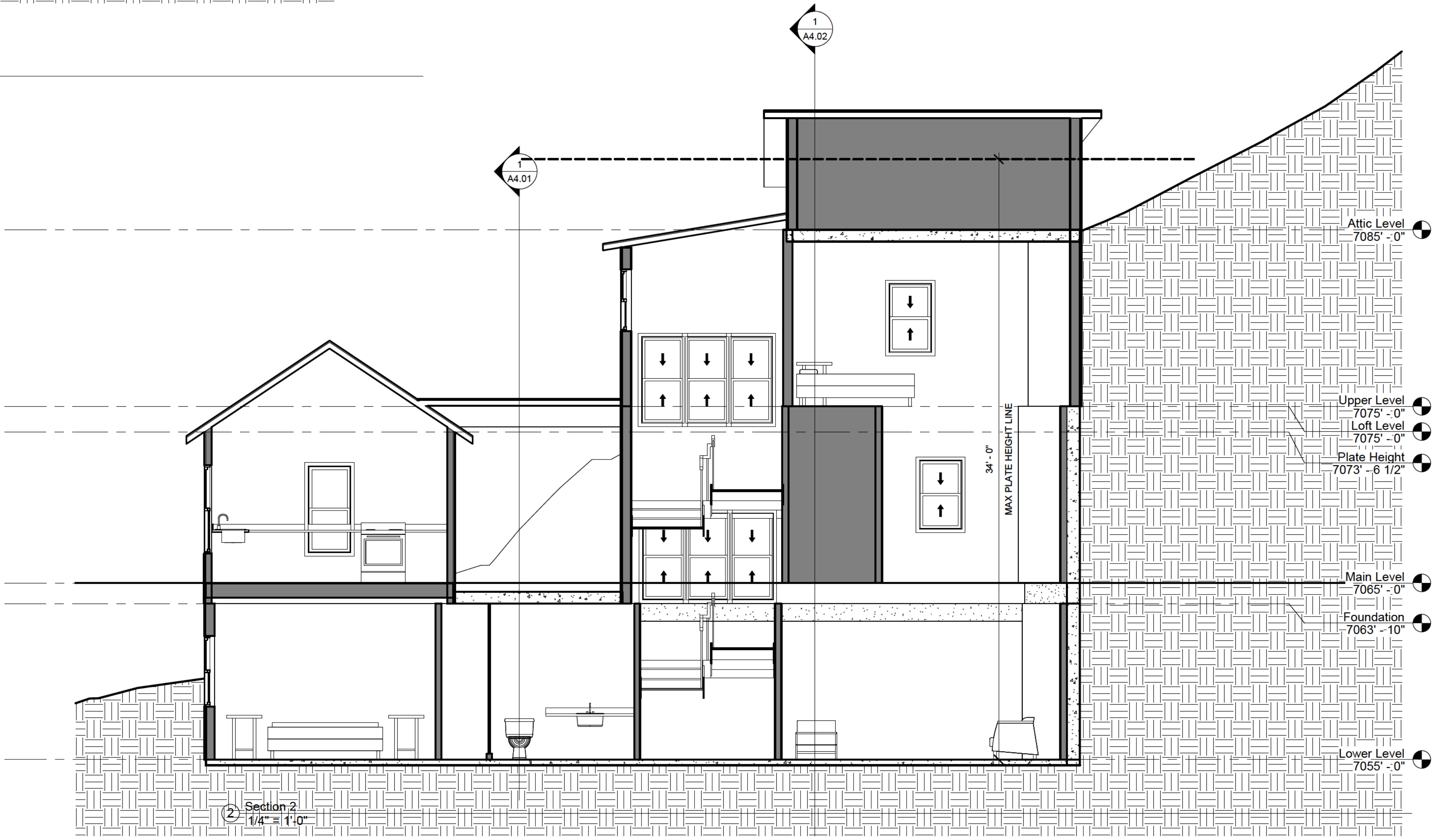
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Section 1  
1/4" = 1'-0"



Section 2  
1/4" = 1'-0"

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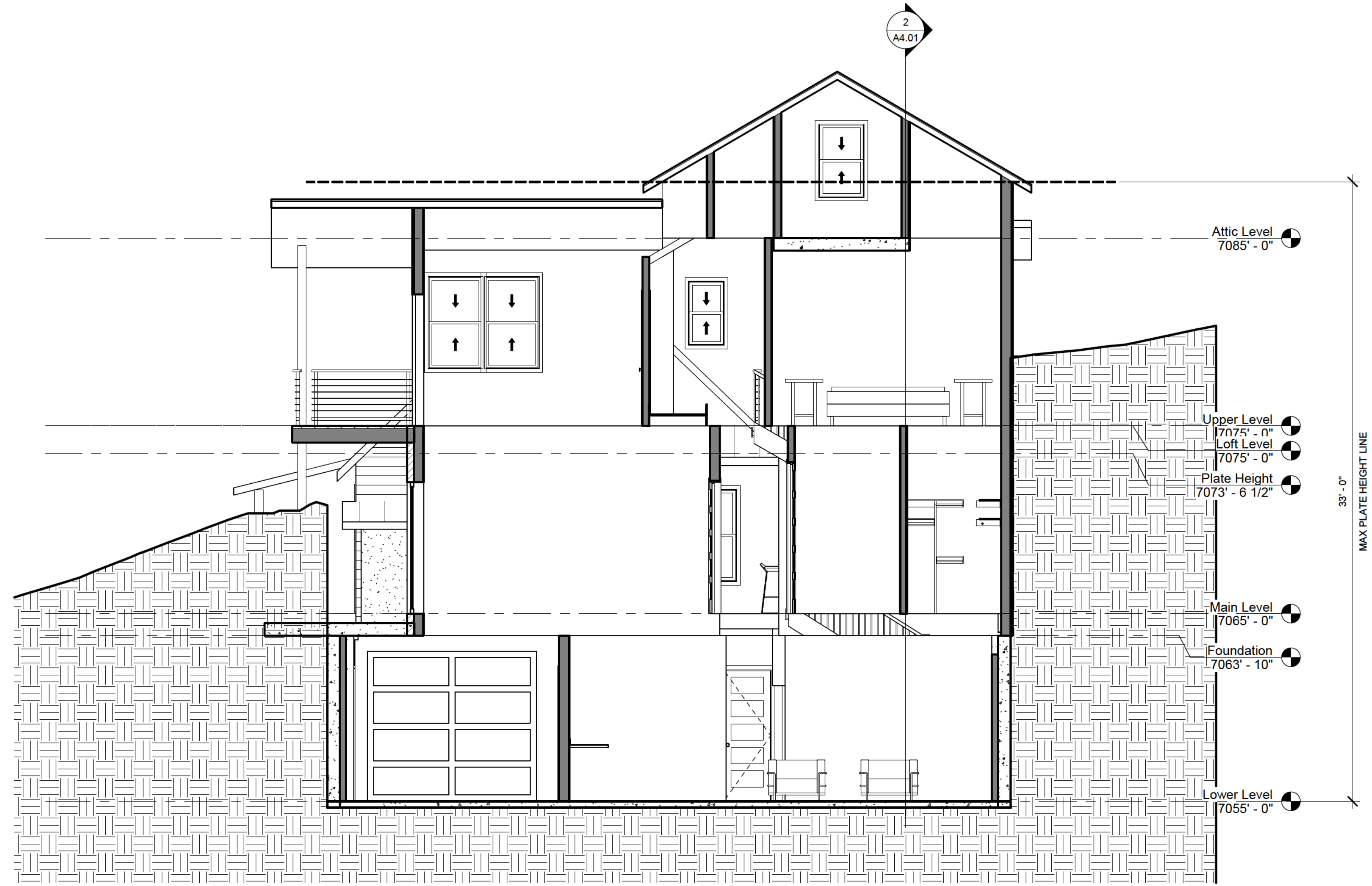
**732 Crescent**  
Historic Home  
732 Crescent Street  
Park City, UT 84098

**Building Sections**  
SCALE:  
1/4" = 1'-0"

DATE  
27 MAR 2025

SHEET  
**A4.01**

3/27/2025 6:33:14 PM



① Section 3  
1/4" = 1'-0"

MAX PLATE HEIGHT LINE  
38' - 0"

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Revision Schedule	
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**732 Crescent**  
Historic Home  
732 Crescent Street  
Park City, UT 84098

**Building Sections**  
SCALE:  
1/4" = 1'-0"

DATE  
27 MAR 2025

SHEET  
**A4.02**

3/27/2025 6:33:14 PM



3/31/2026

Park City Planning

Re: Extension of SSCUP for 732 Crescent Tram Subdivision

We are asking for an extension as we are working through permit approval on this plan now and the lifting and cribbing engineering plan.

thank you,

*Bill Van Sickle*

Bill Van Sickle



# Planning Department Staff Report



**Subject:** 844 Empire Avenue,  
A Significant Historic Site  
**Application:** PL-26-06902  
**Author:** Jacob Klopfenstein, Planner II  
**Date:** May 21, 2026  
**Type of Item:** Extension of Historic District Design Review Approval

## Recommendation

(I) Review the request for an extension of Historic District Design Review (HDDR) approval, (II) conduct a public hearing, and (III) consider approving the extension based on the Findings of Fact, Conclusions of Law, and Conditions of Approval outlined in the Draft Final Action Letter (Exhibit A).

## Description

**Applicant:** Robin Dunleavy  
Julie Wright, Applicant Representative

**Location:** 844 Empire Avenue

**Zoning District:** Historic Residential – 1

**Adjacent Land Uses:** Residential, Public Right-of-Way

**Reason for Review:** The Planning Director may grant extensions to Historic District Design Review approvals.<sup>1</sup>

HDDR Historic District Design Review  
HPB Historic Preservation Board  
HR-1 Historic Residential – 1  
LMC Land Management Code  
SFD Single-Family Dwelling

*Terms that are capitalized as proper nouns throughout this staff report are defined in LMC [§ 15-15-1](#).*

## Background

844 Empire Avenue is Lot 1 of the 844 Empire Avenue Plat Amendment Lot 1, recorded with Summit County on January 13, 2025 (Entry No. [1230098](#)). The Significant Historic Site is developed with a Single-Family Dwelling (SFD) that was constructed c. 1904, according to the [Historic Site Inventory Form](#). A 2014 fire damaged the structure, and it has been vacant since then.

---

<sup>1</sup> LMC [§ 15-11-12\(E\)](#)

The Historic Preservation Board (HPB) approved the previous owner's Material Deconstruction and Panelization request to panelize the Significant Historic Structure and remove approximately 386 square feet of siding from the east façade on February 7, 2024 (see Exhibit C, HPB Final Action Letter).

The Planning Director approved the previous owner's HDDR to rehabilitate and remodel the Significant Historic Structure and construct an addition on May 1, 2025 (Exhibit B).

The previous owner entered into an Encumbrance and Agreement for Historic Preservation on July 2, 2025 (Summit County Recorder Entry No. [1238470](#)).

The property changed ownership in September 2025, and the Applicant recorded an assignment of encumbrance on September 22, 2025 (Summit County Recorder Entry No. [1241341](#)). The Applicant obtained the previously approved HDDR plans and the architect provided authorization for the Applicant to use the plans on November 12, 2025.

The Applicant intends to pursue the previous owner's remodel, rehabilitation, and addition project at the Site with modifications, including adding a basement level, lowering the rear window dormers of the Historic Structure, and restoring the truncated gable roof (see Exhibit D, Planning Director Final Action Letter, approved February 5, 2026).

The Applicant submitted a request to extend the HDDR approval on April 27, 2026, while revisions to the explored plans are reviewed.

### **Analysis**

#### **(I) Applicants may request an extension of HDDR approvals pursuant to Land Management Code Section 15-11-12(E).**

Pursuant to LMC [§ 15-11-12\(E\)](#), the Planning Director or designee may grant an extension of Historic District Review approval for one additional year when the Applicant is able to demonstrate no change in circumstance that would result in an unmitigated impact or that would result in a finding of non-compliance with the Park City General Plan or the LMC in effect at the time of the extension request. Changes of circumstance include physical changes to the property or surroundings.

There are no physical changes to the 844 Empire Avenue property or surroundings. The Applicant intends to pursue the previous owner's HDDR plans with modifications to restore and remodel the Significant Historic Structure. Condition of Approval 1 states that all previous conditions of approval related to the project remain in effect.

Also pursuant to LMC [§ 15-11-12\(E\)](#), requests to extend HDDR approvals must be publicly noticed consistent with the original HDDR approval. Property owners within 300 feet received notice of the Applicant's request as outlined below.

LMC [§ 15-11-12\(E\)](#) requires that Applicants submit extension requests to the Planning Department in writing prior to the expiration date of the HDDR approval. The Applicant submitted the extension of approval request on April 27, 2026, prior to the May 1, 2026, expiration date for the HDDR approval.

### **Department Review**

The Planning and Executive Departments reviewed this report.

### **Notice**

Staff published notice on the City's website and the Utah Public Notice website and posted notice to the property on May 6, 2026. Staff mailed courtesy notice to property owners within 300 feet on May 6, 2026. The *Park Record* published courtesy notice on May 7, 2026.<sup>2</sup>

### **Public Input**

Staff did not receive any public input at the time this report was published.

### **Alternatives**

The Planning Director may:

- Approve the extension of HDDR approval request.
- Deny the extension of HDDR approval request and direct staff to make Findings for the denial.
- Request additional information and continue the discussion to a date certain or uncertain.

### **Exhibits**

- A: Draft Final Action Letter
- B: HDDR Final Action Letter
- C: HPB Final Action Letter
- D: Planning Director Final Action Letter

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<sup>2</sup> LMC [§ 15-1-21](#)



**Planning Department**

May 21, 2026

Julie Wright

CC: Robin Dunleavy, Gibby Dunleavy

**NOTICE OF PLANNING DIRECTOR ACTION**

**Description**

Address: 844 Empire Avenue

Zoning District: Historic Residential – 1

Application: Extension of Historic District Design Review Approval

Project Number: PL-26-06902

Action: APPROVED WITH CONDITIONS (See Below)

Date of Final Action: May 21, 2026

Project Summary: The Applicant requests a one-year extension of Historic District Design Review (HDDR) approval due to a change in property ownership to provide time to evaluate potential revisions to the approval.

**Action Taken**

On May 21, 2026, the Planning Director conducted a public hearing and approved the extension of HDDR approval request according to the following findings of fact, conclusions of law, and conditions of approval:

**Procedural History**

1. The Historic Preservation Board (HPB) approved the previous owner’s Material Deconstruction and Panelization request to panelize the Significant Historic Structure and remove approximately 386 square feet of siding from the east façade on February 7, 2024.
2. The Planning Director’s designee approved the previous owner’s HDDR to rehabilitate and remodel the Significant Historic Structure and construct an addition on May 1, 2025.
3. The previous owner entered into an Encumbrance and Agreement for Historic Preservation on July 2, 2025.



## Planning Department

4. The property ownership changed in September 2025, and the Applicant recorded an assignment of encumbrance on Sept. 22, 2025 (Summit County Recorder Entry No. 1241341).
5. The Applicant obtained the previously approved HDDR plans and the architect provided authorization for the Applicant to use the plans on Nov. 12, 2025.

### Findings of Fact

1. The Planning Director may approve an extension to an HDDR pursuant to Land Management Code (LMC) § 15-11-12(E) when the Applicant demonstrates that there have been no physical changes to the property or surroundings or other changes of circumstance that would result in an unmitigated impact or that would result in a finding of non-compliance with the Park City General Plan or the LMC.
2. Staff mailed public notice to property owners within 300 feet regarding the Applicant's extension request on May 6, 2026, consistent with the public notice of the original HDDR approval, as required by LMC § 15-11-12(E).
3. The Applicant submitted the extension of approval request on April 27, 2026, prior to the May 1, 2026 expiration date for the HDDR approval, as required by LMC § 15-11-12(E).

### Conclusions of Law

1. The extension of approval complies, as conditioned, with LMC § 15-11-12(E).

### Conditions of Approval

1. All previous Conditions of Approval applicable to the project at 844 Empire Avenue remain in effect, including but not limited to those outlined in the:
  - a. February 7, 2024 Historic Preservation Board Final Action Letter,
  - b. May 1, 2025 Historic District Design Review Final Action Letter,
  - c. February 5, 2026 Modification to Historic District Design Review Final Action Letter.

This Final Action may be appealed pursuant to LMC [§ 15-1-18](#). If you have questions or concerns regarding this Final Action Letter, please call 385-481-2037 or email [jacob.klopfenstein@parkcity.gov](mailto:jacob.klopfenstein@parkcity.gov).

Sincerely,



**Planning Department**

---

Rebecca Ward  
Planning Director

CC: Jacob Klopfenstein

DRAFT



**Planning Department**

May 1, 2025

Jonathan DeGray  
[REDACTED]

CC: Todd Gilbert

**NOTICE OF PLANNING DEPARTMENT ACTION**

**Description**

Address: 844 Empire Avenue

Zoning District: Historic Residential – 1 (HR-1)

Application: Historic District Design Review

Project Number: PL-22-05350

Action: APPROVED WITH CONDITIONS (See Below)

Date of Final Action: May 1, 2025

Project Summary: The Applicant proposes a Historic District Design Review to restore a Significant Historic Structure, construct a 288-square-foot addition, and construct a 115-square-foot detached Accessory Building in the Historic Residential – 1 (HR-1) Zoning District.

**Action Taken**

On May 1, 2025, the Planning Director conducted a public hearing and approved the Historic District Design Review (HDDR) according to the following findings of fact, conclusions of law, and conditions of approval.

**Findings of Fact**

1. 844 Empire Avenue is Lot 1 of the 844 Empire Avenue Plat Amendment. The City Council approved the 844 Empire Avenue Plat Amendment in 2016 through Ordinance No. 2016-26.
2. 844 Empire Avenue is a Significant Historic Site developed with a Single-Family Dwelling (SFD) that was originally constructed c. 1904 during the Mature Mining



## Planning Department

Era of Park City. The SFD sustained damage in a 2014 fire and has remained vacant since.

3. 844 Empire Avenue is an unusual lot subject to the requirements of LMC Section 15-4-17, Setback Requirements For Unusual Lot Configurations, because it fronts the platted, un-built 9th Street Right-of-Way (ROW), Empire Avenue, and Crescent Tram Road.
4. In 2015, the Planning Director determined the following Setbacks for 844 Empire Avenue, as outlined in Ordinance 2016-26 and illustrated in the below image:
  - a. From 9th Street, platted un-built ROW, front yard, ten feet (10') minimum. This is the historic front of the structure.
  - b. From Empire Avenue, front yard, ten feet (10') minimum.
  - c. From Crescent Tram, front yard, ten feet (10') minimum
  - d. From the south neighbor, rear yard, ten feet (10') minimum. This side is opposite of the historic front of the house.
5. On February 7, 2024 the Historic Preservation Board (HPB) conducted a site visit to examine the damaged materials at the Site and approved the Applicant's Material Deconstruction and Panelization request to facilitate the rehabilitation of the Historic Structure and addition.
6. The Applicant also petitioned the Planning Commission for a Plat Amendment to remove Plat Note 3 of the 844 Empire Avenue Plat Amendment, which required vehicle access to the site from Empire Avenue or through 9th Street in a location approved by the City Engineer. On March 13, 2024, the Planning Commission conducted a public hearing and denied the Plat Amendment. The Planning Commission ratified the Final Action denial on April 10, 2024.
7. On April 22, 2024, Applicant appealed the Planning Commission's denial of the Plat Amendment. On May 20, 2024, the Appeal Panel conducted a public hearing and continued the appeal to June 3, 2024. On June 3, 2024, the Appeal Panel heard the appeal and voted 2-1 to grant the appeal, reversing the Planning Commission's decision to deny the Plat Amendment (Packet, Item 6.A.; Minutes p. 2-10).
8. The Applicant recorded the 844 Empire Avenue Plat Amendment – Lot 1 Amended removing the plat note that restricted vehicle access to the site, with Summit County on January 13, 2025 (Recorder Entry No. 1230098).
9. On March 20, 2025, the Applicant submitted updated HDDR plans for the proposal to the Planning Department.
10. The Applicant proposes to:



## Planning Department

- a. Rehabilitate and remodel the Historic Structure, including restoring the Historic front (north) façade that abuts the platted-but-unbuilt 9th Street right-of-way,
  - b. Construct a 288-square-foot addition,
  - c. Construct a detached, 115-square-foot Accessory Building that houses a spa tub on the southeast corner of the Lot,
  - d. Construct a driveway with access from Crescent Tram Road,
  - e. Construct a patio on the south side of the Historic Structure, and
  - f. Construct a patio on the northeast portion of the Lot.
11. The total proposed Building Footprint for the remodeled Historic Structure, addition, and detached Accessory Building is 1,350.5 square feet.
12. The proposal, as conditioned, complies with LMC Chapter 15-2.2 Historic Residential – 1 (HR-1) Zoning District.
- a. Single Family Dwellings are an allowed Use in the HR-1 Zoning District, pursuant to LMC Section 15-2.2-2(A)(1).
  - b. The maximum Lot Area for a Single-Family Dwelling is 3,750 square feet.
    - i. Pursuant to LMC Section 15-2.2-4, Historic Sites are exempted from the maximum Lot Area requirement. However, the 844 Empire Avenue Plat Amendment Lot 1 Amended designates a Lot Area of 3,242 square feet for 844 Empire Avenue.
  - c. The minimum Lot width is 25 feet measured 15 feet back from the Front Lot Line. In the case of unusual Lot configurations, Lot width measurements shall be determined by the Planning Director.
    - i. As noted above, the Lot has three front yards: along the 9th Street right-of-way, along Empire Avenue, and along Crescent Tram Road.
    - ii. The Lot width measured 15 feet back from the front yard along the 9th Street right-of-way is approximately 75 feet.
    - iii. The Lot width measured 15 feet back from the front yard along Empire Avenue is approximately 30 feet.
    - iv. The Lot width measured 15 feet back from the front yard along Crescent Tram Road is approximately 43 feet, 6 inches.
  - d. The Maximum Building Footprint is established by Lot size according to the following formula:  $\text{MAXIMUM FP} = (A/2) \times 0.9A/1875$  (Where FP = maximum Building Footprint and A= Lot Area).



## Planning Department

- i. Using the formula outlined in LMC Section 15-2.2-3(E), the Maximum Building Footprint for 844 Empire is 1,351 square feet.
  - ii. The applicant proposes a Building Footprint of 1,350.5 square feet.
- e. For Lots less than 75 feet in depth, the Front and Rear Setbacks are 10 feet each (20 feet total). For Lots up to 75 feet wide, the minimum Side Setback is 5 feet.
  - i. As noted above, the 2016 Planning Director Determination designated minimum Front Setbacks of 10 feet for the front yards facing the 9th Street ROW, Empire Avenue and Crescent Tram Road. The Planning Director Determination also set a minimum Rear Setback of 10 feet for the southeast Lot line. The 2016 Planning Director Determination also designated a minimum Side Setback of 5 feet for the east side yard abutting the east neighboring property.
  - ii. The Applicant proposes a stoop that is 6 inches above Final Grade and encroaches approximately 2 feet, 6 inches into the Front Setback along Crescent Tram Road and will lead to a mud room entry on the west side of the Historic Structure. Sidewalks and pathways are allowed as an exception in the Front Setback, pursuant to LMC § 15-2.2-3(G).
  - iii. The Applicant proposes retaining walls that will be a maximum of 4 feet tall in the Front, Rear, and Side Setbacks on the west, northeast, and south sides of the Site. Pursuant to LMC § 15-2.2-3 and LMC § 15-4-2, retaining walls not more than 4 feet in height are allowed in Front Setbacks in the HR-1 Zone, and retaining walls not more than 6 feet in height are allowed in Rear and Side Setbacks.
  - iv. The Applicant proposes a patio that will be a maximum of 4 inches above Final Grade in the Front and Side Setbacks on the northeast portion of the Site and will encroach approximately 10 feet in to the Front Setback along the 9th Street ROW and encroach approximately 5 feet into the Side Setback along the east neighboring property. The Applicant also proposes a patio on the south side of the Historic Structure that will be a maximum of 4 inches above Final Grade and will encroach approximately 10 feet into the Front and Rear Setbacks along Crescent Tram Road and the south neighboring property.



## Planning Department

- v. Pursuant to LMC § 15-2.2-3(G), decks and porches are allowed in Front Setbacks but cannot exceed 10 feet in width and cannot project more than 3 feet into the Front Setback. Pursuant to LMC § 15-2.2-3(H), patios within Rear Setbacks must not exceed 30 inches above Final Grade and must be set back at least 1 foot from the rear Lot line. Pursuant to LMC § 15-2.2-3(J), patios within Side Setbacks must not exceed 30 inches above Final Grade.
- vi. Staff recommends Condition of Approval ###, which requires the Applicant to update plans prior to submitting for a Building Permit that revise the proposed patios on the northeast corner of the site and south side of the Historic Structure to comply with Setback requirements.
- vii. The applicant proposes a driveway with access from Crescent Tram Road that is approximately 10 feet wide. Pursuant to LMC § 15-2.2-3(G), driveways leading to a garage or approved parking area are allowed in the Front Setback. Parking access for this property is allowed from Crescent Tram Road because the plat note prohibiting access from Crescent Tram Road was removed in 2024 (see Background section above for more details).
- viii. Pursuant to LMC § 15-2.2-3(G), roof overhangs are allowed as an exception in the Front Setback so long as they do not encroach more than 3 feet into the Front Setback. The Applicant also proposes a roof overhang extending over a mud room that encroaches approximately 10 inches into the Front Setback on the west side of the Historic Structure.
- ix. Pursuant to LMC § 15-2.2-3(H), roof overhangs projecting not more than 2 feet into the Rear Setback are allowed. The Applicant also proposes a roof overhang extending over a patio on the south façade of the Historic Structure that will encroach approximately 2 feet into the Front Setback from Crescent Tram Road and 2 feet into the Rear Setback from the south neighboring property.
- x. The Applicant proposes steps measuring approximately 3 feet, 8 inches in height from Final Grade within the Front Setback abutting the 9th Street right-of-way. LMC § 15-2.2-3(G) notes that uncovered steps that do not exceed 4 feet in height above Final Grade are allowed as an exception in the Front Setback.



## Planning Department

- xi. Detached Accessory Buildings not more than 18 feet in height and located at least 5 feet behind the front façade of the main structure are allowed as an exception in the Side Setback, but must be located at least 3 feet from the side Lot line. The applicant proposes a detached Accessory Building at the southeast corner of the property that is 17 feet, 9 3/8 inches tall and located approximately 29 feet behind the front façade of the structure. The proposed Accessory Building is located 3 feet from the east side Lot line.
- f. Site plans and Building designs must resolve snow release issues to the satisfaction of the Chief Building Official.
  - i. Staff recommends Condition of Approval 1, which requires the Applicant to obtain Chief Building Official approval for proposed snow release plans for the site, pursuant to LMC Section 15-2.2-3(K).
- g. LMC Section 15-2.2-5 establishes a maximum Building Height in the HR-1 zone of 27 feet above Existing Grade. However, LMC Section 15-2.2-4 exempts existing Historic Structures from Building Height requirements and states that existing Historic Structures that do not comply with Building Footprint, Building Height, Building Setbacks, Off-Street parking, and driveway location standards are valid Non-Complying Structures.
  - i. The Historic Structure at 844 Empire Avenue is approximately 27 feet, 3 inches above Existing Grade.
- h. LMC Section 15-2.2-4 states that additions to Historic Structures must comply with Building Height standards for the HR-1 zone.
  - i. The proposed east-side addition to the Historic Structure is a maximum of 18 feet, 6 inches above Existing Grade.
  - ii. The Applicant also proposes a detached Accessory Building at the southeast corner of the property that is 17 feet, 2 inches in height.
- i. LMC Section 15-2.2-5(B) establishes requirements for a 10-foot horizontal stepback in the downhill façade at a maximum height of 23 feet from where the Building Footprint meets the lowest point of Existing Grade.
  - i. Neither the proposed addition nor the proposed detached Accessory Building exceed 23 feet from Existing Grade.



## Planning Department

- j. LMC Section 15-2.2-5(A) establishes a maximum interior Building Height of 35 feet, measured from the lowest finish floor plane to the point of the highest wall top plate that supports the ceiling joists or roof rafters.
    - i. The Applicant proposes a maximum interior height of 32 feet, 7 inches for the Historic Structure.
    - ii. The proposed interior height of the west-side addition to the Historic Structure is a maximum of 22 feet, 11 inches.
    - iii. The interior height of the proposed detached Accessory Building is approximately 21 feet, 11 inches.
  - k. Pursuant to LMC Section 15-2.2-5(C), the roof pitch of the Contributing Roof Form of a structure must be between 7:12 and 12:12 and occupy a minimum horizontal distance of 20 feet measured from the primary façade to the rear of the building, as viewed from the primary public right-of-way.
    - i. The proposed Contributing Roof Form of the Historic Structure at 844 Empire is an 11:12 pitch on the north side, and a 9:12 pitch on the south side. This roof form occupies a horizontal distance of approximately 27 feet, 8 inches when measured from the north-side primary facade, which is the historic front of the home and fronts the 9th Street right-of-way.
    - ii. The Applicant proposes a flat roof for the east-side addition to the Historic Structure. Pursuant to LMC § 15-2.2-5(C), Secondary Roof Forms may be below a 7:12 pitch. The Applicant also proposes a flat roof for the detached Accessory Structure. LMC § 15-2.2-5(C)(4) states that Accessory Structures may be below a 7:12 roof pitch.
13. The proposal, as conditioned, complies with LMC Chapter 15-3 Off-Street Parking.
- a. LMC § 15-3-6(A) requires two parking spaces for SFDs; however, pursuant to LMC § 15-2.2-4, Historic Structures that do not comply with Off-Street Parking requirements are considered valid Non-Complying Structures.
  - b. The applicant proposes a driveway on the west side of the structure that is approximately 10 feet wide and 25 feet deep. No other parking areas are proposed for the Site.



## Planning Department

14. The proposal, as conditioned, complies with the February 7, 2024 Historic Preservation Final Action Letter approving Material Deconstruction and Panelization of the Historic Structure.
  - a. The HPB approved the Applicant's Material Deconstruction and Panelization request for the site to construct a new foundation, rehabilitate the Historic Structure, and construct an addition on the east side of the Historic Structure.
    - i. Condition of Approval 11 notes that all previous Conditions of Approval relating to the Applicant's proposal remain in effect.
  - b. The Applicant's proposal also includes constructing a mud room abutting the west side of the Historic Structure and adjacent to the driveway that is approximately 46 square feet. The mud room provides entrance access to the Historic Structure from the driveway. The Applicant's Historic Preservation Plan indicates that the west side of the structure does not contain any Historic siding, and the Historic siding has been removed and replaced on the west façade. Because the west façade does not contain Historic siding, the Applicant's proposal to construct a mud room abutting the west façade of the Historic Structure does not require additional HPB approval for Material Deconstruction.
  - c. The Applicant proposes removing approximately 386 square feet of siding from the east façade of the Historic Structure to accommodate the 288-square-foot addition. The HPB Final Action Letter requires the Applicant to amend Plat Note 3 to address the proposed vehicle access from Crescent Tram Road. The Applicant recorded the 844 Empire Avenue Plat Amendment – Lot 1 Amended removing the plat note that restricted vehicle access to the site, with Summit County on January 13, 2025
  - d. The HPB Final Action Letter also requires the applicant to:
    - i. Obtain HDDR approval and record a Financial Guarantee in accordance with LMC § 15-11-9. The Applicant intends to pay the Financial Guarantee following HDDR approval.
    - ii. Obtain an encroachment agreement for any aspect of the project that utilizes soils that encroach onto neighboring properties.
    - iii. Submit a Soils Report completed by a geotechnical engineer and temporary shoring plan, if applicable, prior to Building Permit issuance.



## Planning Department

- iv. Maintain the panels of the Historic Structure securely and provide the Planning Department with a panel storage plan prior to Panelization.
  - v. Return the Historic Site to its original grade after construction of the foundation, regrade the site such that water drains away from the Historic Structure, add a plinth or trim board at the base of the Historic Structure to visually anchor the Historic Structure to the new foundation, and use any Historic materials removed from the Historic Structure that are salvageable to repair any irreparable materials at the Site.
15. The proposal, as conditioned, complies with LMC Section 15-13-2 Regulations for Historic Residential Sites.
- a. The proposal is analyzed for compliance with LMC Section 15-13-2 Regulations for Historic Residential Sites. The Analysis section of the May 1, 2025 Historic District Design Review Staff Report is incorporated herein.
16. Staff published notice on the City's website and the Utah Public Notice website and posted notice to the property on April 17, 2025. Staff mailed courtesy notice to property owners within 300 feet on April 16, 2025. The Park Record published courtesy notice on April 17, 2025.

### Conclusions of Law

1. The proposal, as conditioned, complies with LMC Chapter 15-2.2 Historic Residential – 1 (HR-1) Zoning District.
2. The proposal, as conditioned, complies with LMC Chapter 15-3 Off-Street Parking.
3. The proposal, as conditioned, complies with the February 7, 2024 Historic Preservation Final Action Letter approving Material Deconstruction and Panelization of the Historic Structure.
4. The proposal, as conditioned, complies with LMC Section 15-13-2 Regulations for Historic Residential Sites.

### Conditions of Approval

1. The Applicant shall update plans prior to submitting for a Building Permit that revise the proposed patios on the northeast corner of the site and south side of the Historic Structure to comply with Setback requirements. Pursuant to LMC Section 15-13-2(B)(1)(b)(2) and LMC Section 15-13-2(B)(1)(c)(1), the Applicant



## Planning Department

- shall update plans prior to submitting for a Building Permit such that the character of the Significant Historic Site is not significantly altered by substantially changing the proportion of built and/or paved area to Open Space.
2. The Applicant shall obtain Chief Building Official approval for proposed snow release plans for the site, pursuant to LMC Section 15-2.2-3(K).
  3. The Applicant shall re-grade the site where feasible to maintain the natural topography and original grading of the site. Final Grade shall be within 4 feet of Existing Grade, pursuant to LMC Section 15-2.2-5.
  4. Painting, staining, or plastering over stone or concrete retaining walls is prohibited.
  5. The Applicant shall obtain an Encroachment Agreement with the Engineering Department for the heated driveway prior to Building Permit issuance.
  6. The Applicant shall use a textured or poured paving material other than smooth concrete for the new driveway.
  7. The Historic Structure shall not be raised or lowered more than 2 feet from its original floor elevation at the Site.
  8. Double-hung windows that reflect a 2:1 height-to-width ratio are required on the Historic Structure.
  9. New glazing shall match the visual appearance of Historic glazing. Metallic, frosted, tinted, stained, textured and reflective finishes are prohibited.
  10. Removing or obstructing any Historic elements or materials to install gutters and downspouts is prohibited. The Applicant shall use half-round gutters for new gutters on the Site.
  11. The Applicant shall use Water Wise Landscaping at the site. If watering systems are necessary, the Applicant shall use watering systems that minimize water loss, such as drip irrigation. Watering systems at the Site shall be designed to minimize their appearance from areas viewable from the primary public right-of-way.
  12. All previous Conditions of Approval pertaining to the Applicant's proposal, including but not limited to Conditions of Approval included in the Historic Preservation Board's February 7, 2024 Final Action Letter, remain in effect.
  13. The proposed work will require a Building Permit through the Building Department.
  14. The proposed work requires a Final Inspection by both the Building and Planning Departments.



## Planning Department

15. Modifications to the project require a modification application submittal to the Planning Department, payment of application fee, review for compliance with required standards, and Planning and Building Department approval.
16. The designer, architect, and/or applicant shall be responsible for coordinating the approved architectural drawings, documents, and/or plans with the approved construction drawings and documents. The overall aesthetics of the approved HDDR architectural plans shall take precedence. Any discrepancies found among these documents that would cause a change in the approved construction drawings shall be reviewed and approved prior to construction.
17. This Historic District Design Review (HDDR) Waiver Letter and approval shall expire one year following the date of this letter at 5 PM (Mountain Time). The Applicant shall obtain a Building Permit for the proposed work prior to that date. If a Building Permit for the proposed work is not approved before that date, this Waiver Letter shall be voided, and the Applicant will be required to submit a new HDDR application to pursue the proposed work.
18. The Applicant shall obtain a construction access agreement with adjacent property owners for any work occurring within 5 feet of the property line and any construction-related disturbance that may encroach onto an adjacent property.

