



**PLANNING DEPARTMENT ADMINISTRATIVE PUBLIC HEARING
SUMMIT COUNTY, UTAH
April 2, 2026**

The Planning Department of Park City, Utah, will hold a Public Hearing in person at the Marsac Municipal Building, Planning Department Conference Room, at 445 Marsac Avenue, Park City, Utah 84060. Meetings will also be available online and may have options to listen, watch, or participate virtually.

Zoom Link: <https://us02web.zoom.us/j/88167820277>

1. REGULAR AGENDA - 12:00PM

- 1.A. **Parcel PCA-S-98-PCMR-1 Payday Lift Mid-Station – Administrative Conditional Use Permit** – The Applicant Proposes to Replace the Alpine Slide Sled Storage Accessory Building at the Payday Lift Mid-station With a New Accessory Building Measuring 20 Feet by 30 Feet and 12 Feet Tall in the Recreation and Open Space Zoning District and Sensitive Land Overlay. PL-26-06830.
(A) Public Hearing; (B) Action
- 1.B. **322 Main Street – Historic District Design Review** – The Applicant Proposes a Rooftop and Rear Addition to a Landmark Historic Structure in the Historic Commercial Business Zoning District. PL-24-06265
(A) Public Hearing; (B) Action
- 1.C. **322 Main Street – Administrative Conditional Use Permit** – The Applicant Proposes Outdoor Dining on the Existing Balcony and Proposed Rooftop Deck on the Landmark Historic Structure in the Historic Commercial Business Zoning District. PL-26-06855
(A) Public Hearing; (B) Action
- 1.D. **2428 Gilt Edge Circle – Extension of Plat Amendment** – The Applicant Proposes a One-Year Extension to the Queen Esther Village No. 1 Plat Amendment Approved by the Planning Commission on March 26, 2025. PL-26-06848
(A) Public Hearing; (B) Action

Pursuant to the Americans with Disabilities Act, individuals needing special accommodations during the meeting should notify the Planning Department at 435-615-5060 or planning@parkcity.gov at least 24 hours prior to the meeting.

***Parking is available at no charge for meeting attendees who park in the China Bridge parking structure.**

Planning Department Staff Report



Subject: Parcel PCA-S-98-PCMR-1
Payday Mid-Station
Application: PL-26-06830
Author: Virgil Lund, Planner II
Date: April 2, 2026
Type of Item: Administrative Conditional Use Permit

Recommendation

(I) Review the proposal to replace the existing alpine slide sled storage Accessory Building at the Payday Lift Mid-Station with a 20-foot by 30-foot Accessory Building, (II) conduct a public hearing, and (III) consider approving the proposal based on the Findings of Fact, Conclusions of Law, and Conditions of Approval outlined in the draft Final Action Letter (Exhibit A).

Description

Applicant: Park City Mountain Resort

Location: Parcel PCA-S-98-PCMR-1
Payday Lift Mid-Station

Zoning District: Recreation and Open Space; Sensitive Land Overlay

Adjacent Land Uses: Resort Open Space

Reason for Review: Accessory Buildings 600 square feet and less require an Administrative Conditional Use Permit in the Recreation and Open Space Zoning District.¹

ACUP Administrative Conditional Use Permit
LMC Land Management Code

Terms that are capitalized as proper nouns throughout this staff report are defined in LMC [§ 15-15-1](#).

Summary

The Applicant proposes to replace the 450-square-foot storage shed for the alpine slide sleds at the Payday Lift Mid-Station with a 600-square-foot Accessory Building 12 feet in Height from Final Grade.

¹ LMC [§ 15-2.7-2\(B\)\(4\)](#)



Figure 1: Existing Conditions (Summer) Photo of Sled Storage, Looking West



Figure 2: Existing Conditions (Winter) Photo of Sled Storage, Looking Northwest



Figure 3: Photo Rendering of Proposed Storage Shed

Background

The existing Payday Lift and mid-station were installed in 1997. On February 1, 2007, the City Council approved Ordinance [07-10](#) annexing Parcel PCA-S-98-PCMR-1 into Park City limits.

Analysis

See draft Final Action Letter (Exhibit A) for analysis.

The Development Review Committee reviewed the proposal on March 17, 2026 and confirmed the proposal conforms with their required standards.²

Department Review

The Planning and Executive Departments reviewed this report.

Notice

Staff published notice on the City's website and the Utah Public Notice website and posted notice to the property on March 30, 2026. Staff mailed courtesy notice to adjacent property owners March 30, 2026.³

Public Input

² The Development Review Committee meets the first and third Tuesday of each month to review and provide comments on Planning Applications, including review by the Building Department, Engineering Department, Sustainability Department, Transportation Planning Department, Code Enforcement, the City Attorney's Office, Local Utilities including Rocky Mountain Power and Enbridge Gas, the Park City Fire District, Public Works, Public Utilities, and the Snyderville Basin Water Reclamation District (SBWRD).

³ LMC [§ 15-1-21](#)

Staff did not receive any public input at the time this report was published.

Alternatives

The Planning Director may:

- Approve the ACUP.
- Deny the ACUP and direct staff to make Findings for the denial.
- Request additional information and continue the discussion to a date certain.

Exhibits

A: Draft Final Action Letter

Attachment 1: Proposed Plans



Planning Department

April 2, 2026

Cara Sherlock

CC: Deirdra Walsh, Park City Mountain Resort

NOTICE OF PLANNING DIRECTOR ACTION

Description

Address: Parcel PCA-S-98-PCMR-1
Payday Mid-Station

Zoning District: Recreation and Open Space; Sensitive Land Overlay

Application: Administrative Conditional Use Permit

Project Number: PL-26-06830

Action: APPROVED WITH CONDITIONS (See Below)

Date of Final Action: April 2, 2026

Project Summary: The Applicant proposes replacing the existing alpine slide sled Accessory Building at the Payday Lift Mid-Station with a 20-foot by 30-foot Accessory Building.

Action Taken

On April 2, 2026, the Planning Director conducted a public hearing and approved the Administrative Conditional Use Permit for an Accessory Building according to the following findings of fact, conclusions of law, and conditions of approval.

Findings of Fact

1. The Applicant proposes to replace the existing Accessory Building for alpine slide sleds at the Payday Lift Mid-Station with a 600-square-foot Accessory Building 12 feet in Height from Final Grade.
2. The existing storage shed is approximately 450 square feet.
3. The proposal complies with the Recreation and Open Space (ROS) Zoning District requirements.
 - a. Accessory Buildings 600 square feet or less require an Administrative Conditional Use Permit.



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- b. The proposed Accessory Building is greater than 100 feet from all boundary lines of the parcel and complies with the ROS Setback requirement of 25 feet.
 - c. The proposed Accessory Building is 12 feet from Final Grade and complies with the ROS Building Height requirement of 28 feet.
 - d. No Significant Vegetation will be impacted or removed by the proposal.
 4. The proposal complies with the Sensitive Land Overlay (SLO) requirements.
 - a. Slope Protection
 - i. The Applicant's Slope map shows there are no Very Steep Slope Areas within 50 feet of the proposed Accessory Building. The Accessory Building will be on a flat slope, and no retaining walls are required for construction.
 - b. Ridge Line Area Protection
 - i. The proposed Accessory Building is approximately 1,150 feet from the nearest designated Ridge Line.
 - ii. The proposed Accessory Building is below two Ridge Lines and surrounded by existing mature Aspen and Pine trees and will not be visible from any designated Vantage Points.
 - c. Wetlands and Stream Protection
 - i. According to the Applicant and the U.S. Fish and Wildlife Service's national wetland and stream database, there are no wetlands or streams within 50 feet of the proposed Accessory Building. The nearest seasonal stream is 700 feet from the proposed Accessory Building.
 - d. Wildlife and Wildlife Habitat Protection
 - i. The proposed Accessory Building will be built in an area that has already been disturbed by ski lift infrastructure and additional Accessory Buildings on Site. No additional wildlife or wildlife habitat will be impacted or disturbed by the proposed Accessory Building.
 5. The proposal, as conditioned, complies with the Conditional Use Permit criteria outlined in LMC Section 15-1-10(E).
 - a. Size and location of the Site
 - i. The proposed Accessory Building is on an existing disturbed Site, is 600 square feet, and 12 feet in height from Final Grade.
 - b. Traffic considerations including capacity of the existing Streets in the Area



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- i. The proposed Accessory Building will not generate any additional traffic impacts. The proposed Use is for the storage of alpine slide sleds and is not intended for human occupation or Use. Vehicles accessing the Accessory Building are limited to resort maintenance vehicles using the existing summer access road.
- c. Utility capacity, including Storm Water run-off
 - i. On March 17, 2026, the Development Review Committee reviewed the proposal and confirmed the proposal conforms with their required standards for utility capacity and storm water run-off.
- d. Emergency vehicle Access
 - i. On March 17, 2026, the Park City Fire District reviewed the proposal and did not identify any emergency vehicle access concerns.
- e. Location and amount of off-Street parking
 - i. No additional parking demand is created from the proposed Accessory Building.
- f. Internal vehicular and pedestrian circulation system
 - i. The proposed Accessory Building is at the Payday Lift Mid-Station, adjacent to the pedestrian walkway for summer access to the alpine slide. There is no winter pedestrian access at the Site.
- g. Fencing, Screening, and landscaping to separate the Use from adjoining Uses
 - i. The existing mature Aspen and Pine trees will screen the proposed Accessory Building. No changes to landscaping or fencing are proposed.
- h. Building mass, bulk, and orientation, and the location of Buildings on the Site; including orientation to Buildings on adjoining Lots
 - i. The proposed Accessory Building is on an existing disturbed Site, is 600 square feet, and 12 feet from Final Grade.
- i. Usable Open Space: No unmitigated impacts
 - i. The proposed Accessory Building will not impact usable Open Space at the Site.
- j. Signs and lighting: No unmitigated impacts
 - i. No Signs are proposed or approved with this Application. The Accessory Building has a small light on the front of the Building.



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Staff recommends Condition of Approval 3 requiring all exterior lighting to be dark-sky compliant.

- k. Physical design and Compatibility with surrounding Structures in mass, scale, style, design, and architectural detailing: No unmitigated impacts
 - i. The Applicant proposes a prefabricated Accessory Building in the style of a Tuff Shed constructed with heavy-duty, engineered materials and siding that are weather resistant.
- l. Noise, vibration, odors, steam, or other mechanical factors that might affect people and Property Off-Site: No unmitigated impacts
 - i. No changes are proposed that would affect noise, vibration, odors, steam, or other mechanical factors that might affect people and Property Off-Site.
- m. Control of delivery and service vehicles, loading and unloading zones, and Screening of trash and recycling pickup Areas: No unmitigated impacts
 - i. Construction access to the Site will be from the existing access roads. No trash or recycling areas are proposed or approved.
- n. Expected Ownership and management of the project as primary residences, Condominiums, time interval Ownership, Nightly Rental, or commercial tenancies, how the form of Ownership affects taxing entities
 - i. The Chief Operating Officer of Park City Mountain Resort, Deirdra Walsh, has signed this Application. The Accessory Building will be managed and maintained by the mountain operations team at Park City Mountain Resort.
- o. Within and adjoining the Site, Environmentally Sensitive Lands, Physical Mine Hazards, Historic Mine Waste and Park City Soils Ordinance, Steep Slopes, and appropriateness of the proposed Structure to the existing topography of the Site
 - i. See SLO analysis above. The Accessory Building is not within the Soils Ordinance boundary, and there are no physical mine hazards or mine waste that will be impacted by the proposal.
- p. Reviewed for consistency with the goals and objectives of the Park City General Plan; however such review for consistency shall not alone be binding
 - i. The General Plan outlines goals and priorities that align with upgrading and improving the mountain resorts. The proposed Accessory Building helps improve the guest experience and



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provides a storage location for alpine sleds that are out of the public view.

- q. Radon mitigation
 - i. No residential Uses are proposed with the Accessory Building. The Accessory Building will be used to store alpine slide sleds.

Conclusions of Law

1. The proposal complies with LMC Chapter 15-2.7 *Recreation And Open Space District*, Chapter 15-2.21 *Sensitive Land Overlay*, and Section 15-1-10(E) *Conditional Use Permits*.
2. The Use will be compatible with surrounding Structures in use, scale, mass, and circulation.
3. The effects of any differences in use or scale have been mitigated through careful planning.

Conditions of Approval

1. Final building plans shall be substantially similar to the plans reviewed on April 2, 2026, by the Planning Director. Any significant changes, modifications, or deviations from the approved plans that have not been approved in advance by the Planning and Building Departments may result in a stop work order.
2. The Applicant shall obtain a Building Permit for the Accessory Building prior to construction.
3. Any exterior lighting associated with the Accessory Building must be down-directed and fully shielded, with bulbs 3000 degrees Kelvin or less. A fully shielded light is installed in such a manner that all light emitted either directly from the bulb, or indirectly by reflection or refraction, is below the horizontal plane through the fixture's lowest light-emitting part. The top and sides of a fully shielded fixture are made of completely opaque material such that light only escapes through the bottom of the fixture. Final lighting details shall show compliance with this condition and shall be reviewed by Planning Staff prior to installation.

This Final Action may be appealed pursuant to LMC [§ 15-1-18](#). If you have questions or concerns regarding this Final Action Letter, please call 385-481-2036 or email virgil.lund@parkcity.gov.

Sincerely,

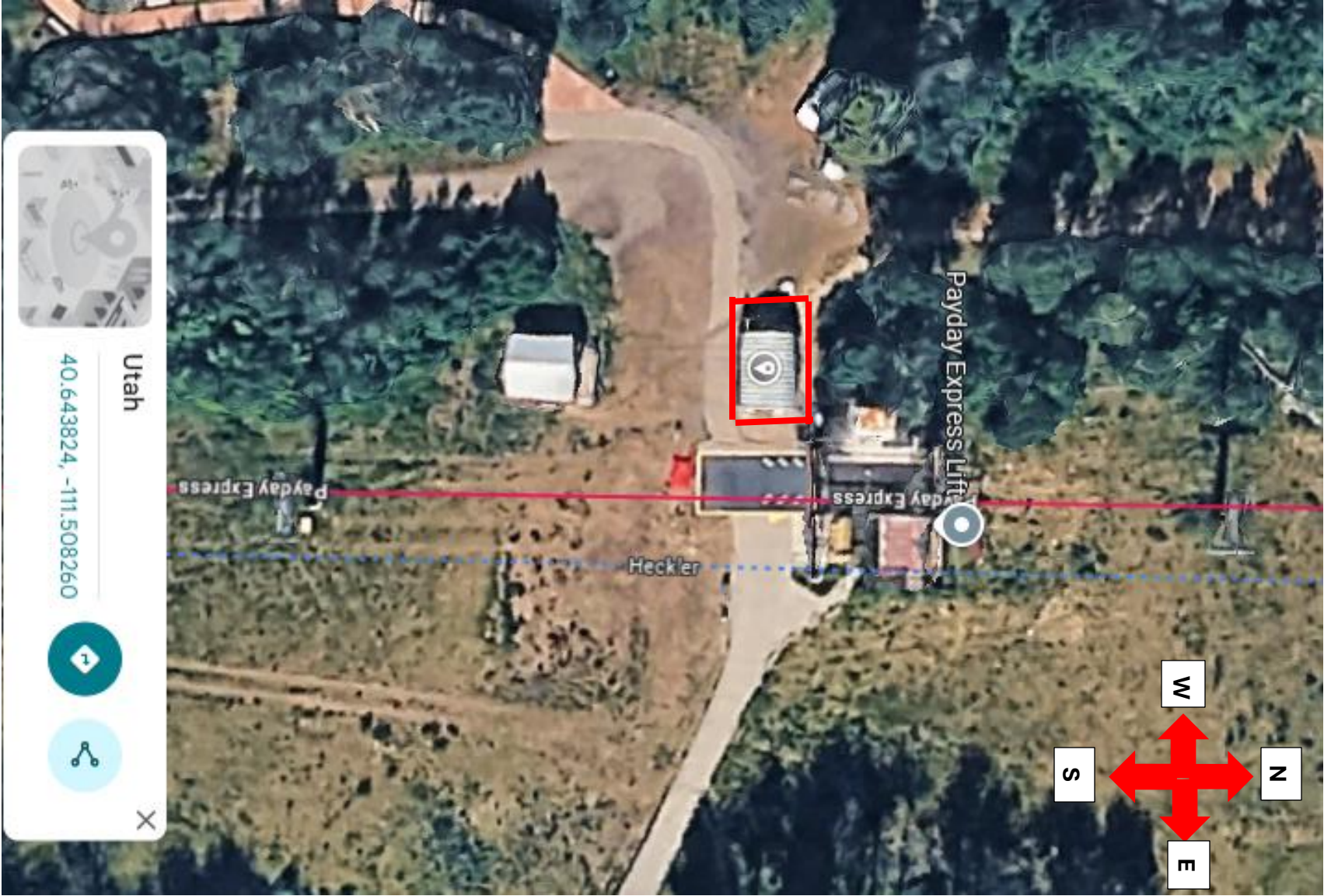


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Rebecca Ward
Planning Director

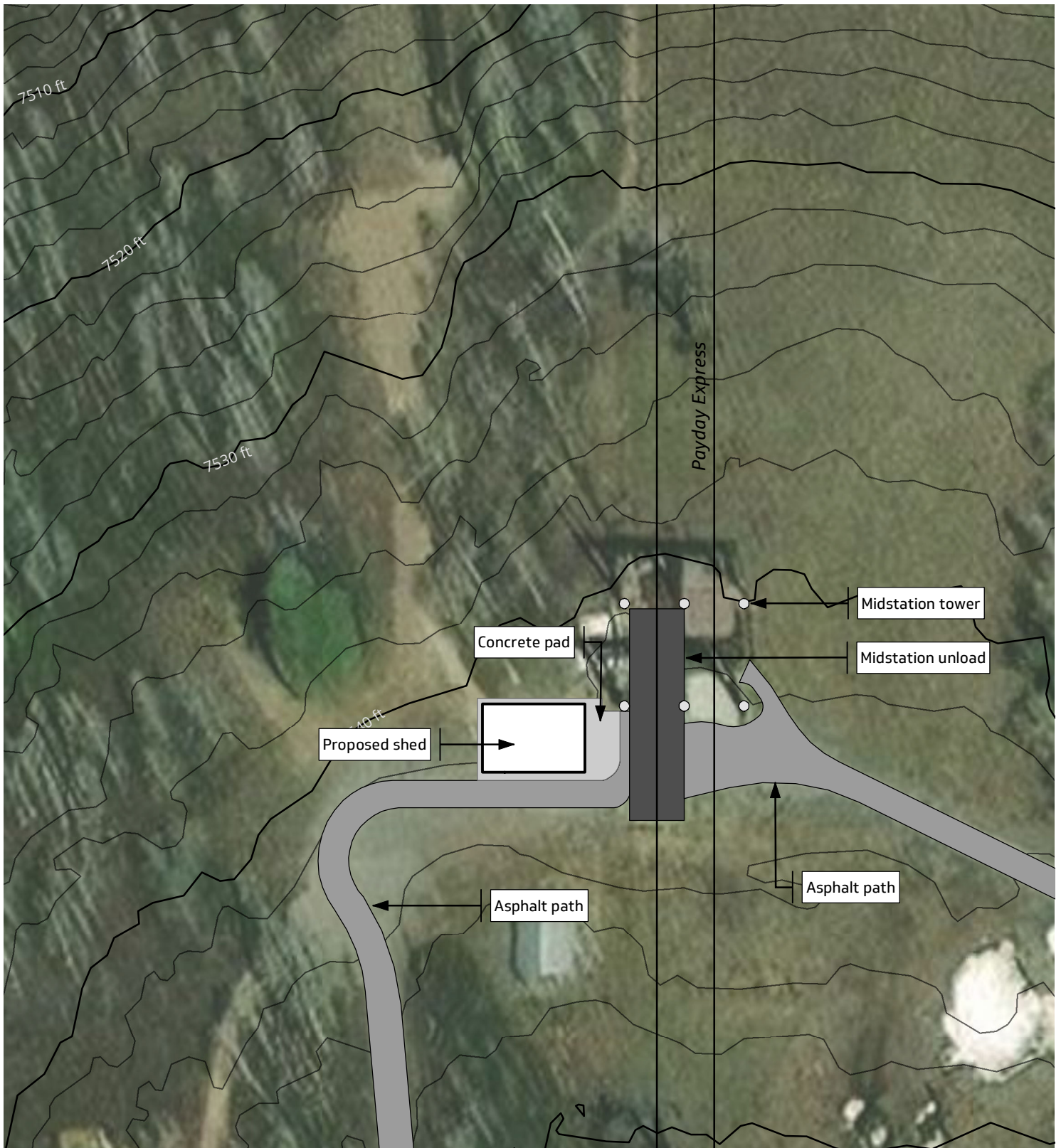
CC: Virgil Lund

Attachment 1: Proposed Plans



Premier Ranch Garage - 20' wide by 30' long





LEGEND

TITLE

**SITE PLAN
PROPOSED CONDITIONS**

PROJECT

Eagle Lift Replacement

LOCATION

Summit County, UT

Disclaimer:

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PREPARED FOR

Park City Planning Department

PREPARED BY

Park City Mountain

DRAWN BY

ZDP

PROJECTION

StatePlane Utah North 2011 (US Feet)

DATUM

North American Datum 1983

DATE

02.24.2026

VERSION

001



SCALE

1:480

1 inch = 40 feet

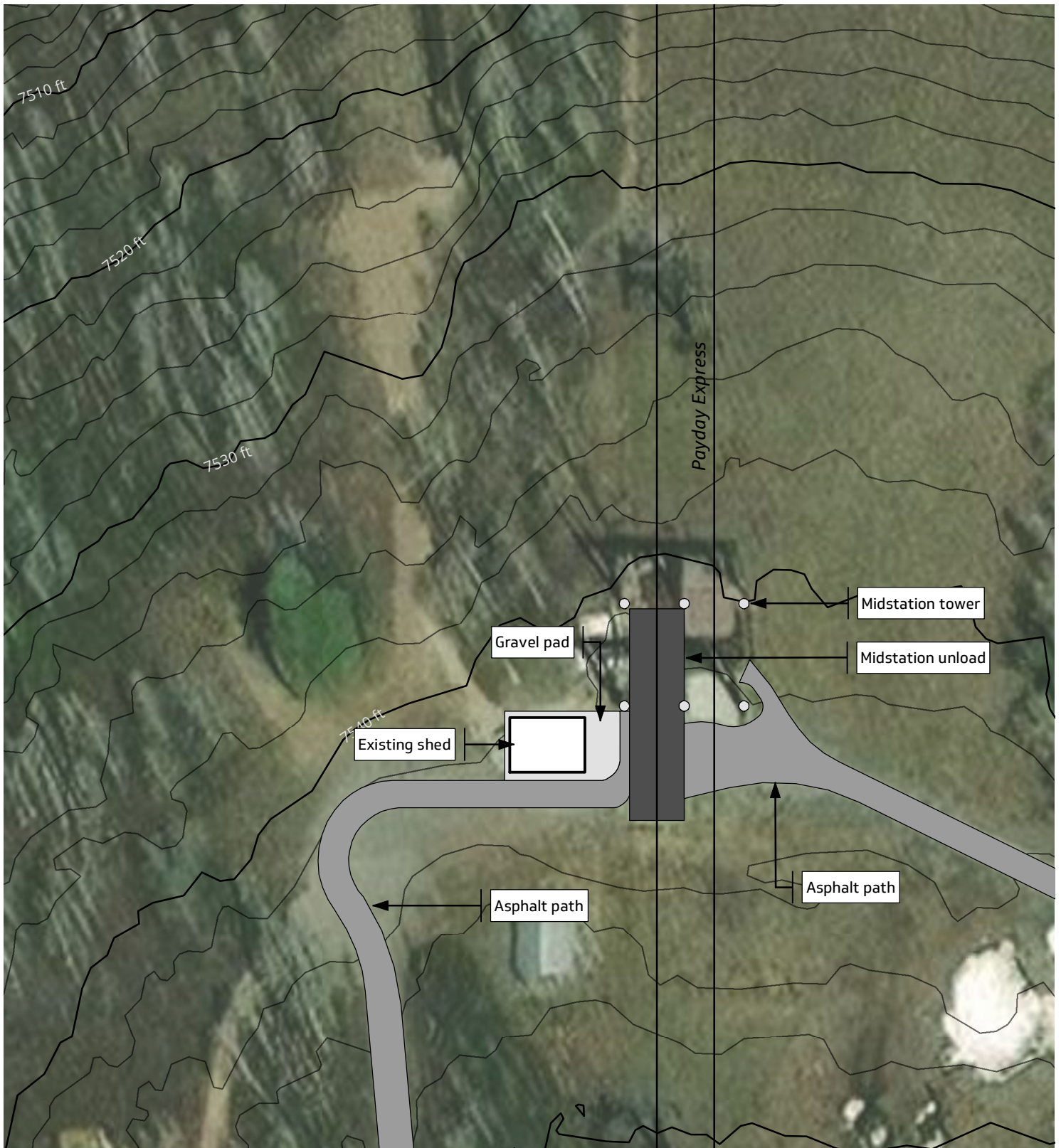


Existing Conditions



Proposed Conditions

Visual Simulation: Alpine Slide Storage Shed Replacement
Looking West at shed structure



LEGEND

TITLE

**SITE PLAN
EXISTING CONDITIONS**

PROJECT

Eagle Lift Replacement

LOCATION

Summit County, UT

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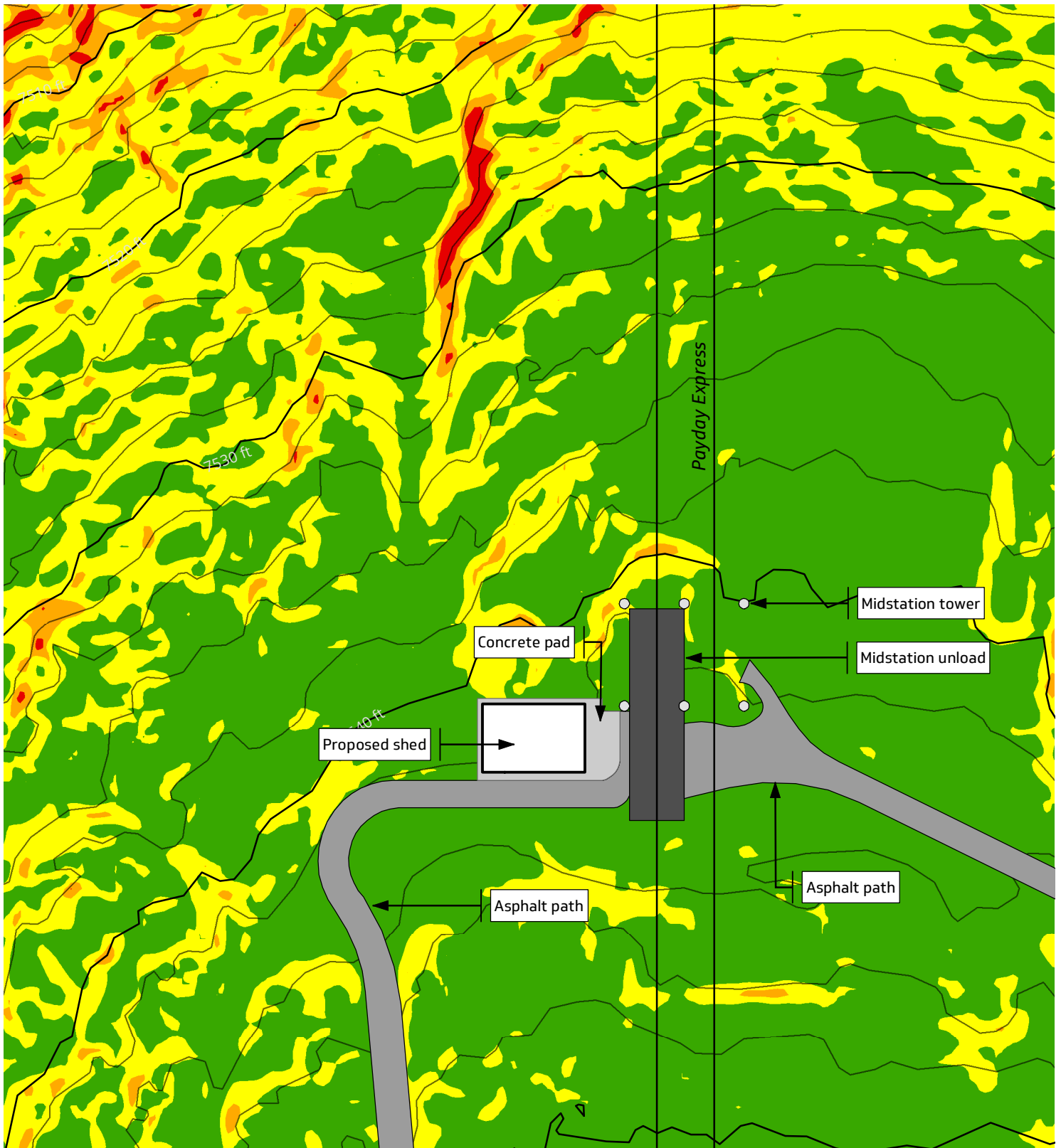
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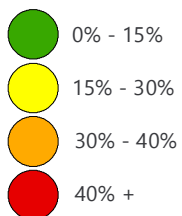
SCALE

1:480

1 inch = 40 feet



LEGEND



TITLE

SLOPE MAP

PROJECT

Eagle Lift Replacement

LOCATION

Summit County, UT

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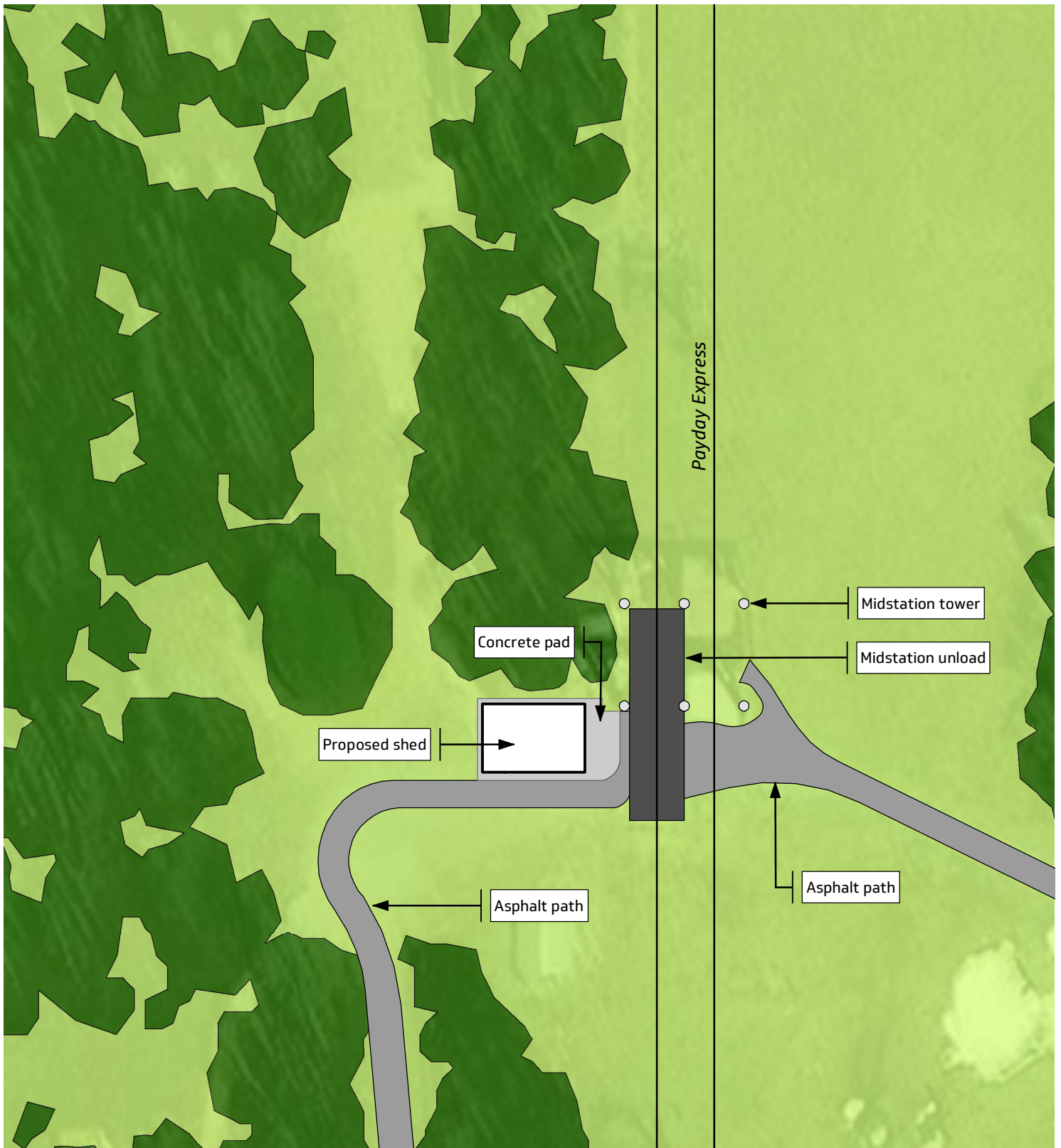
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SCALE

1:480

1 inch = 40 feet



LEGEND

- Grasslands
- Aspen woodlands

TITLE

VEGETATION MAP

PROJECT

Eagle Lift Replacement

LOCATION

Summit County, UT

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02.24.2026

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001



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1 inch = 40 feet

Planning Department Staff Report



Subject: 322 Main Street, Red Banjo Pizza
Application: PL-24-06265
Author: Lillian Zollinger, Planner III
Elissa Martin, Planning Project Manager
Date: April 2, 2026
Type of Item: Historic District Design Review

Recommendation

(I) Review the Historic District Design Review (HDDR) to construct a roof-top and rear addition and modify the front façade of the Landmark Historic Structure at 322 Main Street, (II) conduct a public hearing, and (III) consider approving the HDDR based on the Findings of Fact, Conclusions of Law, and Conditions of Approval in the draft Final Action Letter (Exhibit A).

Description

Applicant: Red Banjo Real Estate, LLC
Location: 322 Main Street
Zoning District: Historic Commercial Business
Adjacent Land Uses: Commercial, Retail
Reason for Review: The Planning Director reviews and takes Final Action on Historic District Design Review applications in accordance with LMC [§ 15-11-12](#).

HDDR Historic District Design Review
HCB Historic Commercial Business
HSI Historic Sites Inventory
LMC Land Management Code

Terms that are capitalized as proper nouns throughout this staff report are defined in LMC [§ 15-15-1](#).

Background

322 Main Street is designated a Landmark Historic Site on Park City’s Historic Sites Inventory.¹ The Historic Site Form (Exhibit E) lists the date of construction at c.1900 during the Mature Mining Era (1894 – 1930). The Historic Structure has undergone multiple changes over the decades, shown in the images below:

¹ LMC [§ 15-11-10\(D\)\(2\)\(a\)](#)



Figure 1: 1899 photograph of the Egyptian theater, the original façade of 322 Main Street is visible to the right. Source: Egyptian Theater website, <https://parkcityshows.com/about/history?i=1899-dewey-theatre-nov>.



Figure 2: During the 1940s and 1950s, Mike Safianides ran the Park Tavern out of 322 Main Street. The signs were converted to windows, and the building was clad in masonry veneer and tile. Source: Town Lift: Park City News, <https://townlift.com/2022/06>.



Figure 3: Historic photo of the Red Banjo building. This is likely from the 1960s after the Red Banjo saloon opened. Source: Town Lift: Park City News, <https://townlift.com/2022/06/red-banjo-celebrates-60-years/>.



Figure 4: Colorized historic photograph of 322 Main Street. This is likely from the 1960s after the Red Banjo saloon opened.



Figure 5: 322 Main Street in the late 1970s. The "Bull" Durham sign was uncovered during the 1976 renovations. The building appears to be under construction in this photograph. Source: Park City Museum, <https://parkcityhistory.org/vanishing-bull-the-sa>.

On February 10, 2026, the Board of Adjustment granted a Variance for 322 Main Street from the required HCB Zoning District 25-foot minimum Lot width for the Landmark Historic Structure and Site ([Packet](#), Item 6A; [Media](#)). On February 25, 2026, the Planning Commission approved the Red Banjo Plat Amendment creating one contiguous Lot for 322 Main Street that spans from Main Street to Swede Alley to reflect ownership and existing conditions and to resolve the encroachment of the Landmark Historic Structure onto 324 Main Street ([Packet](#), Item 6.B; [Media](#)).

On March 4, 2026, the Historic Preservation Board approved the Material Deconstruction ([Packet](#), Item 7B; [Media](#)) for the following:

- Removal of the historic roof form to accommodate a rooftop addition,
- Removal of approximately 320 square feet of the historic siding on the tertiary façade, facing Swede Alley, to accommodate a rear addition,
- 1-foot 6.5 inches deeper excavation for upgrades to the foundation,
- Removal of portions of the front façade historic material to install windows that comply with the solid to void ratio and 2:1 vertical orientation of Historic commercial buildings on Main Street, pursuant to LMC [§ 15-13-3](#), *Regulations for Historic Commercial Sites*.

Analysis

See Final Action Letter for Analysis (Exhibit A).

Notice

Staff published notice on the City's website and the Utah Public Notice website and posted notice to the property on March 18, 2026. Staff mailed courtesy notice to property owners within 100 feet on March 18, 2026.²

Public Input

Staff did not receive any public input at the time this report was published.

Alternatives

The Planning Director may:

- Approve the HDDR based on the Findings of Fact, Conclusions of Law, and Conditions of Approval (Exhibit A).
- Deny the HDDR and direct staff to make Findings for the denial.
- Request additional information and continue the discussion to a date certain or uncertain.
-

Exhibit

A: Draft Final Action Letter
Attachment 1 – Proposed Plans

² LMC [§ 15-1-21](#)



Planning Department

April 2, 2026

Bryan Markkanen
CC: Red Banjo Real Estate, LLC

NOTICE OF PLANNING DIRECTOR ACTION

Description

Address: 322 Main Street, Landmark Historic Structure

Zoning District: Historic Commercial Business

Application: Historic District Design Review

Project Number: PL-24-06265

Action: APPROVED WITH CONDITIONS (See Below)

Date of Final Action: April 2, 2026

Project Summary: The Applicant proposes constructing a roof-top and rear addition and modifying the front facade on a Landmark Historic Structure.

Action Taken

On April 2, 2026, the Planning Director conducted a public hearing and approved the Historic District Design Review (HDDR) application for 322 Main Street according to the following Findings of Fact, Conclusions of Law, and Conditions of Approval:

Findings of Fact

1. 322 Main Street is a Landmark Historic Structure in the Historic Commercial Business (HCB) Zoning District.
2. **Land Management Code § 15-2.6-2 establishes Uses allowed in the HCB Zoning District:**
 - a. The Applicant proposes the roof top addition to enlarge the existing restaurant space and to expand outdoor dining. The proposed rear addition will contain a retail space on the lower level and two Dwelling Units on the upper levels. Pursuant to LMC § 15-2.6-2(A), Restaurants, Minor Commercial Retail and Service, and Multi-Dwelling Units are Allowed Uses in the HCB Zoning District.



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- i. LMC § 15-15-1 defines a Storefront Property as, “A separately enclosed space, Floor Area, tenant space or unit that has a storefront window or storefront entrance that fronts on a Public Street. Storefront Property includes a storefront window and/or storefront entrance that is not more than eight feet (8’) above or below the grade of the adjacent Public Street and where such entrance is not a service or emergency entrance to the Building.”
 - 1. Both the Main Street and Swede Alley entrances are Storefront Property and must comply with the Uses Allowed in Storefront Property listed in LMC § 15-2.6-2.
- ii. Pursuant to LMC § 15-2.6-2(B), the proposed Outdoor Dining is a Conditional Use and requires an Administrative Conditional Use Permit (ACUP).