If you have questions or concerns regarding this Final Action Letter, please call (385) 481-2037 or email [jacob.klopfenstein@parkcity.org](mailto:jacob.klopfenstein@parkcity.org).

Sincerely,



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Rebecca Ward  
Planning Director

CC: Jacob Klopfenstein, Project Planner





**Planning Department**

February 7, 2024

Jonathan DeGray  
[REDACTED]

CC: Todd Gilbert

**NOTICE OF HISTORIC PRESERVATION BOARD ACTION**

**Description**

Address: 844 Empire Avenue  
Zoning District: Historic Residential – 1  
Application: Material Deconstruction and Panelization  
Project Number: PL-23-05350  
Action: APPROVED WITH CONDITIONS (See Below)  
Date of Final Action: February 7, 2024  
Project Summary: The Applicant Seeks Approval for Material Deconstruction for a Portion of a Significant Historic Structure and Panelization to Facilitate a new foundation, the Rehabilitation of the Significant Historic Structure, and Construction of a Side Addition.

**Action Taken**

On February 7, 2024, the Historic Preservation Board conducted a public hearing and approved the Panelization and Material Deconstruction for 844 Empire Avenue according to the following findings of fact, conclusions of law, and conditions of approval:

**Findings of Fact**

1. The property is located at 844 Empire Avenue in the Historic Residential – 1 (HR-1) Zoning District.
2. The Site is designated a Significant Historic Site on Park City’s Historic Sites Inventory.



## Planning Department

3. The Property is also known as Lot 1 of the 844 Empire Avenue Amended Plat.
4. The house first appears on the 1900 Sanborn Fire Insurance Map as a simple, one and one half-story hall-parlor style home.
5. The Applicant's proposal is to panelize the Significant Historic Structure, construct a new foundation, and reassemble the Structure on the new foundation at approximately two feet (2') above its current elevation, as permitted in LMC § 15-13-2(B)(2)(b)(2).
6. On August 17, 2022, the Planning Department received a Historic District Design Review Pre-Application with a proposed design for a side addition and a detached garage structure.
7. On August 14, 2023, the Planning Department received a complete Historic District Design Review Application to lift the Historic Structure, construct a new foundation, construct a garage, remove approximately 386 square feet of siding from the east side façade to accommodate an addition, and modify approximately 277 square feet of the roof form.
8. On November 11, 2023, the Planning Department received revised plans proposing panelization of the Significant Historic Structure.
9. The discussion and figures of the Background and Analysis sections of the Staff Report dated February 7, 2024, are incorporated herein.
10. The Applicant proposes to remove approximately 386 square feet of siding from a secondary (eastern) façade to accommodate an addition, in accordance with LMC § 15-13-2(B)(4)(a)(2) and LMC § 15-13-2(B)(4)(a)(5).
11. The Applicant proposes to restore the historic front façade of the Structure and remove the non-contributing addition per LMC § 15-13-2(B)(4)(a)(2).
12. The Historic Preservation Board held a public hearing on November 1, 2023, and continued the item to December 6, 2023. The item was again continued to January 3, 2024, and once again to February 7, 2024.
13. On January 2, 2024, the Chief Building Official, Planning Director, and Historic Preservation Planner visited the site.
14. On January 10, 2024, the Chief Building Official determined the Structure was hazardous or dangerous per section 116.1 of the Building Code.

### Panelization

1. On December 10, 2023, Shen Engineers, Inc. completed an updated structural report finding multiple wall panels had been damaged by fire, soil retention, or structural cuts from the construction of the existing additions.





## Planning Department

2. The Chief Building Official, Planning Director, and Historic Preservation Planner visited 844 Empire Avenue on January 2, 2024.
3. On January 10, 2024, the Chief Building Official determined the Significant Historic Structure is hazardous or dangerous pursuant to International Building Code 116.1 and issued a letter detailing this determination.
4. The Applicant proposes panelizing eight panels.

### Conclusions of Law

1. The proposal complies with the Land Management Code requirements pursuant to LMC § 15-11-12.5 Historic Preservation Board Review for Material Deconstruction.

### Conditions of Approval

1. Final building plans and construction details shall reflect substantial compliance with the plans approved by the Historic Preservation Board on February 7, 2024. Any changes, modifications, or deviations from the approved design that have not been approved in advance by the Planning and Building Departments may result in a stop work order.
2. The applicant is responsible for notifying the Planning and Building Departments prior to making any changes to the approved plans.
3. Any changes, modifications, or deviations from the approved scope of work shall be submitted in writing for review and approval/denial in accordance with the applicable standards by the Planning Director or their Designee prior to construction.
4. The applicant shall amend the 844 Empire Avenue Amended Plat Note 3 to address the proposed garage access off Crescent Tram Road.
5. The applicant shall obtain Historic District Design Review approval from the Planning Director, or their Designee, prior to submitting a building permit.
6. The applicant shall provide the City with a Financial Guarantee, in accordance with LMC § 15-11-19, to be recorded with the Summit County Recorder's Office prior to submitting a building permit.
7. An encroachment agreement may be required prior to the issuance of a building permit for projects utilizing soils nails that encroach onto neighboring properties.
8. A Soils Report completed by a geotechnical engineer as well as a temporary shoring plan, if applicable, will be required at the time of building permit application.



**Planning Department**

9. The applicant shall maintain the panels of the Historic Structure in a secure manner including protection from vandalism, inclement weather, pest or rodent damage. The applicant shall submit a panel storage plan to the Planning Department for approval prior to panelization of the Significant Historic Structure.
10. The Historic Site shall be returned to original grade following construction of a foundation. The site shall be re-graded so that all water drains away from the Structure and does not enter the foundation. A plinth, or trim board at the base of the Historic Structure, shall be added to visually anchor the Historic Structure to the new foundation.
11. Historic materials removed from the Structure that are salvageable or in otherwise good condition shall be used to repair/replace irreparable materials on the Site.
12. The applicant shall obtain a variance to locate the garage within the proposed front setbacks.

If you have questions or concerns regarding this Final Action Letter, please contact Caitlyn Tubbs at (435)-615-5063 or email [caitlyn.tubbs@parkcity.org](mailto:caitlyn.tubbs@parkcity.org).

Sincerely,

A handwritten signature in blue ink, appearing to read "Randy Scott", written over a horizontal line.

Randy Scott, Chair  
Park City Historic Preservation Board

CC: Caitlyn Tubbs, AICP  
Senior Historic Preservation Planner



**Planning Department**

February 5, 2026

Julie Wright

CC: Gibby Dunleavy

**NOTICE OF PLANNING DIRECTOR ACTION**

**Description**

Address: 844 Empire Avenue

Zoning District: Historic Residential – 1 (HR-1)

Application: Modification to Historic District Design Review

Project Number: PL-25-06754

Action: APPROVED WITH CONDITIONS (See Below)

Date of Final Action: February 5, 2026

Project Summary: The Applicant proposes modifying the approved Historic District Design Review (HDDR) plans to add an additional basement level, restore the Historic truncated gable roof form of the Significant Historic Structure, and lower the rear dormers on the south façade of the Significant Historic Structure.

**Action Taken**

On February 5, 2026, the Planning Director conducted a public hearing and approved the Modification to the Historic District Design Review (HDDR) for 844 Empire Avenue according to the following findings of fact, conclusions of law, and conditions of approval:

**Procedural History**

1. The previous owner obtained Historic Preservation Board approval for Material Deconstruction and Panelization of the Significant Historic Structure at 844 Empire Avenue on February 7, 2024.



## Planning Department

2. The previous owner obtained HDDR approval to remodel and rehabilitate the Significant Historic Structure at 844 Empire Avenue, and construct an addition, on May 1, 2025.
3. The previous owner entered into an Encumbrance and Agreement for Historic Preservation for 844 Empire Avenue on July 1, 2025 (Entry No. 1238470).
4. The Applicant purchased the property, and the previous owner assigned the Encumbrance and Agreement for Historic Preservation for 844 Empire Avenue to the Applicant through an Assignment of Encumbrance, recorded with Summit County on September 22, 2025 (Entry No. 1241341).
5. The previous architect authorized the Applicant's Representative to use and modify the approved HDDR plans on November 12, 2025.
6. On December 29, 2025, the Applicant submitted a Modification to the HDDR to:
  - a. Add a basement level.
  - b. Lower the height of the rear dormers of the Significant Historic Structure.
  - c. Restore the Historic truncated gable roof of the Significant Historic Structure.

### Findings of Fact

1. 844 Empire Avenue is in the Historic Residential – 1 (HR-1) Zoning District.
2. 844 Empire Avenue is Lot 1 of the 844 Empire Avenue Plat Amendment Lot 1 Amended plat, which was recorded with Summit County on January 13, 2025 (Entry No. 1230098) and establishes a Lot size of 3,242 square feet for 844 Empire Avenue.
3. For Lots that are 3,242 square feet in the HR-1 Zoning District, LMC § 15-2.2-3(E) establishes a maximum Building Footprint for 844 Empire of 1,351 square feet. The Applicant proposes a Building Footprint of 1,350.5 square feet.
4. LMC § 15-2.2-5 establishes an exterior height limit of 27 feet.
5. LMC § 15-2.2-4 states that existing Significant Historic Sites that do not comply with Building Height are valid Non-Complying Structures
6. The Applicant proposes an exterior height of approximately 28 feet for 844 Empire Avenue, a Significant Historic Structure that is a valid Non-Complying Structure with regard to Building Height pursuant to LMC § 15-2.2-4.
7. The Applicant proposes Final Grade to be within 4 feet of Existing Grade.
8. The Applicant proposes modifying the approved HDDR plans to construct an additional basement level below the Significant Historic Structure at the Site.
  - a. The maximum interior height of 35 feet, measured from the Lowest Floor Plane of the additional basement level to the highest wall top plate that



## Planning Department

- supports the dormers of the Significant Historic Structure, complies with LMC § 15-2.2-5(A).
9. According to the Physical Conditions Report, due to alterations to the Significant Historic Structure over time and damage from the fire, no Historic roof material remains.
  10. LMC § 15-13-2(A)(8) requires that for roofs on Historic Structures, each site should be recognized as a physical record of its time, place and use, and owners are discouraged from introducing architectural elements or details that visually modify or alter the original building appearance when no evidence of such elements or details exists.
  11. The Applicant proposes restoring the truncated gable roof to the building's original appearance as evidenced by the 1940s-era tax photo of the Historic Structure.
  12. The Applicant proposes lowering the height of the dormers on the rear (south) façade of the Historic Structure to match the height of the dormers on the front (north) façade.

### Conclusions of Law

1. The proposed Modification to Historic District Design Review complies, as conditioned, with Land Management Code Chapter 15-2.2 *Historic Residential – 1 District*.
2. The proposed modification complies, as conditioned, with Land Management Code Section 15-13-2 *Regulations for Historic Residential Sites*.

### Conditions of Approval

1. Pursuant to LMC § 15-2.2-5, Final Grade shall be within 4 feet of Existing Grade.
2. Removing, altering, or destroying any Historic materials at the Site is prohibited.
3. The Applicant shall update the project plans to eliminate the additional window in between the two dormers on the rear (south) façade of the Historic Structure prior to Building Permit submittal.
4. All work associated with the modification must comply with the approved Historic Preservation Plan for 844 Empire Avenue (Summit County Recorder Entry No. 1238470).
5. The Applicant shall use recognized Historic preservation methods appropriate to any Historic materials impacted at the Site.



## Planning Department

6. If replacement materials are necessary, they shall match the Historic materials in scale, dimension, profile, material, texture, and finish, and shall be made of a minimum 50% recycled or reclaimed materials.
7. Vinyl and aluminum siding and windows are prohibited. Wood or aluminum-clad wood windows are allowed.
8. The exterior walls of the proposed basement addition shall not extend beyond the exterior wall planes of the Historic Structure and proposed addition.
9. Any egress wells for the additional basement level shall be located behind the midpoint of secondary facades, on the rear or tertiary façade, or in a location not visible from the primary public Right-of-Way.
10. All previous Conditions of Approval related to 844 Empire Avenue remain in effect, including but not limited to Conditions of Approval from the February 7, 2024, Material Deconstruction Final Action Letter and the May 1, 2025, Historic District Design Review Final Action Letter.
11. The proposed work requires a Building Permit.
12. The proposed work requires a Final Inspection by both the Building and Planning Departments.
13. Modifications to the project require a modification application submittal to the Planning Department, payment of application fee, review for compliance with required standards, and Planning and Building Department approval.
14. The designer, architect, and/or applicant shall be responsible for coordinating the approved architectural drawings, documents, and/or plans with the approved construction drawings and documents. The overall aesthetics of the approved architectural plans shall take precedence. Any discrepancies found among these documents that would cause a change in the approved construction drawings shall be reviewed and approved prior to construction.
15. This Final Action Letter and approval shall expire one year following the date of this letter at 5:00 PM (MT). The Applicant shall obtain a Building Permit for the proposed work prior to that date. If a Building Permit for the proposed work is not approved before that date, this Waiver Letter shall be voided, and the Applicant will be required to submit a new application to pursue the proposed work.

If you have questions or concerns regarding this Final Action Letter, please call 385-481-2037 or email [jacob.klopfenstein@parkcity.gov](mailto:jacob.klopfenstein@parkcity.gov).

Sincerely,



**Planning Department**

A handwritten signature in blue ink, appearing to read "Rebecca Ward". The signature is written over a horizontal line that spans the width of the page.

Rebecca Ward  
Planning Director

CC: Jacob Klopfenstein



# Planning Department Staff Report



**Subject:** 121 Sampson Avenue  
**Application:** PL-26-06901  
**Author:** Meredith Covey  
**Date:** May 21, 2026  
**Type of Item:** Extension of a Historic District Design Review (PL-24-06125)

## Recommendation

(I) Review the proposed Extension of a Historic District Design Review, (II) conduct a public hearing, and (III) consider approving the Extension for one year based on the Findings of Fact, Conclusions of Law, and Conditions of Approval outlined in the Draft Final Action Letter (Exhibit A).

## Description

**Applicant:** Magnus Floden  
**Location:** 121 Sampson Avenue  
**Zoning District:** Historic Residential Low Density  
**Adjacent Land Uses:** Residential  
**Reason for Review:** The Planning Director takes Final Action on an Extension of Historic District Design Review.<sup>1</sup>

LMC Land Management Code  
HDDR Historic District Design Review  
HRL Historic Residential Low Density  
SFD Single-Family Dwelling  
SSCUP Steep Slope Conditional Use Permit

*Terms that are capitalized as proper nouns throughout this staff report are defined in LMC [§ 15-15-1](#).*

## Background

121 Sampson Avenue is a 6,180-square-foot vacant Lot in the Historic Residential – Low Density (HRL) Zoning District and is Lot 1 of the 121 Sampson Subdivision approved by City Council on August 4, 2005 ([Ordinance No. 05-45](#)).

On September 11, 2024, the Planning Commission held a public hearing and approved a Steep Slope Conditional Use Permit (SSCUP) for 121 Sampson Avenue to construct a Single-Family Dwelling (SFD) ([Packet, Item 6.C](#); [Minutes, p. 29](#)).

The Planning Commission required 25 Conditions of Approval in the Final Action Letter, including:

Condition of Approval 21: “the garage shall be subordinate in design to the main

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<sup>1</sup> LMC [§ 15-11-12\(E\)](#)

building.”

Condition of Approval 23: “the Applicant shall modify plans to include a single-car garage, with a tandem Parking Space provided in front of the garage to be compliant with the two required Parking Spaces for a Single-Family Dwelling as dictated by LMC Section 15-3-6(A). The garage shall have one access driveway.”

On September 22, 2024, the Applicant appealed the Planning Commission’s Conditions of Approval 21 and 23. On November 4, 2024, the Appeal Panel granted the Appeal, allowing the Applicant to have a two car garage with a side-by-side parking configuration ([Packet, Item 6.A](#); [Audio Recording](#)).

On May 15, 2025, the Planning Director approved the Historic District Design Review (HDDR) for 121 Sampson Avenue ([Packet, Item 2.A.](#), Exhibit B).

On October 9, 2025, the Applicant submitted a request for a one-year Extension to the SSCUP to extend the expiration date to September 22, 2026.

On November 20, 2025, the Planning Director approved a one-year Extension to the SSCUP ([Packet, Item 1.C](#)).

On April 27, 2026, the Applicant submitted a request for a one-year Extension to the HDDR to extend the expiration date to May 15, 2027 (Exhibit C).

### **Analysis**

Land Management Code (LMC) [§ 15-11-12\(E\)](#) states “[t]he Planning Director or designee may grant an extension of an HDR approval for one (1) additional year when the Applicant is able to demonstrate no change in circumstance that would result in an unmitigated impact or that would result in a finding of non-compliance with the Park City General Plan or the Land Management Code in effect at the time of the extension request. Change of circumstance includes physical changes to the Property or surroundings. Notice shall be provided consistent with the original HDR approval per Sections 15-1-12 and 15-1-21. Extension requests must be submitted to the Planning Department in writing prior to the date of the expiration of the HDR approval.”

On April 27, 2026, prior to the May 15, 2026 expiration date, the Applicant submitted the Extension application and request in writing (Exhibit C).

The Applicant requests additional time to finalize the selection of a General Contractor and proposes no changes to the approved plans. There have been no changes of circumstance, including physical changes to the Property or surroundings, that results in an unmitigated impact or finding of non-compliance with the General Plan or LMC now in effect. Staff provided notice consistent with the original HDDR approval pursuant to the requirements of the LMC.

### **Department Review**

The Planning and Executive Departments reviewed this report.

### **Notice**

Staff published notice on the City's website and the Utah Public Notice website and posted notice to the property on May 7, 2026, Staff mailed courtesy notice to property owners within 100 feet on May 7, 2026.<sup>2</sup>

### **Public Input**

Staff did not receive any public input at the time this report was published.

### **Alternatives**

The Planning Director may:

- Approve the Extension.
- Deny the Extension and direct staff to make Findings for the denial.
- Request additional information and continue the discussion to a date uncertain.

### **Exhibits**

A: Draft Final Action Letter

B: May 15, 2025, HDDR Final Action Letter

C: Applicant Request

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<sup>2</sup> LMC [§ 15-1-21](#)



**Planning Department**

May 21, 2026

Jonanathan DeGray

**NOTICE OF PLANNING DIRECTOR ACTION**

**Description**

Address: 121 Sampson Avenue

Zoning District: Historic Residential - Low Density

Application: Extension of a Historic District Design Review

Project Number: PL-26-06901

Action: APPROVED WITH CONDITIONS (See Below)

Date of Final Action: May 21, 2026

Project Summary: The Applicant requests a one-year extension to construct a new Single-Family Dwelling on a Steep Slope in the Historic Residential Low Density Zoning District on a vacant Lot.

**Action Taken**

On May 21, 2026, the Planning Director conducted a public hearing and approved the extension for the proposal for a new Single-Family Dwelling at 121 Sampson Avenue built on a Steep Slope in the Historic Residential Low Density Zoning District, on a vacant lot, according to the following Findings of Fact, Conclusions of Law, and Conditions of Approval:

**Procedural History**

1. On September 11, 2024, the Planning Commission held a public hearing and approved a Steep Slope Conditional Use Permit (SSCUP) to construct a new Single-Family Dwelling (SFD) on vacant 121 Sampson Avenue.
2. On September 22, 2024, the Applicant appealed the Planning Commission's Conditions of Approval 21 and 23 requiring modifications to a two-car garage.
3. On November 4, 2024, the Appeal Panel granted the Appeal, allowing the Applicant to have a two-car garage with a side-by-side parking configuration.
4. On May 15, 2025, the Planning Director approved the Historic District Design Review (HDDR) for the proposed SFD.



## Planning Department

5. On October 9, 2025, the Applicant submitted a request for a one-year Extension to the SSCUP to extend the expiration date for one year.
6. On November 20, 2025, the Planning Director approved a one-year Extension to the SSCUP.
7. On April 27, 2026, the Applicant submitted a request for a one-year Extension to the HDDR to extend the expiration date to May 15, 2027.

### Findings of Fact

1. Land Management Code (LMC) § 15-11-12(E) states “[t]he Planning Director or designee may grant an extension of an HDR approval for one (1) additional year when the Applicant is able to demonstrate no change in circumstance that would result in an unmitigated impact or that would result in a finding of non-compliance with the Park City General Plan or the Land Management Code in effect at the time of the extension request. Change of circumstance includes physical changes to the Property or surroundings. Notice shall be provided consistent with the original HDR approval per Sections 15-1-12 and 15-1-21. Extension requests must be submitted to the Planning Department in writing prior to the date of the expiration of the HDR approval.”
2. The Applicant requests additional time to finalize the selection of a General Contractor and proposes no changes to the approved plans.
3. Staff publicly noticed the extension consistent with the original HDDR approval according to the requirements of the LMC and published notice on the City’s website and the Utah Public Notice website and posted notice to the property on May 7, 2026, Staff mailed courtesy notice to property owners within 100 feet on May 7, 2026.

### Conclusions of Law

1. The request for extension complies with LMC § 15-11-12(E) *Historic District or Historic Site Review Extensions*.

### Conditions of Approval

1. Final building plans and construction details shall reflect substantial compliance with the plans reviewed May 15, 2025, by the Planning Director. Any changes, modifications, or deviations from the approved design that have not been approved in advance by the Planning and Building Departments may result in a stop work order.
2. The extension shall expire May 15, 2027.



**Planning Department**

Final Action by the Planning Director may be appealed pursuant to LMC § 15-1-18. If you have questions or concerns regarding this Final Action Letter, please contact your project planner Meredith Covey at 435-640-8683 or [meredith.covey@parkcity.gov](mailto:meredith.covey@parkcity.gov).

Sincerely,

Rebecca Ward,  
Planning Director

CC: Meredith Covey, Planner II

DRAFT



**Planning Department**

May 15, 2025

Jonathan DeGray  
[REDACTED]

CC: Magnus Floden

**NOTICE OF PLANNING DIRECTOR ACTION**

**Description**

Address: 121 Sampson Avenue

Zoning District: Historic Residential Low Density

Application: Historic District Design Review

Project Number: PL-24-06125

Action: APPROVED WITH CONDITIONS (See Below)

Date of Final Action: May 15, 2025

Project Summary: The Applicant proposes a new single Single Family Dwelling on a Steep Slope in the Historic Residential Low Density Zoning District.

**Action Taken**

On May 15, 2025, the Planning Director conducted a public hearing and approved the Historic District Design Review for 121 Sampson Avenue according to the following findings of fact, conclusions of law, and conditions of approval:

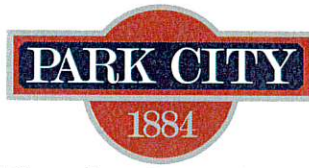
**Findings of Fact**

1. 121 Sampson Avenue is a 6,180-square-foot vacant Lot in the Historic Residential – Low Density (HRL) Zoning District and is Lot 1 of the 121 Sampson Subdivision approved by City Council on August 4, 2005.
2. The Lot is on Sampson Avenue, a narrow and steep road. In 2019, the City approved a Building Permit to demolish a Single-Family Dwelling (BD-19-26788). The Lot is currently vacant, and a portion of the original parking pad that connected the Steep Slope with Samson Avenue remains on site.



## Planning Department

3. The Applicant proposes to construct a new Single-Family Dwelling, partially on the front downhill part of the Lot, which has an average slope of 35%, with the steepest Slope within the Building Footprint at 55.56%.
4. Land Management Code (LMC) § 15-15-1(A) defines a Steep Slope as “Slope greater than fifteen percent (15%).” LMC § 15-2.1-6 requires Planning Commission review of a SSCUP for construction of “any Structure with a Building Footprint in excess of two hundred square feet (200 sq. ft.) if said Building Footprint is located on or projecting over an existing Slope of thirty percent (30%) or greater” within the HRL Zoning District.
5. On September 11, 2024 the Planning Commission held a public hearing and approved the Steep Slope Conditional Use Permit (SSCUP) for 121 Sampson to construct a Single Family Dwelling (SFD).
6. The Planning Commission included 25 Conditions of Approval in the Final Action Letter, including:
  - a. Condition of Approval 21 “the garage shall be subordinate in design to the main building”.
  - b. Condition of Approval 23 “the Applicant shall modify plans to include a single-car garage, with a tandem Parking Space provided in front of the garage to be compliant with the two required Parking Spaces for a Single-Family Dwelling as dictated by LMC Section 15-3-6(A). The garage shall have one access driveway”.
7. On September 22, 2024, the Applicant appealed the Planning Commission’s Conditions of Approval 21 and 23.
8. On November 4, 2024 the Appeal Panel granted the Appeal of the Planning Commissions Conditions of Approval allowing the Applicant to have a two car garage with a side by side parking configuration.
9. The analysis from the Staff Report is incorporated herein.
10. The proposal, as conditioned, complies with Historic Residential – Low Density Zoning District requirements outlined in Land Management Code Chapter 15-2.1.
11. On August 4, 2005 City Council adopted Ordinance No. 05-45 and approved Lot 1 of the subdivision at 121 Sampson Avenue to have an area of 6,446 square feet. The plat was recorded with the Summit County Records Office on October 11, 2005.
12. Pursuant to LMC § 15-9-5 no Non-Conforming Use may be moved, enlarged, altered, or occupy additional land. The proposed SFD does not expand the Non-Conforming Maximum Lot Size.



## Planning Department

13. The proposal, as conditioned, complies with LMC Chapter 15-3 *Off-Street Parking*.
14. The proposal complies with LMC § 15-13-2 *Design Regulations for Historic Residential Sites*.
15. Staff published a notice on the City's website and the Utah Public Notice website and posted a notice to the property on April 2, 2025. Staff mailed a courtesy notice to property owners within 100 feet on April 2, 2025.

### Conclusions of Law

1. The proposal, as illustrated on the submitted plan set, dated April 3, 2025 complies with the Land Management Code requirements pursuant to LMC § 15-11-12 Historic District or Historic Site Review.
2. The proposal complies with the Land Management Code requirements pursuant to LMC § 15-2.1-3 Historic Residential Low Density Lot and Site Requirements.
3. The proposal complies with the Land Management Code requirements pursuant to LMC § 15-13-8 Regulations for New Residential Sites in the Historic District.

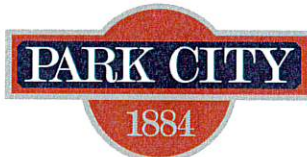
### Conditions of Approval

1. Final building plans and construction details shall reflect substantial compliance with the plans approved May 15, 2025 by the Planning Department. Any changes, modifications, or deviations from the approved design that have not been approved in advance by the Planning and Building Departments may result in a stop work order.
2. If the Applicant does not obtain a complete building permit within one year of the date of this approval, this HDDR approval will expire unless the Applicant submits a written extension request to the Planning Department prior to the expiration date and the Planning Department approves an extension.
3. The applicant is responsible for notifying the Planning and Building Departments prior to making any changes to the approved plans.
4. Any changes, modifications, or deviations from the approved scope of work shall be submitted in writing for review and approval/denial in accordance with the applicable standards by the Planning Director or their Designee prior to construction.



## Planning Department

5. The Applicant shall obtain Chief Building Official approval for proposed snow release plans for the site. The Applicant shall provide adequate snow storage for the new driveway on site and obtain Engineering Department approval for proposed snow storage areas prior to Building Permit issuance
6. An encroachment agreement may be required prior to the issuance of a building permit for projects utilizing soils nails that encroach onto neighboring properties.
7. A Soils Report completed by a geotechnical engineer as well as a temporary shoring plan, if applicable, will be required at the time of building permit application.
8. The Applicant shall replace any significant vegetation removed in an equivalent manner on site.
9. The Applicant shall submit a detailed landscaping and irrigation plan demonstrating compliance with LMC Section 15-5-5(N) to the Planning Department for review and approval prior to Building Permit issuance.
10. The Applicant shall submit detailed storm water and drainage mitigation plans to the Engineering Department for review and approval prior to Building Permit issuance.
11. Retaining walls shall be screened accordingly to minimize their visual impact.
12. Masonry shall be maintained in its natural finish.
13. The Applicant shall configure drainage behind retaining walls away from the walls to abate retaining wall failure.
14. The Applicant shall obtain an Encroachment Agreement from the Engineering Department for the heated driveway system.
15. The proposed foundation shall not be more than 8" visible on the primary facade, and 2 feet visible on the secondary and tertiary facades.
16. The site shall be re-graded so as to blend with the grade of adjacent sites and not create the need for incompatible retaining walls. The site shall be re-graded so all water drains away from the structure and does not enter the foundation.
17. The window well shall be located beyond the midpoint of the building.
18. Roofing materials shall have a Solar Reflectivity Index (SRI) of 35 or less.
19. All mechanical equipment shall be fully screened from adjacent properties.
20. The siding shall be opaque and IVOC paints and finishes should be used when possible.
21. Mature trees, shall be protected from damage during the construction of a deck by minimizing ground disturbance and by limiting use of heavy construction equipment.



**Planning Department**

22. The glazing shall be reviewed prior to Building Permit submittal.

If you have questions or concerns regarding this Final Action Letter, please contact Meredith Covey at (435) 640-8683.

Sincerely,

A handwritten signature in blue ink, appearing to read "Rebecca Ward". The signature is fluid and cursive, with a large loop at the end.

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Rebecca Ward  
Planning Director

CC: Meredith Covey  
Planner I



# NEW RESIDENCE HISTORIC DISTRICT DESIGN REVIEW

121 SAMPSON AVENUE, PARK CITY, UTAH 84060

## CONSULTANTS

SURVEYOR  
FERRARI SURVEYING, LLC  
P.O. BOX 683001  
PARK CITY, UTAH 84068  
TEL. 435-640-0412  
GREGORY J. FERRARI  
EMAIL:

## LEGEND

	BRICK & STONE		OFFICE		ROOM NAME
	EARTH		ROOM NUMBER		FLOOR, POINT ELEV
	CONCRETE		CENTER LINE		ROUND, DIA
	CONCRETE MASONRY UNIT		CHANNEL		ANGLE
	STEEL (LARGE SCALE)		DETAIL		SECTION CUT, DETAIL
	RIGID INSULATION		BUILDING SECTION		KEYED NOTES
	ROUGH WOOD		WINDOW TYPE		DOOR NUMBER
	BLOCKING		REVISION		INTERIOR WALL ELEV
	ALUMINUM (LARGE SCALE)		WALL TYPE		
	GRAVEL				
	FINISHED WOOD				
	BATT OR BLOWN INSULATION				
	PLASTER, SAND, GROUT, MORTAR				
	STEEL (SMALL SCALE)				
	BITUMINOUS PAVING				
	PLYWOOD				
	GYPSUM BOARD				

## CODE ANALYSIS

APPLICABLE CODES  
2021 IRC 2021 IBC  
2021 IPC 2021 IMC  
2020 NEC 2021 IFGC  
2015 IECC RES. 2021 IFC  
2018 IECC COM. 2021 IEBC

OCCUPANCY: R2  
CONSTRUCTION TYPE: VB  
BUILDING TO BE FIRE SPRINKLED: CONTRACTOR  
TO PROVIDE APPROVALS PRIOR TO  
INSTALLATION.

AREA CALCULATION  
LOWER LEVEL LIVING AREA: 1994 S/F  
MASTER LEVEL LIVING AREA: 2220 S/F  
MAIN LEVEL LIVING AREA: 1752 S/F  
ENTRY LEVEL LIVING AREA: 403 S/F  
TOTAL LIVING AREA: 6369 S/F  
MECHANICAL AREA: 227 S/F  
GARAGE AREA: 637 S/F  
PROPOSED FOOTPRINT: 2197 S/F  
ALLOWABLE FOOTPRINT: 2243 S/F  
LOT AREA: 6463 S/F  
DISTURBED AREA: 2875 S/F  
IMPERVIOUS AREA: 3627 S/F

## INDEX TO DRAWINGS

#	SHEET #	SHEET DESCRIPTION
1	Aa	COVER SHEET
2	1 of 1	RECOED OF SURVEY & TOPOGRAPHIC MAP
		ARCHITECTURAL
3	A0.1	ARCHITECTURAL SITE PLAN
4	A0.2	LANDSCAPE PLAN
5	A0.3	STORM WATER POLLUTION PREVENTION PLAN
6	A0.4	PARK CITY WATER DETAILS
7	A1.1	LOWER LEVEL PLAN
8	A1.2	MASTER LEVEL PLAN
9	A1.3	MAIN LEVEL PLAN, LOW ROOF PLAN
10	A1.4	GARAGE/ENTRY LEVEL PLAN, LOW ROOF PLAN
11	A1.5	HIGH ROOF PLAN, FLAT ROOF PLAN
12	A2.1	EAST ELEVATION
13	A2.2	SOUTH ELEVATION
14	A2.3	WEST ELEVATION
15	A2.4	NORTH ELEVATION
16	A3.1	BUILDING SECTION
17	A3.2	BUILDING SECTION
18	A3.3	BUILDING SECTION
19	A4.1	ARCHITECTURAL DETAILS, STAIR/RAILING NOTES
20	A4.2	ROOF FLASHING DETAILS
21	A5.1	DOOR, WINDOW AND ROOM SCHEDULES

## ABBREVIATIONS

A/C	AIR CONDITIONING	F D	FLOOR DRAIN	PR	PAIR
ACOUST	ACOUSTICAL	FND	FOUNDATION	R D	ROOF DRAIN
ADD	ADDENDUM	FIN	FINISH	REG	REGULAR
ADJ	ADJUSTABLE	FLR	FLOOR	R S	ROUGH-SAWN
ALLOW	ALLOWANCE	F R	FIRE RATED	RAD	RADIUS
ALUM	ALUMINUM	FTG	FOOTING	REINF	REINFORCING
APPROX	APPROXIMATE	G	GAS	REV	REVISED
B D	BOARD	GA	GALVANIZED IRON	RM	ROOM
B U	BUILT-UP	GALV	GALVANIZED	R O	ROUGH OPENING
B W	BOTH WAYS	GRD	GRADE	S & R	SHIELD AND ROD
BLDG	BUILDING	G W B	GYPSUM WALL BOARD	S C	SOLID CORE
BLK	BLOCK	G L B	GLU-LAM BEAM	SCHED	SCHEDULE
BRK	BRICK	H B	HOSE BIBB	SHT	SHEET
C I	CAST IRON	HD	HEAD	SIM	SIMILAR
C J	CONTROL JOINT	H M	HOLLOW METAL	SPEC	SPECIFICATION
C M U	CONCRETE MASONRY UNIT	HOR	HORIZONTAL	STD	STANDARD
CLG	CEILING	I D	INSIDE DIAMETER	STL	STEEL
COL	COLUMN	INT	INTERIOR	STRUCT	STRUCTURAL
COMP	COMPACTED/COMPOSITE	IRRI	IRRIGATION	SYS	SYSTEM
CONC	CONCRETE	INSUL	INSULATION	T & B	TOP AND BOTTOM
CONST	CONSTRUCTION	J B	JAMB	T & G	TONGUE AND GROOVE
CONTR	CONTRACTOR	JNT	JOINT	T O	TOP OF
CONT	CONTINUOUS	M R	MOISTURE RESISTANT	T O F	TOP OF FOOTING
D F	DRINKING FOUNTAIN/DOUGLAS FIR	MANFR	MANUFACTURER	T O W	TOP OF WALL
DIA	DIAMETER	MAX	MAXIMUM	TYP	TYPICAL
DIM	DIMENSION	MECH	MECHANICAL	T S	STEEL TUBE COLUMN
DN	DOWN	MIN	MINIMUM	U N O	UNLESS NOTED OTHERWISE
DWG	DRAWING	(N)	NEW	VERT	VERTICAL
DTL	DETAIL	N I C	NOT IN CONTRACT	V T R	VENT THRU ROOF
EA	EACH	N T S	NOT TO SCALE	W	WATER
EF	EXHAUST FAN	NO	NUMBER	WD	WOOD
E I F S	EXT INSUL FINISH SYSTEM	O C	ON CENTER	W	WITH
E J	EXPANSION JOINT	O D	OUTSIDE DIAMETER	WP	WATERPROOF
ELEC	ELECTRIC/ELECTRICAL	OF D	OVERFLOW DRAIN	WR	WATER RESISTANT
ELEV	ELEVATION	OPNG	OPENING	WH	WATER HEATER
EQ	EQUAL	PLYWD	PLYWOOD	WS	WATER SOFTNER
E T	EXPANSION TANK	PNT	PAINT	W W F	WELDED WIRE FABRIC
EXIST (E)	EXISTING	PNTD	PAINTED	W W M	WOVEN WIRE MESH
EXT	EXTERIOR				

## GENERAL NOTES

- THIS DESIGN IS AN ORIGINAL UNPUBLISHED WORK AND MAY NOT BE DUPLICATED, PUBLISHED AND/OR USED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT/ENGINEER.
- THESE SHEETS - LISTED BY DRAWING INDEX, ALL ACCOMPANYING SPECIFICATIONS FOR MATERIALS, WORKMANSHIP QUALITY, AND NOTES HAVE BEEN PREPARED SOLELY FOR THE CONSTRUCTION AND FINISH OF PROJECT IMPROVEMENTS, COMPLETE AND READY FOR OCCUPANCY AND USE.
- ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH PERTINENT JURISDICTIONAL CODES, RESTRICTIONS, COVENANTS, AND/OR ORDINANCES. ANY CONFLICT BETWEEN DESIGN AND REQUIREMENT SHALL BE REPORTED TO THE ARCHITECT/ENGINEER BEFORE PROCEEDING.
- ANY AND ALL PROPOSED CHANGE, MODIFICATIONS AND/OR SUBSTITUTION SHALL BE REPORTED TO THE ARCHITECT/ENGINEER BEFORE PROCEEDING.
- IN THE EVENT OF CONFLICT BETWEEN THE DESIGN DOCUMENTS AND/OR JURISDICTIONAL REQUIREMENTS, THE MORE RESTRICTIVE FROM THE STANDPOINT OF SAFETY AND PHYSICAL SECURITY SHALL APPLY.
- ANY INSTALLATION, FINISH, OR COMPONENT INTENDED TO PROVIDE ENCLOSURE, WEATHER ABILITY OR APPEARANCE QUALITY SHALL BE PRODUCED AS A REPRESENTATIVE SAMPLE PRIOR TO PROCEEDING WITH COMPLETION. WORK PERFORMED WITHOUT WRITTEN APPROVAL OF SUCH SAMPLE BY THE ARCHITECT/ENGINEER SHALL BE DONE AT THE RISK OF THE CONTRACTOR. A MINIMUM OF TWO (2) WORKING DAYS NOTICE SHALL BE GIVEN.
- ALL WORK SHALL BE INSPECTED BY GOVERNING AGENCIES IN ACCORDANCE WITH THEIR REQUIREMENTS. JURISDICTIONAL APPROVAL SHALL BE SECURED BEFORE PROCEEDING WITH WORK.
- BUILDING DESIGN IS GENERALLY PREDICATED UPON PROVISIONS OF THE 2021 IRC AND AMENDMENTS AS MAY HAVE BEEN LOCALLY ENACTED. ALL REQUIREMENTS OF THE JURISDICTIONAL FIRE SAFETY/PREVENTION DISTRICT SHALL BE ACCOMMODATED BY THIS DESIGN AND ANY CONSEQUENT CONSTRUCTION.
- ALL 2/5 lb. GAS PIPE SYSTEM METER SETS REQUIRES PRIOR APPROVAL FROM QUESTAR GAS COMPANY. PROVIDE A LETTER FROM QUESTAR APPROVING SYSTEM.
- ALL FIELD WELDING OR TORCH WORK, WILL REQUIRE A SEPARATE "HOT WORK" PERMIT PRIOR TO BEGINNING WORK. IFC 105.6.11.
- TOWER CRANES REQUIRE A SEPARATE PERMIT. CONTACT BUILDING DEPARTMENT FOR REQUIREMENTS.
- EXCAVATION NOT TO EXCEED 2:1 SLOPE WITH OUT A SOILS REPORT.
- BUILDING / HOME HARDENING SHALL COMPLY WITH THE PROVISIONS IN THE (WU) WILDLAND - URBAN INTERFACE CODE AS ADOPTED BY THE STATE OF UTAH AND AMENDED BY PARK CITY PER LMC 11-21.