3. LMC § 15-2.6-3 outlines Lot and Site requirements for the HCB Zoning District.

Use, Lot, and Site Requirements	Analysis
Lot Size - The minimum Lot Area is 1,250 square feet.	Complies: The Lot is 3,131 square feet.
Lot Width And Depth – The minimum Lot Width is twenty-five feet (25') and Minimum Lot Depth is fifty feet (50').	Complies with approved Variance: On February 10, 2026, the Board of Adjustment approved a Variance from the minimum Lot width requirement for: 24.19 feet along Main Street 24.83 feet along Swede Alley. The Lot depth is 125 feet and complies.
Front, Rear And Side Setbacks – There are no minimum required Front, Rear, or Side Setback dimensions in the HCB District.	Complies: 0 feet



Planning Department

<p>Sidewalk Provision - Buildings must be located so as to provide an unobstructed sidewalk at least nine feet (9') wide on both Main Street and Swede Alley. The sidewalk width is measured from the front face of curb to the front of the Building. A narrower sidewalk may result from the alignment of Building fronts. The Planning and Engineering Departments may grant an exception to the minimum sidewalk width to facilitate such alignment.</p>	<p>Complies: The Planning and Engineering Departments found that no sidewalk easements are provided on the immediately adjacent properties, which are built to or nearly to the property lines; other properties within the block provide five-foot-wide pedestrian easements; and planned pedestrian improvements along Swede Alley outlined in the Main Street Area Plan pedestrian improvements are within the Right-of-Way. As a result, Planning and Engineering approved a reduction in the sidewalk width along Swede Alley to a five-foot-wide pedestrian easement, which is required to be shown on the recorded plat.</p> <p>The Applicant proposes a six-foot-wide sidewalk along Swede Alley and exceeds the requirement of five-foot-wide sidewalk.</p>
<p>Balconies and Temporary Winter Balcony Enclosures – No Balcony may be erected, enlarged, or altered over a public pedestrian Right-of-Way without the advance approval of the City Council.</p>	<p>Complies: The existing balcony that extends over the Main Street public pedestrian Right-of-Way is not being enlarged or altered. On July 14, 2003, the property owner entered into an encroachment agreement with the City for the balcony encroachment in the pedestrian Right-of-Way (Recorder Entry No. 00665758).</p>
<p>Vertical Zoning- For HCB Zoned Storefront Property adjacent to Main Street and Heber Avenue, new Construction and Construction adding Floor Area to a Building or Lot shall have a minimum of seventy-five percent (75%) of the width of the Building façade as Storefront Property.</p>	<p>Complies: No new construction adjacent to Main Street is proposed and the existing and proposed Use along Main Street complies with Storefront Property requirements.</p>



Planning Department

<p>Storefront Enhancement Zoning- The maximum width of any Storefront Property Façade abutting Main Street or Heber Avenue shall be fifty-feet (50'). Storefront Property Facades in the Historic portion of structures listed on the Historic Sites Inventory which exceed fifty-feet (50') in width are valid Non-Complying Structures. A Storefront Property Façade shall have a storefront entrance door for pedestrian access.</p>	<p>Complies: The width of the Storefront Property Façade abutting Main Street is 25 feet and includes a storefront entrance door for pedestrian access.</p>
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4. LMC § 15-2.6-5 outlines requirements for Maximum Building Volume and Height for the HCB Zoning District.

Pursuant to LMC § 15-2.6-5(A), “[t]he maximum Building volume for each Lot in the HCB Zoning District is defined by a plane that rises vertically at the Front Lot Line to a height of 30 feet measured above the average Natural Grade, proceeding at a 45-degree angle toward the rear of the Property until it intersects with a point 45 feet above the Natural Grade and connects with the rear portion of the bulk plane.”

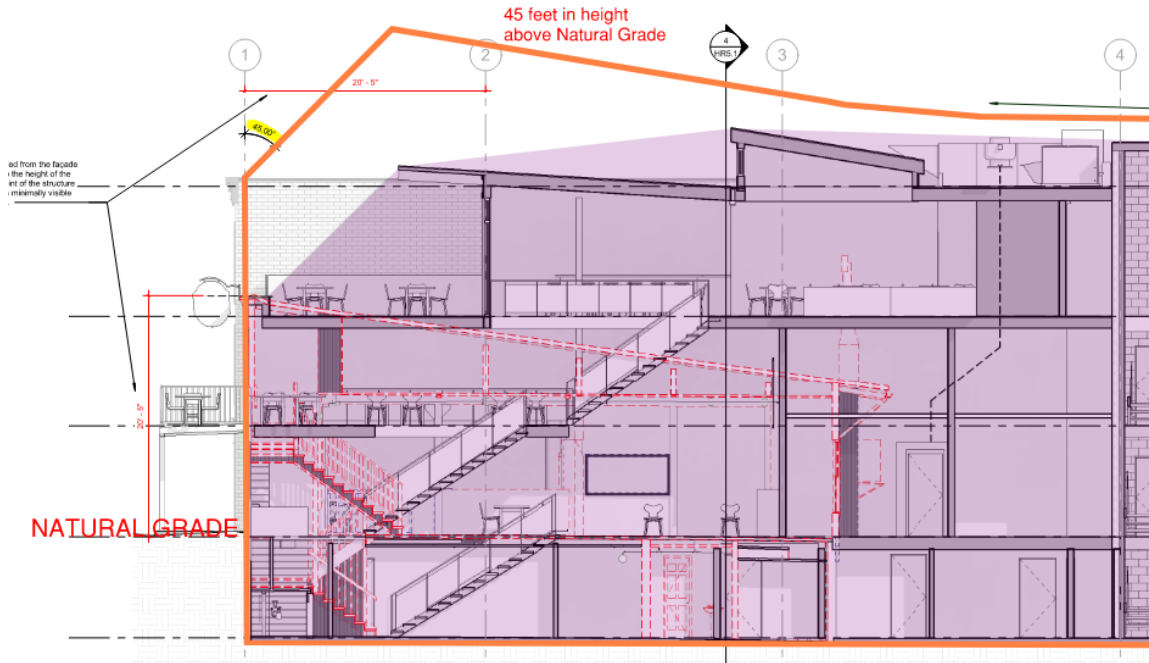


Figure 1: Excerpt from Applicant's plans showing the maximum Building volume highlighted in orange and the proposed Building volume.

The front plane of the Landmark Historic Structure rises 20 feet 5 inches above the average Natural Grade and then proceeds at a 45° angle toward the rear of the Property. The roof-top addition and the rear addition are within the maximum Building volume.

Pursuant to LMC § 15-2.6-5(C), “for Lots abutting Swede Alley, the rear portion of the bulk plane is defined by a plane that rises vertically at the Rear Property Line to a height of twenty-four feet (24’) measured above the average Natural Grade and then proceeds at a forty-five degree (45°) angle toward the Front Lot Line until it intersects with a point forty-five feet (45’) above the Natural Grade. This provision

must not be construed to encourage solid roofing to follow the forty-five degree (45°) back plane.”

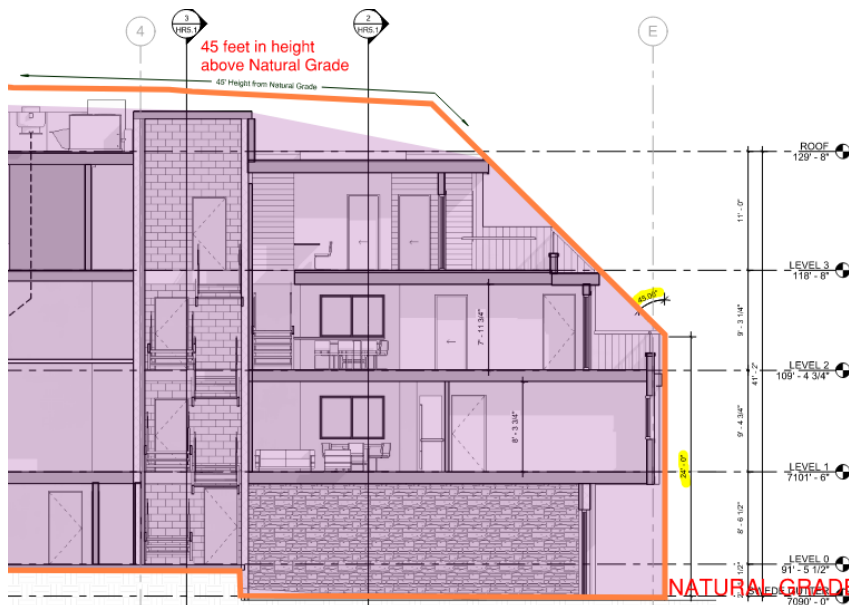


Figure 2: Excerpt from Applicant's plans with staff's markup showing the maximum Building volume outlined in orange and the proposed rear addition building volume.

The rear portion of the bulk plane rises vertically at the Rear Property Line to a height of 24 feet measured above the average Natural Grade and then proceeds at a 45-degree angle toward the Front Lot Line until it intersects with a point 45 feet above the Natural Grade and complies. The rear roof is not solid; it steps back in three intervals at a 45-degree angle.

5. **LMC § 15-2.6-6 outlines requirements for the Floor Area Ratio for the HCB Zoning District.**

Pursuant to LMC § 15-2.6-6, “[t]o encourage variety in Building Height, a floor Area to ground Area ratio must be used to calculate maximum buildable Area. The maximum Floor Area Ratio (FAR) is 4.0 measured as: total floor Area divided by Lot Area equals 4.0.”

The Lot Area of 322 Main Street is 3,131 square feet and the total floor Area of the existing Historic Structure and proposed roof-top addition and rear addition is 9,149 square feet, as indicated in the Applicant’s plans. The total floor Area of



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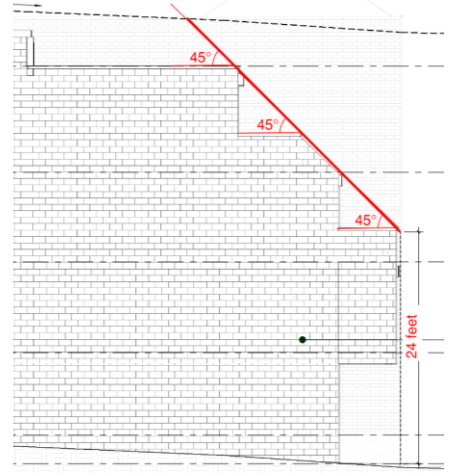
9,149 square feet divided by the total Lot Area of 3,131 square feet results in a FAR of 2.92 and complies.

Area Schedule (NET LIVABLE)	
Name	Area
Assembly-Existing	1356 SF
Assembly-Existing	1226 SF
Mercantile	640 SF
Kitchen	480 SF
Assembly-New	598 SF
Residential	892 SF
Assembly-New	1328 SF
Residential	438 SF
Circulation	244 SF
Residential	983 SF
Assembly-New	476 SF
Circulation	248 SF
Circulation	241 SF
FAR of 4.0	9149 SF

Figure 3: Table provided by Applicant listing Net Livable square footages for each space and the total floor Area

6. LMC § 15-2.6-7 outlines requirements for Swede Alley for the HCB Zoning District.

Swede Alley Development Criteria	Analysis
Structures must step down toward Swede Alley at an angle of 45 degrees to a maximum height of 24 feet at the edge of the Swede Alley Right-of-Way. A variety of one and two-Story facades are encouraged. Designs that create a strong indoor/outdoor connection at the ground level are strongly encouraged	Complies: The proposed rear addition on the Swede Alley elevation steps down at an angle of 45 degrees to a height of 24 feet at the edge of the Swede Alley Right-of-Way. There is a variety in the height of each story's façade and the ground level entryway fronts the street.

	 <p><i>Figure 4: Side elevation view of the proposed Swede Alley addition to 322 Main Street.</i></p>
<p>Entrances must be pedestrian-scaled and defined with porches, awnings and other similar elements as described in the Design Guidelines for Historic Districts and Historic Sites. Entrances must make provisions for shared public and service Access whenever possible. When Main Street additions extend to Swede Alley, the materials and colors of the new construction must be designed to coordinate with the existing Structure.</p>	<p>Complies: The entrance to the rear addition, accessed from Swede Alley, is pedestrian-scaled, designed for public access, and well defined. The materials and colors of the rear addition coordinate with the existing Landmark Historic Structure, using horizontal wood siding and vertical gap siding painted red to match the well-known front façade.</p>
<p>Structures must continue the existing stair-step facade rhythm along Swede Alley. No more than sixty feet (60') of a Swede Alley facade may have the same height or Setback. On facades greater than sixty feet (60') wide, Structures must provide a variety of Building Setbacks, height, and Building form. Setbacks in the facades and stepping upper stories, decks, and Balconies are strongly encouraged. Uniform height and Setbacks are discouraged.</p>	<p>Complies: The width of the rear addition façade is 24 feet, 9 inches and the height of the proposed rear addition vary from the height of adjacent buildings. The rear addition façade provides architectural variation, as the second story is cantilevered over the recessed lower street level and the upper level third and fourth levels are stepped back.</p>



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<p>Provisions for public Open Space, open courtyards, and landscaping are strongly encouraged.</p>	<p>The site is constrained with the limited Lot width, buildable area and existing Structures on either side. The Applicant proposes building to the full width, and therefore the proposal does not include open space, courtyards, or landscaping.</p>
<p>Pedestrian connections from Swede Alley to Main Street are encouraged whenever possible. Open and landscaped pedestrian connections are favored.</p>	<p>The Applicant does not propose a new pedestrian connection due to the limited Lot width. A pedestrian connection exists two buildings north (between the Egyptian Theatre and 340 Main Street), between Swede Alley and Main Street.</p>
<p>Swede Alley facades must be simple, utilitarian, and subordinate in character to Main Street facades. While facades should be capped, details should be simple. Ornate details typically found on Main Street facades are prohibited. The Applicant must incorporate a mix of materials, accent trim and door treatments to provide architectural interest. Materials must be similar in character, color, texture and scale to those found on Main Street. Exposed concrete, large Areas of stucco and unfinished materials are prohibited.</p>	<p>Complies: The proposed design for the rear addition defines a pedestrian entrance, connects the new construction to the Landmark Historic façade, without mimicking or replicating architectural details, and matches color and scale of the entrance on Main Street.</p>
<p>Window display Areas are allowed. However, the Swede Alley window Area must be subordinate in design to the Main Street window Area.</p>	<p>Complies: The proposed Swede Alley level windows are limited to one large panel of glazing, which includes the entry door. The Swede Alley windows are subordinate to the Main Street windows, which have two large display areas on either side of the primary entrance.</p>
<p>Service Areas and service equipment must be Screened. Utility boxes must be painted to blend with the adjacent</p>	<p>See Condition of Approval 6: Mechanical equipment is proposed to be on the roof and shall be painted to blend</p>



Planning Department

Structures. Group trash containers must be Screened.	in. The proposed trash area is screened by a wood-paneled gate.
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7. LMC § 15-2.6-9 outlines requirements for District Access, Service and Delivery for the HCB Zoning District.

Pursuant to LMC § 15-2.6-9, “[a]ll Access for commercial Businesses and facilities shall be located within the HCB District...All Structures must provide a means of storing refuse generated by the Structure's occupants. The refuse storage must be on-Site and accessible only from Main Street, for Structures on the west side of Main Street, or from either Main Street or Swede Alley, for Structures on the east side of Main Street. Non-Main Street Properties within the zone must provide service Access from the rear of the Structure. Refuse storage must be fully enclosed and properly ventilated.”

Condition of Approval 5 requires that refuse be stored in containers made of durable metallic or plastic materials with a close-fitting lid, be set out for collection no earlier than 10:00 PM on the day prior to collection, and be removed no later than 10:00 AM on the day of collection. Refuse containers set out for collection shall be placed on or directly in front of the Owner’s Property, and shall not be placed in the street, sidewalk, or other public Right-of-Way in any manner that will interfere with vehicular or pedestrian traffic. Except when set out for collection, refuse containers shall be placed in a location fully Screened from view from the public Rights-of-Way via Fencing and/or walls.

8. LMC § 15-2.6-10 outlines requirements for Mechanical Service for the HCB Zoning District.

Pursuant to LMC § 15-2.6-10, “[a]ll exterior mechanical equipment must be Screened to minimize noise infiltration to adjoining Properties and to eliminate visual impacts on nearby Properties, including those Properties located above the roof tops of Structures in the HCB District.”

The Applicant proposes mechanical equipment on the roof of the addition. The mechanical equipment shall be painted the same color as the roof or screened in another manner from adjacent sites (see Condition of Approval 6).



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9. LMC § 15-2.6-12 outlines requirements for Parking for the HCB Zoning District.

Pursuant to LMC § 15-2.6-12, new construction must provide Off-Street parking. However, pursuant to LMC § 15-2.6-4, “Historic Buildings and/or Structures that do not comply with, Building Footprint, Building Height, Building Setbacks, Off-Street parking, and driveway location standards are valid Non-Complying Structures... Additions to Historic Buildings and/or Structures are exempt from Off-Street parking requirements provided the addition does not create a Lockout Unit or Accessory Apartment.”

There are currently no parking spaces on site; the Applicant proposes no additional spaces, which complies with the code.

10. LMC § 15-13-3 outlines Regulations for Historic Commercial Sites.

1. Site	Analysis of Proposal
a) Building Setback and Orientation - LMC § 15-13-3(B)(1)(a) states, “The original location of a main entry, if extant, shall be preserved. The historic orientation of a primary entrance on Main Street shall be maintained.”	Complies: The proposed additions comply with the Setback regulations of the HCB Zoning District as outlined above. The Applicant does not propose changing the primary entrance and proposes to retain character-defining features.
b) Topography and Grading – LMC § 15-13-3(B)(1)(b) states, “The natural topography and original grading of a historic site shall be maintained when feasible.”	Complies: The proposal does not change the topography and grading of the Historic Site as viewed from Main Street.
c) Landscaping and Vegetation	No mitigation required: The Applicant does not propose any landscaping.



Planning Department

<p>d) Sidewalks, Plazas, and Other Street Improvements LMC § 15-13-3(B)(1)(d) states, "All Streetscape or character area elements should work together to create a coherent visual identity and public space."</p>	<p>Complies: The Applicant proposes a five-foot sidewalk to comply with the Plat Conditions of Approval and sidewalk requirements off Swede Alley.</p>
<p>e) Parking and Driveways</p>	<p>No mitigation required: The Applicant does not propose any parking spaces or driveways.</p>
<p>2. Primary Structures</p>	



Planning Department

<p>a) Foundation – LMC § 15-13-3(B)(2)(a) states:</p> <ul style="list-style-type: none">• The historic placement, orientation, and grade of a historic building shall be retained, as shall the original grade of the site.• Historic foundations shall not be covered with new materials.• A new foundation shall generally raise or lower a historic structure no more than two (2) feet from its original floor elevation.• A historic site shall be returned to original grade following construction of a foundation.• When original grade cannot be achieved, generally no more than six (6) inches of the new foundation shall be visible above final grade on the primary and secondary facades.• The re-grading of a site shall blend the grade of the site with the grade of adjacent sites and shall not create the need for retaining walls.• A site shall be re-graded so that water drains away from the structure and does not enter the foundation.• Window or egress wells shall be located beyond the midpoint of the secondary facades, on the tertiary elevation, or in a location that is not visible from the primary public right-of-way.	<p>See Condition of Approval 7: The Applicant proposes to excavate 1 foot 6.5 inches deeper for the basement addition but keep the Historic Structure at its existing height. The foundation is currently visible from Swede Alley but will no longer be visible after the addition is complete. As reviewed by the Historic Preservation Board, the Applicant proposes a separate structural system inside the existing CMU block walls so that they will remain. A window well is proposed beyond the midpoint of the Historic Structure, on the proposed addition and will not be visible from the right-of-way and the existing northern property screens it from view. Staff recommends Condition of Approval 7 to ensure the final grading complies with code.</p>
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b) Exterior Walls – LMC § 15-13-3(B)(2)(b) states, “Primary and secondary facade elements, such as window/door configuration, wall planes, recesses, bays, balconies, steps, porches, and entryways shall be preserved and maintained in their original location on the façade. Exterior historic elements including wood siding (drop siding, clapboard, board and batten), frieze boards, cornices, moldings, shingles, etc., as well as stone and masonry shall be preserved and maintained. Deteriorated or damaged historic elements shall be repaired using recognized preservation methods appropriate to the specific material. When an exterior historic element cannot be repaired, it shall be replaced with materials that match the original in all respects: scale, dimension, profile, material, texture, and finish.”

Condition of Approval 10 Recommended:

The Applicant proposes maintaining the east (front entrance), north, and west walls and existing horizontal lap siding. The Applicant proposes to repaint the siding. The west wall bricks will remain in place, aside from the portion approved by the HPB for removal, but will not be visible from outside the building after the addition is completed. There are no historic windows or openings on the secondary and tertiary facades.

The Applicant proposes to remove ~48 square feet of Historic siding/wall to allow for six window openings, one centered in each arch seen on the front façade. The existing opening that serves the balcony dining will remain open and feature the same windows as the other five arches. The HPB approved the removal of historic material, on March 4, 2026, pursuant to the compliance with LMC § 15-13-3 and limited to the current proposed square footage of 48. The proposed windows are 2:1 and have a small arched window feature above each that matches the existing arches on the front façade.



Figure 5: Proposed windows on the second level of the front facade of the Historic Structure.



Planning Department

<p>c) Roofs – LMC § 15-13-3(B)(2)(c) states, “Historic roof forms shall be preserved and maintained. Most commercial roof forms are flat, sloping, hipped, or gable. The line, pitch, and overhang of the historic roof form, as well as any functional and decorative elements, shall be preserved and maintained.”</p>	<p>Complies: The Applicant proposes to preserve the front façade decorative elements and architectural features associated with the Historic Site.</p>
<p>d) Storefronts – LMC § 15-13-3(B)(2)(d) states:</p> <ul style="list-style-type: none"> • Primary and secondary facade elements, such as window/door configuration, wall planes, recesses, bays, balconies, steps, porches, and entryways shall be maintained in their original location on the façade. • Historic storefront elements such as doors, windows, kick plates, bulkheads, transoms, ornamentation, cornices, pillars, pilasters, and other character-defining features shall be preserved and maintained. • Historic storefronts and their character-defining features and elements shall not be covered with modern materials. Deteriorated or damaged storefronts or elements shall be repaired so that the storefront retains its historic appearance. Repairs shall be made with in-kind materials, based on physical or documentary evidence, whenever possible. 	<p>Complies: The Applicant does not propose to change the existing entrance configuration, instead will retain the architectural detail and preserve the character of the Historic Site.</p>



Planning Department

<p>e) Doors</p>	<p>No mitigation required: There are no historic doors or openings on the secondary and tertiary facades.</p>
<p>f) Windows</p>	<p>No mitigation required: There are no historic windows or openings on the secondary and tertiary facades.</p>
<p>g) Gutters and Downspouts - LMC § 15-13-3(B)(2)(g) states, "When new gutters are needed, the most appropriate design for hanging gutters is half round. Downspouts shall be located away from architectural features and shall be visually minimized when viewed from the primary public right-of-way. Water from gutters and downspouts shall drain away from the historic structure.</p>	<p>Condition of Approval 8 Recommended: New gutters shall be half round, visually minimized from the ROW, and drain away from the Historic Structure.</p>
<p>i) Decks, Fire Escapes, and Exterior Staircases - LMC § 15-13-3(B)(2)(i) states, "New decks, fire escapes, and exterior staircases shall be constructed in inconspicuous areas where visually minimized from the primary public right-of-way, usually on the tertiary facade. These features shall be located such that they will not damage or conceal significant historic features or details of the historic structure."</p>	<p>Complies: The new proposed deck is above the Historic Structure on the front façade, does not conceal the historic façade, and is minimally visible from the ROW.</p>
<p>j) Chimneys and Stovepipes</p>	<p>Complies: The Historic Preservation Board approved the removal of the Historic Chimney because the proposal met the requirements for rear additions along Swede Alley. The Applicant proposes to reuse the Historic Chimney material as an interior decorative element.</p>



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<p>k) Architectural Features - LMC § 15-13-3(B)(2)(k) states, Architectural features such as eaves, brackets, cornices, moldings, trim work, and decorative shingles shall be preserved and maintained.</p>	<p>Complies: The Applicant proposes to keep all architectural details and features on the front façade.</p>
<p>3. Mechanical Equipment, Communications, and Service Areas LMC § 15-13-3(B)(3) states, “Mechanical and/or utility equipment, including heating and air conditioning units, meters, and exposed pipes, shall be located on the tertiary façade or another inconspicuous location. Roof-mounted mechanical and/or utility equipment shall be screened and visually minimized from all views.”</p>	<p>Condition of Approval 6 Recommended: The Applicant proposes HVAC mini-splits and the makeup air unit for the kitchen on the roof of the addition, which is not visible from the ROW. The mechanical equipment shall be painted the same color as the roof or screened in another manner from adjacent sites.</p>
<p>4. Additions to Primary Structures</p>	
<p>a) Protection of Historic Sites and Structures – LMC § 15-13-3(B)(3)(a) states:</p> <ul style="list-style-type: none"> • Additions to historic buildings shall be considered with caution and shall be considered only on non-character-defining façades, usually rear and occasionally side façades. Additions shall not compromise the architectural integrity of historic structures. • Additions should be visually subordinate to historic buildings when viewed from the primary public right-of-way. • Additions to historic structures shall not contribute significantly to the removal or loss of historic material. 	<p>Complies: The Applicant proposes a rear and roof-top addition on a Landmark Historic Structure. The rooftop addition is setback from the front façade by 20.5 feet and minimally visible from the ROW. The HPB approved the removal of ~ 320 square feet of the historic siding on the rear façade to accommodate the addition. The remaining wall will stay as an interior wall inside the new addition.</p>



Planning Department

<p>b) General Compatibility – LMC § 15-13-3(B)(3)(a) states:</p> <ul style="list-style-type: none">• Additions shall complement the visual and physical qualities of the historic building. An addition shall not be designed to be a copy of the existing style or imply an earlier or more ornate style than that of the historic structure.• An addition shall be a contemporary interpretation of the historic structure’s architecture style. The addition shall not be designed to contrast starkly with the historic structure; an acceptable design shall be compatible in mass, scale, fenestration pattern and size, storefront design, and design details. The addition shall not detract from the Streetscape or character area and/or structure’s historic character.• Primary façades of an addition shall not be greater in height than the primary historic façade in order to decrease the bulk and mass of the new addition and to preserve the established mass and scale of the Streetscape or character area.• Proportions and established patterns of historic upper story windows shall be maintained. On additions, upper floors shall incorporate traditional, vertically proportioned window openings within a more solid wall than lower floors. Windows similar in size and shape to those used historically shall be used in order to maintain the façade pattern of the Streetscape or character area.	<p>Conditions of Approval Recommended: The Applicant proposes additions that do not replicate the characteristics of the Historic Structure, but are a complementary design in style, glazing, materials, color, and proportions to the Historic Structure.</p> <p>The proposed rooftop addition behind the front façade is ~11 feet in height, and shorter than the Historic Structure, which is ~20.5 feet.</p>
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Planning Department

<ul style="list-style-type: none">• Windows, doors and other features on a new addition shall be designed to be compatible with the historic structure and surrounding historic sites. Windows, doors and other openings shall be of sizes and proportions similar to those found on nearby historic structures. When using new window patterns and designs, those elements shall respect the typical historic character and proportions of windows on the primary historic structure.• Generally, the height of the window opening shall be two (2) times the dimension of the width. In some cases, it may be appropriate to use square windows. Additional glazing can be accommodated using transoms.	<p>Staff recommends Condition of Approval 9 wherein new windows are prohibited to be vinyl or aluminum.</p> <p>The front of the addition is minimally visible from the ROW and the proposed glazing is mostly blocked by the existing Historic Structure. The Applicant also proposes transoms on the top level. The proposed glazing is compatible with Historic Commercial Structures found on Main Street.</p>
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Planning Department

<ul style="list-style-type: none"> • Roofs shall be designed to be in character with those seen historically. Simple roof forms—flat, gable, shed—are appropriate. On large projects the use of a variety of these simple roof forms is encouraged. • Roofs shall appear similar in scale to those seen historically. On larger additions, the use of parapet walls, changes in roof height, and changes in material shall be used to express modules. • Original exterior walls shall be kept intact and existing openings shall be used for connecting an addition to the original structure when feasible. 	<p>The Applicant proposes flat and shed roofs on the additions that are simple in form and comply with the Historic Commercial area.</p>
<p>c) Transitional Elements LMC § 15-13-3(B)(4)(c) states:</p> <ul style="list-style-type: none"> • “A transitional element is not needed for commercial structures if the new addition is visually differentiated from the historic structure as viewed from the right-of-way through a shift in wall plane, a change in material or pattern, or by using other design elements. Additionally, in-line additions may be appropriate when the joint between the historic structure and new addition is not visible from the right-of-way.” 	<p>Complies: The rooftop addition is minimally visible from the ROW and proposes different, yet complementary materials to the Historic façade.</p>



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- d) Scenario 1 Rooftop Additions - LMC § 15-13-3(B)(4)(d) states:
- “Rooftop additions may be allowed, however, they shall not exceed one story in height above the existing wall plate of the historic building.
 - Rooftop additions shall not be visible from the primary public right-of-way. The addition shall be recessed from the primary, character-defining façade to preserve the perception of the historic scale, height, and façade of the historic structure.
 - The rooftop addition shall be recessed from the façade to a distance that is at least equal to the height of the historic façade or beyond the midpoint of the structure to ensure that the rooftop addition is minimally visible from the primary public right-of-way.”

Complies: The proposed roof top addition is set back 20.5 feet, which is the distance equal to the height of the Historic façade, does not exceed one story above the Landmark Historic Structure, and is minimally visible from Main Street.



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- e) Scenario 2: Rear Additions Rear Additions Fronting Swede Alley- LMC § 15-13-3(B)(4)(e) states:
- “Additions on the rear of Main Street buildings that will front Swede Alley shall be reduced in scale as they reach Swede Alley in order to maintain the pedestrian character along the street.
 - Swede Alley additions shall be subordinate and complementary to Main Street with regard to public access and Streetscape or character area amenities. Rear entrances, if developed, shall accommodate both service activities and secondary access.
 - Swede Alley facades shall be simple in detail and shall complement the character of the building’s primary entrance on Main Street. Materials and colors used on the Swede Alley entrance shall be coordinated with the Main Street façade so customers can recognize that both entrances belong to the same business.
 - Swede Alley facades shall utilize materials, colors, signs, and lighting that reinforces a cohesive design of the building.
 - Window display areas on Swede Alley facades may be appropriate, but shall be subordinate to and proportionally smaller than those seen on Main Street.”

Complies: The proposed design for the rear addition defines a pedestrian entrance, connects the new construction to the Landmark Historic façade, without mimicking or replicating architectural details, and matches color and scale of the entrance on Main Street.

The proposed Swede Alley level windows are limited to one large panel of glazing, which includes the entry door. The Swede Alley windows are subordinate to the Main Street windows, which have two large display areas on either side of the primary entrance.



Planning Department

f) New Storefronts – LMC § 15-13-3(B)(4)(f) states, “Street-facing primary façades of new additions shall be distinguished by well-defined storefront elements, including storefront entryway, ample-size windows, and appropriate decorative elements. Storefronts on new additions shall have rhythm and pattern similar to that of the historic Streetscape or character area. Windows on new storefront additions shall be used extensively and in keeping with the architectural style of the historic structure. Design and scale shall be maintained in the tradition of historic storefronts with extensive street-level window area. Generally, two-thirds (2/3) or more of storefront areas may be glass. The solid-to-void ratio of an addition’s storefront shall be similar to that of the historic structure.”

Complies: The Applicant proposes a new Storefront off Swede Alley. The proposed glazing is appropriate on the street level. The style is simple and cohesive with the rest of the addition above, and complementary to the Main Street façade and entrance.





Planning Department

<p>g) New Decks (Not Street Dining Decks) LMC § 15-13-3(B)(4)(g) states:</p> <ul style="list-style-type: none">• Decks on new additions shall be constructed in inconspicuous areas, usually on a tertiary façade, where the deck is visually minimized from the primary public right-of-way.• If a deck is built on a secondary façade of a historic structure, the deck shall be screened from the primary public right-of-way with fencing and/or appropriate native landscaping. Decks shall be located where and in a way that will not damage or conceal significant historic features or details of the historic structure. The visual impact of a deck shall be minimized by limiting its size and scale.• Decks and related steps and railings shall be constructed of material and in styles that are compatible with the structure to which they are attached.• Decking materials such as fiber cement or plastic-wood composite floor boards shall not be used unless they are made of a minimum of 50% recycled and/or reclaimed material.	<p>Condition of Approval 9 Recommended: The Applicant proposes two decks, one off each of the residential Units on the rear of the structure; neither are visible from Main Street but can be seen from Swede Alley.</p> <p>The Applicant proposes a roof deck for Outdoor Dining on the Historic Structure, which is minimally visible from the ROW.</p> <p>Staff recommends Condition of Approval 9, which requires the Applicant to update the proposed materials to comply with LMC § 15-13-3, wherein decking materials such as fiber cement or plastic-wood composite floor boards shall not be used unless they are made of 50% recycled and/or reclaimed material.</p>
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Conclusions of Law

1. The proposal, as conditioned, complies with LMC Chapter 15-2.6 *Historic Commercial Business Zoning District*.
2. The proposal complies with the LMC requirements in Chapter 15-3 *Off-Street Parking*.
3. The proposal complies with LMC § 15-11-12 *Historic District or Historic Site Review*.



Planning Department

4. The proposal, as conditioned, complies with LMC § 15-13-3 *Regulations for Historic Commercial Sites*.

Conditions of Approval

1. If the Applicant does not obtain a building permit within one year of the date of this approval, this HDDR approval will expire unless the Applicant submits a written extension request to the Planning Department prior to the expiration date and the Planning Department approves an extension.
2. Final building plans and construction details shall reflect substantial compliance with the plans approved April 2, 2026, by the Planning Department. Any changes, modifications, or deviations from the approved design that have not been approved in advance by the Planning and Building Departments may result in a stop work order.
3. The Applicant is responsible for notifying the Planning and Building Departments prior to making any changes to the approved plans.
4. Any changes, modifications, or deviations from the approved scope of work shall be submitted in writing for review and approval/denial in accordance with the applicable standards by the Planning Director or their Designee prior to construction.
5. Refuse shall be stored in containers made of durable metallic or plastic materials with a close-fitting lid, shall not be set out for collection earlier than 10:00 PM on the day prior to collection, and must be removed no later than 10:00 AM on the day of collection. Refuse containers set out for collection shall be placed on or directly in front of the Owner's Property, and shall not be placed in the street, sidewalk, or other public Right-of-Way in any manner that will interfere with vehicular or pedestrian traffic. Except when set out for collection, refuse containers shall be placed in a location fully Screened from view from the public Rights-of-Way via Fencing and/or walls.
6. The mechanical equipment shall be painted the same color as the roof or screened in another manner from adjacent sites.
7. A historic site shall be returned to original grade following construction of a foundation. The re-grading of a site shall blend the grade of the site with the grade of adjacent sites and shall not create the need for retaining walls. A site shall be re-graded so that water drains away from the structure and does not enter the foundation.
8. New gutters shall be half round, visually minimized from the ROW, and drain away from the Historic Structure.



Planning Department

9. The Applicant shall update the proposed materials to comply with LMC § 15-13-3, wherein decking materials shall not be used unless they are made of 50% recycled and/or reclaimed material, materials and colors used on the Swede Alley entrance shall be coordinated with the Main Street façade, and vinyl and aluminum windows are prohibited.
10. Pursuant to LMC § 15-13-3 and the Historic Preservation Board Condition of Approval 11, the amount of historic material allowed to be removed on the second level of the front façade of the Historic Structure is limited to 48 square feet for six windows.
11. The proposed Outdoor Dining requires an Administrative Conditional Use Permit approval.
12. Both the Main Street and Swede Alley entrances are considered Storefront property and all future Uses must comply with LMC § 15-2.6-2 regulations.

Final Action by the Planning Director may be appealed pursuant to LMC § 15-1-18. If you have questions or concerns regarding this Final Action Letter, please call the project planner at (385) 481-2038 or email lillian.zollinger@parkcity.gov.

Sincerely,

Rebecca Ward, Planning Director

CC: Lillian Zollinger

Attachment 1 - Approved Plans



RED BANJO RENODITION

DRIFTSTUDIO

ABBREVIATIONS

ABV	Above	MACH	Machine
AC	Acoustical material	MATL	Material
ADJ	Adjacent	MAX	Maximum
ALUM	Aluminum	MECH	Mechanical
ANOD	Anodized	MED	Medium
APPROX	Approximately	MFR	Manufacturer
ARCH	Architectural	MISC	Miscellaneous
B.O.	Bottom Of	MIN	Minimum
BLK	Black	MTL	Metal
BRK	Brick	PARTN	Partition
C / L	Center Line	PC	Precast Concrete
CJ	Control Joint	PERP	Perpendicular
CL	Center Line	PLBG	Plumbing
CL	Closet	PLST	Plaster
CLG	Ceiling	PLWD	Plywood
COL	Column	PSF	Pounds Per Square Foot
CONC	Concrete	PSI	Pounds Per Square Inch
CONST	Construction	PTD	Painted finish
CONTR	Contractor	RD	Roof Drain
CONT	Continuous	REF	Reference
DIA	Diameter	REINF	Reinforced
DIM	Dimension	REQ'D	Required
DN	Down	REV	Revision
DWG	Drawing	R.O.	Rough Opening
EA	Each	SECT	Section
EQ	Equal	SHT	Sheet
EXT	Exterior	SIM	Similar
EXIST	Existing	SPEC	Specification
EXTG	Existing	SQFT	Square Foot
FD	Floor Drain	STD	Standard
FDN	Foundation	STL	Steel
FP	Fire Proofing	STOR	Storage
GA	Gauge	STRUC.	Structural
GALV	Galvanized	S.O.G.	Slab on Grade
GC	General Contractor	T.O.	Top Of
GLB	GLU Lam Beam	TBD	To be determined
GYP BD	Gypsum Wall Board	TYP.	Typical
GYP CR	Gypsum Crete	VERT	Vertical
GRND	Ground	VEST	Vestibule
GWB	Gypsum Wall Board	W/D	Washer Dryer
HB	Hose Bib	WHT	White
HDW	Hardware	W/O	Without
HORIZ	Horizontal	WD	Wood
HSS	Hollow Steel Section	WPRF	Waterproofing
HT	Height	WVNR	Wood Veneer
IN	Inch		
INFO	Information		
INSUL	Insulation		
INT	Interior		
LAM	Laminated		

PROJECT INFO

OWNER	Red Banjo Real Estate LLC
ADDRESS	322 Main Street Park City, UT 84060
PARCEL ID	xx
SUBDIVISION & LOT	Red Banjo Plat Amendment
LOT SIZE	3,095.55 sq.ft. (0.07 acres)

PROJECT TEAM

DESIGNER	Drift Studio / Bryan Markkanen 435-962-9348 / bryan@driftstudio.co
ENGINEER	Dynamic Structures / Jay Adams 801-362-2156 / jay@dstructures.com
SURVEYOR	Ensign Engineering 801.547.1100

CODE

INTERNATIONAL BUILDING CODE (IBC)	2021 EDITION
INTERNATIONAL MECHANICAL CODE (IMC)	2021 EDITION
NATIONAL ELECTRICAL CODE (NEC)	2020 EDITION
INTERNATIONAL PLUMBING CODE (IPC)	2021 EDITION
INTERNATIONAL ENERGY CONSERVATION CODE (IECC)	2015 EDITION
INTERNATIONAL FIRE CODE (IFC)	2021 EDITION
INTERNATIONAL FUEL GAS CODE (IFGC)	2021 EDITION

CONSTRUCTION TYPE	Type VB, Light wood framing with steel
CLIMATE ZONE	VB

SYMBOL LEGEND

ROOM TAG (AREA)	Room name
	150 SF
KEYED NOTE	?
WINDOW TAG	1t
DOOR TAG	101
WALL TAG	1i
ELEVATION SYMBOL	
SECTION SYMBOL	
NORTH ARROW	
CALLOUT HEAD	
GRID LINE	
VIEW TITLE	
LEVEL	

SHEET LIST

HR9.2	Window Comparison
HR9.3	Unnamed
HR0.0	COVER SHEET
HR0.1	SITE PLAN
HR0.2	AREA PLANS
HR1.1	FLOOR PLANS
HR1.2	FLOOR PLANS
HR4.1	ELEVATIONS
HR4.2	ELEVATIONS
HR5.1	SECTIONS
HR9.1	IMAGERY



Height Diagram

General Notes - Site Plan

1. Refer to Sheet G-000 for General Project Notes & Architectural Notes.
2. Before Digging or Trenching, Contact 'Blue Stakes' to Locate Underground Utilities.
3. L.O.D. (Limits of Disturbance) shall be Defined by the Area Contained within All Property Lines of the Site and shall Also Include Driveway and Areas of Utility Connection within Right-Of-Way. Total L.O.D. Area is Approximately The size of the platted lot.
4. Building is not Located within the Flood Hazard Zone as Defined by FEMA.
5. Refer to Site Survey on Sheet SV-1 for Reference Information.
6. T.O. Ridge Elevations Based Upon Laser Scanning Services and are Slightly Different from Surveyed Elevations. (See As-Built Drawings)
7. Water Service to Site will be located with Blue Stakes, Existing Location into Building is Unknown but Exists.
8. Lot lines and coordinates are aligned to Plat not yet submitted. This will be submitted shortly and will at that point align

General Notes - Land Management Code

- 15-2-6-3 Lot And Site Requirements
 C. FRONT, REAR AND SIDE SETBACKS. There are no minimum required Front, Rear, or Side Setback dimensions in the HCB District.
- F. VERTICAL ZONING. For HCB Zoned Storefront Property adjacent to Main Street and Heber Avenue, new Construction and Construction adding Floor Area to a Building or Lot shall have a minimum of seventy-five percent (75%) of the width of the Building façade as Storefront Property.
- 15-2-6-5 Maximum Building Volume And Height
 A. The maximum Building volume for each Lot is defined by a plane that rises vertically at the Front Lot Line to a height of thirty feet (30') measured above the average Natural Grade and then proceeds at a forty-five degree (45°) angle toward the rear of the Property until it intersects with a point forty-five feet (45') above the Natural Grade and connects with the rear portion of the bulk plane.