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NEW RESIDENCE  
HISTORIC DISTRICT DESIGN REVIEW

121 SAMPSON AVENUE, PARK CITY, UTAH 84060

COVER SHEET

REVISIONS:

DATE: APRIL 03, 2025

PROJECT NUMBER: 2401-01

SHEET NUMBER:

Aa





THE GRAPHIC MATERIAL AND DESIGN ON THIS SHEET ARE INSTRUMENTS OF SERVICE AND REMAIN AT ALL TIMES THE PROPERTY OF JONATHAN DEGRAY - ARCHITECT P.C. REPRODUCTION OR REUSE OF THE MATERIAL AND DESIGN CONTAINED HEREIN IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF JONATHAN DEGRAY - ARCHITECT P.C. VIOLATORS WILL BE PROSECUTED TO THE FULLEST EXTENT OF THE LAW. JONATHAN DEGRAY - ARCHITECT P.C. ALL RIGHTS RESERVED.

### PLANT SCHEDULE

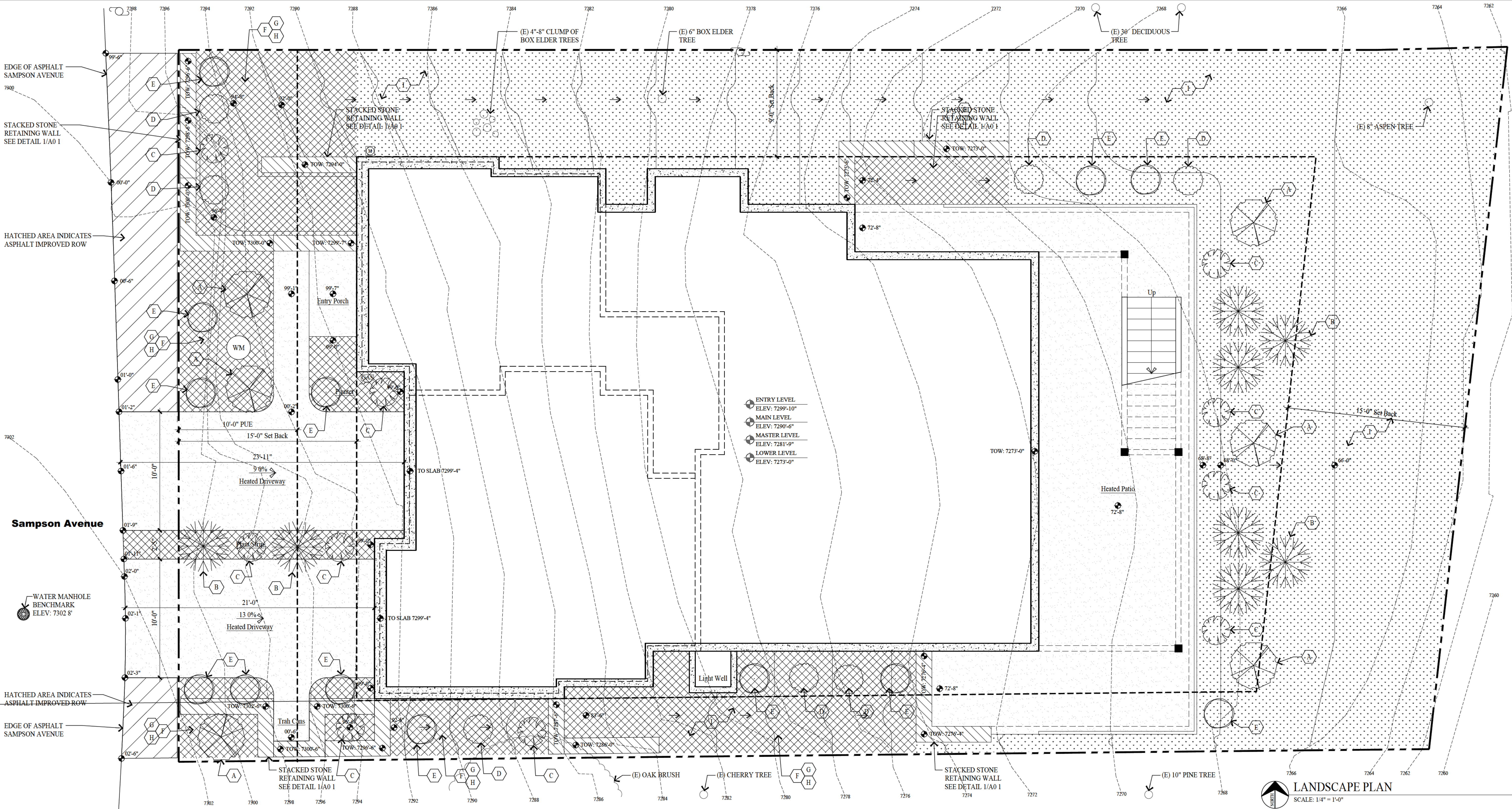
SYMBOL	KEY	QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	COMMENTS
DECIDUOUS TREES							
	A	6	Rocky Mtn Maple	Acer Glabrum	3" Dia	3'-8"	
	B	8	Aspen	Populus tremuloides	3" Dia	6'-10"	
SHRUBS							
	C	10	Alpine Currant	Ribes Alpinum	5 Gal		Spacing as noted
	D	5	Red Chokeberry	Aronia arbutifolia	5 Gal		Spacing as noted
	E	12	Honeysuckle	Diervilla Lonicera	5 Gal		Spacing as noted
GROUND COVER AND HYDROSEEDING							
	F	25	Snow In Summer	Cerastium Tomentosum	4" Pots	12"-18"	Distribute Equally
	G	25	Sweet Woodruff	Galium Odoratum	4" Pots	12"-18"	Distribute Equally
	H	775 S/F	Wood Chips		Small		3" Thick Layer
	I	2100 S/F	Native Grass Seed Mix		1 lb/1500	Hydroseeded	See seed mix below

**NATIVE GRASS SEED MIX**  
 The seed mix shall be utilized in areas specified for native grasses. This mixture shall be applied at a sufficient rate so that germination and subsequent coverage reaches 80% in a representative 10'x10' area. If coverage does not reach 80% reseeded mix occur. Apply at a rate of 80 lbs / acre on the following percentages:  
 20% Crested Wheatgrass, 10% Streambank Wheatgrass, 20% Pubescent Wheatgrass, 15% Perennial Ryegrass, 15% Mountain Bromegrass, 10% Indian Ryegrass, 10% Alpine Bluegrass  
 \* In addition, add 10 lbs / acre each of Linum lewisii and Penstemon Eatonii with native grass seed mixture

BUILDING SHALL COMPLY WITH THE PROVISIONS IN THE (WUI) WILDLAND - URBAN INTERFACE CODE AS ADOPTED BY THE STATE OF UTAH AND AMENDED BY PARK CITY PER LMC 11-21.

1. Section 603.5, is added and shall read as follows:  
 603.5 Home Ignition Zone.
- 603.5.1 Purpose. All structures must meet the following wildfire preparation requirements in regards to vegetation:  
 603.5.2 Ignition Zones. Areas around the structure shall be classified as Immediate (0-5 feet from the structure), Intermediate (5 to 30 feet from the structure), and Extended (30 to 100+ feet from the structure).
- 603.5.2.1 Immediate Ignition Zone. The immediate Ignition Zone shall extend from zero (0) to five(5) feet from the structure, any overhang, or deck attached to the structure and shall meet the following requirements:  
 1. All dead and dying vegetation must be removed from within five (5) feet of the structure.  
 2. All vegetation must be on the approved list (Refer to Municipal Code Section 14-1-5).  
 3. All trees must be trimmed so as to be no closer than 10 feet from an active wood burning chimney. Distance from natural gas direct vent shall follow manufacturer recommendations.
- 603.5.2.2 Intermediate Ignition Zone. The Intermediate Ignition Zone shall extend from the edge of the Immediate Ignition Zone to a distance not to exceed 30 feet, which may include an area outside the established LOD and shall meet the following requirements:  
 1. All vegetation in this zone must be on the approved list. See Municipal Code Section 14-1-5 (Also see 2006 Utah Wildland Urban Interface Code Appendix B).  
 2. All dead and dying vegetation shall be removed.  
 3. Grasses must be kept to a maximum of 4 inches in height above ground.  
 4. Vegetation under trees shall be removed so as to preclude the laddering effect of a ground fire from spreading into the tree crown.  
 5. Trees taller than 10 feet and less than 15 feet must have all branches removed from within four (4) feet of the ground as measured from the highest point of the ground below the canopy of the tree.  
 6. Trees greater than 15 feet must have all branches removed from within six (6) feet of the ground as measured from the highest point of the ground below the canopy of the tree.
- 603.5.2.3 Extended Ignition Zone. The Extended Ignition Zone shall extend from the edge of the Intermediate Ignition Zone to a distance not to exceed 100 feet, which may include an area outside of the established LOD, and shall meet the following requirements:  
 1. All dead and dying vegetation shall be removed.  
 2. Small conifers growing between trees may be removed in the context of clumping, clustering, and thinning, in accordance with Section 603.4.  
 3. Trees greater than 15 feet must have all branches removed from within six (6) feet of the ground as measured from the highest point of the ground below the canopy of the tree.  
 4. Trees and shrubs must be clustered with the canopies of the clusters being no closer than 12 feet to the next closest cluster.  
 5. No single tree cluster shall exceed 5 trees or cover more than 25% of the Intermediate Ignition Zone, whichever is lesser.  
 6. Exception Structures meeting all of the items listed in Section 603.4 are not required to meet items 3 through 5 above. Notwithstanding any exception, all landscaping in the Extended Ignition Zone must be such that a ground fire is not likely to spread into the tree canopy.

- ### GENERAL NOTES
- PLANTING NOTES:**
- CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO INITIATION OF EXCAVATION OR PLANTING OPERATIONS. ANY DAMAGE TO EXISTING UTILITIES ON SITE OR ADJACENT PROPERTY SHALL BE CONTRACTORS RESPONSIBILITY.
  - ALL PLANT MATERIAL SHALL CONFORM TO CURRENT AMERICAN ASSOCIATION OF NURSERYMAN'S STANDARD SPECIFICATIONS.
  - ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DRAWINGS, DETAILS, AND SPECIFICATIONS.
  - CONTRACTOR SHALL VERIFY ALL QUANTITIES IN CASE OF A DISCREPANCY. THE ILLUSTRATED LOCATIONS SHALL DICTATE COUNT.
  - CONTRACTOR SHALL COORDINATE ALL PLANTING WITH IRRIGATION CONTRACTOR, AS NEEDED.
  - IN THE EVENT OF A DISCREPANCY NOTIFY THE ARCHITECT OR OWNER IMMEDIATELY.
  - NO SUBSTITUTIONS SHALL BE ALLOWED WITHOUT WRITTEN PERMISSION OF THE ARCHITECT OR OWNER.
  - SHRUB BEDS SHALL RECEIVE 6" OF TOPSOIL.
  - ALL SHRUB BEDS SHALL HAVE 3" OF DECOMPOSED BARK MULCH INSTALLED.
  - SHRUB BED EDGING SHALL BE PRESSURE TREATED WOOD OR "TREX" EDGING IT SHALL SEPARATE ALL SHRUB BEDS/NATIVE GRASS LOCATIONS.
  - ALL PLANTS AND ALL PLANT STAKES SHALL BE SET PLUMB.
  - ALL ROOT WRAPPING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED AT TIME OF PLANTING AND PROPERLY DISCARDED.
  - NO BARE ROOT STOCK SHALL BE USED.



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NEW RESIDENCE  
 HISTORIC DISTRICT DESIGN REVIEW  
 121 SAMPSON AVENUE, PARK CITY, UTAH 84060

LANDSCAPE PLAN

DATE	APRIL 03, 2025
PROJECT NUMBER	2401-01
SHEET NUMBER	A0.2

THE GRAPHIC MATERIAL AND DESIGN ON THIS SHEET ARE INSTRUMENTS OF SERVICE AND REMAIN AT ALL TIMES THE PROPERTY OF JONATHAN DEGRAY - ARCHITECT P.C. REPRODUCTION OR REUSE OF THE MATERIAL AND DESIGN CONTAINED HEREIN IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF JONATHAN DEGRAY - ARCHITECT P.C. VIOLATORS WILL BE PROSECUTED TO THE FULLEST EXTENT OF THE LAW. JONATHAN DEGRAY - ARCHITECT P.C. ALL RIGHTS RESERVED.

LOD DISTURBED AREA: 2875 S'F

NOTE:  
 1 SWPPP SIGN AND SWPPP DOCUMENT MUST BE ON SITE DURING CONSTRUCTION  
 2 DOWNSTREAM SEDIMENT TRAPS NEED TO BE EXTENDED UP BOTH SIDES FAR ENOUGH TO PREVENT OFFSITE DEPOSITION FIELD VERIFY

GRAPHIC SCALE

### LEGEND

- WATER METER LID
- ELECTRIC METER BOX
- GAS METER
- WATER MANHOLE LID
- POWER POLE
- DATUM ELEVATION
- LOD FENCE
- SURFACE DRAINAGE FLOW
- EXISTING CONTOUR LINE
- NEW CONTOUR LINE
- PROPERTY LINE
- SET BACK / EASEMENT LINE
- ORIGINAL CONTOUR LINE
- WL - WATER LINE
- SL - SEWER LINE
- GL - GAS LINE
- PL - POWER LINE

### GENERAL NOTES

**SITE PLAN NOTES:**

- ALL SURFACE WATER SHALL DRAIN AWAY FROM THE HOUSE AT ALL POINTS DIRECT THE DRAINAGE WATER TO THE STREET OR AN APPROVED DRAINAGE COURSE BUT NOT ONTO THE NEIGHBORING PROPERTIES THE GRADE SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10 FEET
- ALL EXCAVATION CUTS TO BE LAID BACK A MINIMUM OF 2:1 SLOPE

**UTILITY NOTES:**

- ALL NEW UTILITIES TO BE CONNECTED THROUGH THE EXISTING HOUSE TO THE EXISTING UTILITIES

**SNOW REMOVAL:**

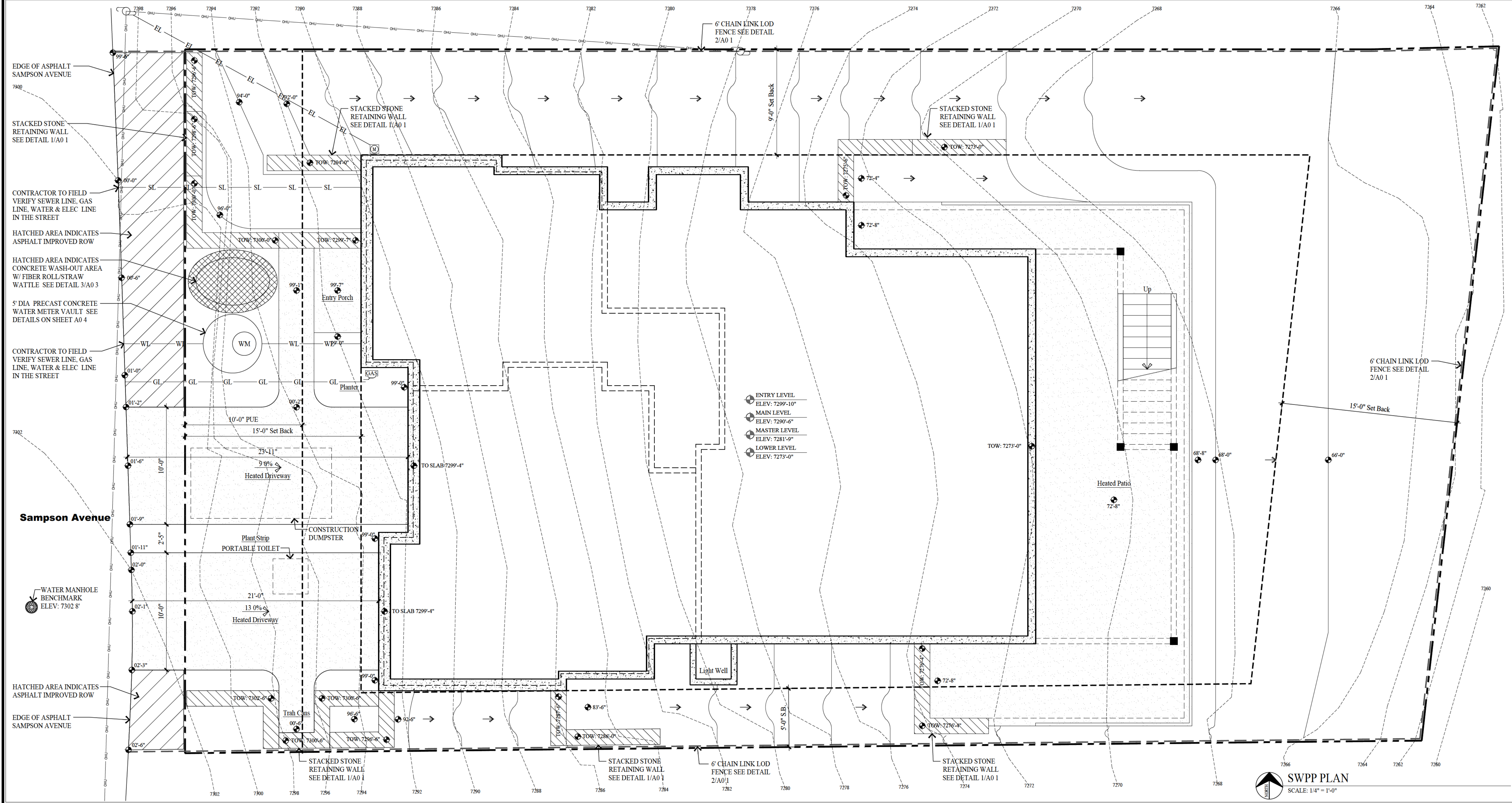
SNOW PLOWED FROM DRIVE SHALL NOT BE PUSHED ONTO THE STREET

**STABILIZATION CONSTRUCTION ENTRANCE:**

FOR A MINIMUM OF 50' FROM ROADWAY, A FILTER FABRIC SHALL BE INSTALLED OVER A COMPACTED SUBGRADE A 6" LAYER OF 1"-2" AGGREGATE SHALL BE PLACED OVER THIS MEMBRANE DAILY INSPECTION FOR SEDIMENT BUILD UP AND OR LOSS OF GRAVEL WILL BE ENFORCED, AND REMEDIATED AT ONCE

**GRADING NOTES:**

- DRAINAGE TO COMPLY WITH IRC CHAPTER 4
- MAXIMUM ALTERED SLOPES AT 2:1
- MINIMUM SLOPE FOR DRAINAGE = 2%
- DRAIN AWAY FROM BUILDING
- CONTAIN DRAINAGE ON PROPERTY
- BOULDER RETAINING WALLS NOT TO EXCEED 4'-0" EXPOSED HEIGHT
- EXCAVATION NOT TO EXCEED 2:1 SLOPE WITH OUT A SOILS REPORT



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## Architect

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PROJECT DESCRIPTION:

**NEW RESIDENCE**

HISTORIC DISTRICT DESIGN REVIEW

121 SAMPSON AVENUE, PARK CITY, UTAH 84060

SHEET DESCRIPTION:

**SWPPP PLAN**

REVISIONS:

NO.	DATE	DESCRIPTION

DATE:

APRIL 03, 2025

PROJECT NUMBER:

2401-01

SHEET NUMBER:

# A0.3

**SWPPP PLAN**  
 SCALE: 1/4" = 1'-0"

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**HORIZONTAL SEPARATION REQUIREMENTS**

**VERTICAL SEPARATION REQUIREMENTS**

NOTES:  
1. SEE STD. PLAN 547-B FOR HORIZONTAL AND VERTICAL SEPARATION REQUIREMENT NOTES.

	DATE	3/2014	<b>WATER - SANITARY SEWER SEPARATION</b>	<b>547-A</b>
	REV.	0		
	STD. PLAN			

**PLAN NTS**

**SECTION NTS**

NOTES:  
1. REFER TO STD. PLAN 520 FOR GENERAL REQUIREMENTS - METER, METER VAULT, AND SERVICE LINE.  
2. REFER TO STD. PLAN 521 S FOR LEGEND ITEMS, APPROVED PARTS LIST, AND DETAIL NOTES.

	DATE	03/2014	<b>1-1/2" AND 2" SINGLE METER OUTSIDE SETTING</b>	<b>524</b>
	REV.	0		
	STD. PLAN			

**LEGEND AND APPROVED PARTS LIST**

ITEM	DESCRIPTION	ACCEPTABLE MANUFACTURER	MODELS
1	5' DIA. MANHOLE, PRECAST CONCRETE ECCENTRIC CONE AND WALL SECTIONS		ASTM C 478
2	METER VAULT FRAME AND COVER (STD. PLAN 529)		
3	POLYPROPYLENE ENCASED GRADE 60 STEEL STEPS AT 13" C-C, 13-1/2" TREAD WIDTH	M.A. INDUSTRIES OR APP'VD EQ.	PS2-PFDF
4	2" CURB VALVE, F.I.P. x CTS	MUELLER	B-25172N
5	2" DIA. BRASS NIPPLE x 4" LENGTH, M.I.P.		
6	2" BRONZE UNION, F.I.P., THREADED		
7	1-1/2" BRASS NIPPLE x 4" LENGTH, 2" x 1-1/2" BRONZE BELL REDUCER, AND 1-1/2" CLOSE BRASS NIPPLE (1-1/2" YOKE ONLY)		
8	1-1/2" METER YOKE COMMERCIAL SERVICE: WITH BYPASS RESIDENTIAL SERVICE: WITHOUT BYPASS IRRIGATION SERVICE: WITHOUT BYPASS	MUELLER	1-1/2"x15" B2423-2-01N (WITH BYPASS) 1-1/2"x15" B2422-2N (WITHOUT BYPASS)
		FORD	1-1/2" VBHH76-15B-11-66-NL (WITH BYPASS) 1-1/2" VBHH76-15-11-66-NL (WITHOUT BYPASS)
9	2" CONNECTION, F.I.P. x CTS AND 2" BRASS NIPPLE x 4" LENGTH (OUTLET); 1-1/2" YOKE ONLY; ADD 2"x1-1/2" BRONZE BELL REDUCER AND 1-1/2" CLOSE BRASS NIPPLE	MUELLER	2"x15" B2423-2-01N (WITH BYPASS) 2"x15" B2422-2N (WITHOUT BYPASS)
		FORD	2" VBHH77-15B-11-77-NL (WITH BYPASS) 2" VBHH77-15-11-77-NL (WITHOUT BYPASS)
10	METER, SUPPLIED AND INSTALLED BY PCMC		
11	PIPE SUPPORTS (4) 16"x8"x8" CMU BLOCK, (2) METER SUPPORT RODS, GALVANIZED		
12	MXU AND WIRING, SUPPLIED AND INSTALLED BY PCMC		
13	MXU REMOTE LOCATION CONDUIT WITH END CAPS, SCH 40 PVC (STD. PLAN 531)		
14	END CAP AND MARKER, CTS x F.I.P. (OUTLET)		H-15451N AND H-10035N

**DETAIL NOTES**

- LOCATE METER VAULT PER APPROVED PLANS AND SET METER BOX PLUMB
- SST INSERT STIFFENERS REQUIRED ON ALL CTS TUBING CONNECTIONS

	DATE	3/2014	<b>1-1/2" and 2" SINGLE METER OUTSIDE SETTING</b>	<b>524 S</b>
	REV.			
	STD. PLAN			

**HORIZONTAL SEPARATION NOTES:**

- ZONE 1: WATER LINE AND SEWER LINE SEPARATED 10 FEET OR GREATER - NO SPECIAL REQUIREMENTS
- ZONE 2: WHERE LOCAL CONDITIONS AND SITE SPECIFIC CONDITIONS PRECLUDE ZONE 1 SEPARATION - SPECIAL REQUIREMENTS APPLY
  - APPROVAL BY DIVISION OF ENVIRONMENTAL QUALITY, DIVISION OF DRINKING WATER AND
  - SEWER PIPES IN GOOD CONDITION AND
  - NO HIGH GROUNDWATER AND
  - WATER LINE SEPARATED BY AT LEAST 6 FEET AT OUTSIDE PIPE WALLS AND
  - BOTTOM OF WATER LINE IS AT LEAST 18 INCHES ABOVE TOP OF SEWER LINE AND
  - WATER LINE CONSTRUCTED WITH MECHANICAL, RESTRAINED JOINT PIPE
- ZONE 3: WATER LINE AND SEWER LINE SEPARATED LESS THAN 6 FEET - NOT ALLOWED WITHOUT APPLICATION TO AND APPROVAL BY UTAH DIVISION OF ENVIRONMENTAL QUALITY, DIVISION OF DRINKING WATER FOR EXCEPTION TO THE RULE. ADDITIONAL MITIGATION MEASURES TO PROTECT PUBLIC HEALTH REQUIRED
- ADDITIONAL WATER-SEWER SEPARATION AND/OR SPECIAL PIPE MATERIALS MAY BE REQUIRED IN AREAS OF HIGH GROUNDWATER, SOILS CONDITIONS, OR SPECIAL SEWER LINE CONTENTS
- SERVICE LINE TAPS NOT ALLOWED IN ZONE 2
- SERVICE LINE TAPS WITHIN ZONE 3 ALLOWED ONLY BY SITE SPECIFIC APPROVAL BY DIVISION OF ENVIRONMENTAL QUALITY, DIVISION OF DRINKING WATER
- SANITARY SEWER FORCE MAINS:
  - WATER LINE TO MAINTAIN 10 FEET HORIZONTAL SEPARATION AND 18 INCHES VERTICAL SEPARATION ABOVE SEWER FORCE MAIN
  - NEW SEWER FORCE MAIN CROSSING UNDER AN EXISTING WATER MAIN TO BE ENCLOSED IN A CONTINUOUS SLEEVE
  - NEW WATER MAIN CROSSING OVER AN EXISTING SEWER FORCE MAIN, 200 PSI MINIMUM WORKING PRESSURE RATED PIPE MATERIALS REQUIRED
- CONSULT SNYDERVILLE BASIN WATER RECLAMATION DISTRICT FOR ADDITIONAL SANITARY SEWER RELATED REQUIREMENTS AND SEWER LINE MODIFICATIONS

**VERTICAL SEPARATION NOTES:**

- ZONE 1: WATER LINE ABOVE SEWER LINE AND SEPARATED 18 INCHES OR GREATER - NO SPECIAL REQUIREMENTS
- ZONE 2: WATER LINE ABOVE SEWER LINE SEPARATED LESS THAN 18 INCHES - LOOP WATER LINE, REFER TO STD. PLANS 543 AND 544. INSTALL CONTROLLED LOW-STRENGTH MATERIAL (CLSM), "FLOWABLE FILL", 100 PSI MINIMUM TO 150 PSI MAXIMUM MIX DESIGN, FOR FULL TRENCH WIDTH WITHIN WATER PIPE ZONE AND TO TOP OF SEWER LINE
- ZONE 3: WATER LINE BELOW SEWER LINE SEPARATED LESS THAN 18 INCHES - LOOP WATER LINE, REFER TO STD. PLANS 543 AND 544. INSTALL CONTROLLED LOW-STRENGTH MATERIAL (CLSM), "FLOWABLE FILL", 100 PSI MINIMUM TO 150 PSI MAXIMUM MIX DESIGN, FOR FULL TRENCH WIDTH WITHIN WATER PIPE ZONE AND TO 18 INCHES ABOVE SEWER LINE
- ZONE 4: WATER LINE BELOW SEWER LINE SEPARATED GREATER THAN 18 INCHES - CENTER ONE FULL UNCU LENGTH OF WATER PIPE OVER THE CROSSING AND PROVIDE MECHANICAL RESTRAINED PIPE JOINTS UNTIL THE WATER PIPE EXTENDS TO A DISTANCE OF 10 FEET PERPENDICULAR TO EACH SIDE OF THE SEWER LINE. INSTALL CONTROLLED LOW-STRENGTH MATERIAL (CLSM), "FLOWABLE FILL", 100 PSI MINIMUM TO 150 PSI MAXIMUM MIX DESIGN, FOR FULL TRENCH WIDTH WITHIN WATER PIPE ZONE AND TO 18 INCHES ABOVE SEWER LINE
- SERVICE LINE TAPS NOT ALLOWED IN ZONES 2 AND 3
- SANITARY SEWER FORCE MAINS: SEE HORIZONTAL SEPARATION REQUIREMENTS, NOTE 5
- CONSULT SNYDERVILLE BASIN WATER RECLAMATION DISTRICT FOR ADDITIONAL SANITARY SEWER RELATED REQUIREMENTS AND SEWER LINE MODIFICATIONS

	DATE	5/2014	<b>WATER - SANITARY SEWER SEPARATION NOTES</b>	<b>547-B</b>
	REV.			
	STD. PLAN			

**NOTES:**

- REFERENCE STD. PLAN 520 FOR GENERAL REQUIREMENTS - METER, METER VAULT, AND SERVICE LINE.