Notes

1. Located HCB Zoning District
2. Refer to Area Plan Sheet HR0.2 for Additional Building Square Footage Analysis.

Legal Description

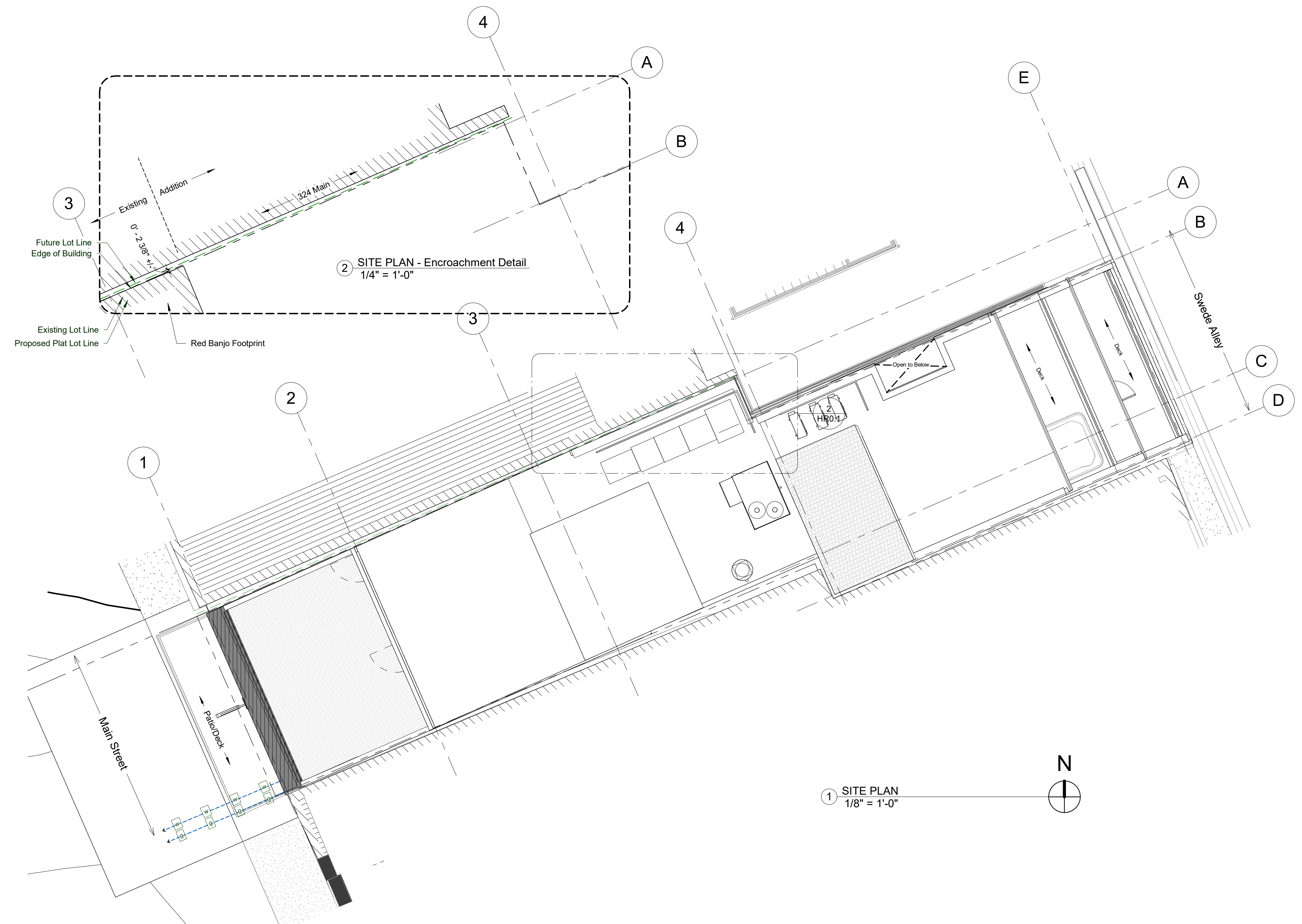
Parcels PC-279-1 & PC-556-B

Datum Reference

Architectural Elevation 100' - 0" = USGS 7101.5 Survey Dated 2020

Legends

- Existing Contour Line
- New Contour Line
- Water Line (approximate location)
- Sanitary Sewer Line
- Gas Line
- Electric Line (overhead)
- Cable/ Teledata
- Property Line Existing
- Property Line Revised Plat (not submitted)
- Property Line Moved & to be Recorded (in negotiation to avoid encroachment issue)



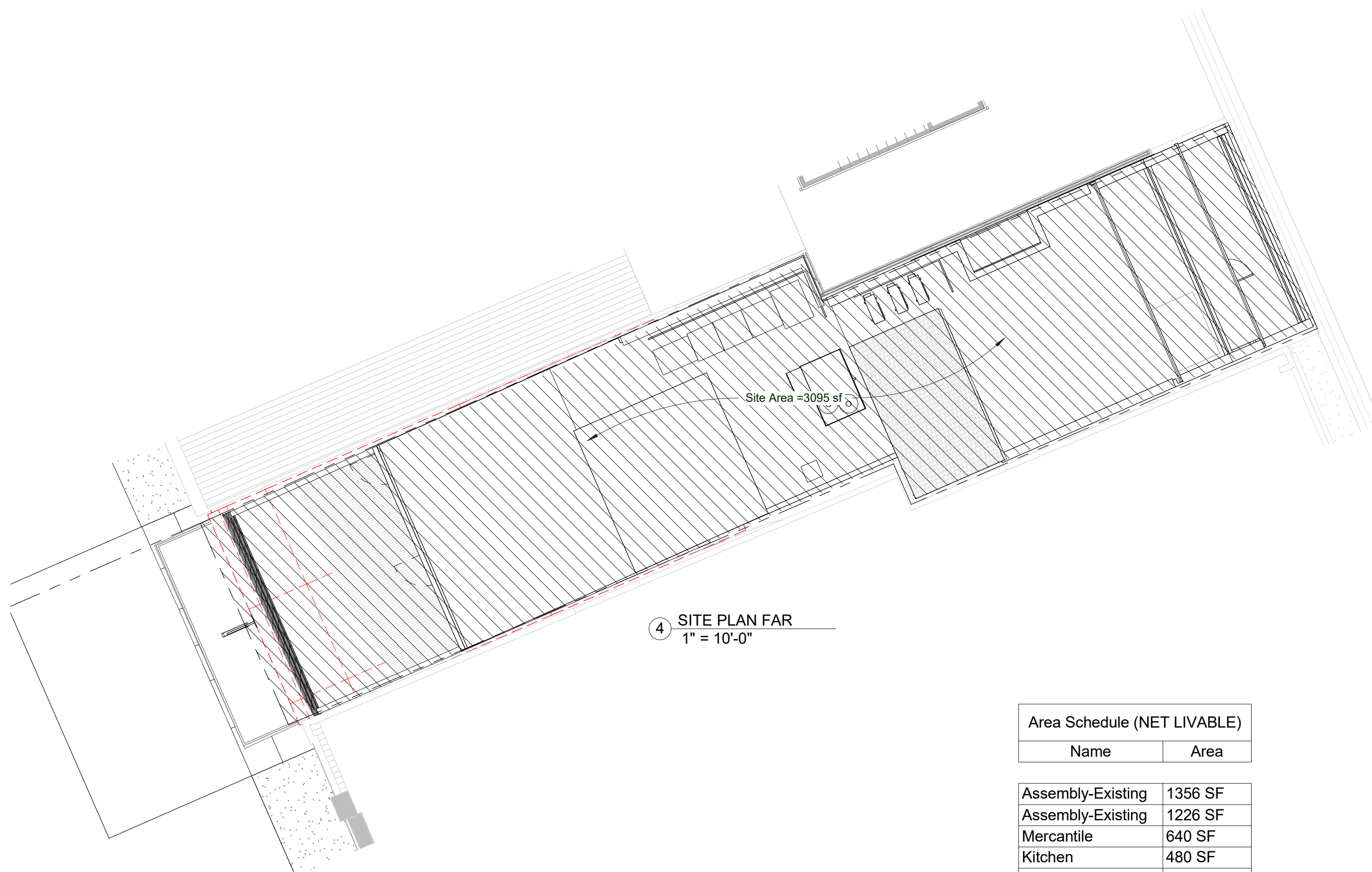
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 322 Main Street
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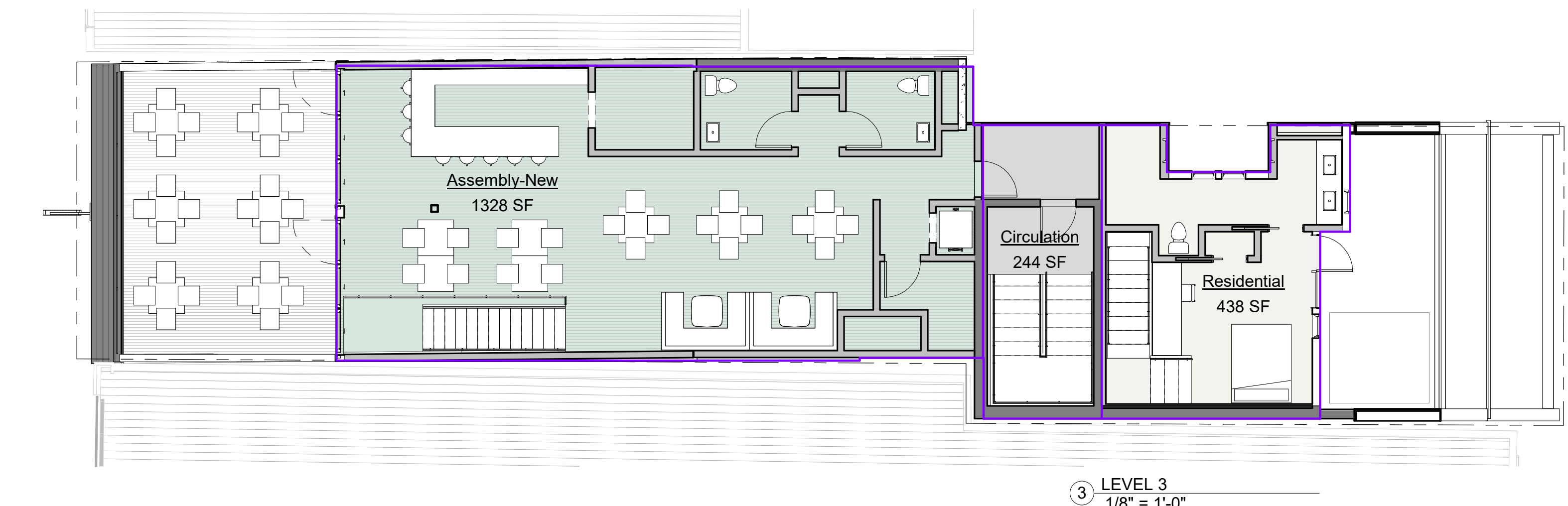
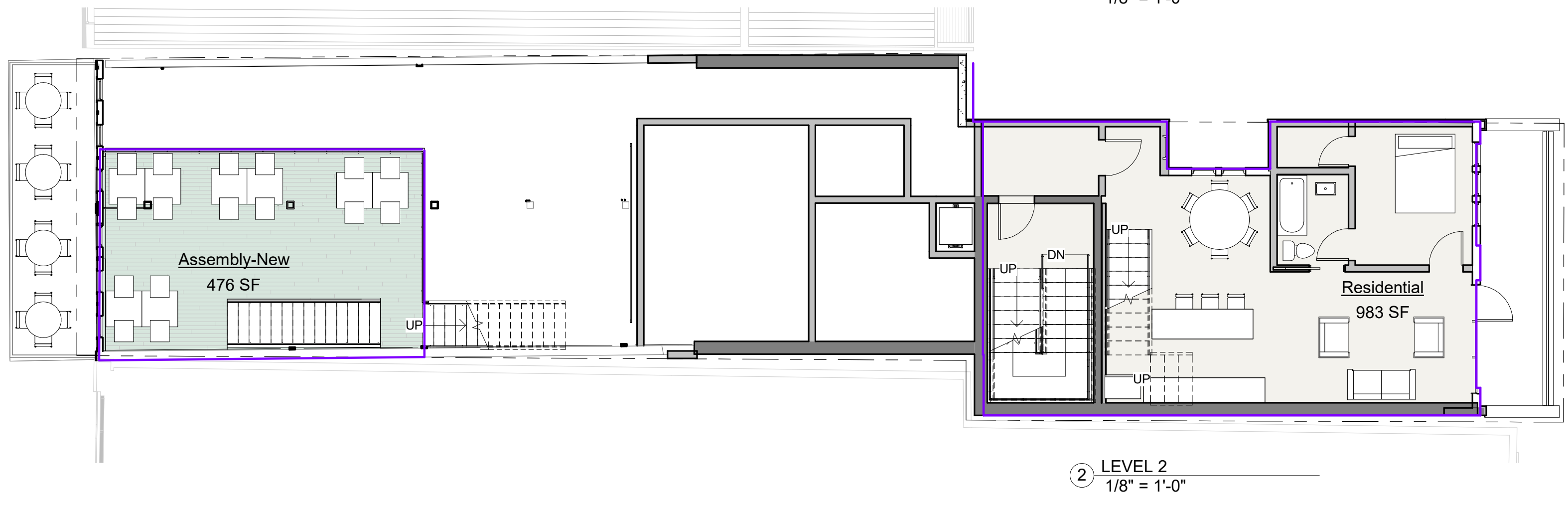
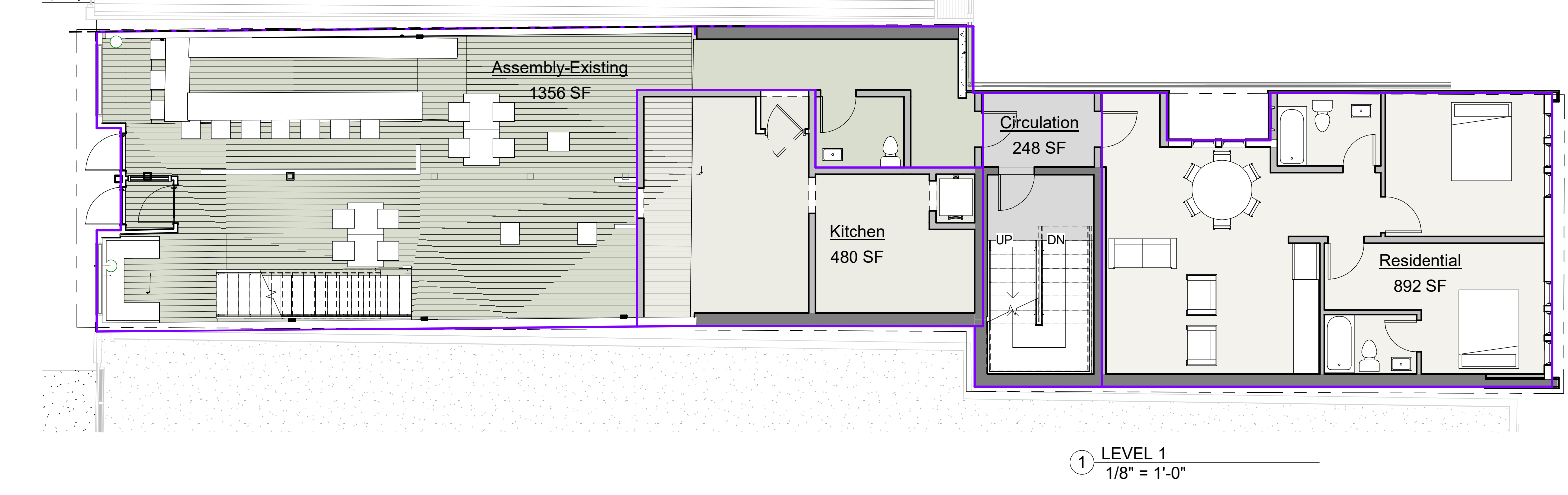
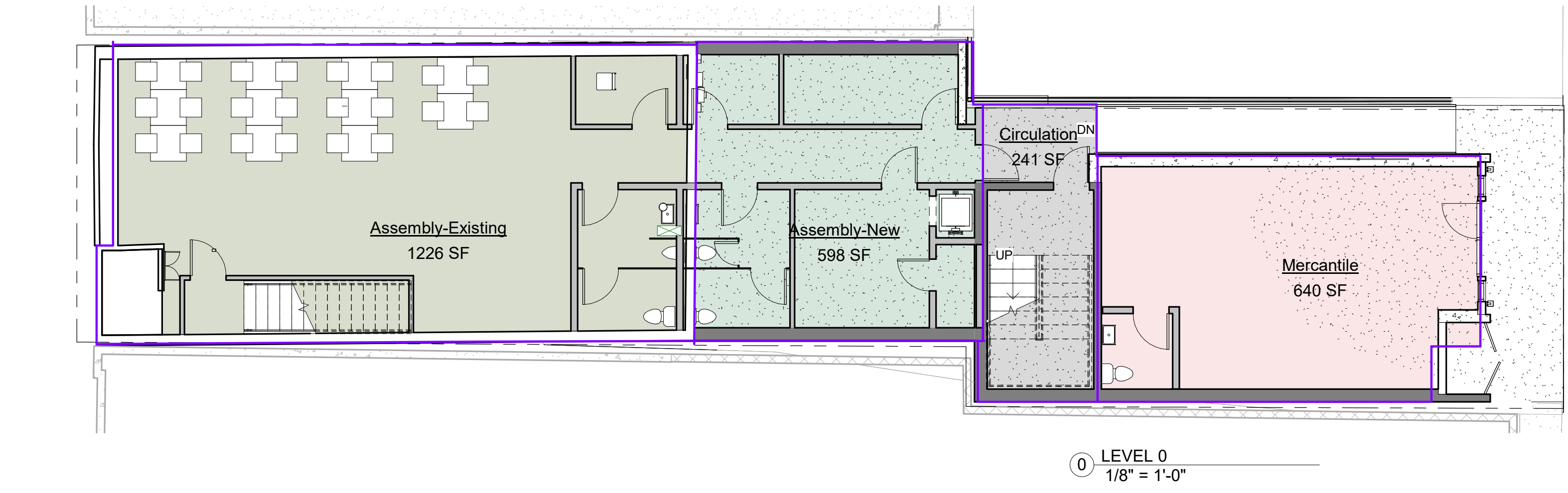
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HR0.1
 SITE PLAN



Area Schedule (NET LIVABLE)	
Name	Area
Assembly-Existing	1356 SF
Assembly-Existing	1226 SF
Mercantile	640 SF
Kitchen	480 SF
Assembly-New	598 SF
Residential	892 SF
Assembly-New	1328 SF
Residential	438 SF
Circulation	244 SF
Residential	983 SF
Assembly-New	476 SF
Circulation	248 SF
Circulation	241 SF
	9149 SF

FAR of 4.0
3095'4" = 12,380 sf



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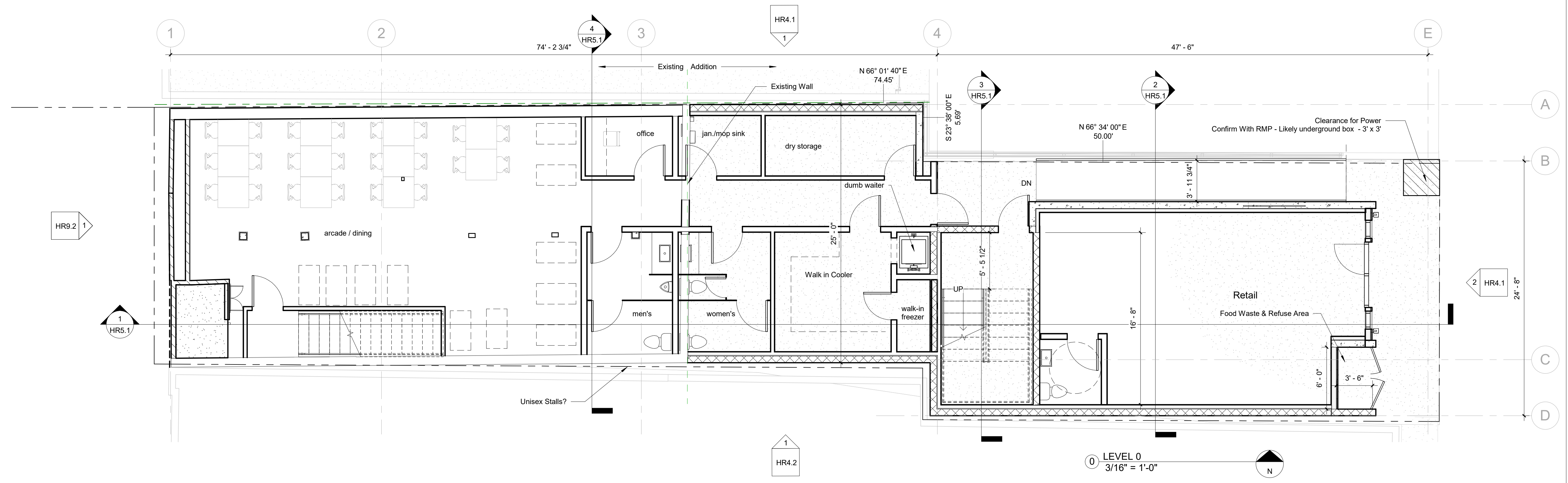
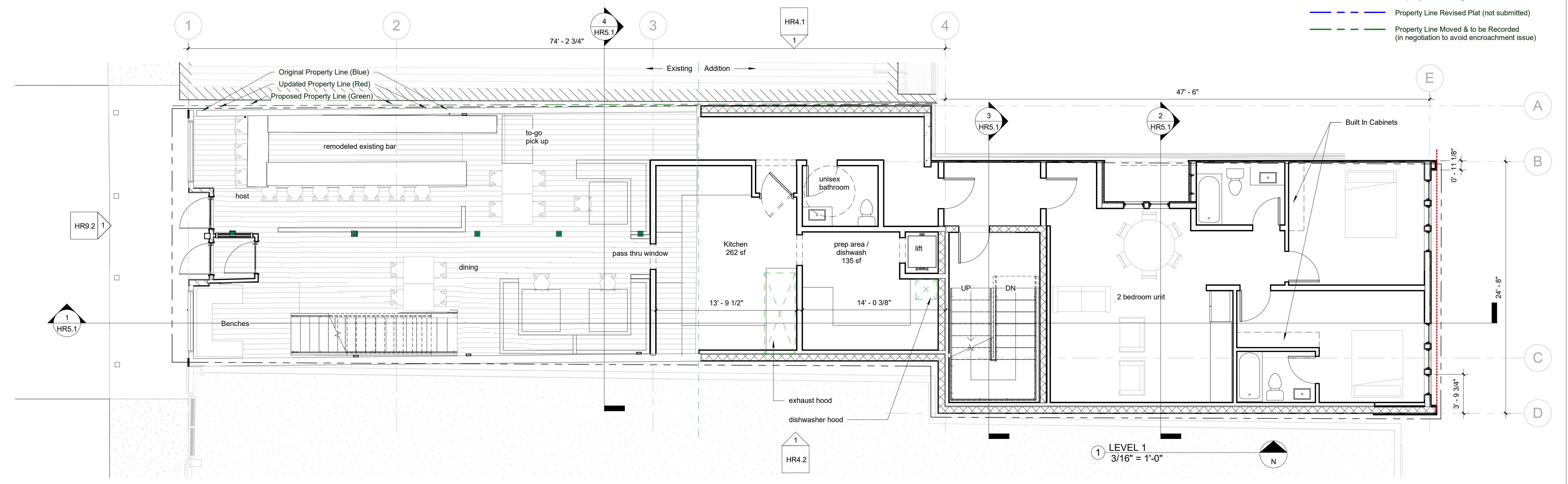
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HR1.1
FLOOR PLANS

- LEGEND**
- 11 Window Tag- Refer To Window Schedule
 - 101 Door Tag- Refer To Door Schedule
 - 101 Room Name And Number- Refer To Room Finish Schedule
 - Spot Elevation Marker
 - Edge Of Roof Above
 - 1 Wall Tag (See Wall Sections)
 - Property Line Existing
 - Property Line Revised Plat (not submitted)
 - Property Line Moved & to be Recorded (in negotiation to avoid encroachment issue)



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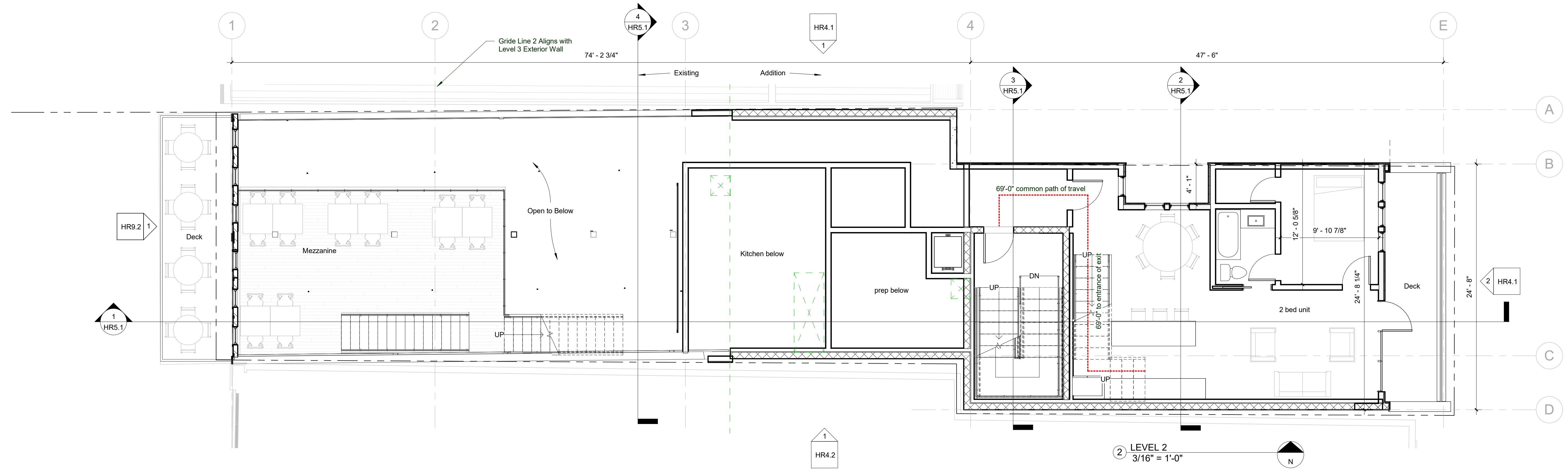
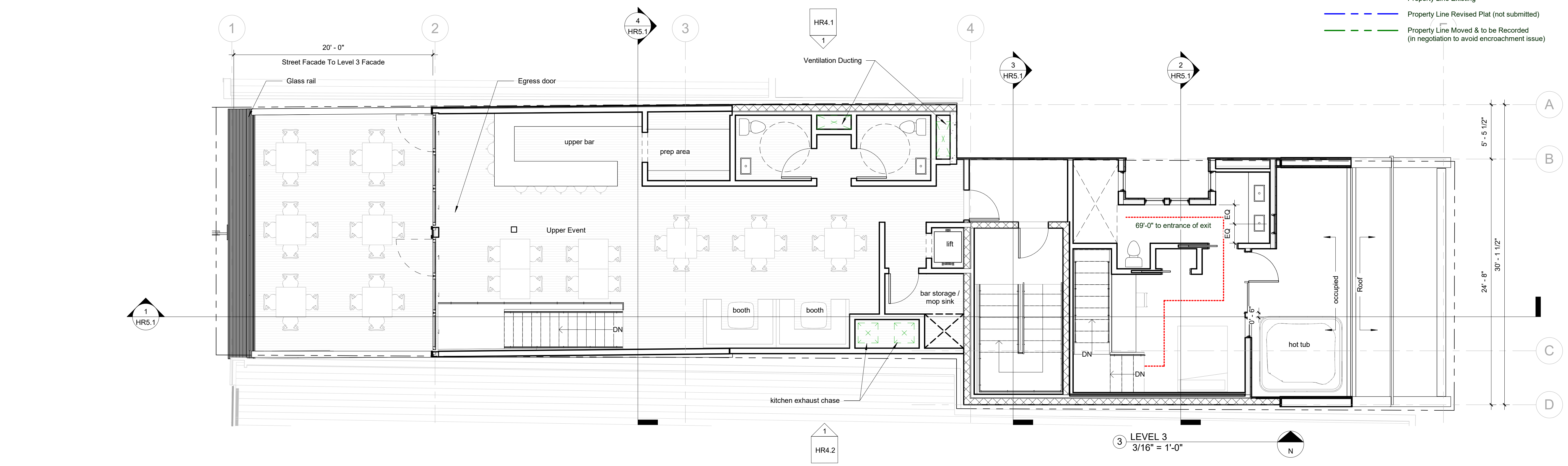
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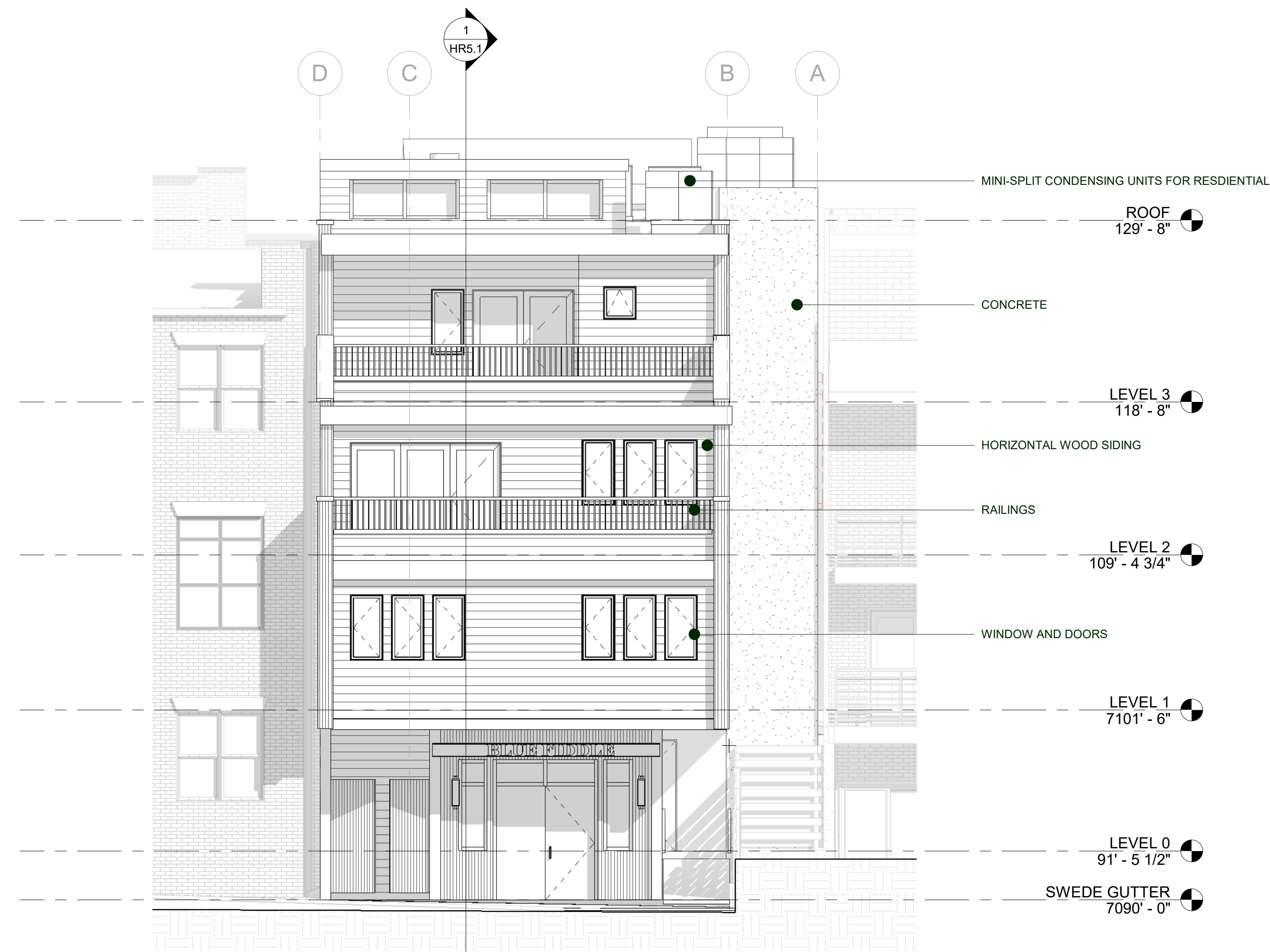
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HR1.2
FLOOR PLANS

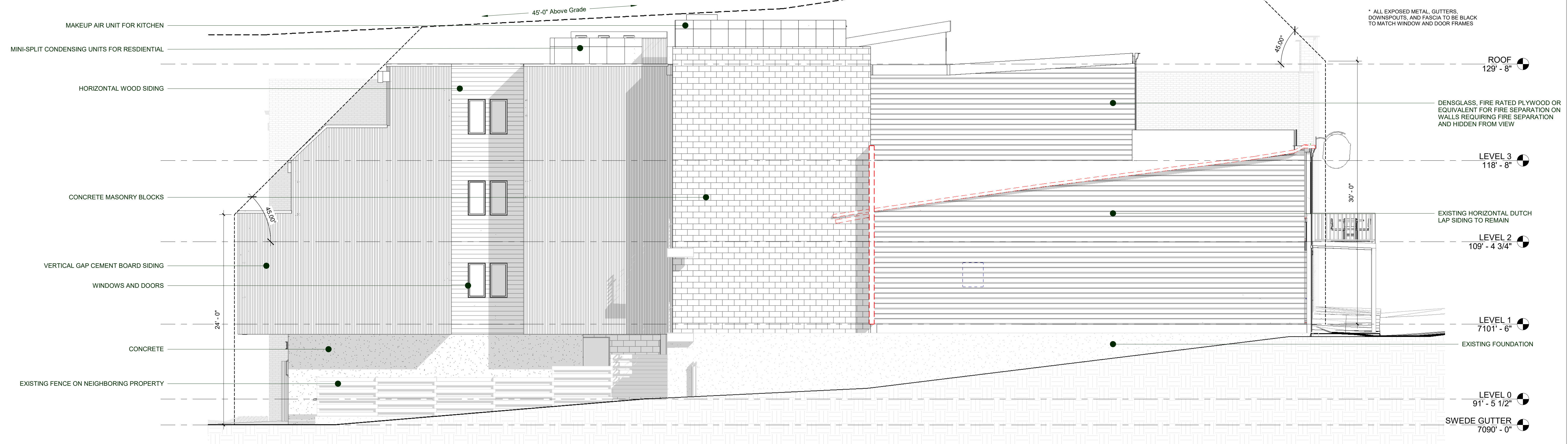
- LEGEND**
- 1t Window Tag- Refer To Window Schedule
 - 101 Door Tag- Refer To Door Schedule
 - Room name Room Name And Number- Refer To Room Finish Schedule
 - + Spot Elevation Marker
 - Edge Of Roof Above
 - 1i Wall Tag (See Wall Sections)
 - Property Line Existing
 - Property Line Revised Plat (not submitted)
 - Property Line Moved & to be Recorded (in negotiation to avoid encroachment issue)





2 EAST ELEVATION
3/16" = 1'-0"

MATERIAL / COLOR CONCEPT	
EXISTING BUILDING	EXISTING HORIZONTAL DUTCH LAP SIDING WHITE TRIM RETAIN, CLEAN AND PAINT TO MATCH
	WHITE TRIMMED WINDOWS / RADIUS (E) - EXISTING (N) - NEW
BUILDING ADDITION	CONCRETE ARCHITECTURAL FINISH
	CONCRETE MASONRY BLOCKS @ HIDDEN CONDITIONS
	HORIZONTAL WOOD SIDING STAINED CEDAR OR EQUIV
	VERTICAL GAP CEMENT BOARD SIDING RED OR APPROVED COLOR
	WINDOW AND DOORS BLACK FRAMES WHITE TRIM TO MATCH STUCCO
	RAILINGS BLACK STEEL OR ALUMINUM