	DATE	2/2014	<b>WATER SERVICE LINE 3/4" TO 2" METERS</b>	<b>541</b>
	REV.	0		
	STD. PLAN			

**LEGEND AND APPROVED PARTS LIST**

ITEM	DESCRIPTION	ACCEPTABLE MANUFACTURER	MODELS
1	BRONZE SERVICE SADDLE: DI & AC PIPE; DOUBLE STRAP PVC PIPE; TWO-PIECE BOLTED	MUELLER	DI & AC PIPE, BR2B SERIES, 1-1/2" SERVICE, CC THDS; 2" SERVICE FIP THDS
		FORD	DI & AC PIPE, STYLE 202B 1-1/2" SERVICE, CC THDS; 2" SERVICE, FIP THDS PVC PIPE, H-13000 SERIES, 1-1/2" SERVICE, CC THDS; 2" SERVICE FIP THDS
2	BRASS CORPORATION STOP, INLET CC THREAD, OUTLET CTS COMPRESSION	MUELLER	B-25008N
3	POLYETHYLENE ENCASEMENT, HIGH DENSITY CROSS LAMINATED (HDDL) POLYETHYLENE FILM, AWWA C105 & AWWA C103E METHOD C	CHRISTY'S OR APPROVED EQUAL	AWWA C703E METHOD C (4 MIL)
		FORD	FB1100-(SERVICE SIZE)-G-NL
4	DETECTABLE UNDERGROUND WARNING TAPE, 5-MIL MINIMUM, ALUMINUM BACKING BLUE BACKGROUND, 6" WIDE	SETON OR APP'VD EQUAL	85525
5	WATER SERVICE LINE: HIGH-DENSITY POLYETHYLENE TUBING (CTS), BLUE, SDR 9, AWWA C901 1-1/2" DIA. SERVICE: 3/4" AND 1" SINGLE METER 2" DIA. SERVICE: 1-1/2" AND 2" SINGLE METER 2" DIA. SERVICE: 1-1/2" DUAL METERS	ADS OR APP'VD EQUAL	
		ADS OR APP'VD EQUAL	
6	WATER SERVICE LINE: HIGH-DENSITY POLYETHYLENE TUBING (CTS), BLUE, SDR 9, AWWA C901; OR, TYPE K COPPER, SOFT, AWWA C800	ADS OR APP'VD EQUAL	
7	TRACER WIRE: 12 GA. SOLID, BLUE PVC INSULATION; WIRE-WIRE CONNECTORS SILICONE-FILLED WIRE NUTS	IDEAL INDUSTRIES	TWISTER DB PLUS OR APP'D EQUAL

**DETAIL NOTES**

- COORDINATE SERVICE SIZE WITH CITY PRIOR TO ORDERING MATERIALS
- LOCATE SERVICE PER APPROVED PLANS
- NO SERVICE LINE FITTINGS ALLOWED BETWEEN CORPORATION STOP AND METER VAULT CURB STOP VALVE
- APPLY WAX TAPE COATING SYSTEM TO SERVICE SADDLE BOLTS AND NUTS, AWWA C217. SYSTEM TO INCLUDE FILLER MATERIAL, TAPE COATING, AND PROTECTIVE OUTERWRAP. DENSO NORTH AMERICA, TRENTON, OR APPROVED EQUAL (STD. PLAN 534)

	DATE	5/2014	<b>WATER SERVICE LINE 3/4" TO 2" METERS</b>	<b>541 S</b>
	REV.			
	STD. PLAN			

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NEW RESIDENCE  
HISTORIC DISTRICT DESIGN REVIEW

121 SAMPPSON AVENUE, PARK CITY, UTAH 84060

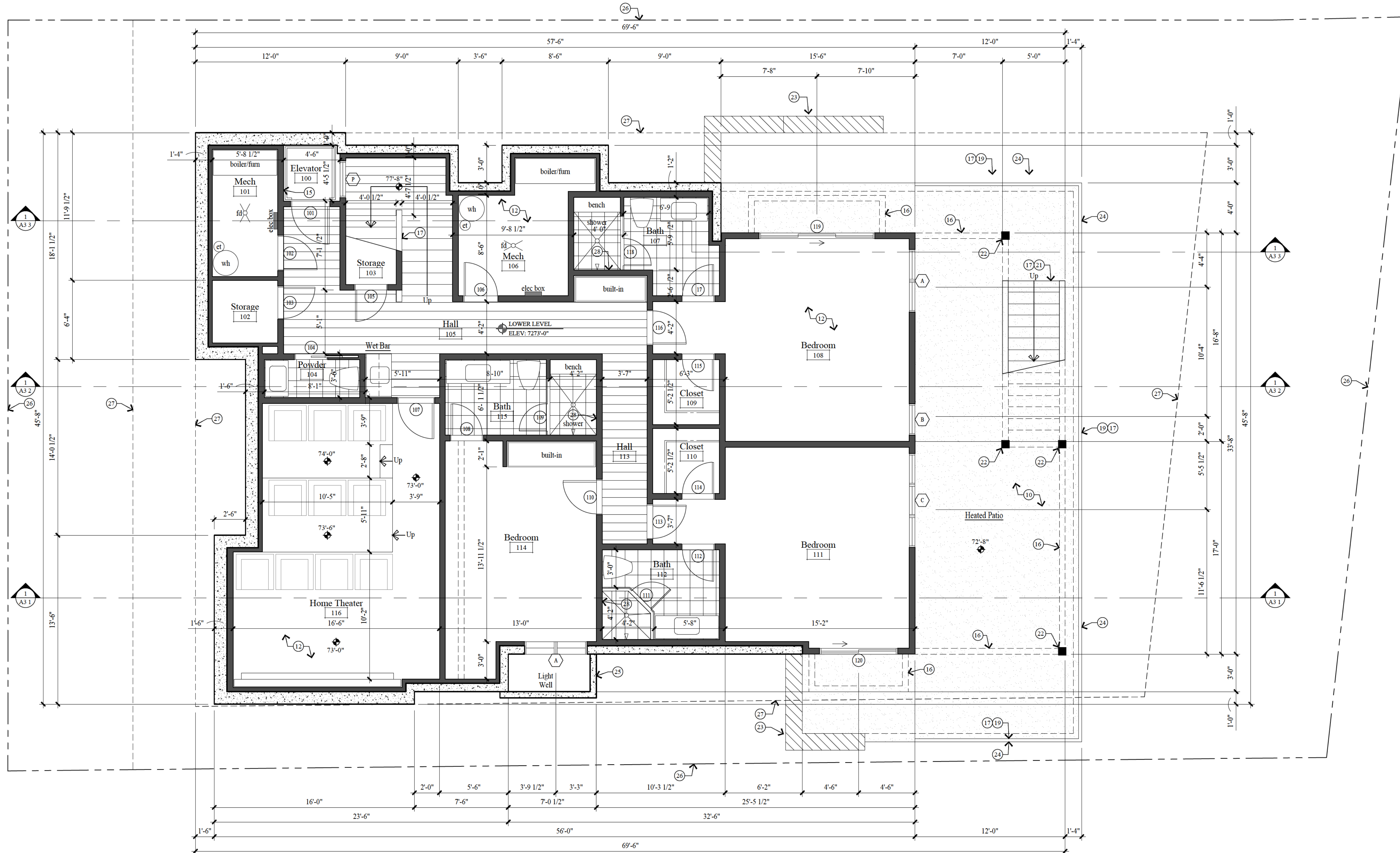
PARK CITY WATER DETAILS

DATE: APRIL 03, 2025

PROJECT NUMBER: 2401-01

SHEET NUMBER: **A0.4**

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### GENERAL NOTES

- NEW CONCRETE WALL
- NEW 2x FRAMED WALL
- 1 ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE FIELD VERIFIED PRIOR TO ANY CONSTRUCTION
- 2 EXTERIOR WALLS TO BE 2x6 FRAMING W/ BIB INSULATION R-23 ALL INTERIOR WALLS TO BE 2x4 FRAMING, U N O W/ BIB INSULATION R-15 ALL INTERIOR PLUMBING AND BEARING WALLS TO BE 2x6 FRAMING, U N O W/ BIB INSULATION R-23 ALL FLOOR JOIST W/ 9 1/2" TJ FRAMING W/ BIB INSUL R-38 ALL ROOF JOIST W/ 9 1/2" TJ FRAMING W/ BIB INSUL R-38 ALL DECK JOIST, FLOOR JOIST, ROOF JOIST W/ 7 1/4" LVL FRAMING W/ 7" CLOSED CELL FOAM INSULATION R-38.
- 3 FIRE SPRINKLERS TO BE ON THE WARM SIDE OF THE BUILDING ENVELOPE
- 4 AIR LEAKAGE: THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH SECTIONS N1102.4.1 - N1102.4.4

### KEY NOTES

- 1 CLASS A NON-REFLECTIVE STANDING SEAM METAL ROOF, TO BE ICC-ES APPROVED ON ICE & WATER MEMBRANE ON 5/8" EXT PLYWOOD ON ROOF JOIST ROOF SHALL COMPLY WITH THE WILDLAND - URBAN INTERFACE CODE.
- 2 ARCHITECTURAL GRADE 40 YEAR ASPHALT SHINGLE ON ICE & WATER MEMBRANE ON 5/8" EXT SHEATHING ON ROOF JOIST - SEE STRUCT ROOF MATERIAL SHALL COMPLY WITH THE WILDLAND - URBAN INTERFACE CODE.
- 3 COMPOSITE RIDGE VENT, COBRA OR EQUAL.
- 4 FLAT ROOF: REINFORCED WATERPROOF MEMBRANE OVER RIGID INSULATION SLOPED 2% MIN ON 3/4" EXTERIOR PLYWOOD ON ROOF JOIST - SEE STRUCTURAL FOR SIZE.
- 5 ROOF CRICKET / OVERBUILD CONTRACTOR TO FIELD VERIFY HEIGHT AND LOCATION.
- 6 FIREPLACE CHIMNEY W/ PRE-MANUFACTURED METAL CHIMNEY CAP.
- 7 2"x3" CONTINUOUS METAL DRIP EDGE OVER 2x4 ON 1x10 BUILT-UP FASCIA W/ 1x CEDAR SOFFIT, VENTED - PAINT/STAIN OPAQUE FINISH.
- 8 HEATED ROOF DECK: REINFORCED WATERPROOF MEMBRANE OVER RIGID INSULATION SLOPED 2% MIN ON 3/4" EXTERIOR PLYWOOD ON DECK JOIST - SEE STRUCTURAL FOR SIZE HYDRONIC HEATING STAPLE UP SYSTEM ON THE BOTTOM SIDE OF 3/4" PLYWOOD.
- 9 HEATED GARAGE SLAB: 5" CONCRETE TOPPING ON 20 GAUGE FORMLOCK METAL DECKING, SLOPED SEE STRUCTURAL FOR REINFORCING AND DETAILS.
- 10 4" REINFORCED HEATED CONCRETE PATIO / PORCH / DRIVEWAY ON 4" GRAVEL BASE.
- 11 HYDRONIC HEATING STAPLE UP SYSTEM ON THE BOTTOM SIDE OF 3/4" PLYWOOD ON FLOOR JOIST - SEE STRUCT FOR SIZE AND DETAILS.
- 12 4" REINFORCED CONCRETE SLAB W/ HYDRONIC HEATING ON 2" RIGID INSULATION (CONTINUOUS) ON 6 MIL POLYETHYLENE VAPOR RETARDER (JOINTS TO LAP 6" MIN) ON 4" GRAVEL BASE CLEANED GRADE.
- 13 POLYCAST TRENCH DRAIN OR EQUAL, TIE INTO GRAVEL SUMP OR STORM DRAIN SYSTEM.
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- 16 DASHED LINES INDICATE WALL / BEAM ABOVE.
- 17 FOR TYPICAL STAIRWAY, HANDRAILING AND GUARDRAILING NOTES & DETAILS ON SEE SHEET A4.
- 18 36" HIGH GUARD RAILING: 2x SHAPED HARDWOOD CONT TOP CAP 1 1/2 x 3 TUBE STEEL POST W/ 1x8 CEDAR HORIZ LAP SIDING INFILL.
- 19 36" HIGH GUARD RAILING: 2x SHAPED HARDWOOD CONT TOP CAP W/ 5/32" DIA 316 STAINLESS STEEL CABLE, WORKING LOAD: 750# BREAKING LOAD: 2000# HORIZONTAL, SPACED LESS THAN 4" THROUGH 1 1/2 x 3 TUBE STEEL POST - PAINT/POWDER COAT.
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LOWER LEVEL PLAN  
SCALE: 1/4" = 1'-0"

Jonathan DeGray

A r c h i t e c t

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NEW RESIDENCE

HISTORIC DISTRICT DESIGN REVIEW

PROJECT DESCRIPTION:

LOWER LEVEL PLAN

SHEET DESCRIPTION:

REVISIONS:

DATE: APRIL 03, 2025

PROJECT NUMBER: 2401-01

SHEET NUMBER: A1.1

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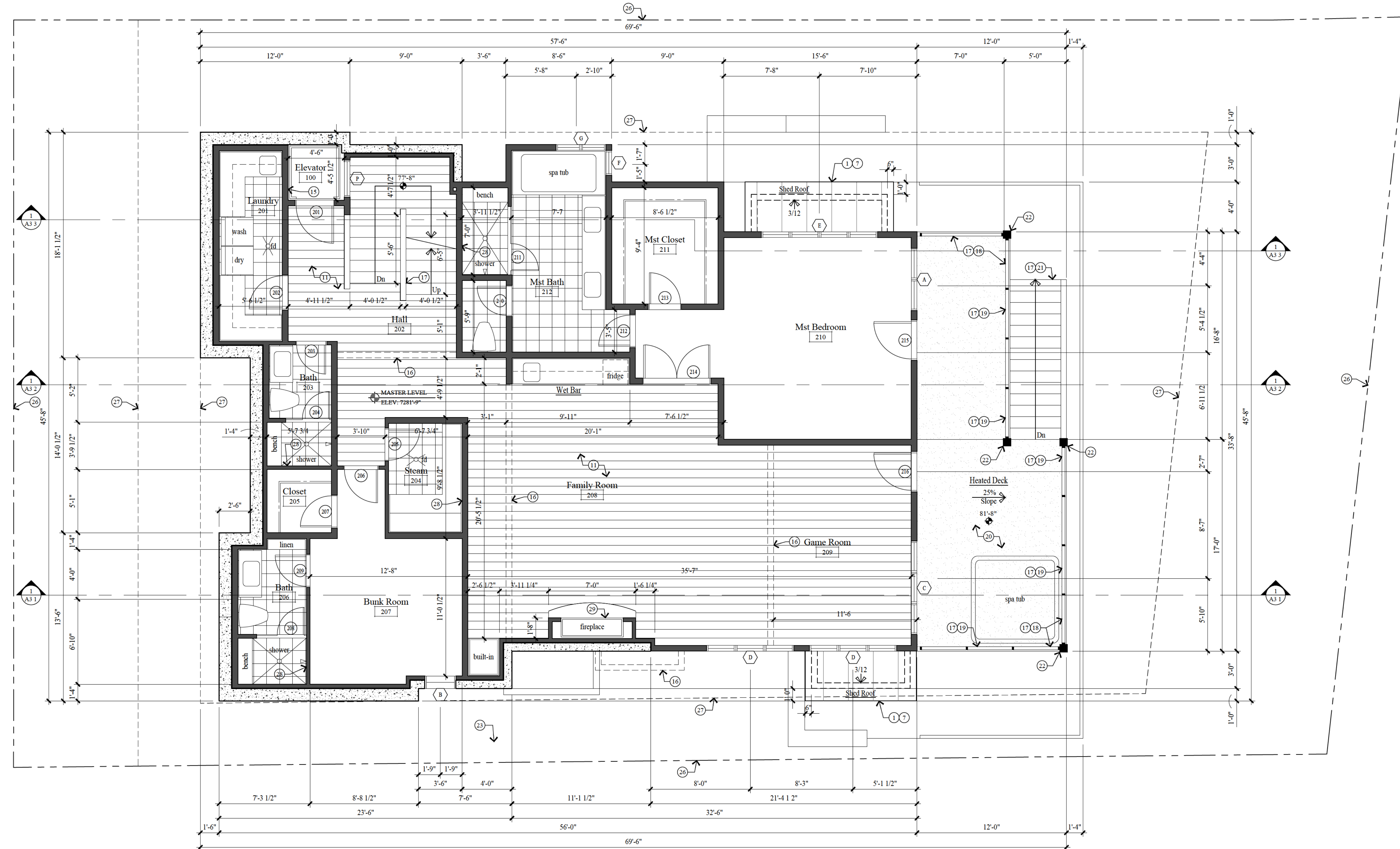
NOTE:  
2'-0" TYPICAL ROOF OVERHANG U N O

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MASTER LEVEL PLAN  
SCALE: 1/4" = 1'-0"

**Jonathan DeGray**  
A r c h i t e c t

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NEW RESIDENCE  
HISTORIC DISTRICT DESIGN REVIEW

121 SAMPSON AVENUE, PARK CITY, UTAH 84060

MASTER LEVEL PLAN

DATE: APRIL 03, 2025

PROJECT NUMBER: 2401-01

SHEET NUMBER: A1.2

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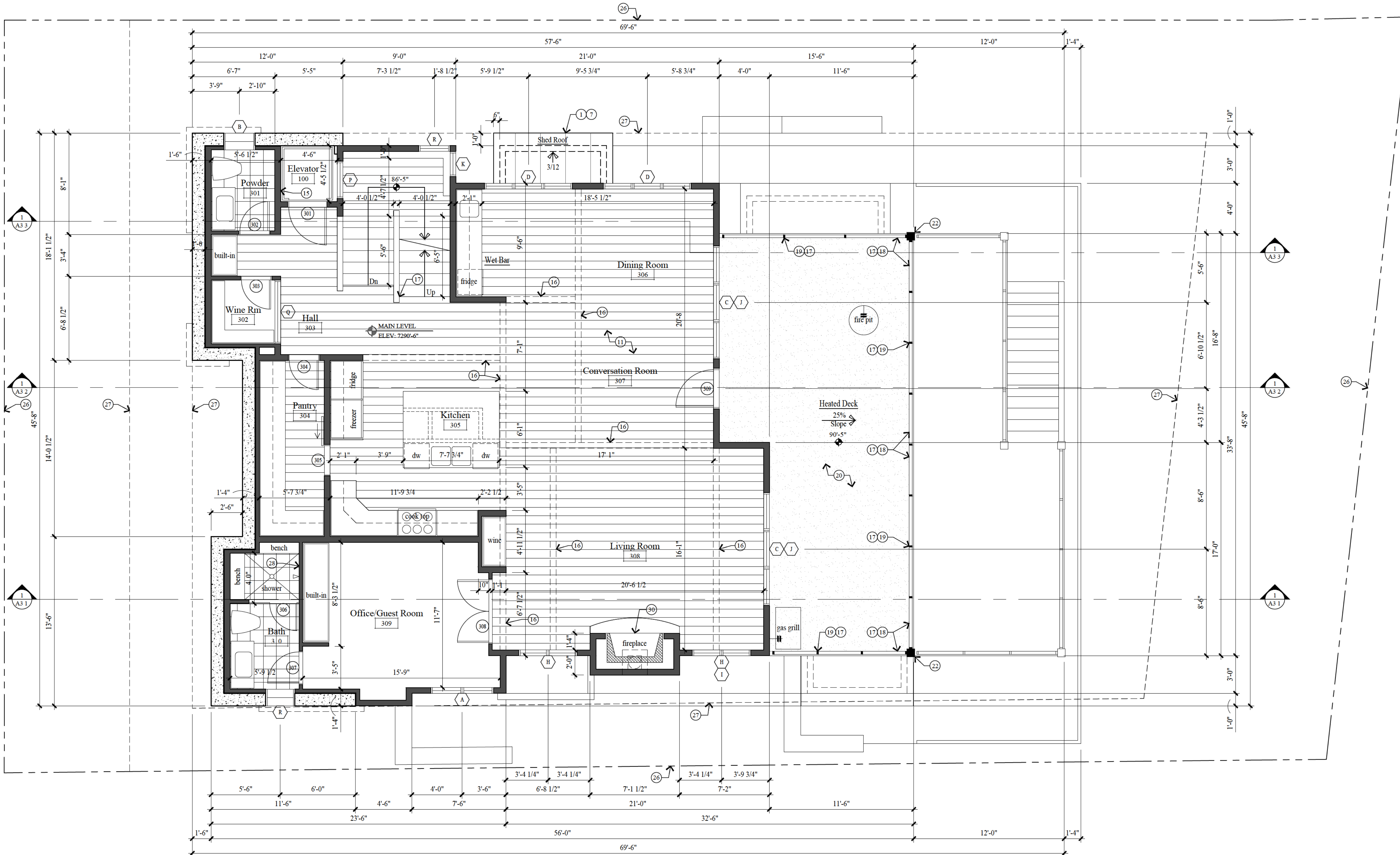
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MAIN LEVEL PLAN, LOW ROOF PLAN  
SCALE: 1/4" = 1'-0"

Jonathan DeGray  
A r c h i t e c t

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NEW RESIDENCE  
HISTORIC DISTRICT DESIGN REVIEW  
121 SAMPSON AVENUE, PARK CITY, UTAH 84060

MAIN LEVEL PLAN

REVISIONS:

DATE: APRIL 04, 2025

PROJECT NUMBER: 2401-01

SHEET NUMBER: A1.3

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NOTE:  
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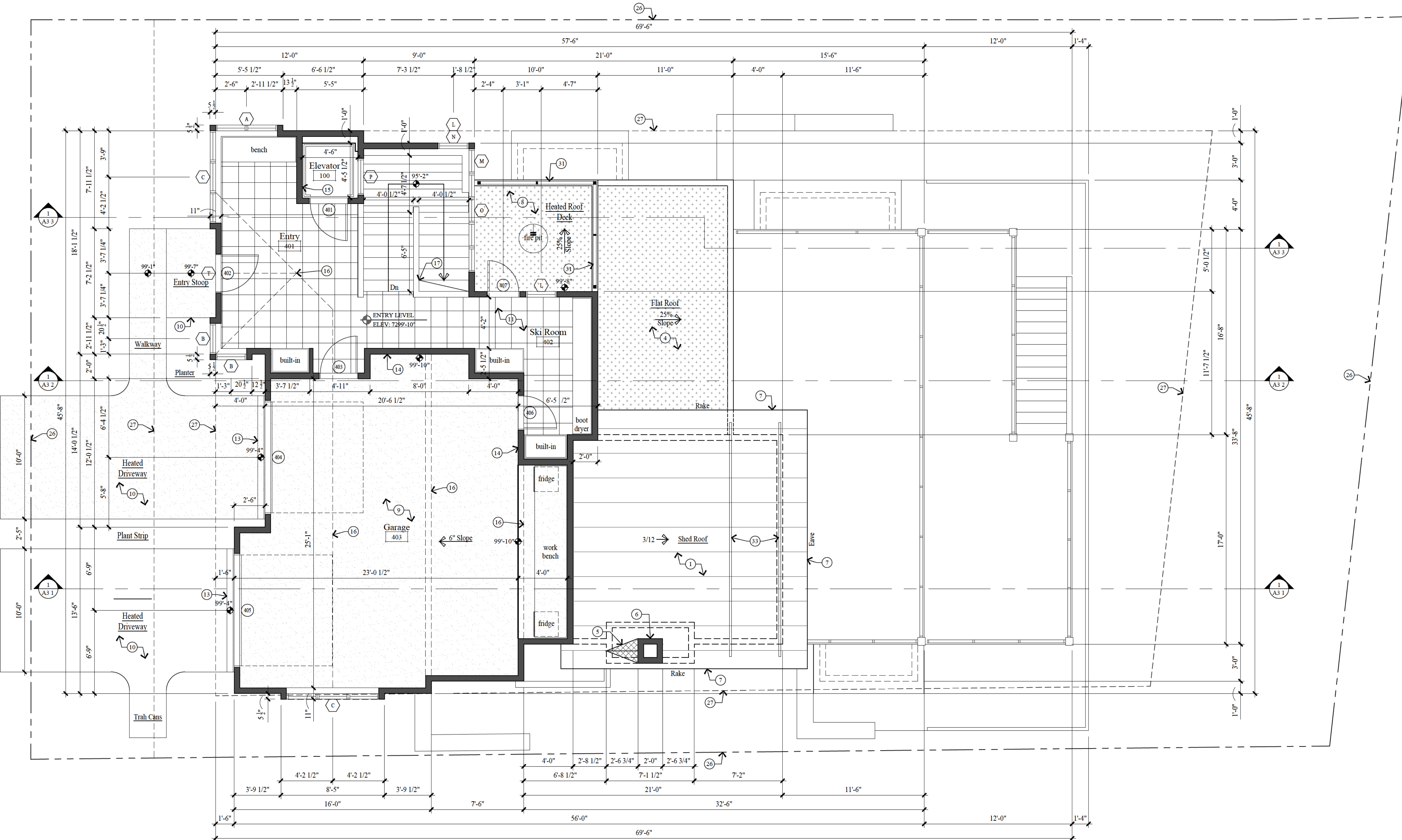
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- 15 ELEVATOR SHAFT TO BE 1 HOUR FIRE WALL: APPLY 5/8" TYPE X GYPSUM BOARD TO THE INTERIOR SIDE AND 5/8" FIRE CODE CORE GYPSUM BOARD TO THE INSIDE OF SHAFT
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- 17 FOR TYPICAL STAIRWAY, HANDRAILING AND GUARDRAILING NOTES & DETAILS ON SEE SHEET A4.1
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- 20 HEATED DECK: 5" REINFORCED CONCRETE SLOPED 2% ON WATERPROOF MEMBRANE ON 3/4" EXTERIOR PLYWOOD ON DECK JOIST SEE STRUCTURAL FOR SIZE AND SPACING
- 21 DECK STAIRS: 12" STEEL CHANNEL STRINGERS W/ OPEN RISER, 3 1/2" GLB TREADS - SEE DETAIL 14/A4.1
- 22 8x8 TIMBER COLUMN / END POST - PAINT/STAIN OPAQUE FINISH
- 23 STACKED STONE RETAINING WALL, NOT TO EXCEED 4'-0" HIGH SEE DETAIL 3/A0.1
- 24 CONCRETE RETAINING FOUNDATION WALL W/ EXPOSED BOARD FORM W/ ROUGH SAWN 1x8
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- 30 ISOKERN MAGNUM SERIES 48" FIREPLACE WOOD BURNING W/ GAS LOG SET DRY WEIGHT 1400 #, EXCLUDING MORTAR, DAMPER, FIREBRICK AND CHIMNEY
- 31 36" HIGH GUARD RAILING: METAL FRAME W/ TEMPERED GLASS INFILL
- 32 CLASS A NON-REFLECTIVE STANDING SEAM METAL ROOF, TO EXTEND 3'-0" UP THE EAVE
- 33 SNOW RETENTION BARS: S-5 X-GARD 2.0 OR EQUAL BYLIN SNOWMELT SYSTEM AT ALL EAVES AND VALLEYS - TYP SEE SHEET A4.2



GARAGE / ENTRY LEVEL PLAN, MID ROOF PLAN  
 SCALE: 1/4" = 1'-0"

**Jonathan DeGray**  
 Architect

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NEW RESIDENCE  
 HISTORIC DISTRICT DESIGN REVIEW  
 121 SAMPSON AVENUE, PARK CITY, UTAH 84060

GARAGE / ENTRY LEVEL PLAN

DATE	APRIL 04, 2025
PROJECT NUMBER	2401-01
SHEET NUMBER	A1.4

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NOTE:  
SEE SHEET A4.2 FOR TYPICAL ROOF FLASHING DETAILS

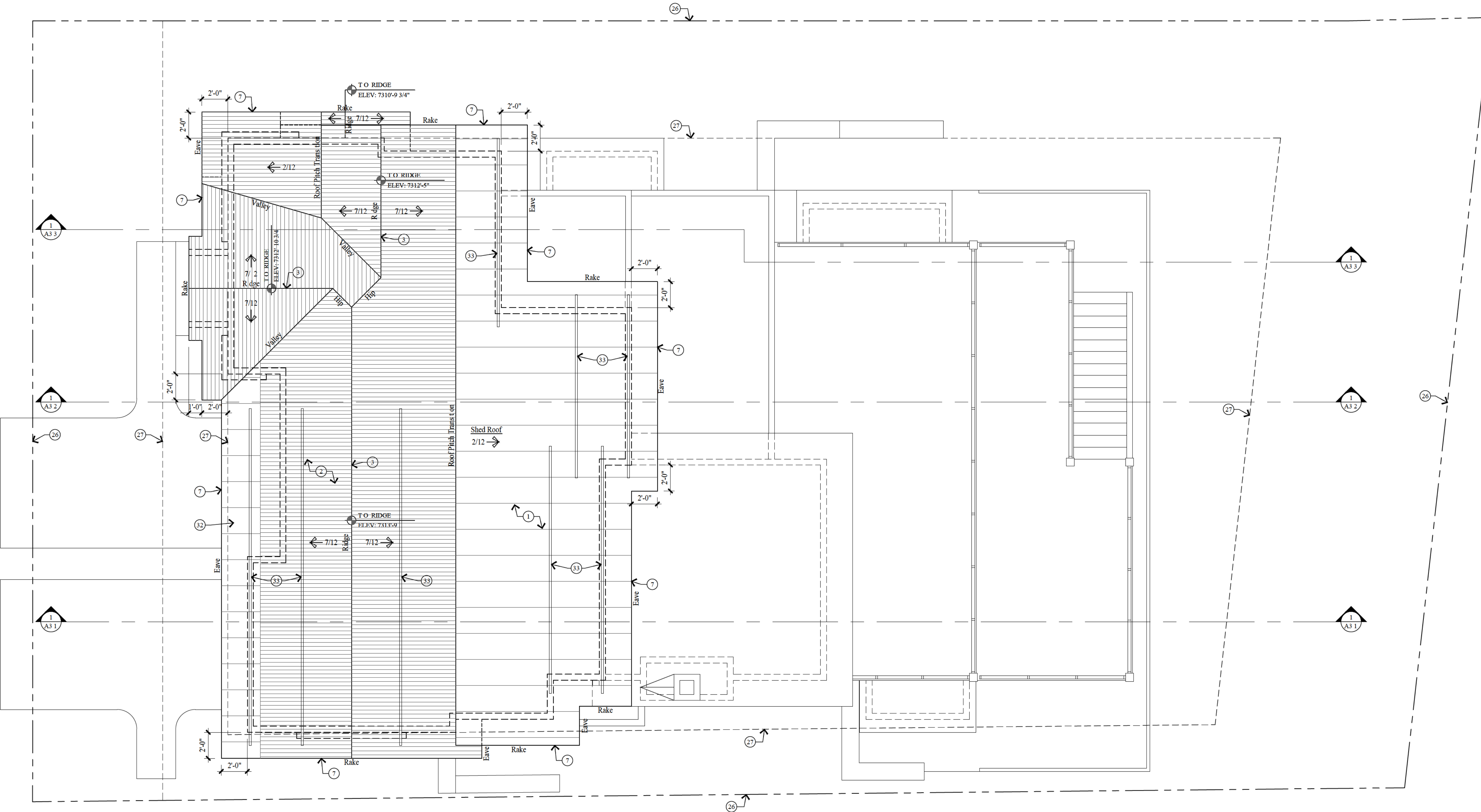
NOTE:  
2'-0" TYPICAL ROOF OVERHANG U N O

### GENERAL NOTES

- NEW CONCRETE WALL
  - NEW 2x FRAMED WALL
- 1 ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE FIELD VERIFIED PRIOR TO ANY CONSTRUCTION
  - 2 EXTERIOR WALLS TO BE 2x6 FRAMING W/ BIB INSULATION R-23 ALL INTERIOR WALLS TO BE 2x4 FRAMING U N O W/ BIB INSULATION R-15 ALL INTERIOR PLUMBING AND BEARING WALLS TO BE 2x6 FRAMING U N O W/ BIB INSULATION R-23 ALL FLOOR JOIST W/ 9 1/2" TJ FRAMING W/ BIB INSUL R-38 ALL ROOF JOIST W/ 9 1/2" TJ FRAMING W/ BIB INSUL R-38 ALL DECK JOIST, FLOOR JOIST, ROOF JOIST W/ 7 1/4" LVL FRAMING W/ 7" CLOSED CELL FOAM INSULATION R-38
  - 3 FIRE SPRINKLERS TO BE ON THE WARM SIDE OF THE BUILDING ENVELOPE
  - 4 AIR LEAKAGE: THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH SECTIONS N1102.4.1 - N1102.4.4

### KEY NOTES

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- 10 4" REINFORCED HEATED CONCRETE PATIO / PORCH / DRIVEWAY ON 4" GRAVEL BASE
- 11 HYDRONIC HEATING STAPLE UP SYSTEM ON FLOOR JOIST - SEE STRUCT FOR SIZE AND DETAILS
- 12 4" REINFORCED CONCRETE SLAB W/ HYDRONIC HEATING ON 2" RIGID INSULATION (CONTINUOUS) ON 6 MIL POLYETHYLENE VAPOR RETARDER (JOINTS TO LAP 6" MIN) ON 4" GRAVEL BASE CLEANED GRADED
- 13 POLYCAST TRENCH DRAIN OR EQUAL, TIE INTO GRAVEL SUMP OR STROM DRAIN SYSTEM
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**HIGH ROOF PLAN**  
SCALE: 1/4" = 1'-0"

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NEW RESIDENCE  
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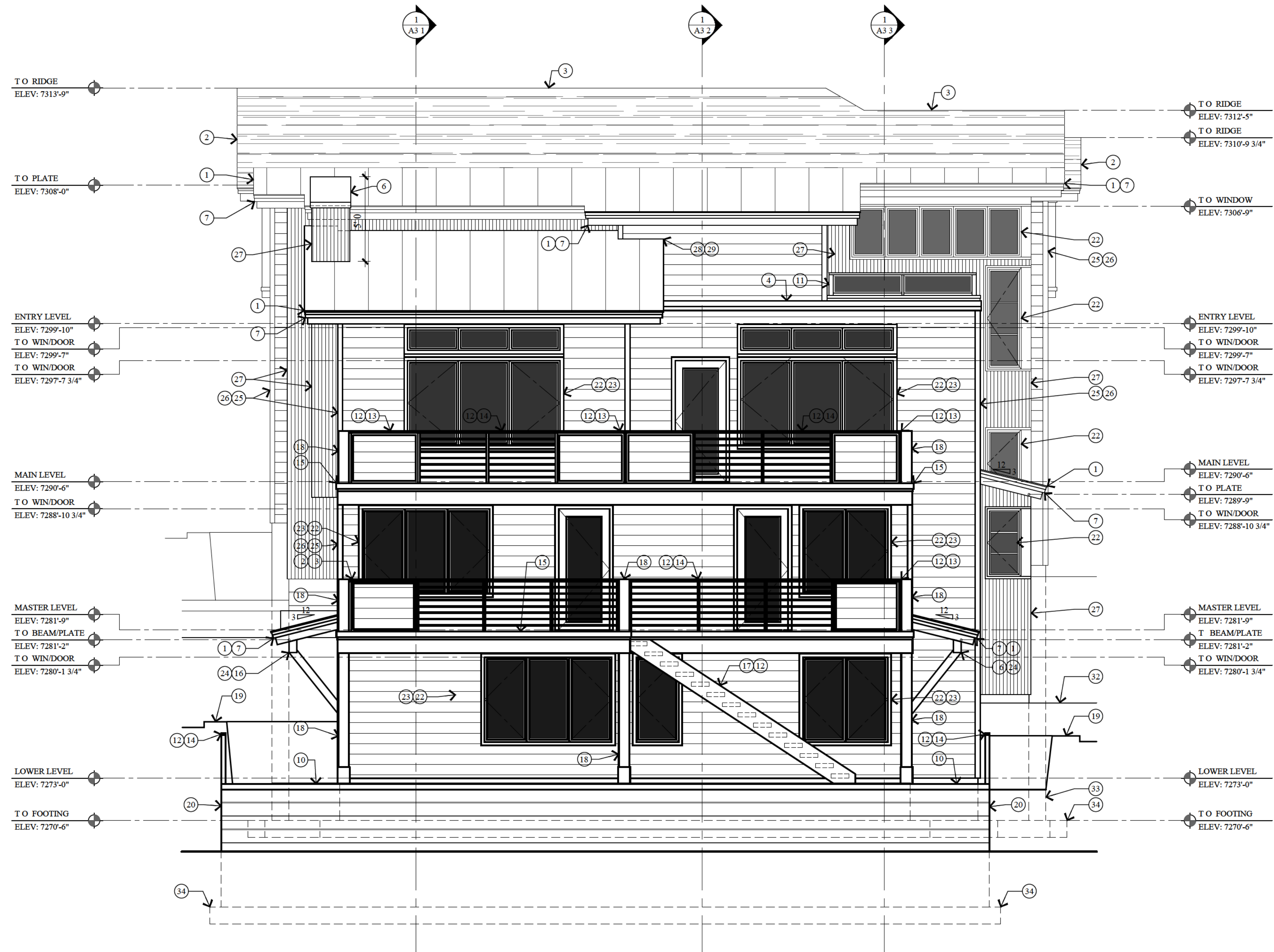
**HIGH ROOF PLAN**

DATE: APRIL 04, 2025

PROJECT NUMBER: 2401-01

SHEET NUMBER: **A1.5**

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1 EAST ELEVATION  
A2.1 SCALE: 1/4" = 1'-0"

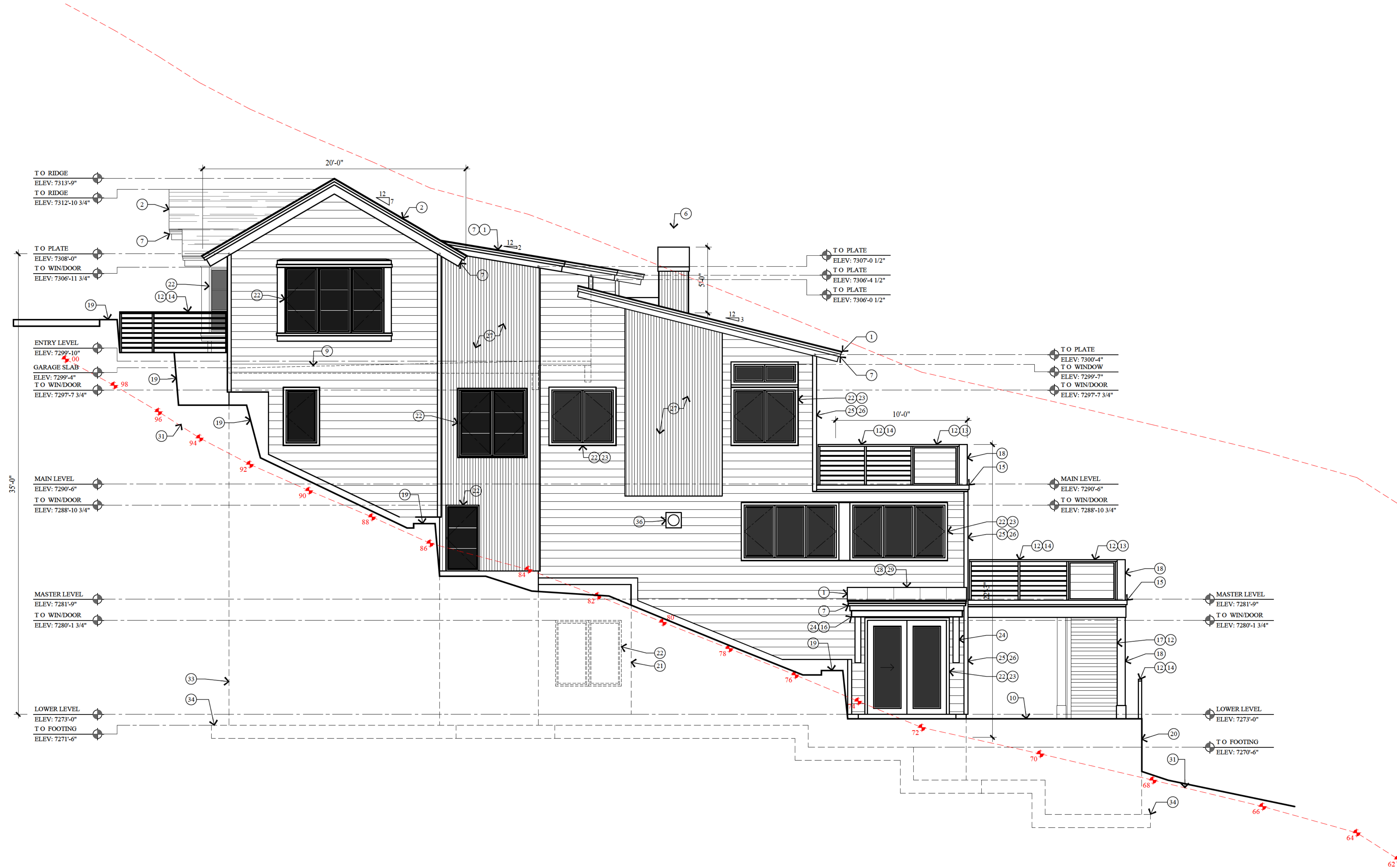
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NEW RESIDENCE  
HISTORIC DISTRICT DESIGN REVIEW  
121 SAMPSON AVENUE, PARK CITY, UTAH 84060