1 NORTH ELEVATION
3/16" = 1'-0"

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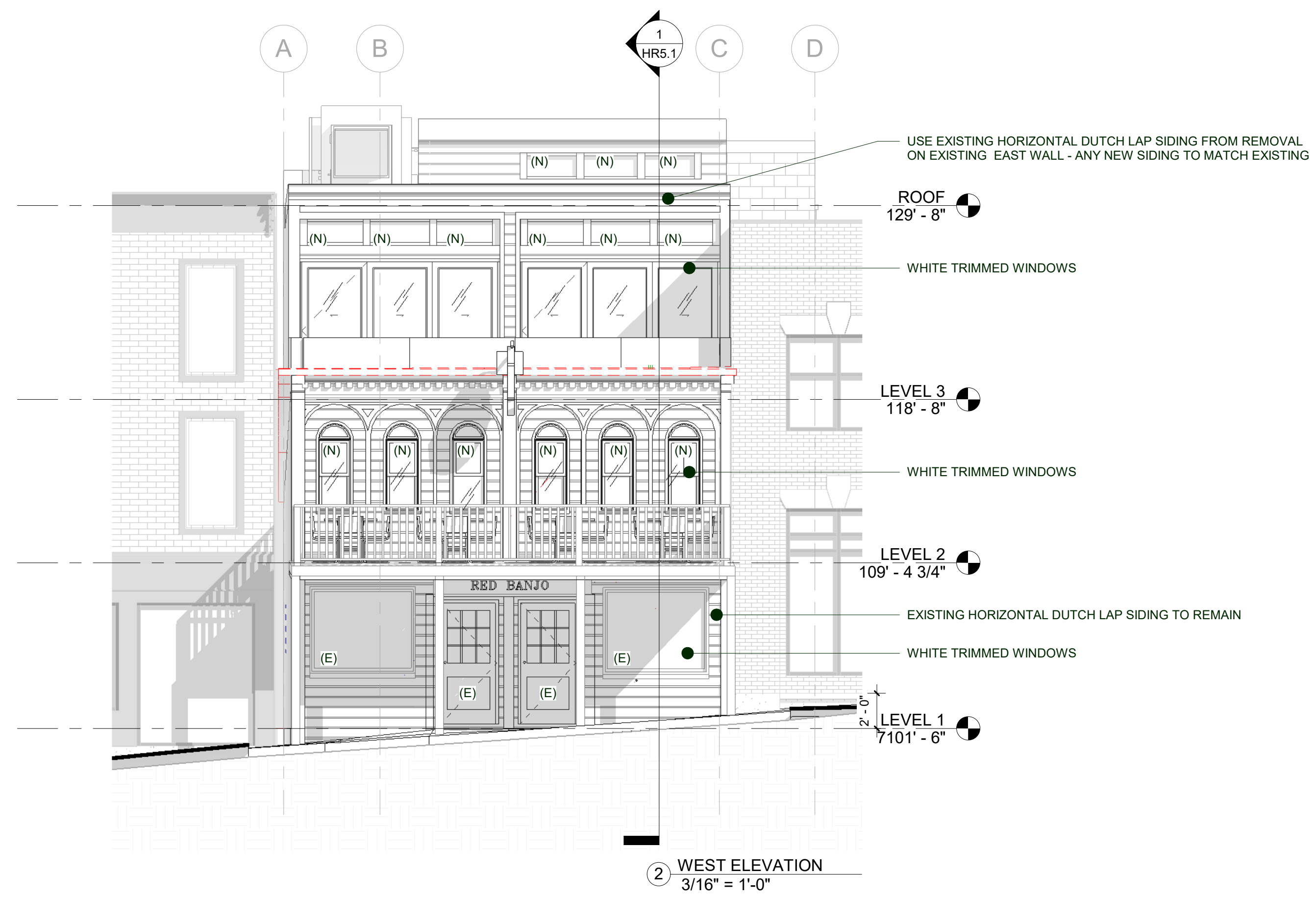
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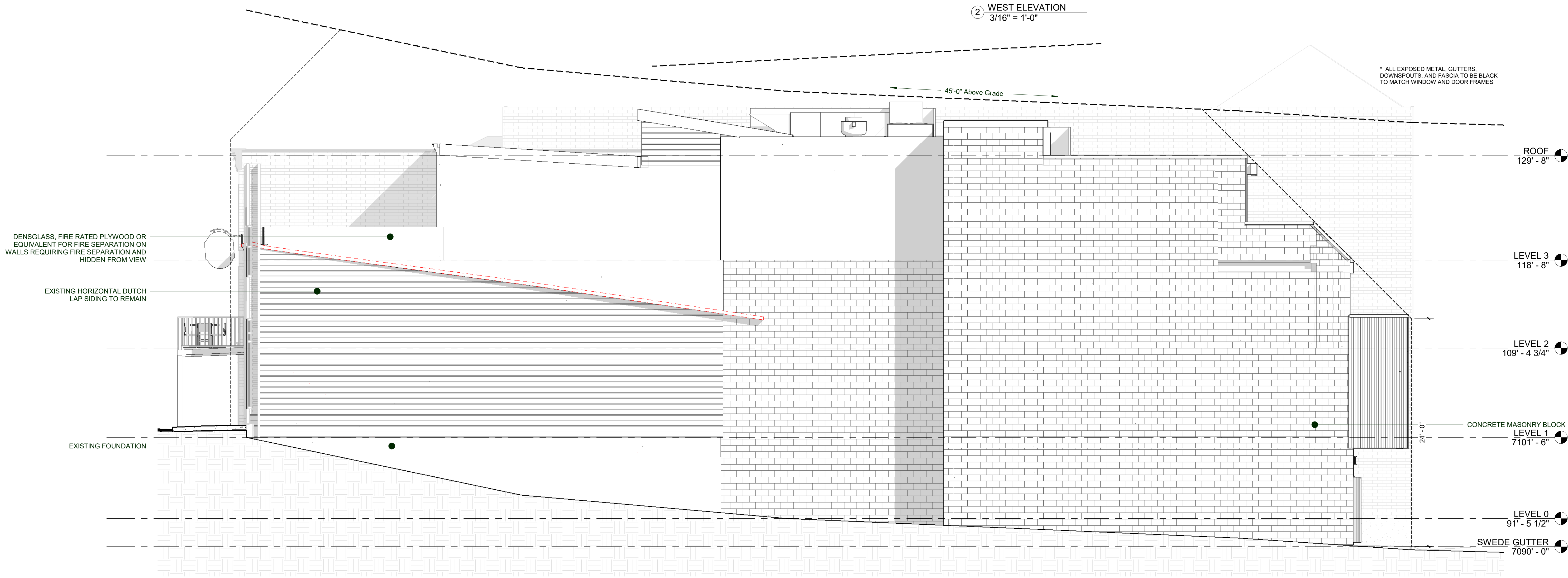
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HR4.1
ELEVATIONS



② WEST ELEVATION
3/16" = 1'-0"

MATERIAL / COLOR CONCEPT	
EXISTING BUILDING	
	EXISTING HORIZONTAL DUTCH LAP SIDING WHITE TRIM RETAIN, CLEAN AND PAINT TO MATCH
	WHITE TRIMMED WINDOWS / RADIUS (E) - EXISTING (N) - NEW
BUILDING ADDITION	
	CONCRETE ARCHITECTURAL FINISH
	CONCRETE MASONRY BLOCKS @ HIDDEN CONDITIONS
	HORIZONTAL WOOD SIDING STAINED CEDAR OR EQUIV
	VERTICAL GAP CEMENT BOARD SIDING RED OR APPROVED COLOR
	WINDOW AND DOORS BLACK FRAMES WHITE TRIM TO MATCH STUCCO
	RAILINGS BLACK STEEL OR ALUMINUM



① SOUTH ELEVATION
3/16" = 1'-0"

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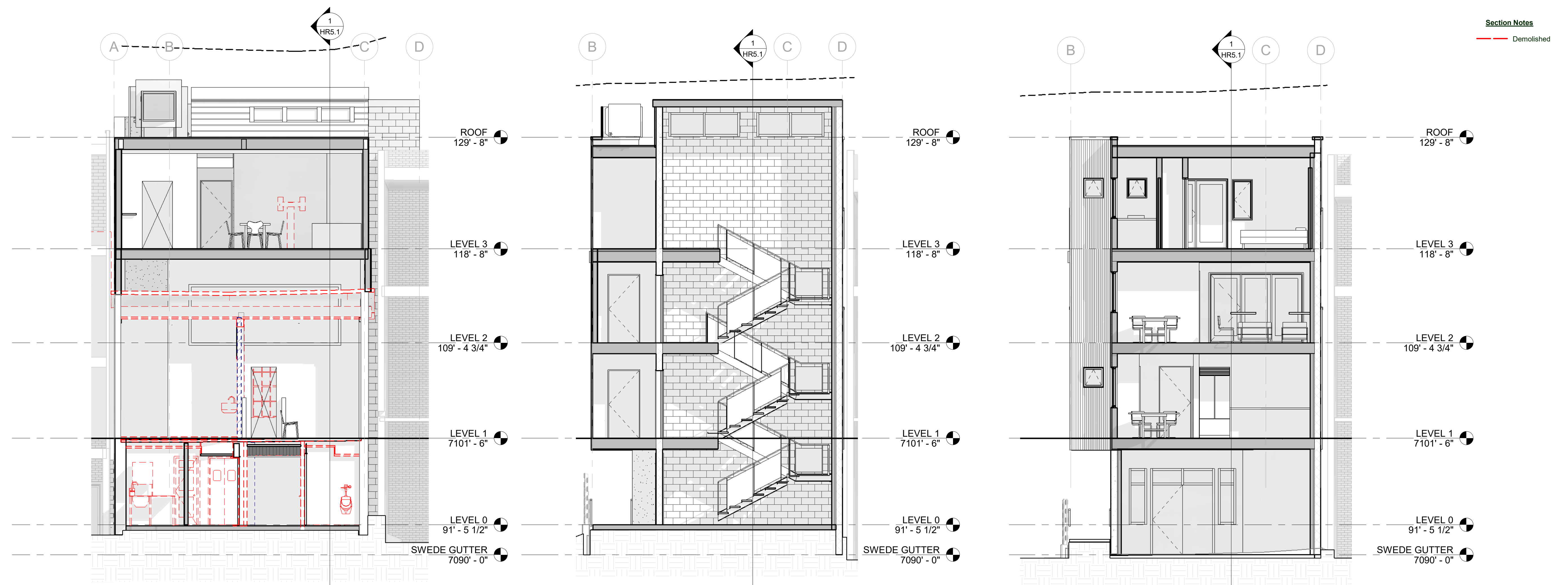
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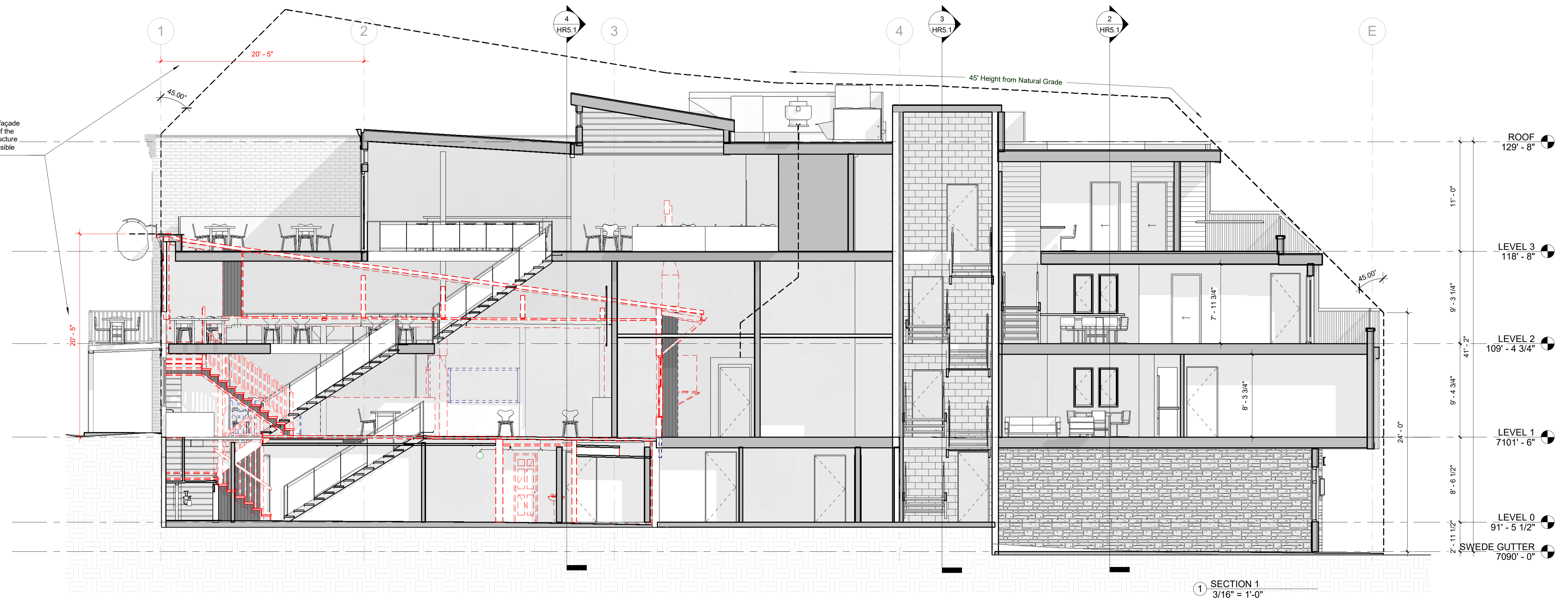
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HR4.2
ELEVATIONS



The rooftop addition shall be recessed from the façade to a distance that is at least equal to the height of the historic façade or beyond the midpoint of the structure to ensure that the rooftop addition is minimally visible from the primary public right-of-way.



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HR5.1
 SECTIONS



SE PERSPECTIVE



NW PERSPECTIVE



NE PERSPECTIVE



WEST PERSPECTIVE



SW PERSPECTIVE

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HR9.1
IMAGERY

Planning Department Staff Report



Subject: 322 Main Street
Application: PL-26-06855
Authors: Lillian Zollinger, Planner III
Date: April 2, 2026
Type of Item: Administrative Conditional Use Permit

Recommendation

(I) Review the Administrative Conditional Use Permit (ACUP) for Outdoor Dining at 322 Main Street, (II) conduct a public hearing, and (III) consider approving the ACUP based on the Findings of Fact, Conclusions of Law, and Conditions of Approval outlined in the Draft Final Action Letter (Exhibit A).

Description

Applicant: Red Banjo Real Estate, LLC
Location: 322 Main Street
Zoning District: Historic Commercial Business
Adjacent Land Uses: Restaurants, Retail, Theatre
Reason for Review: The Planning Director reviews and takes Final Action on Administrative Conditional Use Permits.¹

ACUP Administrative Conditional Use Permit
HCB Historic Commercial Business
LMC Land Management Code

Terms that are capitalized as proper nouns throughout this staff report are defined in LMC [§ 15-15-1](#).

Summary

The Applicant proposes Outdoor Dining on an existing balcony and new rooftop deck at 322 Main Street, a Landmark Historic Site, in the Historic Commercial Business (HCB) Zoning District. The proposed Outdoor Dining consists of 10 tables, seating a maximum of 40 patrons at a time.

Background

322 Main Street is designated a Landmark Historic Site on Park City's Historic Sites Inventory.² The [Historic Site Form](#) lists the date of construction at c.1900 during the Mature Mining Era (1894 – 1930).

¹ LMC [§ 15-1-8\(J\)](#)

² LMC [§ 15-11-10\(D\)\(2\)\(a\)](#)



Figure 1: 322 Main Street highlighted in red by staff on an excerpt of the Zoning map.



Figure 2: 322 Main Street, image from Google Maps.

On July 8, 2003, the Planning Department approved the Design Review for an opening

on the second-level front façade to access the balcony for outdoor dining (Exhibit B).

On July 16, 2010, the Planning Department approved an ACUP for Outdoor Dining on a dining deck on Main Street (Exhibit C).

On February 10, 2026, the Board of Adjustment granted a Variance for 322 Main Street from the required HCB Zoning District 25-foot minimum Lot width for the Landmark Historic Structure and Site ([Packet](#), Item 6A; [Media](#)).

On February 25, 2026, the Planning Commission approved the Red Banjo Plat Amendment creating one contiguous Lot for 322 Main Street that spans from Main Street to Swede Alley to reflect ownership and existing conditions and to resolve the encroachment of the Landmark Historic Structure onto 324 Main Street ([Packet](#), Item 6.B; [Media](#)).

On March 4, 2026, the Historic Preservation Board (HPB) approved the Material Deconstruction ([Packet](#), Item 7B; [Media](#)) for the following scope of work:

- Removal of the historic roof form to accommodate a rooftop addition,
- Removal of approximately 320 square feet of the historic siding on the tertiary façade, facing Swede Alley to accommodate a rear addition,
- Excavate 1 foot 6.5 inches deeper for upgrades to the foundation,
- Removal of portions of the front façade historic material to install windows that comply with the solid-void ratio and 2:1 vertical orientation of Historic commercial buildings on Main Street, pursuant to LMC [§ 15-13-3](#), *Regulations for Historic Commercial Sites*.

On April 2, 2026, the Planning Director will review a Historic District Design Review (HDDR) concurrently with this ACUP application.

322 Main Street has a current Business License for a Restaurant (B-000398). The Applicant proposes four tables and 16 chairs on the existing balcony and six tables and 24 chairs on the proposed rooftop deck for Outdoor Dining. The Applicant has a current Encroachment Permit for the existing balcony which overhangs Main Street Right-of-Way (see Exhibit D).

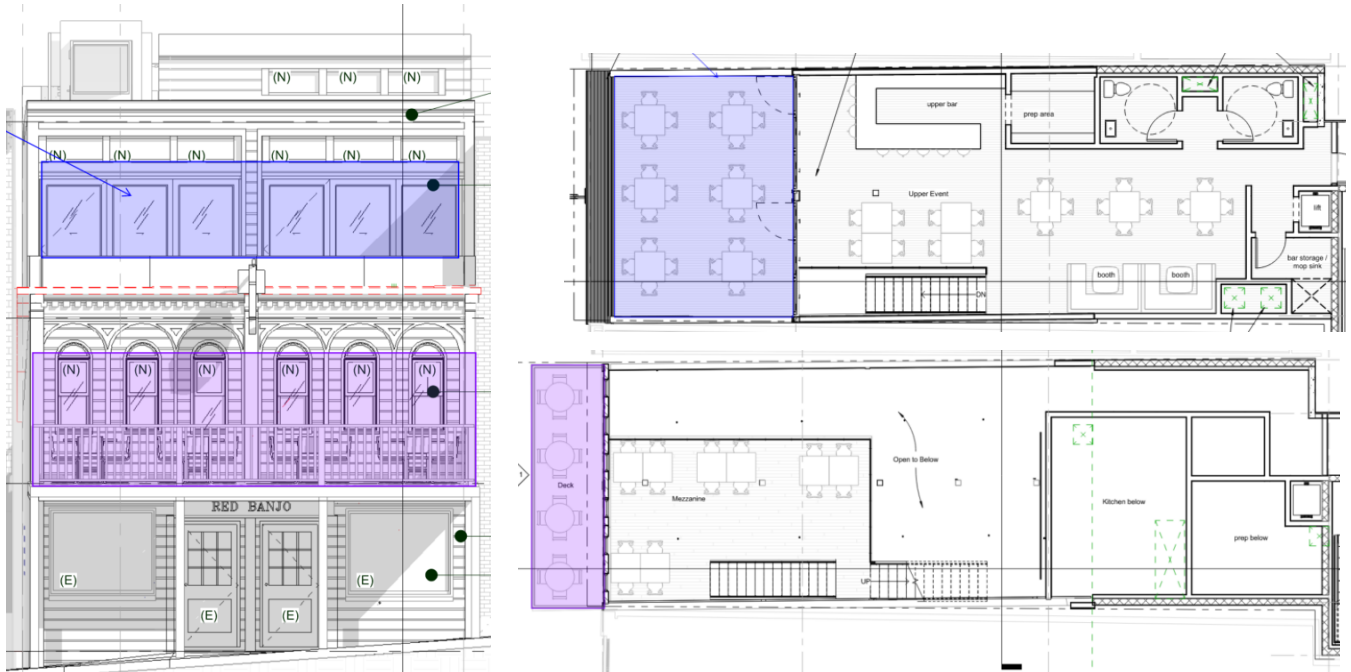


Figure 3: 322 Main Street Outdoor Dining proposal; rooftop deck dining highlighted in blue and porch dining highlighted in purple by staff.

Analysis

See the full Analysis outlined in the Draft Final Action letter (Exhibit A).

Department Review

The Planning and Executive Departments reviewed this report.

Notice

Staff published notice on the City’s website and the Utah Public Notice website and posted notice to the property on March 19, 2025. Staff mailed courtesy notice to adjacent property owners on March 20, 2025.³

Public Input

Staff did not receive any public input at the time this report was published.

Alternatives

The Planning Director may:

- Approve the proposed ACUP;
- Deny the proposed ACUP and direct staff to make Findings for the denial; or
- Request additional information and continue the discussion to date certain.

Exhibits

- A: Draft Final Action Letter
Attachment 1- Proposed Plans
- B: 2003 HDC Approval

³ LMC [§ 15-1-21](#)

C: 2010 Outdoor Dining Deck Approval
D: Encroachment Permit



Planning Department

April 1, 2026

Cole Knight
(435) 640-7964
cknight@elliottworkgroup.com

CC: Grand Love Shack, LLC

NOTICE OF HISTORIC PRESERVATION BOARD ACTION

Description

Address: 615 Woodside Avenue
Zoning District: Historic Residential – 1
Application: Modification to Material Deconstruction and Panelization
Project Number: PL-26-06841
Action: APPROVED WITH CONDITIONS (See Below)
Date of Final Action: April 1, 2026
Project Summary: The Applicant proposes to disassemble and reassemble the historic roof structure, disassemble and reassemble the northeastern portion of the structure, remove and replace the wrap-around porch, and remove and replace the shed roof and the support beam of the sunroom.

Action Taken

On April 1, 2026, the Historic Preservation Board conducted a public hearing and approved the modification to Material Deconstruction and partial panelization of the Significant Historic Structure according to the following Findings of Fact, Conclusions of Law, and Conditions of Approval:

Findings of Fact

1. 615 Woodside is a Significant Historic Structure and was constructed sometime before 1889.
2. 615 Woodside Avenue is in the Historic Residential – 1 Zoning District and is Lot 1 of the Walter-Daniels Amended Lot 2 Subdivision.