EAST ELEVATION

REVISIONS:
DATE: APRIL 03, 2025
PROJECT NUMBER: 2401-01
SHEET NUMBER: <b>A2.1</b>

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1 SOUTH ELEVATION  
A2.2 SCALE: 1/4" = 1'-0"

**Jonathan DeGray**  
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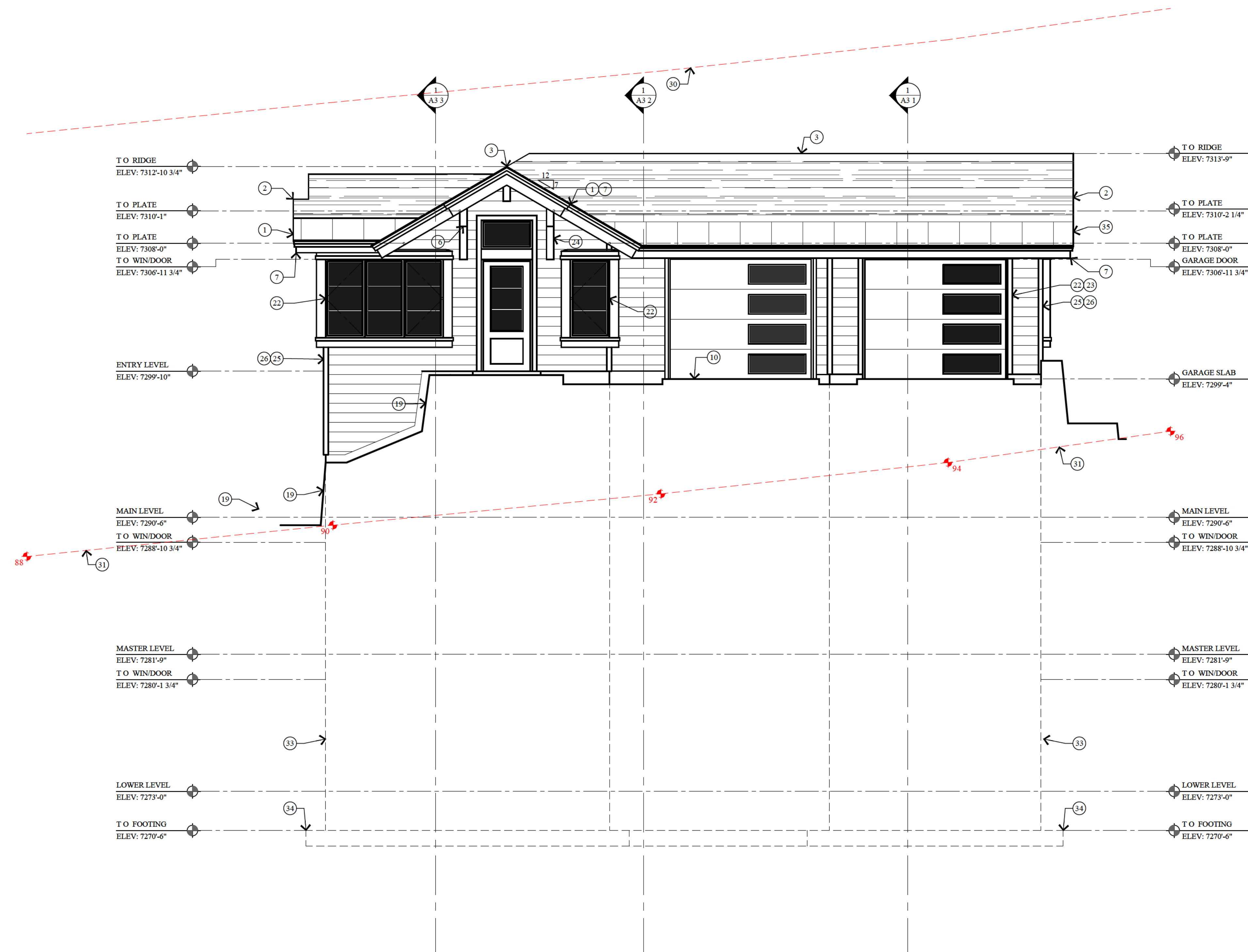
NEW RESIDENCE  
HISTORIC DISTRICT DESIGN REVIEW

121 SAMPSON AVENUE, PARK CITY, UTAH 84060

SOUTH ELEVATION

REVISIONS:
DATE: APRIL 03, 2025
PROJECT NUMBER: 2401-01
SHEET NUMBER: <b>A2.2</b>

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- 16 STRUCTURAL BEAM - SEE STRUCTURAL DRAWINGS FOR SIZE AND DETAILS
- 17 DECK STAIRS: 12" STEEL CHANNEL STRINGERS W/ OPEN RISER AND 3 1/2" GLB TREADS - SEE DETAIL 14/A4.1
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- 19 STACKED STONE RETAINING WALL. NOT TO EXCEED 4'-0" HIGH - SEE DETAIL 1/A0.1
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- 22 WINDOWS AND DOORS W/ INSULATED GLASS - SEE SHEET A5.1 FOR SCHEDULES
- 23 WINDOW & DOOR TRIM: 2x3 HEAD, JAMB & SILL - PAINT/STAIN OPAQUE FINISH
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- 31 EXISTING GRADE LINE
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- 33 FOUNDATION - SEE STRUCTURAL FOR SIZE AND REINFORCING
- 34 FOOTING - SEE STRUCTURAL FOR SIZE AND REINFORCING
- 35 CLASS A NON-REFLECTIVE STANDING SEAM METAL ROOF. TO EXTEND 3'-0" UP THE EAVE
- 36 DIRECT VENT FIREPLACE FLUE

1 WEST ELEVATION  
 A2.3 SCALE: 1/4" = 1'-0"

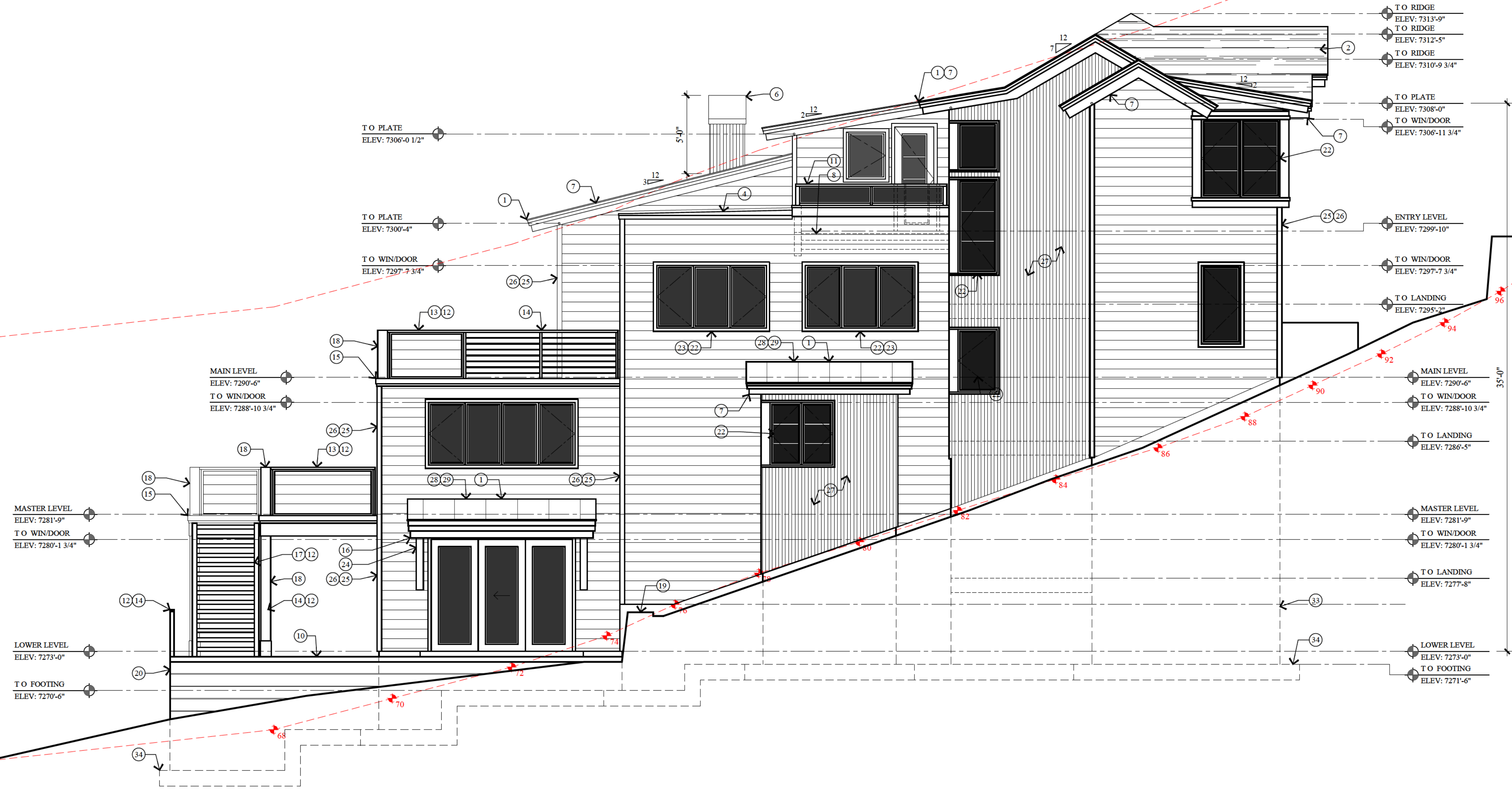
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 Tel. 435-649-7263, E-mail: degrayarch@gwestoffice.net

NEW RESIDENCE  
 HISTORIC DISTRICT DESIGN REVIEW  
 121 SAMPSON AVENUE, PARK CITY, UTAH 84060

WEST ELEVATION

REVISIONS:
DATE: APRIL 03, 2025
PROJECT NUMBER: 2401-01
SHEET NUMBER: <b>A2.3</b>

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1 NORTH ELEVATION  
 A2.4 SCALE: 1/4" = 1'-0"

**Jonathan DeGray**  
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NEW RESIDENCE  
 HISTORIC DISTRICT DESIGN REVIEW  
 121 SAMPSON AVENUE, PARK CITY, UTAH 84060

NORTH ELEVATION

REVISIONS:

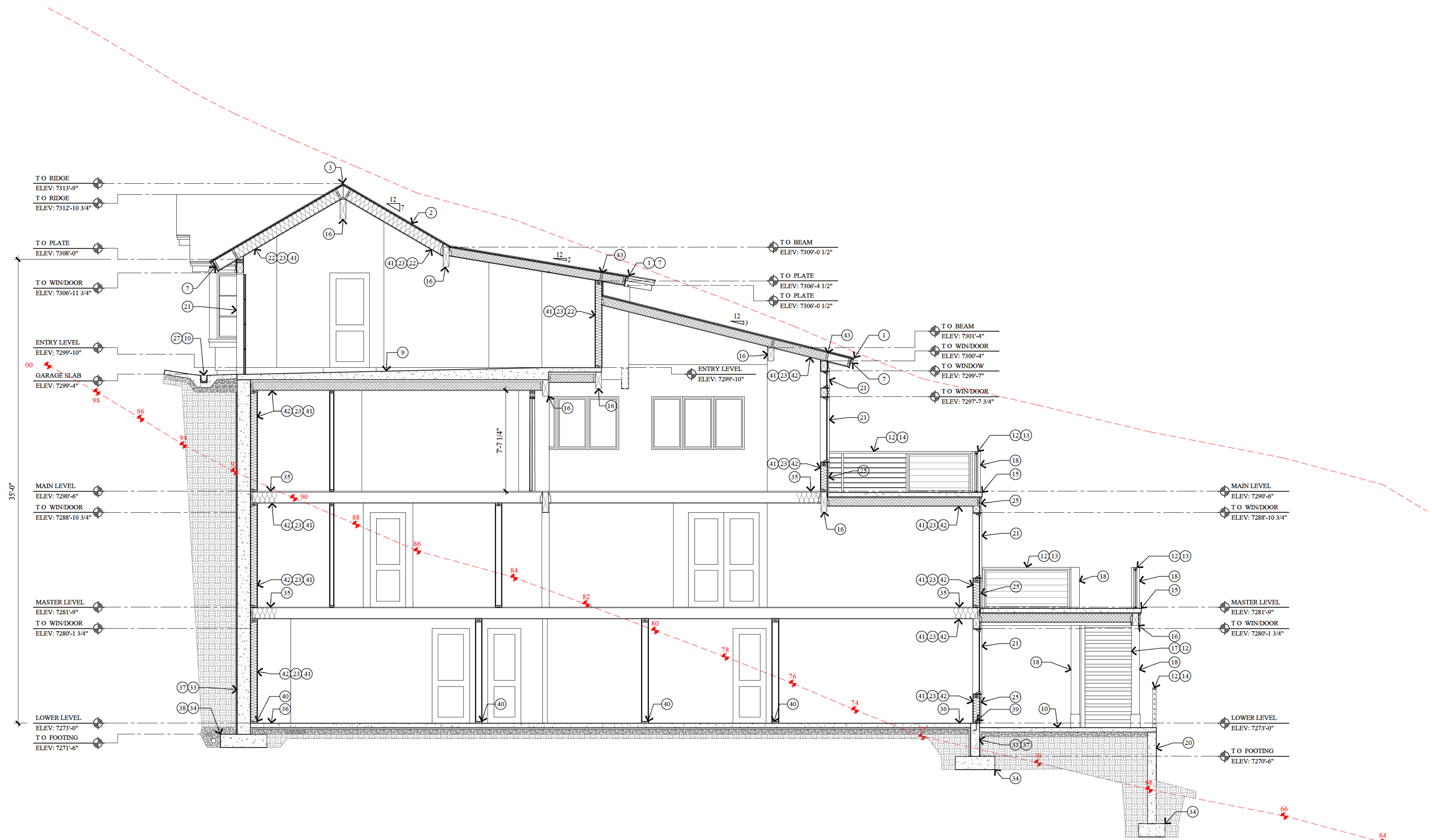
DATE: APRIL 03, 2025

PROJECT NUMBER: 2401-01

SHEET NUMBER:

A2.4

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1 BUILDING SECTION  
 A3.1 SCALE: 1/4" = 1'-0"

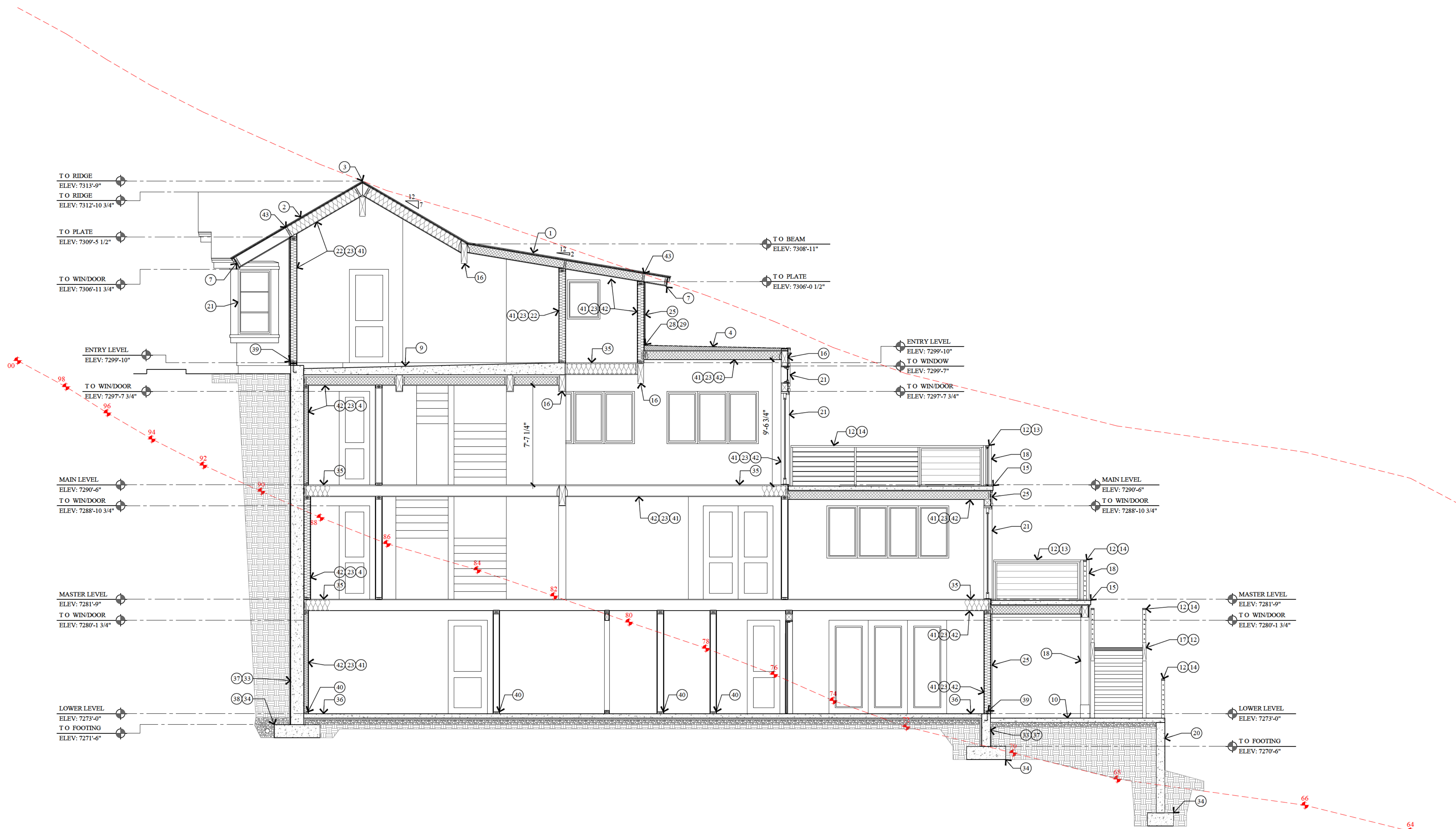
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NEW RESIDENCE  
 HISTORIC DISTRICT DESIGN REVIEW  
 121 SAMPSON AVENUE, PARK CITY, UTAH 84060

BUILDING SECTION

DATE	APRIL 03, 2025
PROJECT NUMBER	2401-01
SHEET NUMBER	A3.1

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1 BUILDING SECTION  
 A3.2 SCALE: 1/4" = 1'-0"

**Jonathan DeGray**  
 A r c h i t e c t

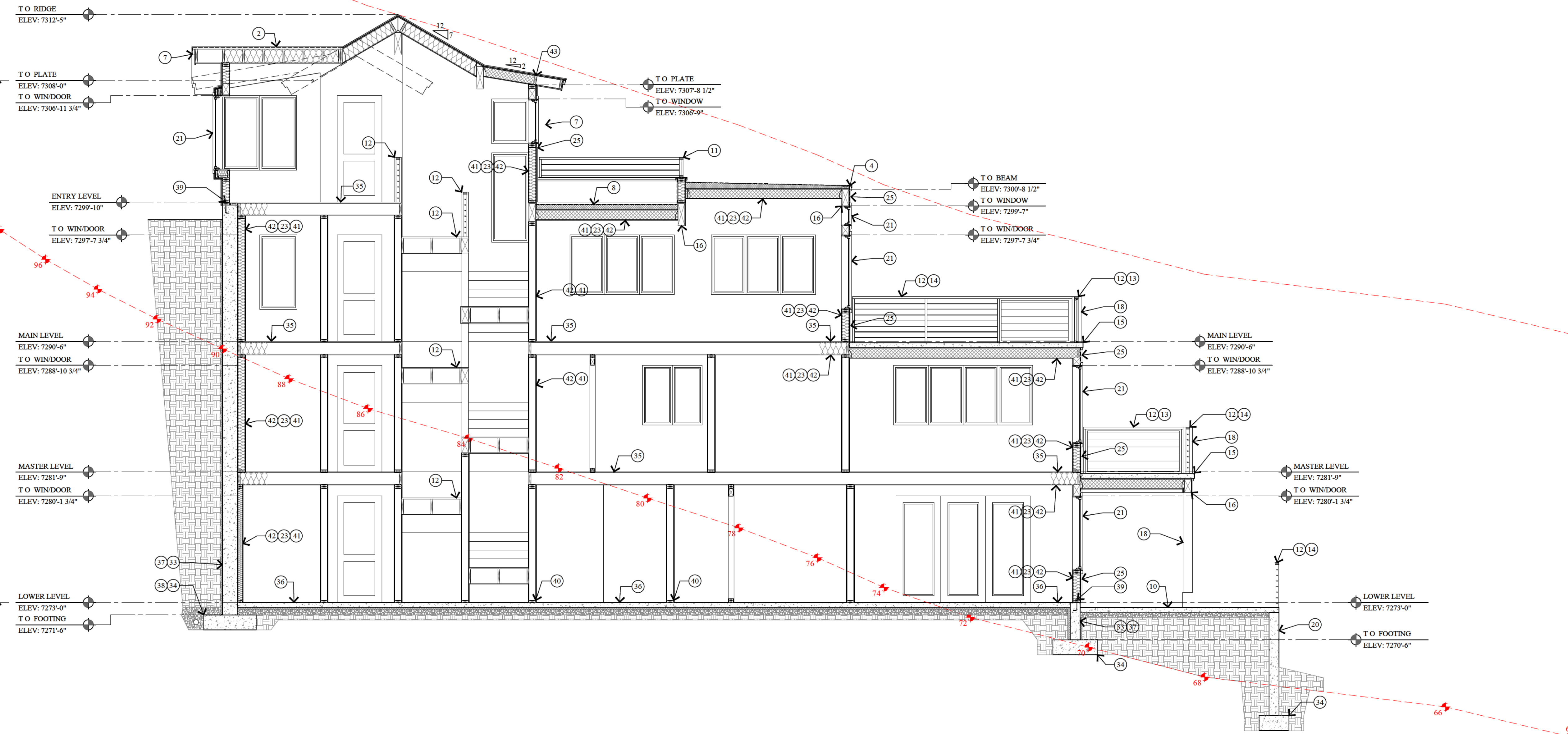
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NEW RESIDENCE  
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 121 SAMPSON AVENUE, PARK CITY, UTAH 84060

BUILDING SECTION

DATE	APRIL 03, 2025
PROJECT NUMBER	2401-01
SHEET NUMBER	A3.2

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T O RIDGE  
 ELEV: 7312'-5"  
  
 T O PLATE  
 ELEV: 7308'-0"  
 T O WINDOW  
 ELEV: 7306'-11 3/4"  
  
 ENTRY LEVEL  
 ELEV: 7299'-10"  
 T O WINDOW  
 ELEV: 7297'-7 3/4"  
  
 MAIN LEVEL  
 ELEV: 7290'-6"  
 T O WINDOW  
 ELEV: 7288'-10 3/4"  
  
 MASTER LEVEL  
 ELEV: 7281'-9"  
 T O WINDOW  
 ELEV: 7280'-1 3/4"  
  
 LOWER LEVEL  
 ELEV: 7273'-0"  
 T O FOOTING  
 ELEV: 7271'-6"  
  
 35'-0"

T O PLATE  
 ELEV: 7307'-8 1/2"  
 T O WINDOW  
 ELEV: 7306'-9"  
  
 T O BEAM  
 ELEV: 7300'-8 1/2"  
 T O WINDOW  
 ELEV: 7299'-7"  
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 ELEV: 7280'-1 3/4"  
  
 LOWER LEVEL  
 ELEV: 7273'-0"  
 T O FOOTING  
 ELEV: 7270'-6"

1 BUILDING SECTION  
 A3.3 SCALE: 1/4" = 1'-0"

### KEY NOTES

- 1 CLASS A NON-REFLECTIVE STANDING SEAM METAL ROOF TO BE ICC-ES APPROVED ON ICE & WATER MEMBRANE ON 5/8" EXT PLYWOOD ON ROOF JOIST ROOF SHALL COMPLY WITH THE WILDLAND - URBAN INTERFACE CODE.
- 2 ARCHITECTURAL GRADE 40 YEAR ASPHALT SHINGLE ON ICE & WATER MEMBRANE ON 5/8" EXT SHEATHING ON ROOF JOIST - SEE STRUCT ROOF MATERIAL SHALL COMPLY WITH THE WILDLAND - URBAN INTERFACE CODE.
- 3 COMPOSITE RIDGE VENT, COBRA OR EQUAL.
- 4 FLAT ROOF: REINFORCED WATERPROOF MEMBRANE OVER RIGID INSULATION SLOPED 2% MIN ON 3/4" EXTERIOR PLYWOOD ON ROOF JOIST - SEE STRUCTURAL FOR SIZE
- 5 ROOF CRICKET / OVERBUILD CONTRACTOR TO FIELD VERIFY HIEGHT AND LOCATION
- 6 FIREPLACE CHIMNEY W/ PRE-MANUFACTURED METAL CHIMNEY CAP
- 7 2"x3" CONTINUOUS METAL DRIP EDGE OVER 2x4 ON 1x10 BUILT-UP FASCIA W/ 1x CEDAR SOFFIT, VENTED - PAINT/STAIN OPAQUE FINISH
- 8 HEATED ROOF DECK: REINF WATERPROOF MEMBRANE OVER RIGID INSULATION SLOPED 2% MIN ON 3/4" EXTERIOR PLYWOOD ON DECK JOIST - SEE STRUCTURAL FOR SIZE HYDRAUNIC HEATING STAPLE UP SYSTEM ON THE BOTTOM SIDE OF 3/4" PLYWOOD
- 9 HEATED GARAGE SLAB: 5" CONCRETE TOPPING ON 20 GAUGE FORMLOCK METAL DECKING. SLOPED. SEE STRUCTURAL FOR REINFORCING AND DETAILS
- 10 4" REINFORCED HEATED CONCRETE PATIO / PORCH / DRIVEWAY ON 4" GRAVEL BASE
- 11 36" HIGH GUARD RAILING: METAL FRAME W/ TEMPERED GLASS INFILL
- 12 FOR TYPICAL STAIRWAY, HANDRAILING AND GUARDRAILING NOTES & DETAILS ON SEE SHEET A4.1
- 13 36" HIGH GUARD RAILING: 2x SHAPED HARDWOOD CONTINUOUS TOP CAP 1 1/2 x 3 TUBE STEEL POST W/ 1x8 CEDAR HORIZONTAL LAP SIDING INFILL - PAINT/STAIN OPAQUE FINISH
- 14 36" HIGH GUARD RAILING: 2x SHAPED HARDWOOD CONT TOP CAP W/ 5/32" DIA 316 STAINLESS STEEL CABLE WORKING LOAD: 750# BREAKING LOAD: 2000# HORIZONTAL, SPACED LESS THAN 4" THROUGH 1 1/2 x 3 TUBE STEEL POST - PAINT/POWDER COAT
- 15 HEATED DECK: 5" REINFORCED CONCRETE SLOPED 2% ON WATERPROOF MEMBRANE ON 3/4" EXTERIOR PLYWOOD ON DECK JOIST SEE STRUCTURAL FOR SIZE AND SPACING
- 16 STRUCTURAL BEAM - SEE STRUCTURAL DRAWINGS FOR SIZE AND DETAILS
- 17 DECK STAIRS: 12" STEEL CHANNEL STRINGERS W/ OPEN RISER AND 3 1/2" GLB TREADS - SEE DETAIL 14/A4.1
- 18 8x8 TIMBER COLUMN / END POST - PAINT/STAIN OPAQUE FINISH
- 19 STACKED STONE RETAINING WALL, NOT TO EXCEED 4'-0" HIGH - SEE DETAIL 1/A0.1
- 20 CONCRETE RETAINING / FOUNDATION WALL W/ EXPOSED BOARD FORM W/ ROUGH SAWN 1x8
- 21 WINDOWS AND DOORS W/ INSULATED GLASS - SEE SHEET A5.1 FOR SCHEDULES
- 22 5/8" TYPE "X" ON GARAGE CEILING AND WALL SEPARATING THE GARAGE AND LIVING SPACE
- 23 INSULATION: SEE GENERAL NOTE #2 ON FLOOR PLAN SHEETS FOR TYPE AND R-VALUE
- 24 6x6 TIMBER KNEE BRACE - PAINT/STAIN OPAQUE FINISH - SEE STRUCT FOR DETAILS
- 25 EXTERIOR FINISHES - SEE SHEETS A2.1 AND A2.2
- 26 ELEVATOR SHAFT TO BE 1 HOUR FIRE WALL: APPLY 5/8" TYPE X GYPSUM BOARD TO THE INTERIOR SIDE AND 5/8" FIRECODE CORE GYPSUM BOARD TO THE INSIDE OF SHAFT
- 27 POLYCAST TRENCH DRAIN OR EQUAL, TIE INTO GRAVEL SUMP OR STORM DRAIN SYSTEM
- 28 FLASHING AND COUNTER FLASHING - TYPICAL
- 29 ROOF TO WALL SURFACE: EXTEND BITUTHANE MEMBRANE OVER ROOF DECK & UP WALL SURFACE 24"
- 30 LINE 27'-0" HEIGHT ABOVE EXISTING GRADE
- 31 EXISTING GRADE LINE
- 32 FINISH GRADE TO SLOPE AWAY FROM HOUSE A MIN OF 6" WITHIN THE FIRST 10' IRC R401.3
- 33 FOUNDATION - SEE STRUCTURAL FOR SIZE AND REINFORCING
- 34 FOOTING - SEE STRUCTURAL FOR SIZE AND REINFORCING
- 35 HYDRAUNIC HEATING STAPLE UP SYSTEM ON THE BOTTOM SIDE OF 3/4" PLYWOOD ON FLOOR JOIST - SEE STRUCT FOR SIZE AND DETAILS
- 36 4" REINFORCED CONCRETE SLAB W/ HYDRAUNIC HEATING ON 2" RIGID INSULATION (CONTINUOUS) ON 6 MIL POLYETHYLENE VAPOR RETARDER (JOINTS TO LAP 6" MIN) ON 4" GRAVEL BASE CLEANED/GRADED
- 37 DRAINAGE MATT ON WATERPROOF MEMBRANE
- 38 FILTER FABRIC OVER FREE DRAINING GRAVEL W/ 4" PERF FOOTING DRAIN, DAYLIGHTED OR TIE INTO STORM DRAIN
- 39 TREATED WOOD SILL PLATE W/ 1/2" ANCHOR BOLTS EMBEDDED 7" INTO CONCRETE, SPACED 32" O C U N O ON PLANS PLATE WASHERS SHALL 3"x3"x1/4" AND USED ON EACH BOLT SEE STRUCTURAL SHEAR WALL SCHEDULE
- 40 ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY INCLUDING LEDGERS AND FURRING WALLS MUST BE PRESERVATIVELY TREATED OR FOUNDATION GRADE REDWOOD
- 41 FIRE BLOCK STUD SPACES AT SOFFIT, FLOOR AND CEILING JOIST LINES, AT 10 FT VERTICALLY AND HORIZONTALLY, AND AT ANY OTHER LOCATIONS NOT SPECIFICALLY MENTIONED WHICH COULD AFFORD PASSAGE FOR FLAMES - IRC R302.11
- 42 1/2" GYP BD ON 4 MIL POLYETHYLENE VAPOR RETARDER AT FLOOR JOIST, ROOF JOIST AND EXTERIOR WALLS
- 43 SOLID BLOCKING AND HURRICANE HOLD DOWN AT EACH RAFTER OR SIMPSON VPA

**Jonathan DeGray**  
A r c h i t e c t

NEW RESIDENCE  
HISTORIC DISTRICT DESIGN REVIEW

BUILDING SECTION

121 SAMPSON AVENUE, PARK CITY, UTAH 84060

DATE: APRIL 03, 2025  
 PROJECT NUMBER: 2401-01  
 SHEET NUMBER: A3.3

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**STAIRWAY/HANDRAILING/GUARDRAILING NOTES:**

1 STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT AND BELOW THE REQUIRED HEADROOM HEIGHT. HANDRAILS SHALL NOT PROJECT MORE THAN 4 1/2 INCHES ON EITHER SIDE OF STAIRWAY AND THE MINIMUM CLEAR WIDTH OF THE STAIRWAY AT AND BELOW THE HANDRAIL HEIGHT, INCLUDING TREADS AND LANDINGS, SHALL NOT BE LESS THAN 31 1/2 INCHES WHERE A HANDRAIL IS INSTALLED ON ONE SIDE AND 27 INCHES WHERE HANDRAILS ARE PROVIDED ON BOTH SIDES -IRC R311 7.1

2 THE MINIMUM HEADROOM IN ALL PARTS OF THE STAIRWAY SHALL NOT BE LESS THAN 6 FEET 8 INCHES MEASURED VERTICALLY FROM THE SLOPED LINE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM ON THAT PORTION OF THE STAIRWAY -IRC R311 7.2

3 THE MAXIMUM RISER HEIGHT SHALL BE 7 INCHES. THE RISER SHALL BE MEASURED VERTICALLY BETWEEN LEADING EDGES OF THE ADJACENT TREADS. THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 1/8 INCH -IRC R311 7.4.1

4 THE MINIMUM TREAD DEPTH SHALL BE 10 INCHES. THE TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AND AT A RIGHT ANGLE TO THE TREADS LEADING EDGE. THE GREATEST TREAD DEPTH WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 1/8 INCH. CONSISTENTLY SHAPED WINDERS AT THE WALKLINE SHALL BE ALLOWED WITHIN THE SAME FLIGHT OF STAIRS AS RECTANGULAR TREADS AND DO NOT HAVE TO BE WITHIN 1/2 INCH OF THE RECTANGULAR TREAD DEPTH. WINDER TREADS SHALL HAVE MINIMUM TREAD DEPTH OF 10 INCHES MEASURED BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AT THE INTERSECTIONS WITH THE WALKLINE. WINDER TREADS SHALL HAVE MINIMUM TREAD DEPTH OF 6 INCHES AT ANY POINT WITHIN THE CLEAR WIDTH OF STAIR. WITHIN ANY FLIGHT OF STAIRS, THE LARGEST WINDER TREAD DEPTH AT THE WALKLINE SHALL NOT EXCEED THE SMALLEST WINDER TREAD BY MORE THAN 1/8 INCH -IRC R311 7.4.2

5 THE WIDTH OF EACH LANDING SHALL NOT BE LESS THAN THE WIDTH OF THE STAIRWAY SERVED. LANDINGS SHALL HAVE A MINIMUM DIMENSION OF 36 INCHES MEASURED IN THE DIRECTION OF TRAVEL -IRC R311 7.5

6 HANDRAIL HEIGHT, MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING, OR FINISH SURFACE OF THE RAMP SLOPE, SHALL BE NOT LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES -IRC R311 7.7.1

7 HANDRAILS FOR STAIRWAYS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT, FROM A POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT TO A POINT DIRECTLY ABOVE THE LOWEST RISER OF THE FLIGHT. HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWL POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2 INCH BETWEEN THE WALL AND THE HANDRAILS.

**EXCEPTIONS:**  
1 HANDRAILS SHALL BE PERMITTED TO BE INTERRUPTED BY A NEWL POST AT THE TURN.  
2 THE USE OF A VOLUTE, TURNOUT, STARTING EASING OR STARTING NEWL SHALL BE ALLOWED OVER THE LOWEST TREAD -IRC R311 7.7.2

8 ALL REQUIRED HANDRAILS SHALL BE OF ONE OF THE FOLLOWING TYPES OR PROVIDE EQUIVALENT GRASPABILITY.  
TYPE I: HANDRAILS WITH CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF 1 1/2 INCHES AND NOT GREATER THAN 2 INCHES. IF THE HANDRAIL IS NOT CIRCULAR, IT SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4 INCHES AND NOT GREATER THAN 6 1/2 INCHES WITH A MAXIMUM CROSS SECTION OF DIMENSION OF 2 1/2 INCHES. EDGES SHALL HAVE A MINIMUM RADIUS OF 0.01 INCH.

TYPE II: HANDRAILS WITH A PERIMETER GREATER THAN 6 1/2 INCHES SHALL HAVE A GRASPABLE FINGER RECESS AREA ON BOTH SIDES OF THE PROFILE. THE FINGER RECESS SHALL BEGIN WITHIN A DISTANCE OF 1/2 INCH MEASURED VERTICALLY FROM THE TALLEST PORTION OF THE PROFILE AND ACHIEVE A DEPTH OF AT LEAST 1/2 INCH WITHIN 1/2 INCH BELOW THE WIDEST PORTION OF THE PROFILE. THE REQUIRED DEPTH SHALL CONTINUE FOR AT LEAST 1/2 INCH TO A LEVEL THAT IS NOT LESS THAN 1 1/4 INCHES BELOW THE TALLEST PORTION OF THE PROFILE. THE MINIMUM WIDTH OF THE HANDRAIL ABOVE THE RECESS SHALL BE 1 1/2 INCHES TO MAXIMUM OF 2 1/2 INCHES. EDGES SHALL HAVE A MINIMUM RADIUS OF 0.10 INCH -IRC R311 7.7.3

9 GUARDS SHALL BE LOCATED ALONG OPEN-SIDED WALKING SURFACES, INCLUDING STAIRS, RAMPS AND LANDINGS, THAT ARE LOCATED MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY TO THE EDGE OF THE OPEN SIDE -IRC R312 1

10 GUARDS SHALL NOT BE LESS THAN 36 INCHES HIGH MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE, ADJACENT FIXED SEATING OR THE LINE CONNECTING THE LEADING EDGES OF THE TREADS -IRC R312 2

11 GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER -IRC R312 3

12 STAIR TREAD NOSING: THE RADIUS OF CURVATURE AT THE LEADING EDGE OF THE TREAD SHALL BE NO GREATER THAN 9/16 INCH. A NOSING NOT LESS THAN 1/4 INCH BUT NOT MORE THAN 1 1/4 INCHES SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS. THE GREATEST NOSING PROJECTION SHALL NOT EXCEED THE SMALLEST NOSING PROJECTION BY MORE THAN 3/8 INCH BETWEEN TWO STORIES, INCLUDING THE NOSING AT THE LEVEL OF FLOORS AND LANDINGS. BEVELING OF NOSING SHALL NOT EXCEED 1/8 INCH. RISERS SHALL BE VERTICAL OR SLOPED FROM THE UNDERSIDE OF THE LEADING EDGE OF THE TREAD ABOVE AT AN ANGLE NOT MORE THAN 30 DEGREES (0.51 RAD) FROM THE VERTICAL. OPEN RISERS ARE PERMITTED, PROVIDED THAT THE OPENING BETWEEN TREADS DOES NOT PERMIT THE PASSAGE OF A 4 INCH DIAMETER SPHERE (UTAH STATE AMENDMENT) EXCEPTIONS:  
A. A NOSING IS NOT REQUIRED WHERE THE TREAD DEPTH IS A MINIMUM OF 10 INCHES.  
B. THE OPENING BETWEEN ADJACENT TREADS IS NOT LIMITED ON STAIRS WITH A TOTAL RISE OF 30 INCHES OR LESS. NOTE: THIS MEANS THAT CONCRETE STAIRS, WITHOUT NOSINGS, MUST HAVE A TREAD DEPTH OF 10 INCHES.

**TYVEK VAPOR/AIR BARRIER INSTALLATION:**

1 INSTALL AIR BARRIER AFTER SHEATHING IS INSTALLED AND BEFORE WINDOWS AND DOORS ARE INSTALLED. INSTALL LOWER LEVEL BARRIER PRIOR TO UPPER LAYERS TO ENSURE PROPER SHINGLING OF LAYERS.

2 OVERLAP AIR BARRIER AT CORNERS OF BUILDING BY A MINIMUM OF 12 INCHES.

3 OVERLAP AIR BARRIER VERTICAL SEAMS BY A MINIMUM OF 6 INCHES.

4 ENSURE BARRIER IS PLUMB AND LEVEL WITH FOUNDATION, AND UNROLL EXTENDING AIR BARRIER OVER WINDOW AND DOOR OPENINGS.

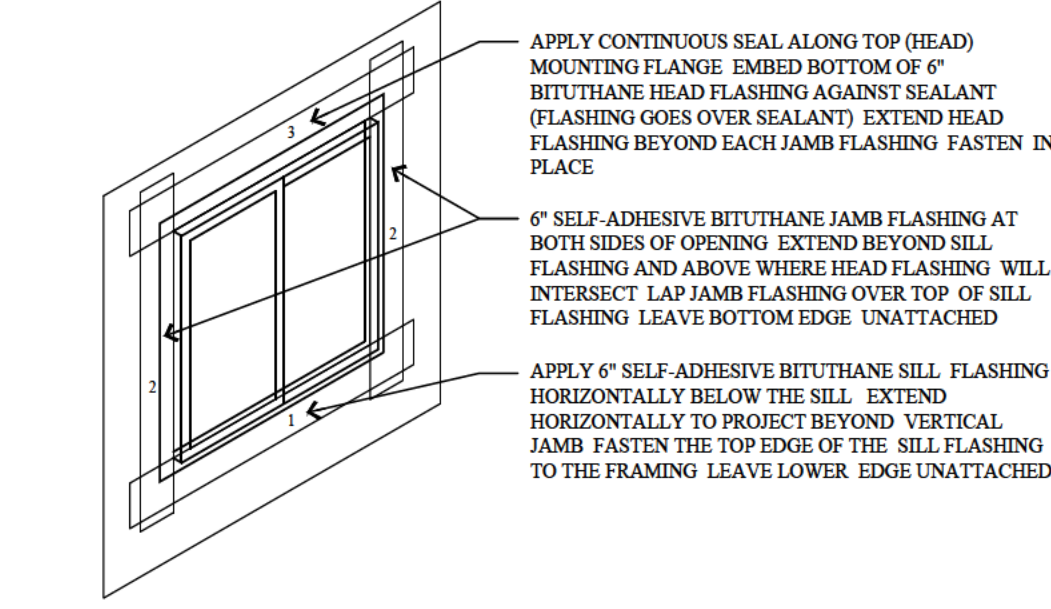
5 ATTACH AIR BARRIER TO WOOD INSULATED SHEATHING BOARD OR EXTERIOR GYPSUM BOARD WITH PLASTIC CAP NAILS EVERY 12" TO 18" ON VERTICAL STUD LINE WITH WOOD STUD FRAMING, AND SCREWS WITH WASHERS TO METAL STUD FRAMING WHEN ATTACHING TO WOOD SHEATHING. A MINIMUM 1.0 INCH CROWN STAPLE MAY BE USED WHEN ATTACHING TO MASONRY. USE ADHESIVE RECOMMENDED BY MANUFACTURER.

6 PREPARE WINDOW AND DOOR ROUGH OPENINGS AS FOLLOWS:  
A. PREPARE EACH WINDOW ROUGH OPENING BY CUTTING A MODIFIED "P" PATTERN IN THE AIR BARRIER.

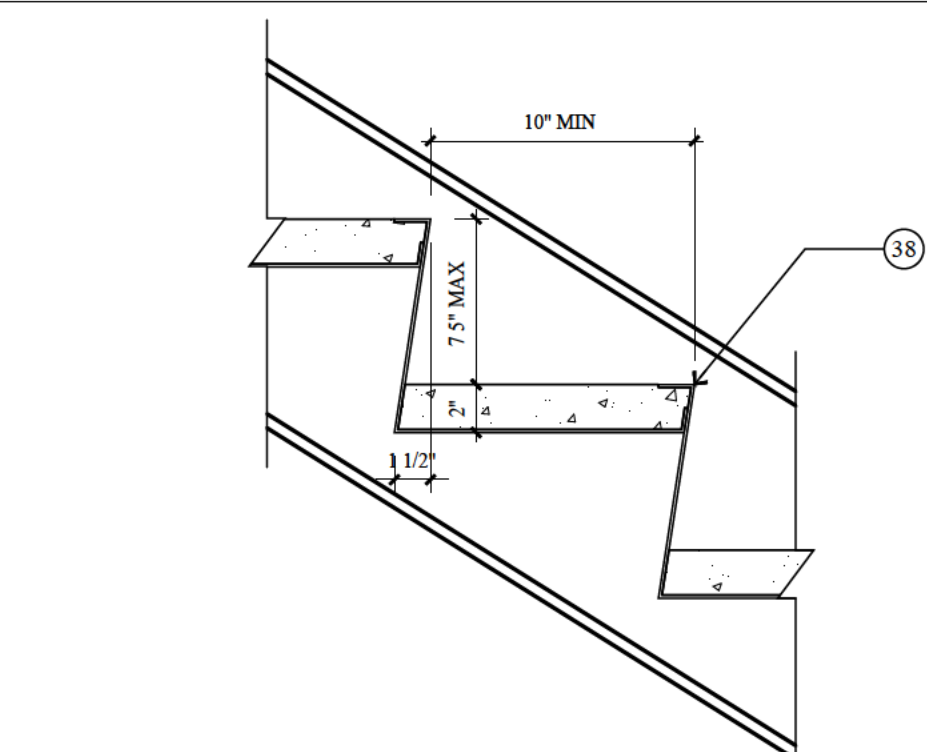
1 HORIZONTALLY CUT AIR BARRIER ALONG BOTTOM OF HEADER.  
2 VERTICALLY CUT AIR BARRIER DOWN THE CENTER OF WINDOW OPENINGS FROM THE TOP OF THE WINDOW OPENING DOWN TO 2/3 OF THE WAY TO THE BOTTOM OF THE WINDOW OPENING.  
3 DIAGONALLY CUT AIR BARRIER FROM THE BOTTOM OF THE VERTICAL CUT TO THE LEFT AND RIGHT CORNERS OF OPENING.  
4 FOLD SIDE AND BOTTOM FLAPS INTO WINDOW OPENING AND FASTEN EVERY 6 INCHES TRIM OFF EXCESS.  
5 PREPARE EACH ROUGH DOOR OPENING BY CUTTING A STANDARD "P" PATTERN IN THE AIR BARRIER.  
1 HORIZONTALLY CUT AIR BARRIER ALONG BOTTOM OF DOOR FRAME HEADER AND ALONG TOP OF SILL.  
2 VERTICALLY CUT AIR BARRIER DOWN THE CENTER OF DOOR OPENINGS FROM THE TOP OF THE DOOR OPENING (HEADER) DOWN TO THE BOTTOM OF THE DOOR OPENING (SILL).  
3 FOLD SIDE FLAPS INSIDE AROUND DOOR OPENINGS AND FASTEN EVERY 6 INCHES TRIM OFF EXCESS.

7 TAPE ALL HORIZONTAL AND VERTICAL SEAM OF AIR BARRIER WITH DUPONT TYVEK TAPE.

8 SEAL ALL TEARS AND CUTS IN AIR BARRIER WITH DUPONT TYVEK TAPE.



16 VAPOR BARRIER SILL, JAMB AND HEAD FLASHING  
A41 NO SCALE



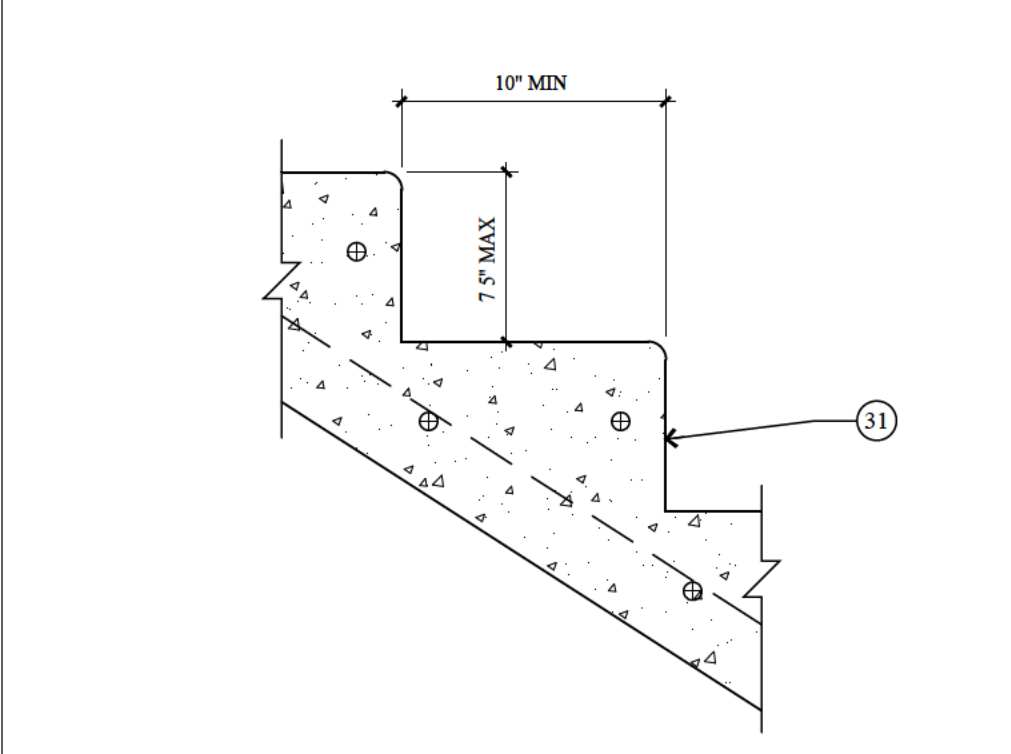
17 TYP. STAIR TREAD/RISER DETAIL  
A41 SCALE: 1 1/2" = 1'-0"



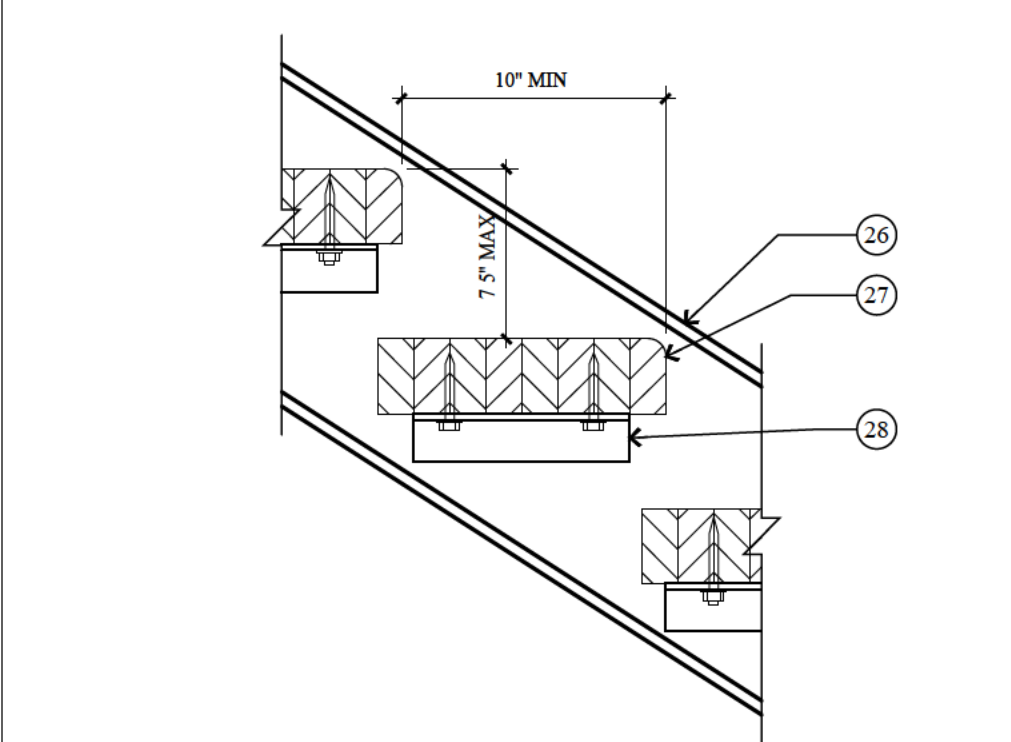
18 TYP. STAIR TREAD/RISER DETAIL  
A41 SCALE: 1 1/2" = 1'-0"



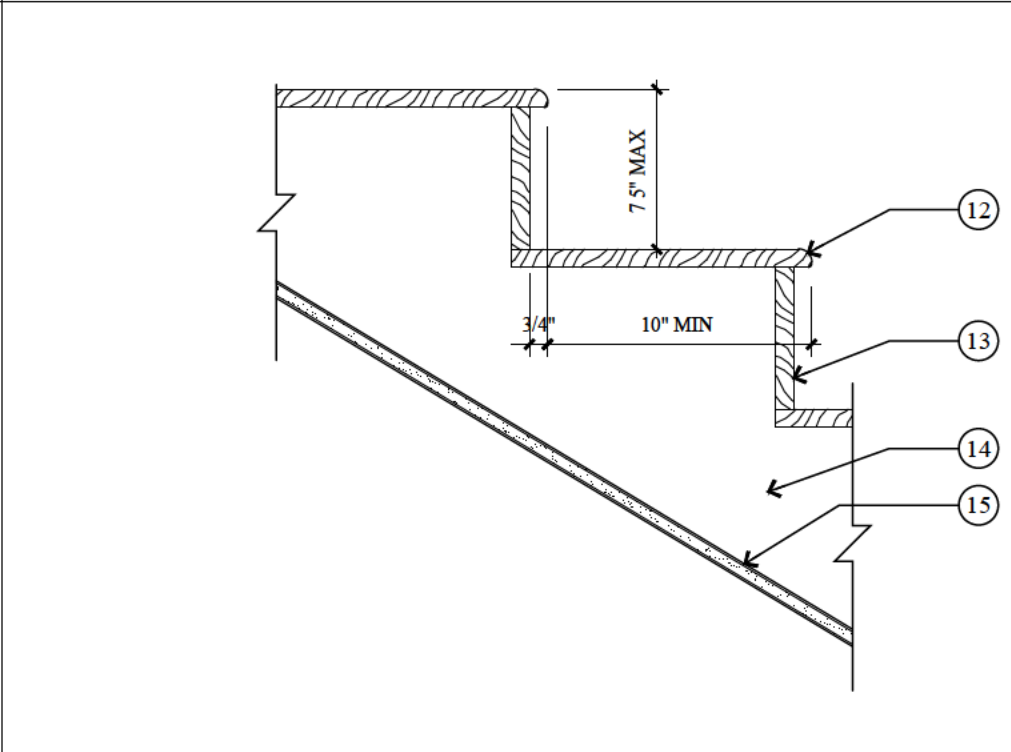
19 TYP. STAIR TREAD/RISER DETAIL  
A41 SCALE: 1 1/2" = 1'-0"



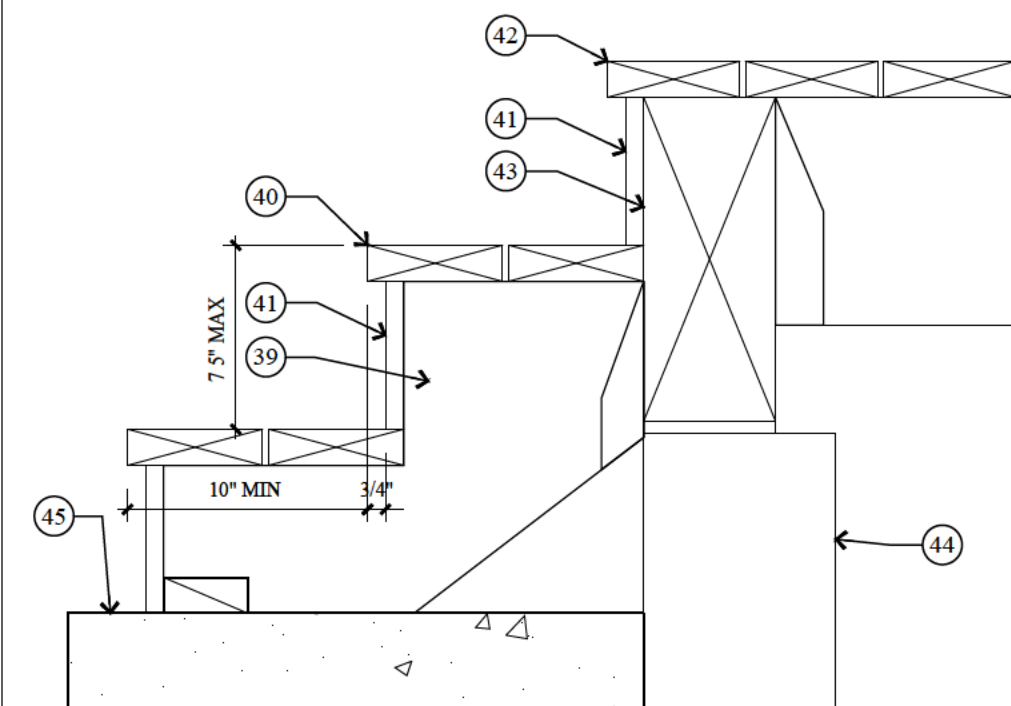
11 TYP. STAIR TREAD/RISER DETAIL  
A41 SCALE: 1 1/2" = 1'-0"



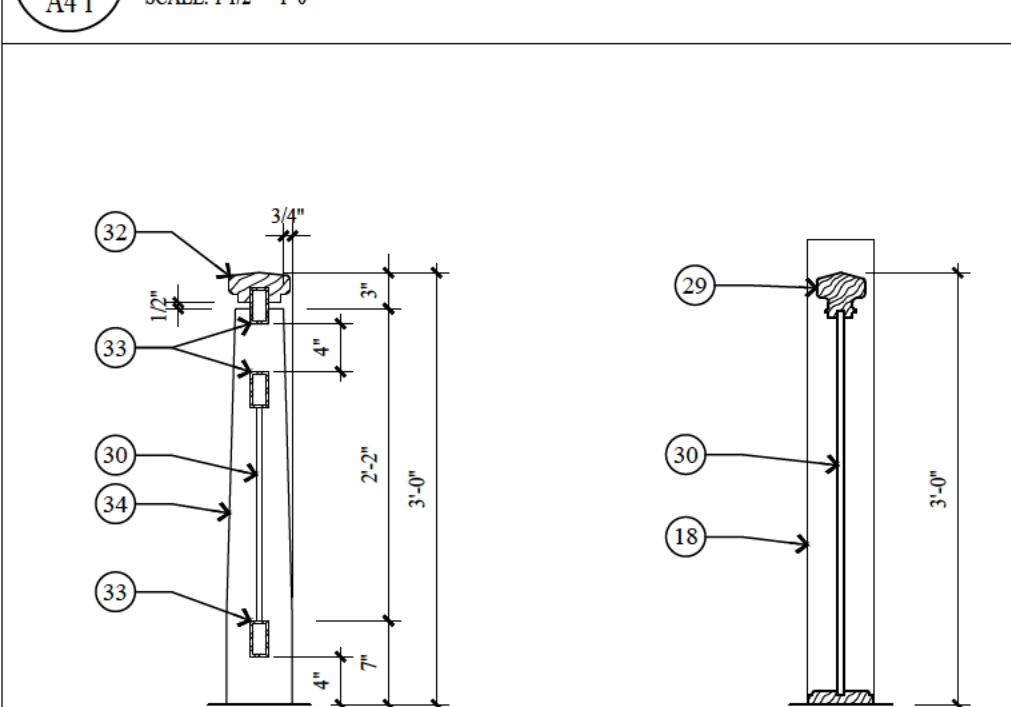
12 TYP. STAIR TREAD/RISER DETAIL  
A41 SCALE: 1 1/2" = 1'-0"



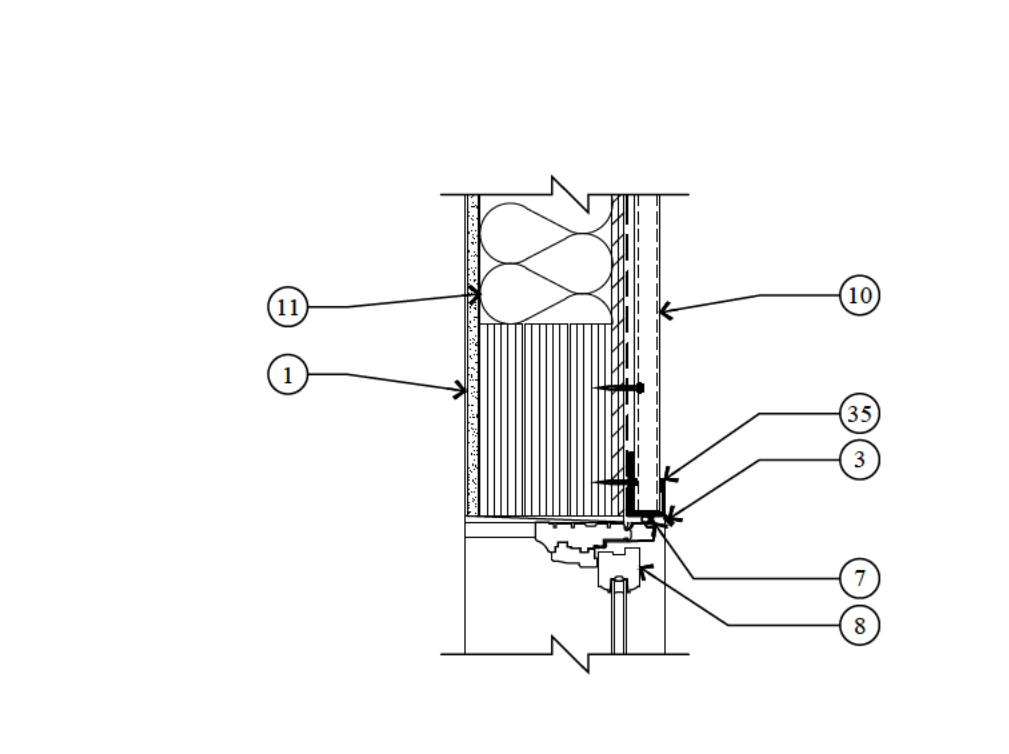
13 TYP. STAIR TREAD/RISER DETAIL  
A41 SCALE: 1 1/2" = 1'-0"



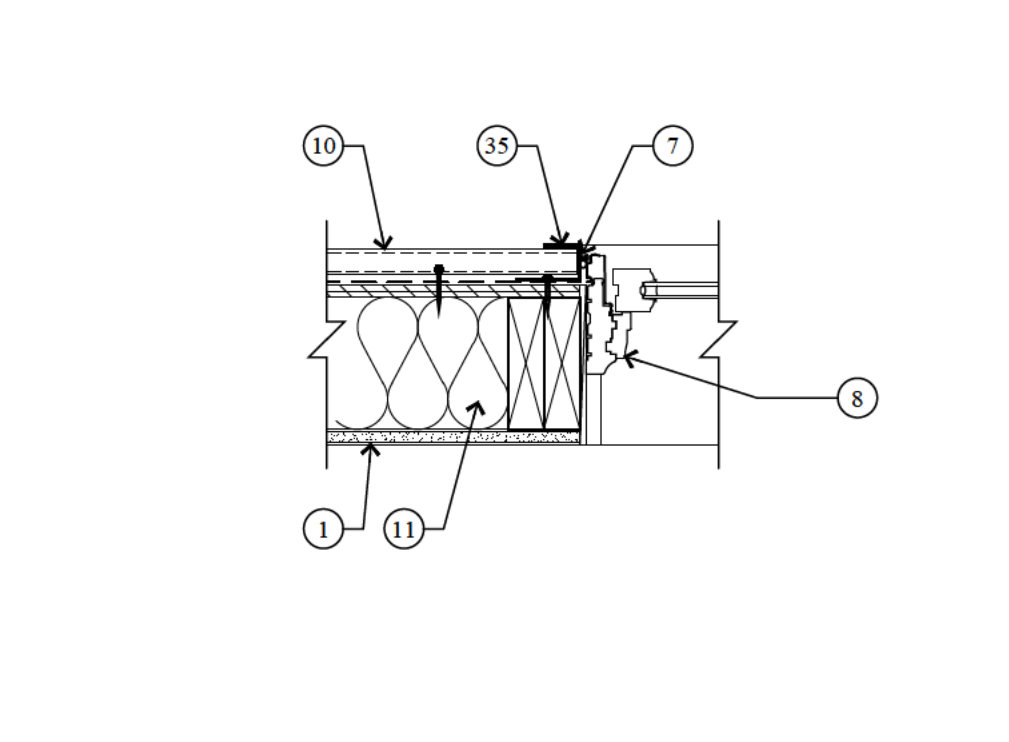
14 TYP. STAIR TREAD/RISER DETAIL  
A41 SCALE: 1 1/2" = 1'-0"



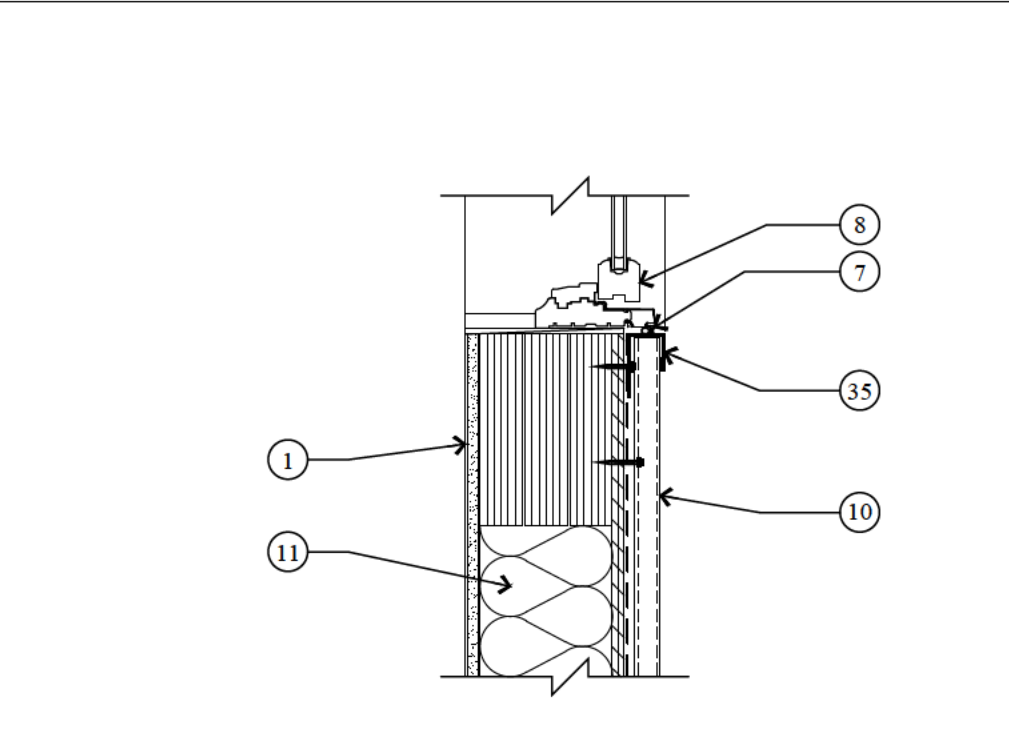
15 TYPICAL HANDRAIL/GUARDRAIL DETAILS  
A41 SCALE: 3/4" = 1'-0"



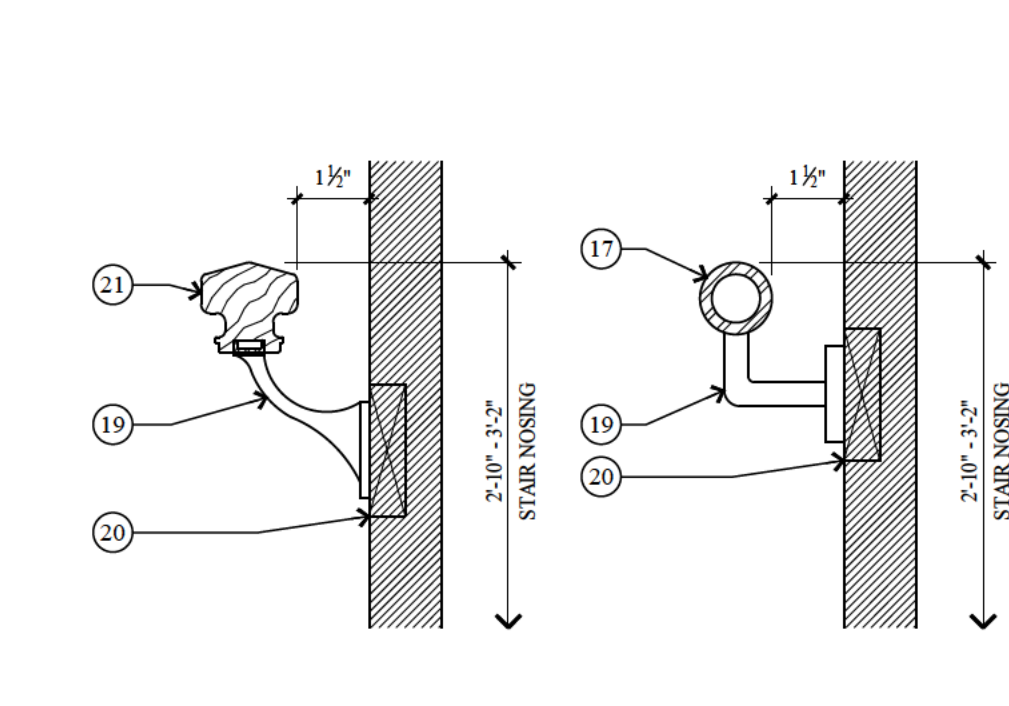
6 HEAD DETAIL  
A41 SCALE: 1 1/2" = 1'-0"



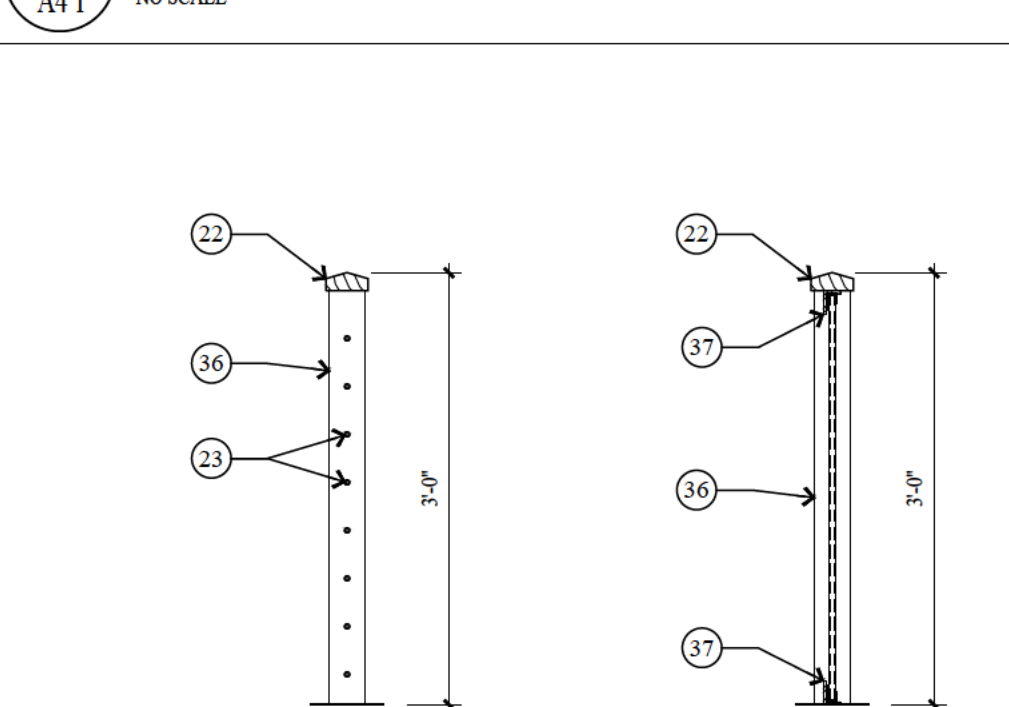
7 JAMB DETAIL  
A41 SCALE: 1 1/2" = 1'-0"



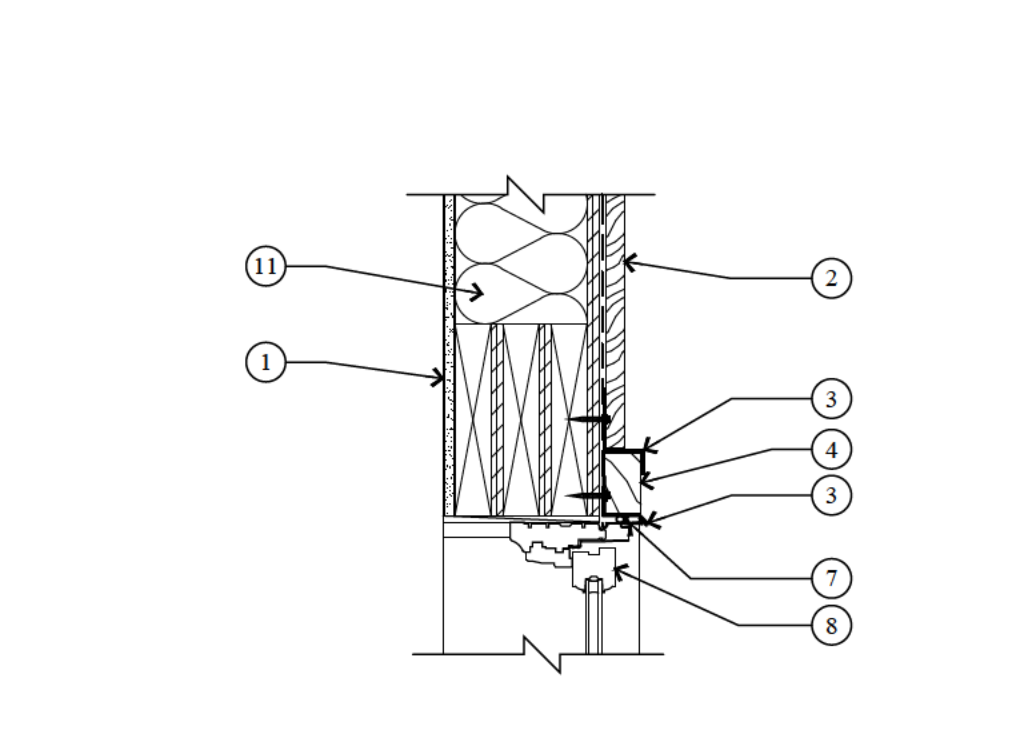
8 SILL DETAIL  
A41 SCALE: 1 1/2" = 1'-0"



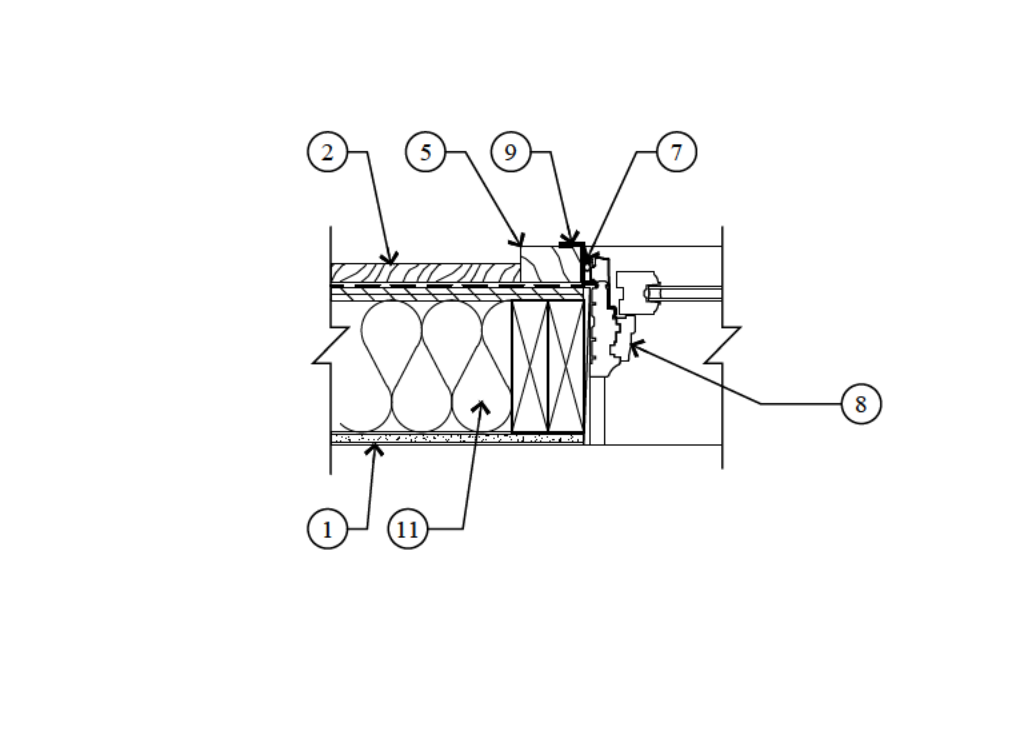
9 TYPICAL HANDRAIL DETAIL  
A41 NO SCALE



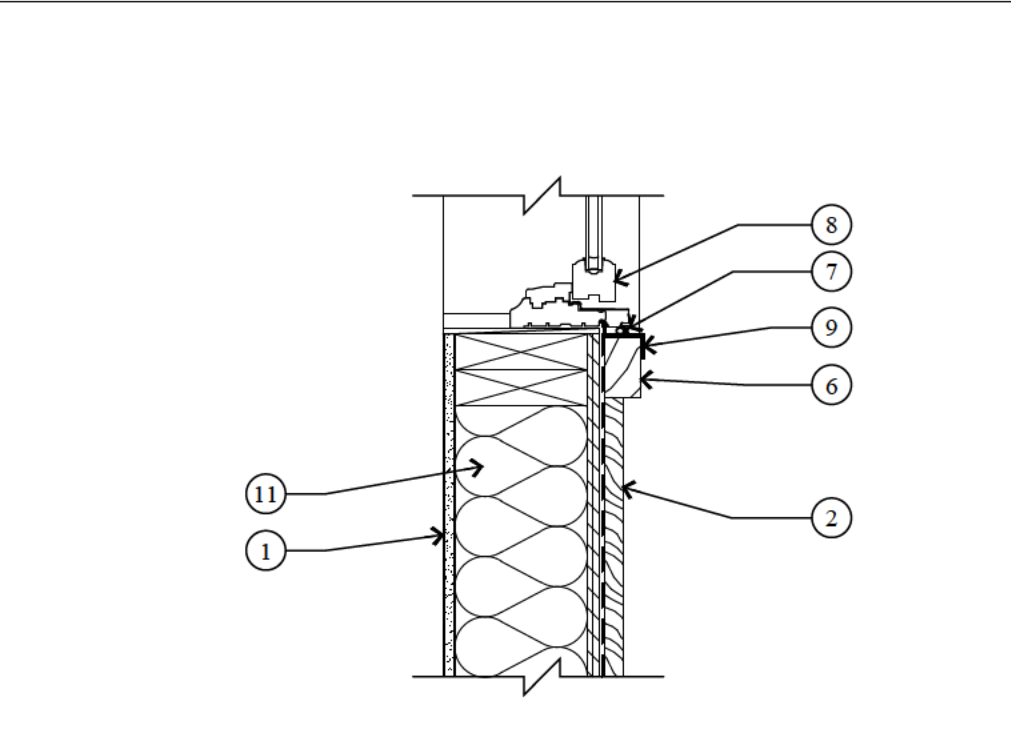
10 TYPICAL HANDRAIL/GUARDRAIL DETAILS  
A41 SCALE: 3/4" = 1'-0"



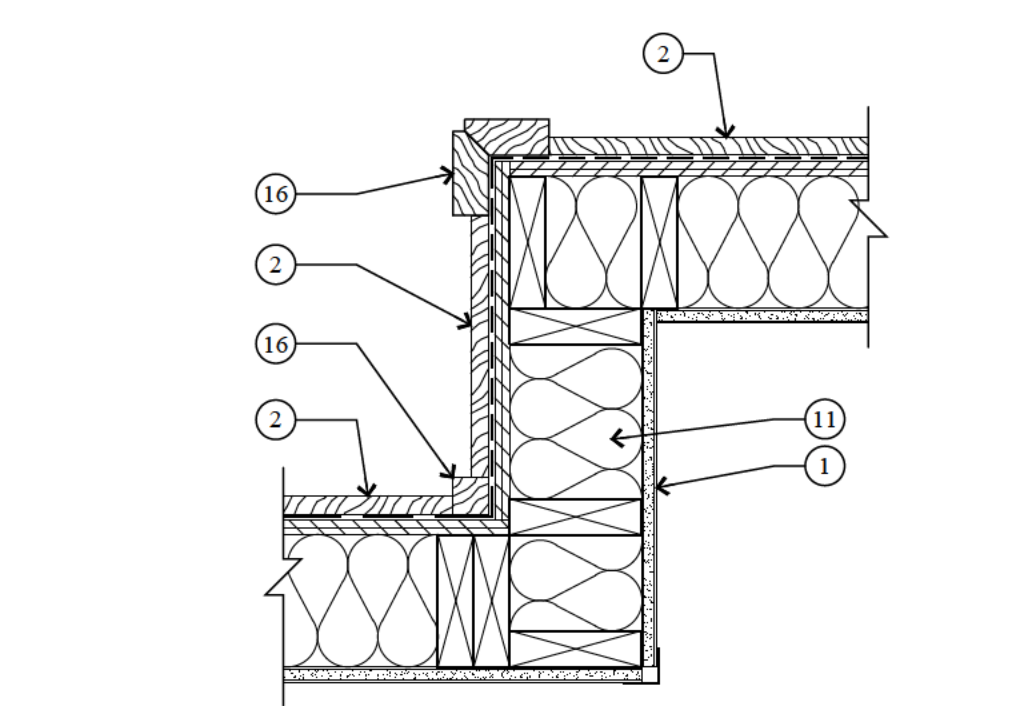
1 HEAD DETAIL  
A41 SCALE: 1 1/2" = 1'-0"



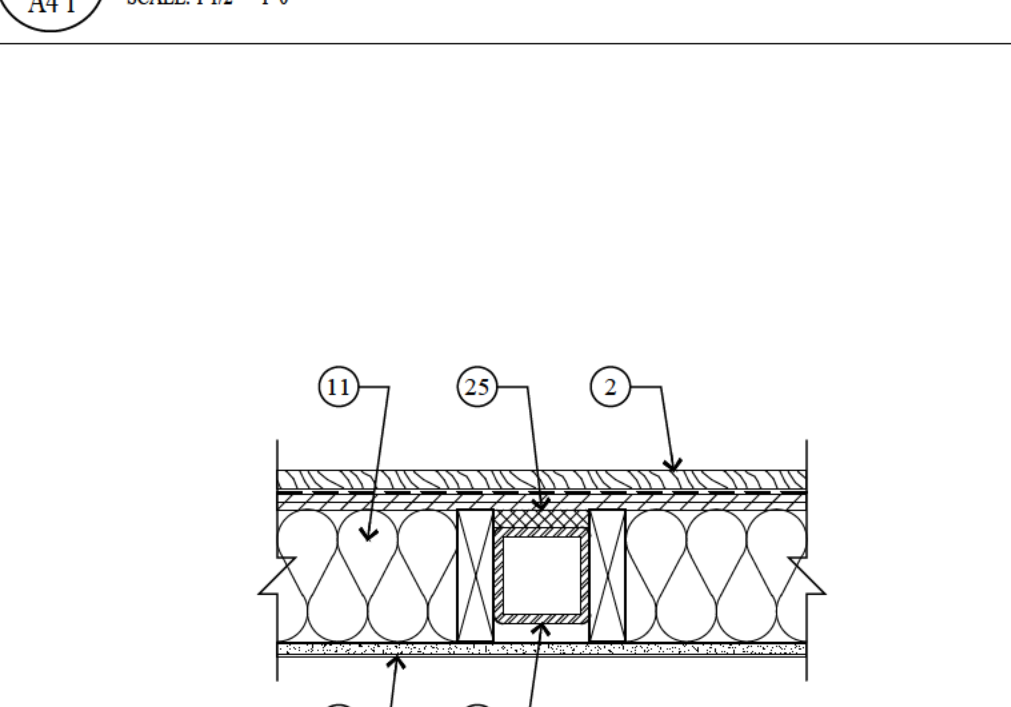
2 JAMB DETAIL  
A41 SCALE: 1 1/2" = 1'-0"



3 SILL DETAIL  
A41 SCALE: 1 1/2" = 1'-0"



4 INSIDE AND OUTSIDE CORNER TRIM DETAIL  
A41 SCALE: 1 1/2" = 1'-0"



5 THERMAL BREAK DETAIL @ TUBE STEEL COLUMN  
A41 SCALE: 1 1/2" = 1'-0"

**KEY NOTES**

- 1 1/2" GYPSUM BOARD ON 2x6 STUDS @ 16" O C
- 2 EXTERIOR WOOD SIDING ON AIR/VAPOR BARRIER ON 1/2" EXT SHEATHING. SEE ELEVATIONS FOR SIDING TYPE.
- 3 HEAD FLASHING TRIM
- 4 2x3 WINDOW/DOOR HEAD - PAINT/STAIN
- 5 2x3 WINDOW/DOOR JAMB - PAINT/STAINED
- 6 2x3 WINDOW SILL - PAINT/STAINED
- 7 BACKER ROD AND CAULK
- 8 WOOD ALUMINUM CLAD WINDOW W/ INSULATED GLASS - SEE SCHEDULE
- 9 METAL FLASHING
- 10 EXTERIOR METAL SIDING ON AIR/VAPOR BARRIER ON 1/2" EXT SHEATHING. SEE ELEVATIONS FOR SIDING TYPE.
- 11 EXTERIOR WALLS TO BE 2x6 FRAMING. FOR INSULATION SEE GENERAL NOTE 2 ON THE FLOOR PLAN SHEET A1.1
- 12 3/4" HARDWOOD TREAD - SEE STAIR NOTES
- 13 3/4" HARDWOOD CLOSED RISER - SEE STAIR NOTES
- 14 2x12 STRINGERS
- 15 1/2" GYPSUM BOARD
- 16 2x4 CEDAR OUTSIDE CORNER BOARD, 2x2 CEDAR INSIDE CORNER BOARD - STAINED
- 17 1 1/2" DIA STEEL PIPE - PAINTED
- 18 6x6 WOOD END POST
- 19 HANDRAIL BRACKET
- 20 SOLID BACKING - TYP
- 21 HARDWOOD STANDARD MILL SHAPE HANDRAIL - STAINED
- 22 36" HIGH 2x SHAPE HARDWOOD CONT
- 23 5/32" DIA 316 STAINLESS STEEL CABLE. WORKING LOAD: 750# BREAKING LOAD: 2000#. HORIZONTAL. SPACED LESS THAN 4" THROUGH VERTICAL TUBE STEEL POSTS
- 24 TUBE STEEL COLUMN - SEE STRUCTURAL
- 25 3/4" RIGID INSULATION
- 26 12" STEEL CHANNEL STRINGER
- 27 3 1/8 x 1/2 GLU LAM BEAM TREAD
- 28 2"x2"x1/2" STEEL ANGLE W/ 2-1/2" DIA x 3" LAG BOLTS
- 29 36" HIGH HARDWOOD TOP RAIL HAND GRIP TO BE STANDARD MILL SHAPE CONTINUOUS
- 30 1/2" DIAMETER STEEL BALLAST. VERTICAL. SPACED LESS THAN 4" - PAINTED/POWDER COATED
- 31 4" REINFORCED CONCRETE STAIRS ON 4" GRAVEL BASE
- 32 36" HIGH HAND RAIL TO BE 2 1/2" x 5" SHAPE HARDWOOD, CONTINUOUS
- 33 (3) TOP AND BOTTOM RAILS TO BE 1 1/2" x 3" TUBE STEEL - PAINT/POWDER COAT
- 34 6x6 HARDWOOD END POST TAPERED 3/4" - STAINED
- 35 1 1/2" METAL TRIM @ HEAD, JAMB & SILL
- 36 1 1/2" x 3" TUBE STEEL END/MID POST - PAINT/POWDER COAT
- 37 1 1/2" x 3" STEEL ANGLE TOP AND BOTTOM W/ VERTICAL CORRUGATED METAL SIDING INFILL
- 38 ENTRY STAIRS: STEEL CHANNEL STRINGERS W/ CLOSED RISER METAL PAN. TREADS FILLED W/ CONCRETE
- 39 2x12 PRESSURE TREATED STRINGERS
- 40 TREAD TO BE 2x6 TREX OR EQUAL
- 41 RISERS TO BE 1x6 TREX OR EQUAL
- 42 DECKING TO BE 2x6 TREX OR EQUAL ON 2x10 P T JOIST @ 16" O C - SEE STRUCTURAL FOR DETAILS
- 43 DECK BEAM - SEE STRUCTURAL FOR DETAILS
- 44 8" CONCRETE PIER - SEE STRUCTURAL FOR DETAILS
- 45 4" REINFORCED CONCRETE WALKWAY / DRIVEWAY / GARAGE ON 4" GRAVEL BASE

**Jonathan DeGray**  
A r c h i t e c t

P.O. Box 1674, 614 Main Street, Suite 302, Park City, Utah 84060  
Tel. 435-649-7263, E-mail: deggray@westoffice.net

NEW RESIDENCE  
HISTORIC DISTRICT DESIGN REVIEW  
121 SAMPSON AVENUE, PARK CITY, UTAH 84060

ARCHITECTURAL DETAILS  
STAIR/RAILING NOTES

REVISIONS:

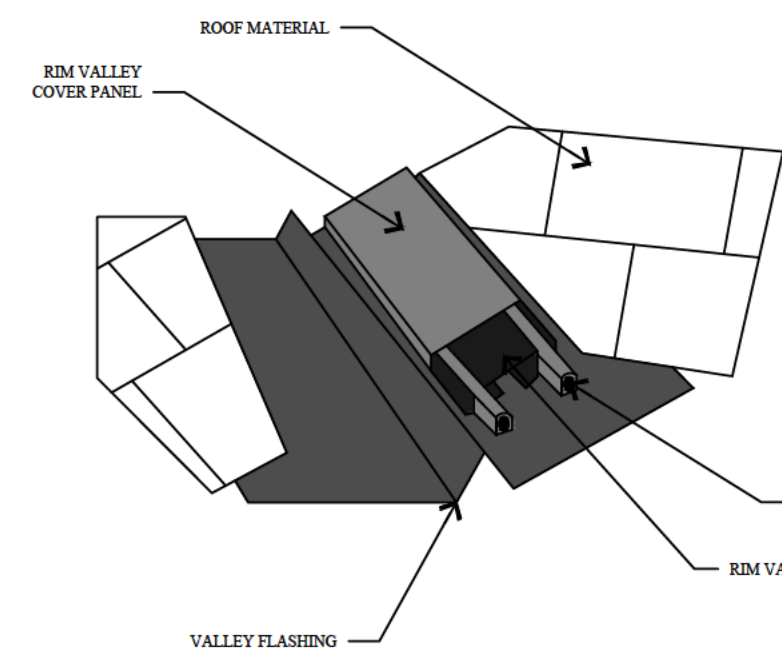
DATE: APRIL 03, 2025

PROJECT NUMBER: 2401-01

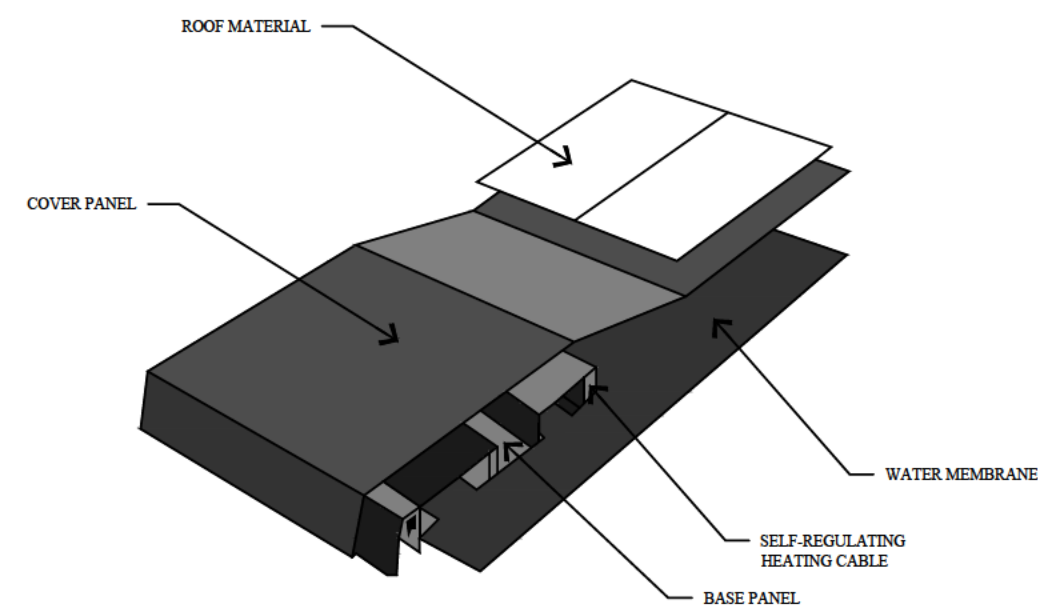
SHEET NUMBER:

**A4.1**

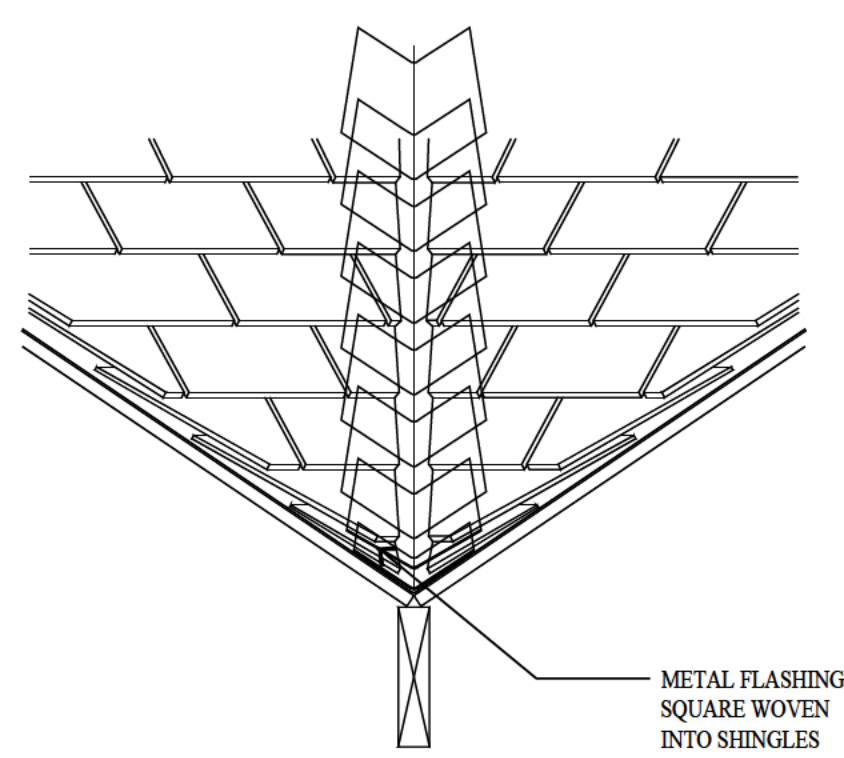
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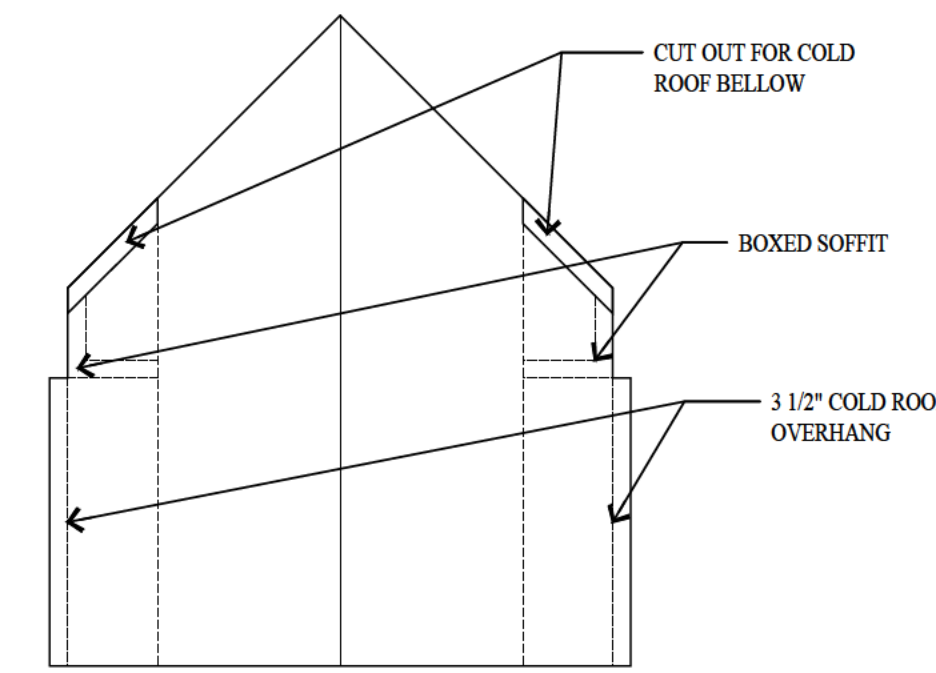
1 VALLEY SNOW MELT DETAIL  
A42 NO SCALE



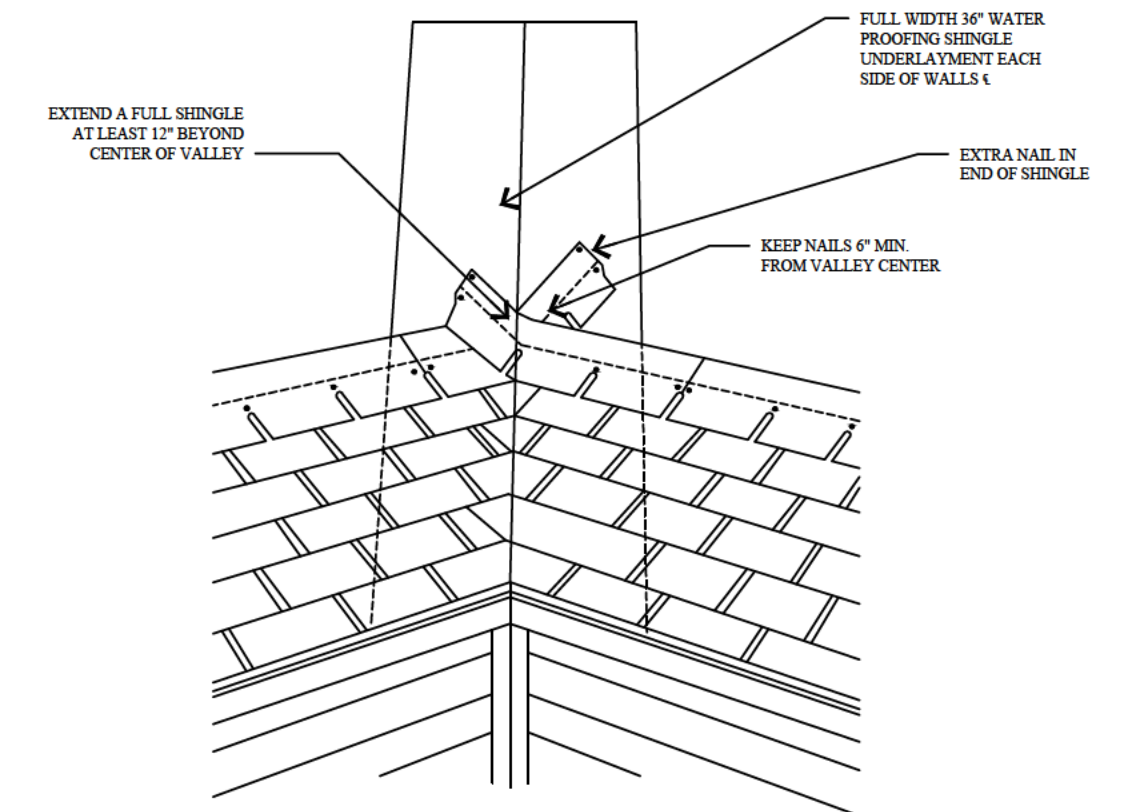
2 EAVE SNOW MELT DETAIL  
A42 NO SCALE



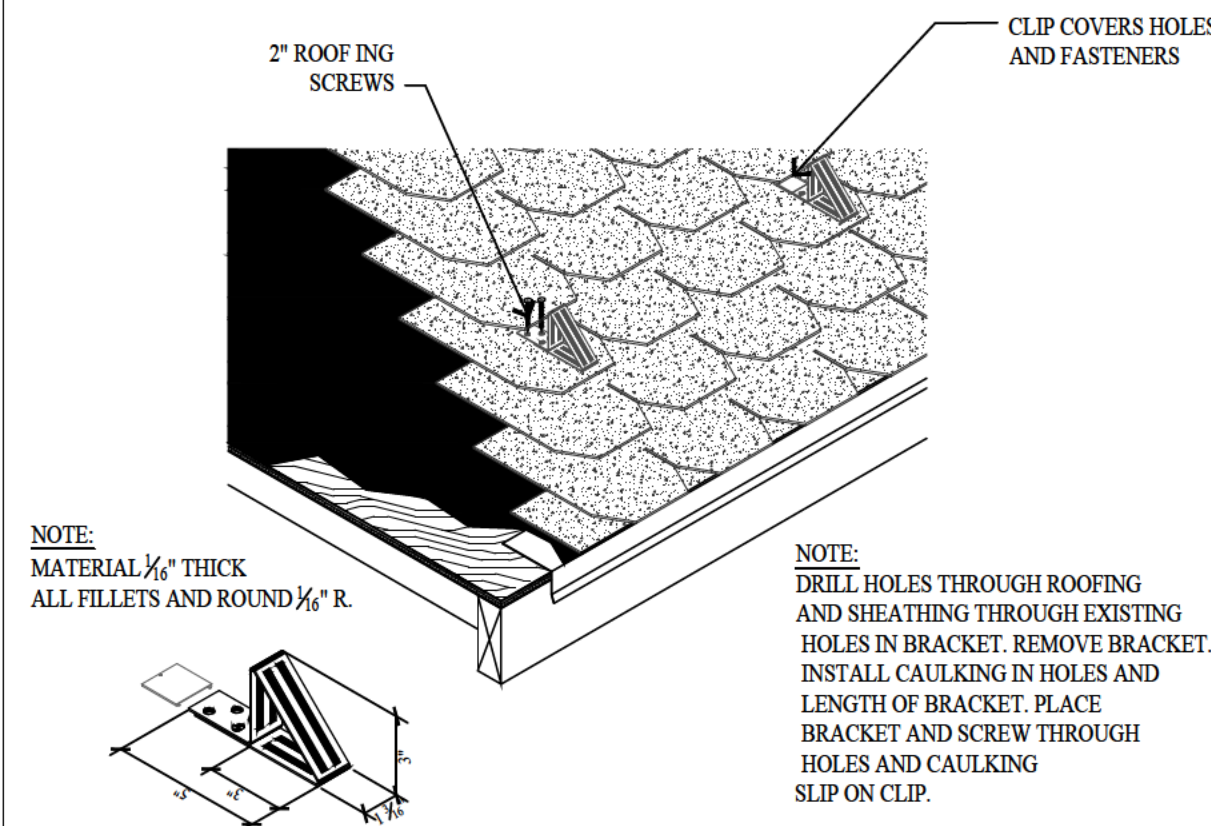
3 CLOSED VALLEY FLASHING  
A42 NO SCALE



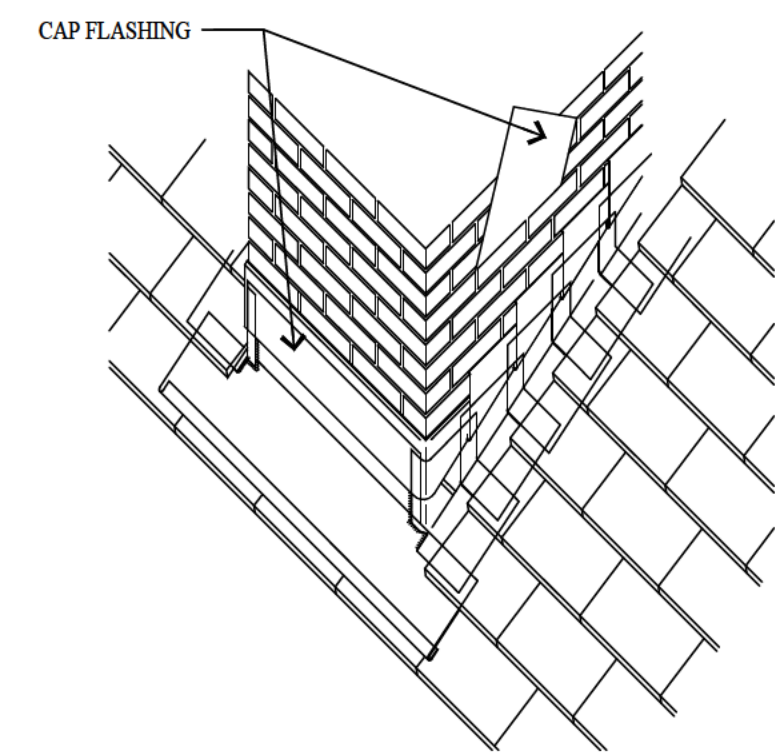
4 DORMER ROOF  
A42 NO SCALE



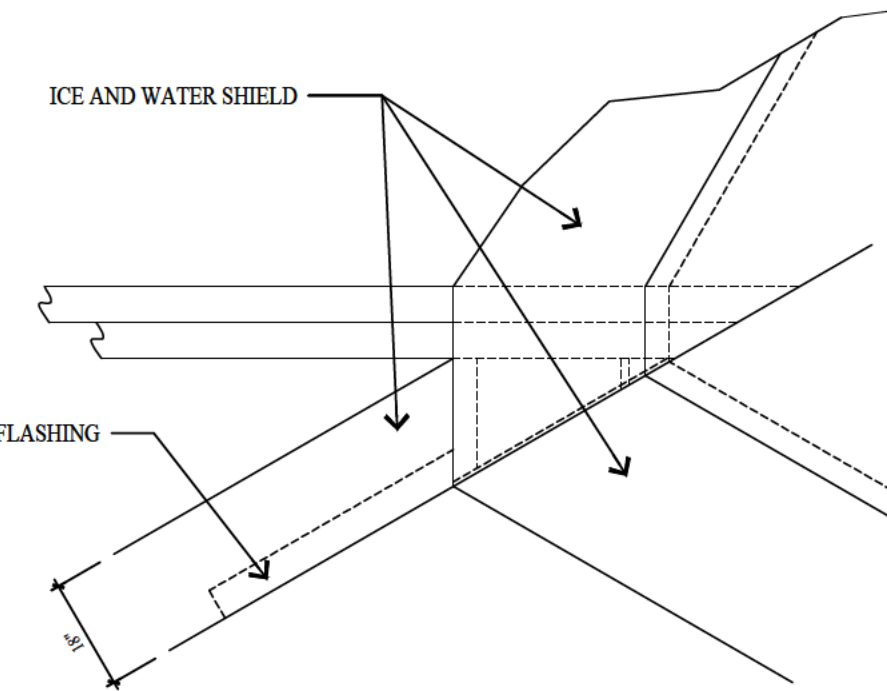
5 WOVEN VALLEY DETAIL  
A42 NO SCALE



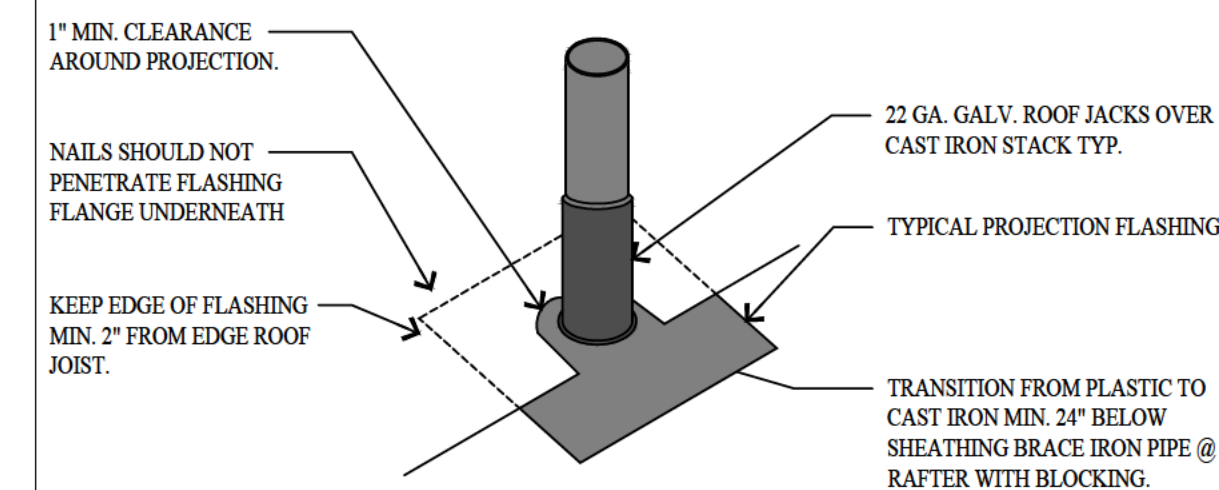
6 SNOW BRACKET DETAIL  
A42 NO SCALE



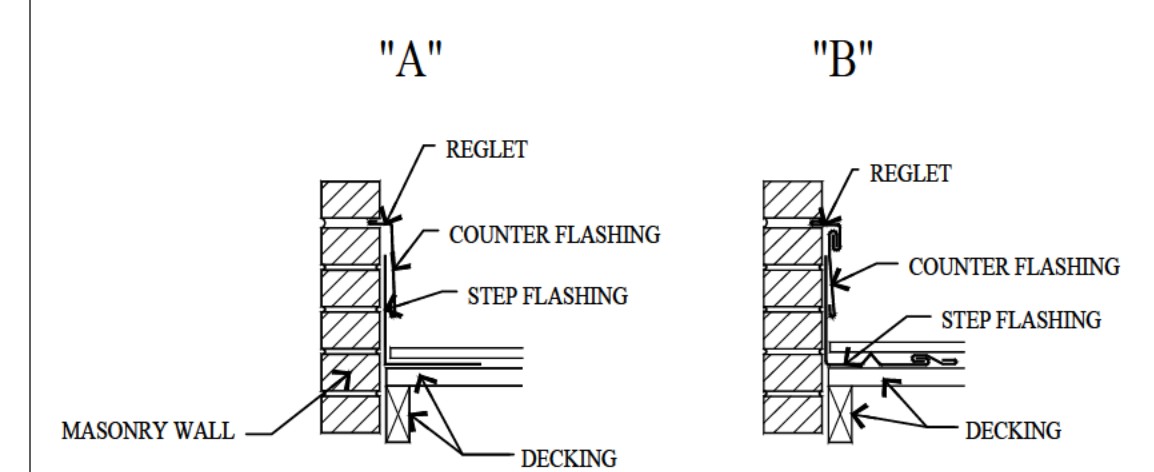
7 CHIMNEY FLASHING  
A42 NO SCALE



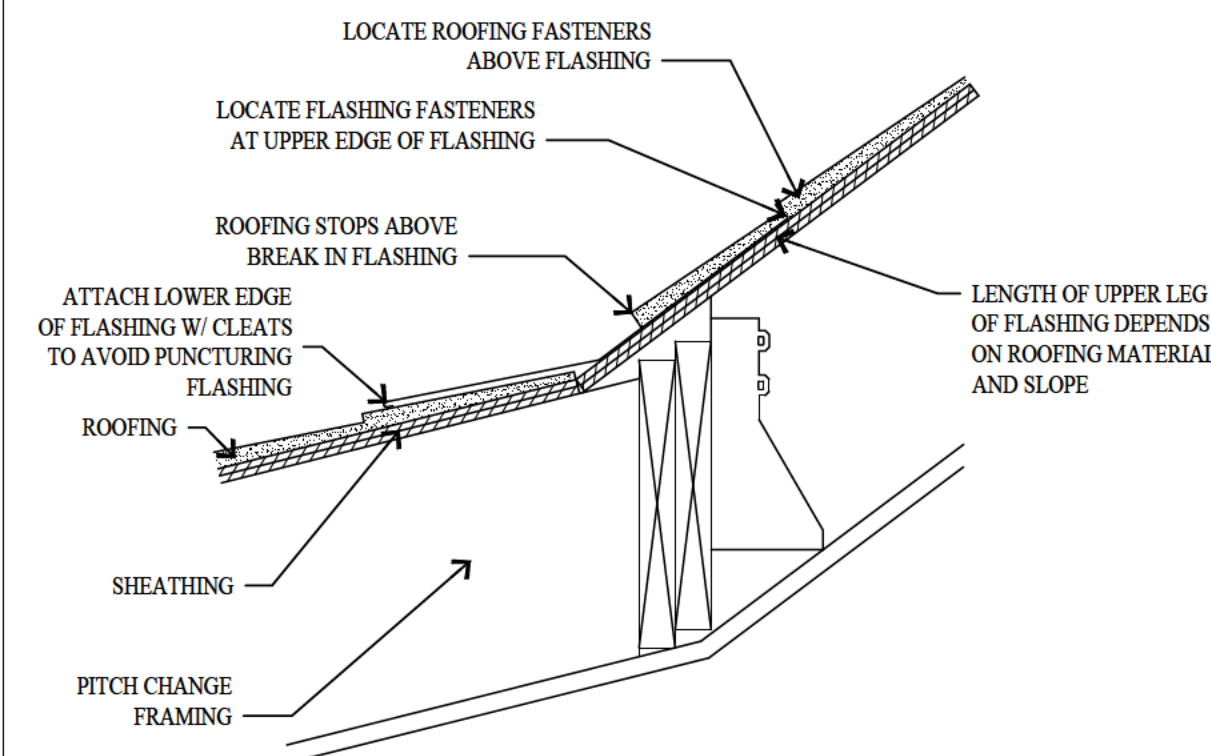
8 DORMER FLASHING DETAIL  
A42 NO SCALE



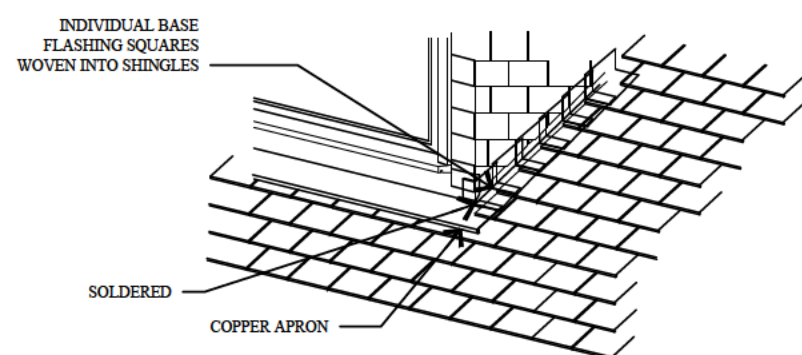
9 VENT FLASHING DETAIL  
A42 NO SCALE



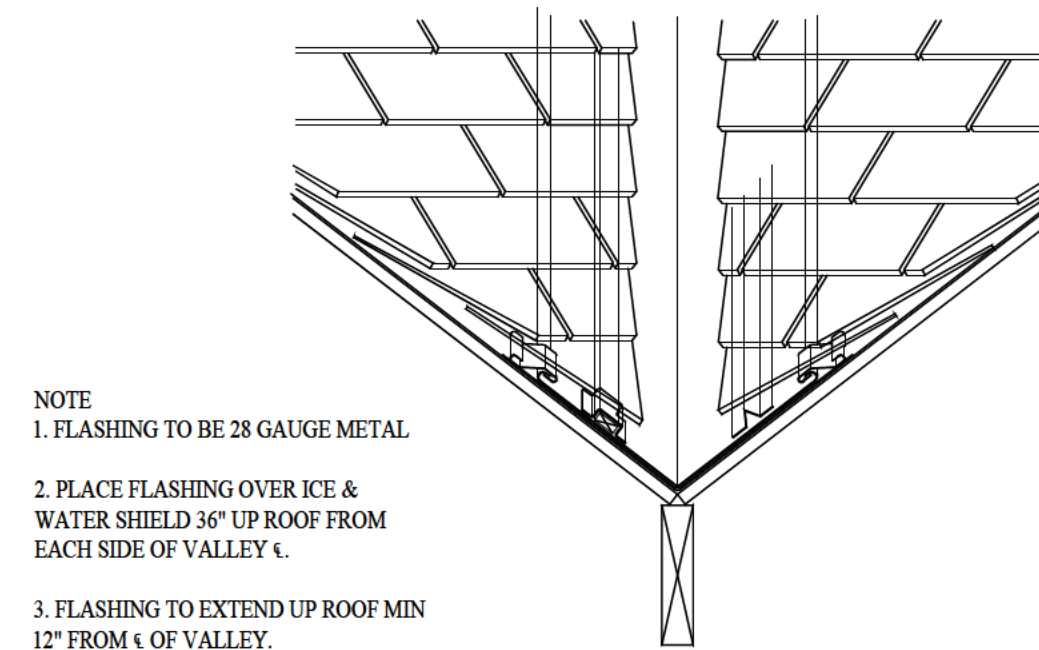
10 RAKE WALL FLASHING DETAIL  
A42 NO SCALE



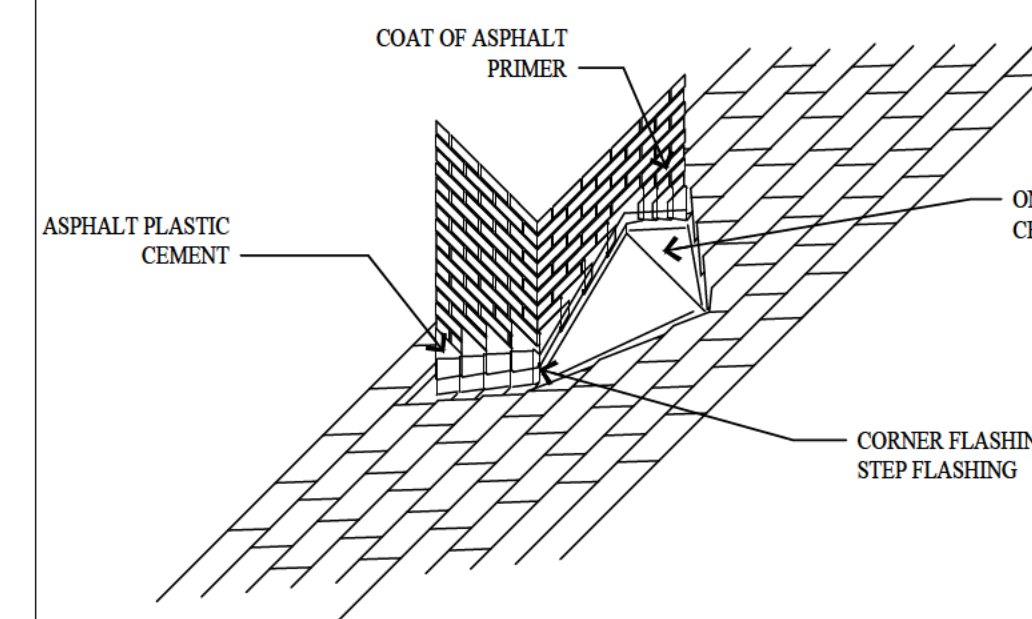
11 ROOF PITCH TRANSITION DETAIL  
A42 NO SCALE



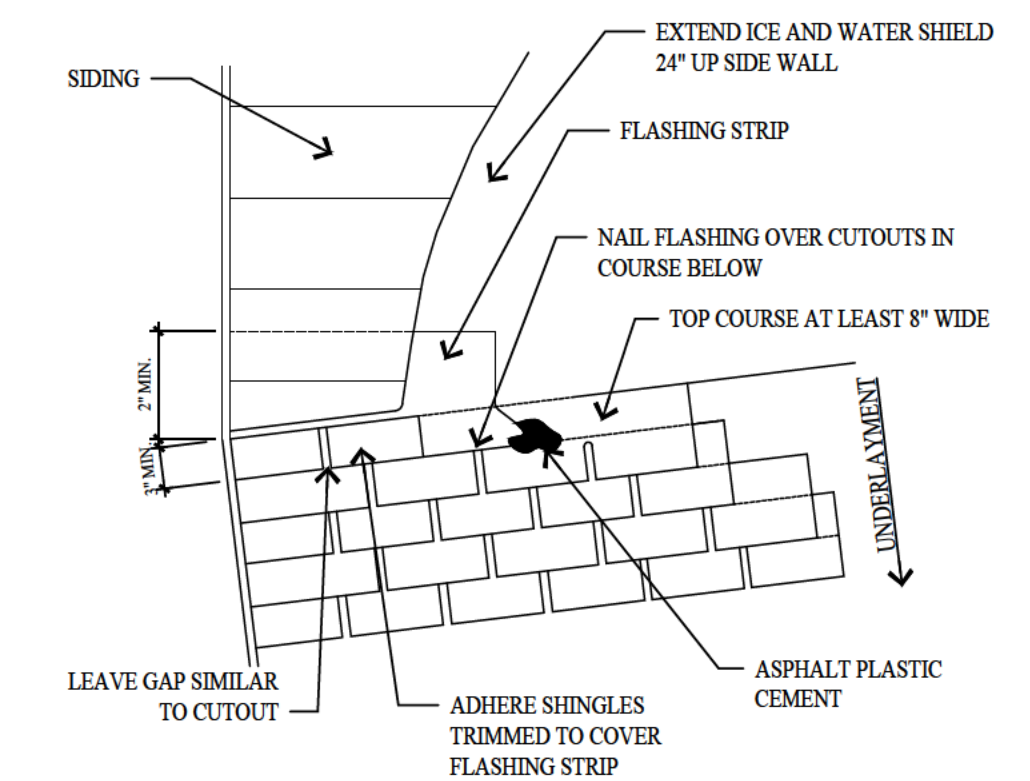
12 FLASHING DETAIL  
A42 NO SCALE



13 OPEN VALLEY DETAIL  
A42 NO SCALE



14 CHIMNEY CRICKET FLASHING  
A42 NO SCALE



15 ROOF/WALL FLASHING DETAIL  
A42 NO SCALE

Bar Size	Bar Spacing	Bar Length	Bar Weight	Bar Spacing	Bar Length	Bar Weight
1 1/2"	12"	12'	120	12"	12'	120
2"	12"	12'	160	12"	12'	160
3"	12"	12'	240	12"	12'	240
4"	12"	12'	320	12"	12'	320
6"	12"	12'	480	12"	12'	480

**LOAD CALC. FOR PIPE ONLY**

FOR STANDING SEAM SPECIFIC MECHANICAL LOAD TEST INFORMATION AND CLAMP INSTALLATION INFORMATION PLEASE VISIT: [WWW.S-S.COM](http://www.s-s.com)

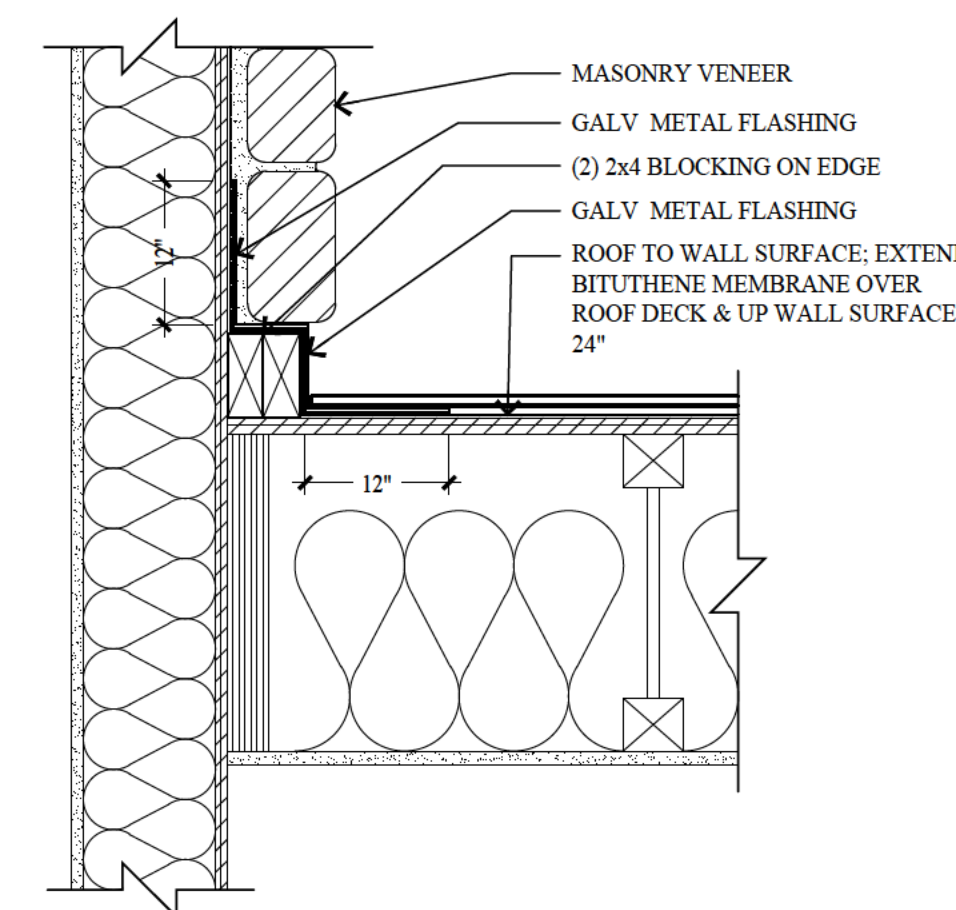
**S-S!** METAL ROOF PRODUCTS, L.L.C. 1000 S. 1000 W. SALT LAKE CITY, UT 84119 (801) 488-8888

16 SNOW RETENTION BARS DETAIL  
A42 NO SCALE

**SnoBar** SN-BLOX

Call Today For A Quote!

1-800-766-5291



17 MASONRY DETAIL @ CHIMNEY  
A42 SCALE: 1/2" = 1'-0"

**Jonathan DeGray**  
A r c h i t e c t

NEW RESIDENCE  
HISTORIC DISTRICT DESIGN REVIEW

121 SAMPSON AVENUE, PARK CITY, UTAH 84060

ROOF FLASHING DETAILS

DATE: APRIL 04, 2025

PROJECT NUMBER: 2401-01

SHEET NUMBER: A4.2

THE GRAPHIC MATERIAL AND DESIGN ON THIS SHEET ARE INSTRUMENTS OF SERVICE AND REMAIN AT ALL TIMES THE PROPERTY OF JONATHAN DEGRAY - ARCHITECT P.C. REPRODUCTION OR REUSE OF THE MATERIAL AND DESIGN CONTAINED HEREIN IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF JONATHAN DEGRAY - ARCHITECT P.C. VIOLATORS WILL BE PROSECUTED TO THE FULLEST EXTENT OF THE LAW. JONATHAN DEGRAY - ARCHITECT P.C. ALL RIGHTS RESERVED.

ROOM FINISH SCHEDULE										
ROOM		FLOOR		WALLS				CEILING		REMARKS
NO.	NAME	MATL	BASE	NORTH	EAST	SOUTH	WEST	HEIGHT	MATL	
LOWER LEVEL										
100	ELEVATOR	PLYWOOD	WOOD	GYP	GYP	GYP	GYP	3'-0"	GYP	5/8" TYPE "X" GYPSUM BOARD
101	MECH	CONCRETE	WOOD	GYP	GYP	GYP	GYP	7'-10 1/4"	GYP	
102	STORAGE	CONCRETE	WOOD	GYP	GYP	GYP	GYP	7'-10 1/4"	GYP	
103	STORAGE	CONCRETE	WOOD	GYP	GYP	GYP	GYP	VARIES	GYP	
104	POWDER	TILE	TILE	GYP	GYP	GYP	GYP	7'-10 1/4"	GYP	
105	HALL	WOOD	WOOD	GYP	GYP	GYP	GYP	7'-10 1/4"	GYP	
106	MECH	CONCRETE	WOOD	GYP	GYP	GYP	GYP	7'-10 1/4"	GYP	
107	BATH	TILE	TILE	GYP	GYP	GYP	GYP	7'-10 1/4"	GYP	
108	BEDROOM	CARPET	WOOD	GYP	GYP	GYP	GYP	7'-10 1/4"	GYP	
109	CLOSET	CARPET	WOOD	GYP	GYP	GYP	GYP	7'-10 1/4"	GYP	
110	CLOSET	CARPET	WOOD	GYP	GYP	GYP	GYP	7'-10 1/4"	GYP	
111	BEDROOM	CARPET	WOOD	GYP	GYP	GYP	GYP	7'-10 1/4"	GYP	
112	BATH	TILE	TILE	GYP	GYP	GYP	GYP	7'-10 1/4"	GYP	
113	HALL	WOOD	WOOD	GYP	GYP	GYP	GYP	7'-10 1/4"	GYP	
114	BEDROOM	CARPET	WOOD	GYP	GYP	GYP	GYP	7'-10 1/4"	GYP	
115	BATH	TILE	TILE	GYP	GYP	GYP	GYP	7'-10 1/4"	GYP	
116	HOME THEATER	CARPET	WOOD	GYP	GYP	GYP	GYP	7'-10 1/4"	GYP	
MASTER LEVEL										
201	LAUNDRY	TILE	TILE	GYP	GYP	GYP	GYP	7'-10 1/4"	GYP	
202	HALL	WOOD	WOOD	GYP	GYP	GYP	GYP	7'-10 1/4"	GYP	
203	BATH	TILE	TILE	GYP	GYP	GYP	GYP	7'-10 1/4"	GYP	
204	STEAM	TILE	TILE	TILE	TILE	TILE	TILE	7'-9"	TILE	
205	CLOSET	CARPET	WOOD	GYP	GYP	GYP	GYP	7'-10 1/4"	GYP	
206	BATH	TILE	TILE	GYP	GYP	GYP	GYP	7'-10 1/4"	GYP	
207	BUNK ROOM	CARPET	WOOD	GYP	GYP	GYP	GYP	7'-10 1/4"	GYP	
208	FAMILY ROOM	WOOD	WOOD	GYP	GYP	GYP	GYP	7'-10 1/4"	GYP	
209	GAME ROOM	WOOD	WOOD	GYP	GYP	GYP	GYP	7'-10 1/4"	GYP	
210	MST BEDROOM	CARPET	WOOD	GYP	GYP	GYP	GYP	7'-7 1/4"	GYP	
211	MST CLOSET	CARPET	WOOD	GYP	GYP	GYP	GYP	7'-10 1/4"	GYP	
212	MST BATH	TILE	TILE	GYP	GYP	GYP	GYP	7'-10 1/4"	GYP	
MAIN LEVEL										
301	POWDER	TILE	TILE	GYP	GYP	GYP	GYP	8'-5 1/4"	GYP	
302	WINE ROOM	WOOD	WOOD	GYP	GYP	GYP	GYP	8'-5 1/4"	GYP	
303	HALL	WOOD	WOOD	GYP	GYP	GYP	GYP	8'-5 1/4"	GYP	
304	PANTRY	WOOD	WOOD	GYP	GYP	GYP	GYP	VARIES	GYP	
305	KITCHEN	WOOD	WOOD	GYP	GYP	GYP	GYP	VARIES	GYP	
306	DNING	WOOD	WOOD	GYP	GYP	GYP	GYP	VARIES	GYP	
307	CONVERSATION RM	WOOD	WOOD	GYP	GYP	GYP	GYP	VARIES	GYP	
308	LIVING ROOM	WOOD	WOOD	GYP	GYP	GYP	GYP	VARIES	GYP	
309	OFFICE / GUEST ROOM	WOOD	WOOD	GYP	GYP	GYP	GYP	VARIES	GYP	
310	BATH	TILE	TILE	GYP	GYP	GYP	GYP	7'-7 1/4"	GYP	
GARAGE / ENTRY LEVEL										
401	ENTRY	TILE	TILE	GYP	GYP	GYP	GYP	VARIES	GYP	
402	SKI ROOM	TILE	TILE	GYP	GYP	GYP	GYP	VARIES	GYP	
403	GARAGE	CONCRETE	WOOD	GYP	GYP	GYP	GYP	VARIES	GYP	5/8" TYPE "X" GYPSUM BOARD

WINDOW SCHEDULE										
MARK Ⓢ	SIZE		TYPE	FRAME MATL	EXTERIOR FINISH	INTERIOR FINISH	GLAZING	REMARKS		
	WIDTH	HEIGHT								
A	5'-0"	5'-0"	CASEMENT	WOOD ALUM. CLAD	MANUFACTURER	STAIN & VARNISH	INSULATED - LOW E	(2) 2'-0" x 5'-0" CASEMENT MULLED - SEE ELEVATION		
B	2'-6"	5'-0"	CASEMENT	WOOD ALUM. CLAD	MANUFACTURER	STAIN & VARNISH	INSULATED - LOW E			
C	7'-6"	5'-0"	CASEMENT	WOOD ALUM. CLAD	MANUFACTURER	STAIN & VARNISH	INSULATED - LOW E	(3) 2'-6" x 5'-0" CASEMENT MULLED - SEE ELEVATION		
D	7'-0"	4'-0"	CASEMENT	WOOD ALUM. CLAD	MANUFACTURER	STAIN & VARNISH	INSULATED - LOW E	(3) 2'-4" x 4'-0" CASEMENT MULLED - SEE ELEVATION		
E	9'-4"	4'-0"	CASEMENT	WOOD ALUM. CLAD	MANUFACTURER	STAIN & VARNISH	INSULATED - LOW E	(4) 2'-4" x 4'-0" CASEMENT MULLED - SEE ELEVATION		
F	2'-0"	4'-0"	CASEMENT	WOOD ALUM. CLAD	MANUFACTURER	STAIN & VARNISH	INSULATED - LOW E			
G	4'-0"	4'-0"	CASEMENT	WOOD ALUM. CLAD	MANUFACTURER	STAIN & VARNISH	INSULATED - LOW E	(2) 2'-0" x 4'-0" CASEMENT MULLED - SEE ELEVATION		
H	4'-8"	4'-0"	CASEMENT	WOOD ALUM. CLAD	MANUFACTURER	STAIN & VARNISH	INSULATED - LOW E	(2) 2'-4" x 4'-0" CASEMENT MULLED - SEE ELEVATION		
I	4'-8"	1'-4"	PICTURE	WOOD ALUM. CLAD	MANUFACTURER	STAIN & VARNISH	INSULATED - LOW E	(2) 2'-4" x 1'-4" PICTURE MULLED - SEE ELEVATION		
J	9'-0"	1'-4"	PICTURE	WOOD ALUM. CLAD	MANUFACTURER	STAIN & VARNISH	INSULATED - LOW E	(3) 3'-0" x 1'-4" PICTURE MULLED - SEE ELEVATION		
K	2'-0"	4'-0"	CASEMENT	WOOD ALUM. CLAD	MANUFACTURER	STAIN & VARNISH	INSULATED - LOW E			
L	2'-6"	3'-0"	CASEMENT	WOOD ALUM. CLAD	MANUFACTURER	STAIN & VARNISH	INSULATED - LOW E			
M	2'-0"	6'-0"	CASEMENT	WOOD ALUM. CLAD	MANUFACTURER	STAIN & VARNISH	INSULATED - LOW E			
N	2'-6"	6'-0"	CASEMENT	WOOD ALUM. CLAD	MANUFACTURER	STAIN & VARNISH	INSULATED - LOW E			
O	10'-0"	3'-0"	PICTURE	WOOD ALUM. CLAD	MANUFACTURER	STAIN & VARNISH	INSULATED - LOW E	(5) 2'-0" x 3'-0" PICTURE MULLED - SEE ELEVATION		
P	2'-11"	6'-0"	PICTURE	WOOD ALUM. CLAD	MANUFACTURER	STAIN & VARNISH	INSULATED			
Q	5'-0"	7'-0"	PICTURE	WOOD	STAIN & VARNISH	STAIN & VARNISH	INSULATED	CONTRACTOR TO FIELD VERIFY		
R	2'-4"	4'-0"	CASEMENT	WOOD ALUM. CLAD	MANUFACTURER	STAIN & VARNISH	INSULATED - LOW E			
S	2'-6"	4'-0"	CASEMENT	WOOD ALUM. CLAD	MANUFACTURER	STAIN & VARNISH	INSULATED - LOW E			
T	3'-0"	1'-0"	PICTURE	WOOD ALUM. CLAD	MANUFACTURER	STAIN & VARNISH	INSULATED - LOW E			

WINDOW NOTES
1 ALL WINDOWS OPENINGS TO BE FIELD VERIFIED BY CONTRACTOR BEFORE INSTALLATION
2 GLAZING IN HAZARDOUS LOCATION IS REQUIRED TO BE GLAZED WITH SAFETY MATERIAL IRC SECTION R308.3 AND R308.4
3 ALL WINDOWS IN BATHROOMS MUST BE TEMPERED GLASS
4 TEMPERED GLASS SHALL BE PROVIDED IN: FRAMELESS GLASS DOORS, GLASS IN DOORS, GLASS WITHIN A 24" ARC OF DOORS, GLAZING LESS THAN 60" ABOVE A WALKING SURFACE THAT IS WITHIN 5 FEET STAIRS OR GLAZING WITHIN 5 FEET OF SPAS OR POOLS, CERTAIN FIXED PANELS, AND SIMILAR GLAZED OPENINGS SUBJECT TO HUMAN IMPACT IRC R308
5 EGRESS WINDOWS: FINISH SILL HT. MIN 44" FROM FLOOR MIN CLEAR OPENING OF 5 7/8" MIN NET CLEAR OPENING 20" WIDTH AND 24" HT
6 ALL WINDOWS TO HAVE A MIN U-VALUE OF .31

DOOR SCHEDULE												
MARK Ⓢ	TYPE	SIZE		DOOR MATL	DOOR FINISH	FRAME MATL	FRAME FINISH	HDWR TYPE	REMARKS			
		WIDTH	HEIGHT									
LOWER LEVEL												
101	STYLE & RAIL	3'-0"	7'-0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PASSAGE	ELEVATOR DOOR - WEATHER STRIP - THRESHOLD		
102	STYLE & RAIL	2'-8"	7'-0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PASSAGE			
103	STYLE & RAIL	2'-6"	7'-0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PASSAGE			
104	STYLE & RAIL	2'-6"	7'-0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PRIVACY	POCKET DOOR		
105	STYLE & RAIL	2'-6"	7'-0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PASSAGE			
106	STYLE & RAIL	2'-8"	7'-0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PASSAGE			
107	STYLE & RAIL	2'-10"	7'-0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PASSAGE			
108	STYLE & RAIL	2'-6"	7'-0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PRIVACY			
109	SHOWER	2'-2"	6'-6"	1/2"	GLASS	CLEAR			SHOWER	TEMP - EURO GLASS ENCLOSURE		
110	STYLE & RAIL	2'-8"	7'-0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PRIVACY			
111	SHOWER	2'-2"	6'-6"	1/2"	GLASS	CLEAR			SHOWER	TEMP - EURO GLASS ENCLOSURE		
112	STYLE & RAIL	2'-6"	7'-0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PRIVACY			
113	STYLE & RAIL	2'-8"	7'-0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PRIVACY			
114	STYLE & RAIL	2'-6"	7'-0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PASSAGE			
115	STYLE & RAIL	2'-6"	7'-0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PASSAGE			
116	STYLE & RAIL	2'-8"	7'-0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PRIVACY			
117	STYLE & RAIL	2'-6"	7'-0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PRIVACY			
118	SHOWER	2'-2"	6'-6"	1/2"	GLASS	CLEAR			SHOWER	TEMP - EURO GLASS ENCLOSURE		
119	PATIO	9'-0"	7'-0"	1 3/4"	WOOD-ALUM	STAIN-MANFR	WOOD-ALUM	STAIN-MANFR	LOCKSET	(3) 3'-0" DOORS - INSUL - LOW E - TEMP - WEATHER STRIP - THRESH		
120	PATIO	6'-0"	7'-0"	1 3/4"	WOOD-ALUM	STAIN-MANFR	WOOD-ALUM	STAIN-MANFR	LOCKSET	(2) 3'-0" DOORS - INSUL - LOW E - TEMP - WEATHER STRIP - THRESH		
MASTER LEVEL												
201	STYLE & RAIL	3'-0"	7'-0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PASSAGE	ELEVATOR DOOR - WEATHER STRIP - THRESHOLD		
202	STYLE & RAIL	2'-8"	7'-0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PASSAGE			
203	STYLE & RAIL	2'-4"	7'-0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PRIVACY			
204	SHOWER	2'-2"	6'-6"	1/2"	GLASS	CLEAR			SHOWER	TEMP - EURO GLASS ENCLOSURE		
205	STYLE & RAIL	2'-6"	7'-0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PASSAGE			
206	STYLE & RAIL	2'-8"	7'-0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PRIVACY			
207	STYLE & RAIL	2'-6"	7'-0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PASSAGE			
208	SHOWER	2'-2"	6'-6"	1/2"	GLASS	CLEAR			SHOWER	TEMP - EURO GLASS ENCLOSURE		
209	STYLE & RAIL	2'-6"	7'-0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PRIVACY			
210	STYLE & RAIL	2'-4"	7'-0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PRIVACY			
211	SHOWER	2'-2"	6'-6"	1/2"	GLASS	CLEAR			SHOWER	TEMP - EURO GLASS ENCLOSURE		
212	STYLE & RAIL	2'-6"	7'-0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PRIVACY			
213	STYLE & RAIL	2'-6"	7'-0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PASSAGE			
214	STYLE & RAIL	5'-4"	7'-0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PRIVACY	2-4" PAIR		
215	FRENCH	3'-0"	7'-0"	1 3/4"	WOOD-ALUM	STAIN-MANFR	WOOD-ALUM	STAIN-MANFR	LOCKSET	INSUL - LOW E - TEMP - WEATHER STRIP - THRESH		
216	FRENCH	3'-0"	7'-0"	1 3/4"	WOOD-ALUM	STAIN-MANFR	WOOD-ALUM	STAIN-MANFR	LOCKSET	INSUL - LOW E - TEMP - WEATHER STRIP - THRESH		
MAIN LEVEL												
301	STYLE & RAIL	3'-0"	7'-0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PASSAGE	ELEVATOR DOOR - WEATHER STRIP - THRESHOLD		
302	STYLE & RAIL	2'-4"	7'-0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PRIVACY			
303	FRENCH	2'-6"	7'-0"	1 3/4"	WOOD-ALUM	STAIN-MANFR	WOOD-ALUM	STAIN-MANFR	PASSAGE	INSUL - TEMP - WEATHER STRIP - THRESH		
304	STYLE & RAIL	2'-4"	7'-0"	1 3/4"								

Jonathan DeGray - Architect

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April 24, 2026

Park City Municipal Corporation  
443 Marsac Ave.  
Park City, Utah 84060

Attn: Planning Department

Re: 121 Sampson Ave.  
HDDR Extension Request

Dear Staff,

On May 15, 2025, the HDDR for this project was approved. Condition of approval #2 states the permit must be obtained by May 15, 2026.

We are in the process of final preparations for the permit application and are currently bidding out the project for general contractor selection. We hope to have the GC selection and permit process resolved in the next 30-60 days but don't want to jeopardize the existing approval by letting it expire.

Due to these circumstances, we are requesting an extension of the current HDDR approval.

Please let me know if you have any questions regarding this request.

Sincerely,



Jonathan DeGray – Architect