Planning Department

3. The Applicant proposes to disassemble and reassemble the historic roof structure, disassemble and reassemble the northeastern portion of the structure, remove and replace the wrap-around porch, and remove and replace the shed roof and the support beam of the sunroom.
4. On February 15, 2026, Courtney Fleming from Mission Structural completed a Structural Approach for Lifting and Preservation Report that evaluated the Historic Structure.
5. The Applicant has shown that no windows on the Historic Structure are historic or wood, therefore aluminum-clad wood windows are allowed to be installed on the Historic Structure pursuant to LMC § 15-13-2(B)(2)(d).
6. The HPB reviews panelization requests for compliance with LMC § 15-11-14, Disassembly And Reassembly Of A Historic Building Or Historic Structure, and LMC § 15-13-4(B)(1), Disassembly & Reassembly of All or Part of a Historic Structure.
 - a. LMC § 15-11-14(A)(1) requires that a licensed structural engineer has certified that the Historic Structure cannot be reasonably moved intact.
 - i. The Applicant provided an engineer's report from Mission Structural that stated, "Due to the combined mass, it is not feasible to lift both historic structures simultaneously."
 - b. LMC § 15-11-14(A)(2) requires the Historic Preservation Board to determine, with input from the Planning Director and the Chief Building Official, that unique conditions and the quality of the Historic Preservation Plan warrant the proposed disassembly and reassembly.
 - i. On March 11, 2026, the Planning Director and Chief Building Official determined that unique conditions and the quality of the Historic Preservation Plan warrant the proposed disassembly and reassembly.
 - c. LMC § 15-13-4(B)(1) requires the Applicant thoroughly document the disassembly of the Historic Structure.
7. The HPB reviews Material Deconstruction requests for compliance with LMC § 15-11-12.5 and LMC § 15-13-2.
 - a. The proposed deconstruction of the deck and roof requires compliance with LMC § 15-13-3, wherein, the existing porch material and details shall be preserved. Where historic materials cannot be kept or repaired, replacement elements shall match the historic elements exactly.



Planning Department

8. Pursuant to LMC § 15-11-9, a Financial Guarantee is required prior to the issuance of a building permit.
 - a. On October 6, 2025, the Applicant recorded a Financial Guarantee and on October 14, 2025, a building permit was issued.

Conclusions of Law

1. The proposal complies with the Land Management Code requirements pursuant to LMC § 15-11-9, *Preservation Policy*.
2. The proposal, as conditioned, complies with the Land Management Code requirements pursuant to LMC § 15-11.12-5, *Historic Preservation Board Review for Material Deconstruction*.
3. The proposal, as conditioned, complies with the Land Management Code requirements pursuant to LMC § 15-11-14, *Disassembly And Reassembly Of A Historic Building Or Historic Structure*.

Conditions of Approval

1. Final building plans and construction details shall reflect substantial compliance with the modified Historic Preservation Board approval dated April 1, 2026, for the partial Panelization of the northeastern side, Panelization of the roof and Material Deconstruction of 615 Woodside Avenue. Any changes, modifications, or deviations from the approved plans that have not been approved in advance by the Planning and Building Departments may result in a stop work order.
2. The applicant is responsible for notifying the Planning and Building Departments prior to making any changes to approved plans.
3. Any changes, modifications, or deviations from the approved scope of work shall be submitted in writing for review and approval/denial in accordance with the applicable standards by the Planning Director or their Designee prior to construction.
4. The basement addition shall not raise or lower the Significant Historic Structure more than two feet from its original floor elevation.
5. The Historic Site shall be returned to original grade following the construction of a foundation. When the original grade cannot be achieved, generally no more than six inches of the new foundation shall be visible above Final Grade on the primary and secondary facades.
6. This approval requires stabilization and protection for the lifting of the historic structure. The Applicant under this approval is required to stabilize the structure for the lift. Any material deconstruction beyond the scope of this final action letter



Planning Department

is prohibited without obtaining Chief Building Official, Planning Director, and Historic Preservation Board Review.

7. Historic materials removed from the Structure that are salvageable or in otherwise good condition shall be used to repair/replace irreparable materials on the Site.
8. The Significant Historic Structure must be reassembled using the original materials that are found to be safe and/or in serviceable condition in combination with new materials.
9. The Significant Historic Structure shall be reassembled in its original form, location, placement, and orientation.
10. The disassembly of the Historic Structure shall be documented and comply with LMC § 15-13-4(B)(1) requirements.

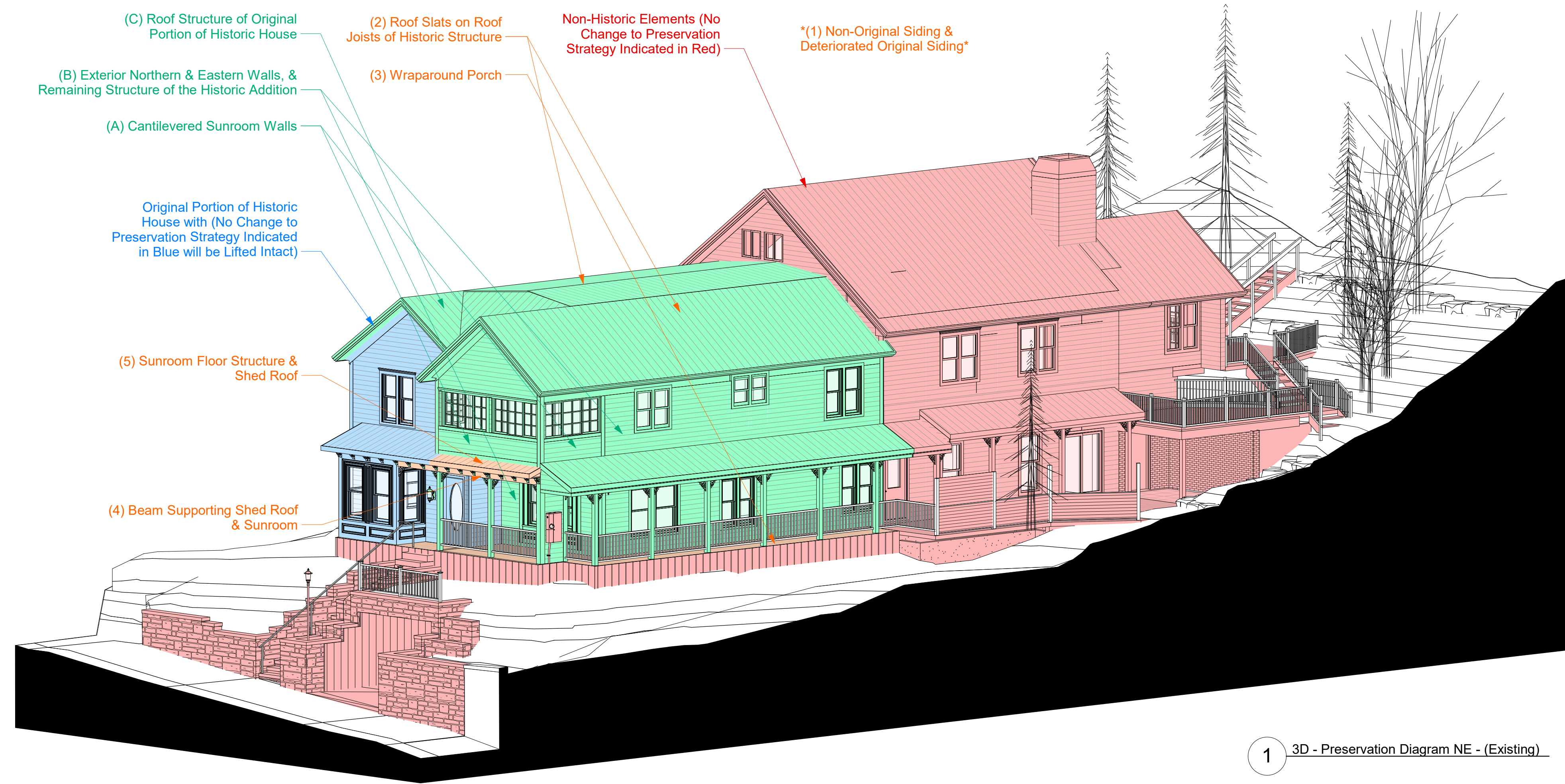
This Final Action may be appealed pursuant to LMC § 15-1-18. If you have questions or concerns regarding this Final Action Letter, please call (435) 615-5068 or email lillian.zollinger@parkcity.gov.

Sincerely,

Douglas Stephens, Historic Preservation Board Chair

CC: Lillian Zollinger, Project Planner

Attachment 1 – Proposed Plans



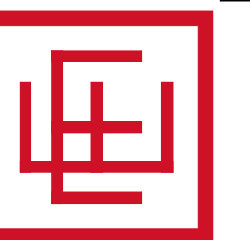
1 3D - Preservation Diagram NE - (Existing)

Historic Preservation Legend

	Lifted In-tact (No Change to Preservation Strategy)
	Non-Historic (No Change to Preservation Strategy)
	Material Deconstruction
	Disassembly / Re-Assembly

ELLIOTT WORKGROUP LLC

1441 West Ute Blvd. Suite 100
Park City, Utah 84098
435-649-0092 or 801-415-1839
elliottworkgroup.com



Jean & Travis Ault
Grand Love Shack

615 Woodside
Park City, UT 84060

Construction Documents

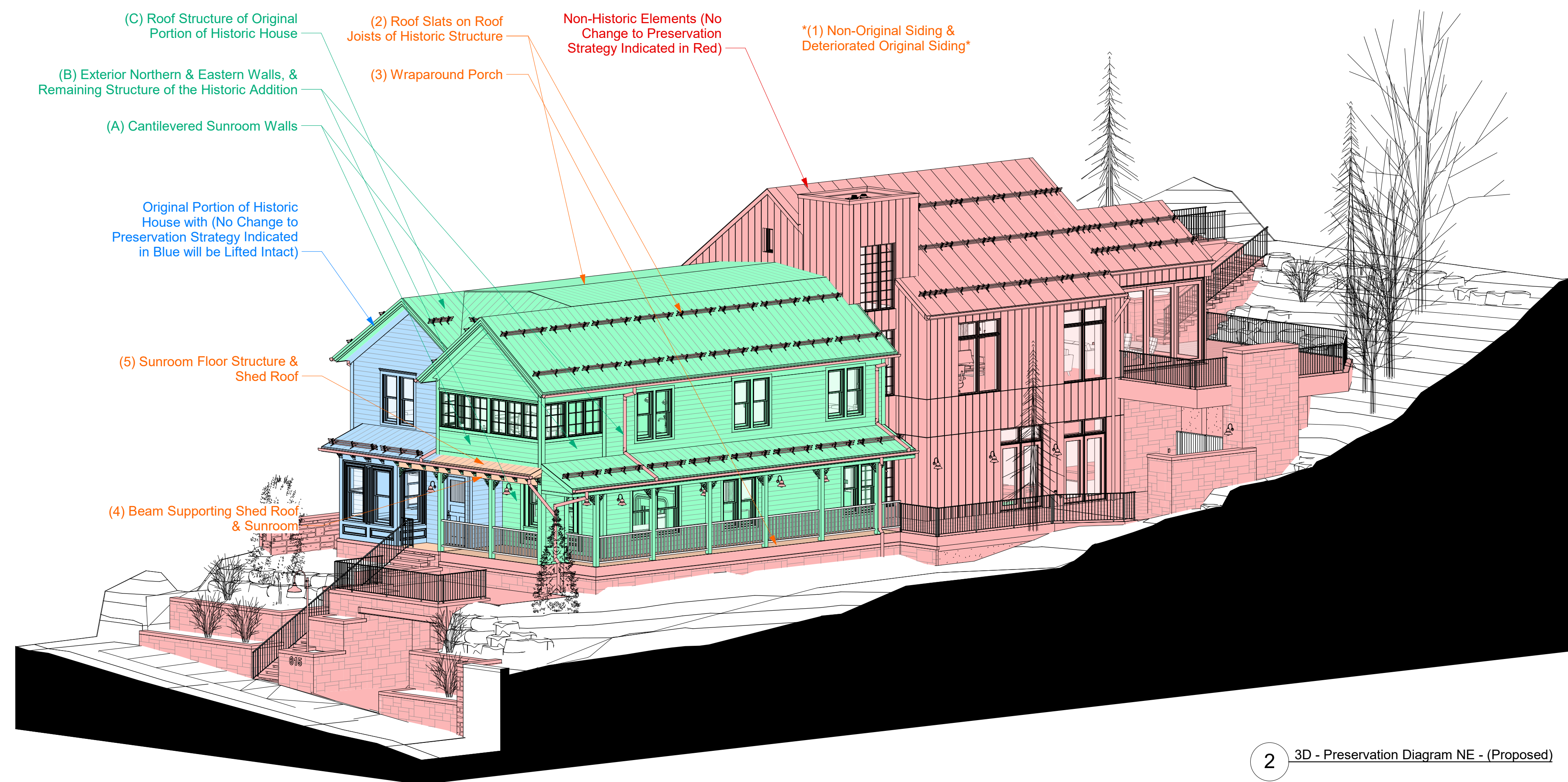
Rev.	Date	Description
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ISSUE DATE: 2026.01.30
OWNER PROJECT NO: .
CONTRACT NO: .
DRAWN BY: dCk
CHECKED BY: EWG
DESIGNED BY: EWG
EWG PROJECT NO: 2022.091
COPYRIGHT: Elliott Workgroup, LLC

SHEET TITLE

3D Isometrics

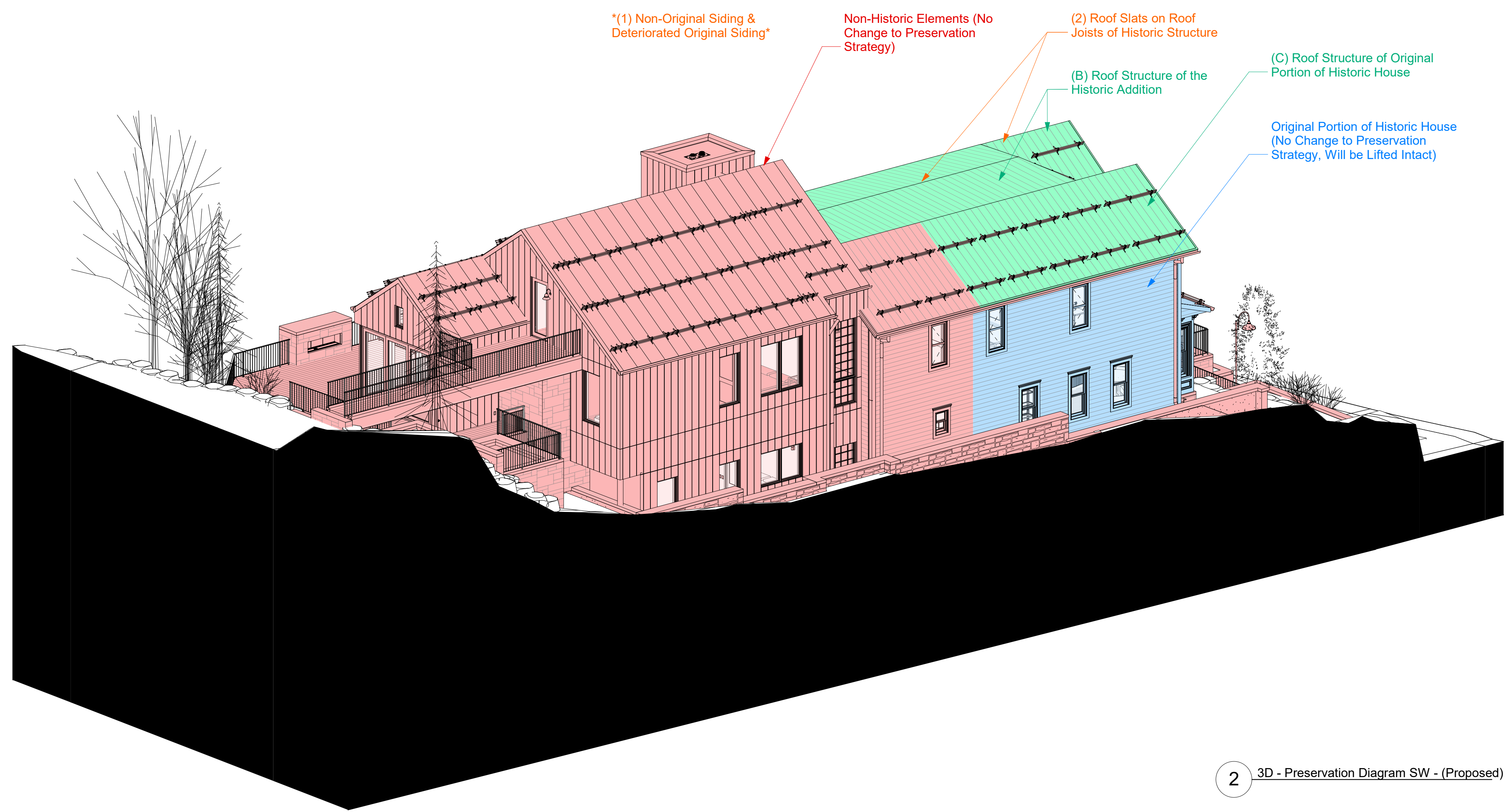
G-011



2 3D - Preservation Diagram NE - (Proposed)



1 3D - Preservation Diagram SW - (Existing)

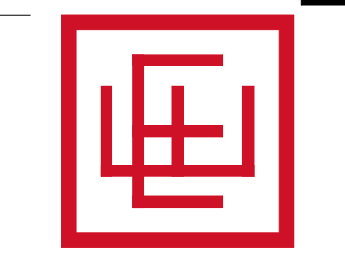


2 3D - Preservation Diagram SW - (Proposed)

Historic Preservation Legend

	Lifted In-tact (No Change to Preservation Strategy)
	Non-Historic (No Change to Preservation Strategy)
	Material Deconstruction
	Disassembly / Re-Assembly

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Jean & Travis Ault
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 Construction Documents

Rev.	Date	Description

ISSUE DATE: 2026.01.30
 OWNER PROJECT NO: .
 CONTRACT NO: .
 DRAWN BY: dCk
 CHECKED BY: EWG
 DESIGNED BY: EWG
 EWG PROJECT NO: 2022.091
 COPYRIGHT: Elliott Workgroup, LLC

SHEET TITLE
 3D Isometrics
G-012

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Department of Community Development
Engineering • Building Inspection • Planning

July 8, 2003

Mary Lou Toly
PO Box 489
Park City, Utah 84060

FILE COPY

NOTICE OF PLANNING STAFF ADMINISTRATIVE ACTION

Project Address: **322 Main Street**

Project Description: **Design Review of Modification to an Existing
Historic Commercial Building**

Date of Action: **July 8, 2003**

Action Taken By Planning Department Staff: Approved in accordance with the Findings of Fact, Conclusions of Law, and Conditions of Approval as written below:

Findings of Fact

1. The findings discussed in the analysis section of this report are incorporated herein.
2. The existing structure is historic.
3. The existing deck is not historic.
4. This idea of making the deck accessible to the public for outdoor dining was reviewed by the HDC on June 21, 1999, and was generally supported.
5. The incorporation of a door on the upper facade will need to be executed in a manner that will not disrupt the existing architectural pattern of the wall.
6. The existing structure is located within the HCB zone.

Conclusions of Law

1. The proposed work complies with the Park City Historic District Design Guidelines as conditioned.

Conditions of Approval

1. Receipt and approval of a Construction Mitigation Plan (CMP) by the Community Development Department is a condition precedent to the issuance of any building permit.
2. The final building plans and construction details shall reflect substantial compliance with the drawings dated May 20, 2003, and as reviewed and approved by the Preservation Planner on July 8, 2003.

ACTION LETTER - 322 Main Street

July 8, 2003

Page 2

3. The General Contractor shall field verify all existing conditions prior to executing any work and match replacement materials/features accordingly. All discrepancies found between the final approved plans and the existing conditions must be reported to the Preservation Planner for direction prior to construction.
4. Repair and retain all existing historic wood siding and missing trim elements (ex: corner boards, fascia boards, etc.) in kind. All ghost outlines and general wear exhibited by the existing original wood siding shall remain. Replacement of any original wood siding or trim elements shall be made only in cases of structural failure or major deterioration. All replacement or missing elements (ex: corner boards, fascia boards, etc.) shall match existing historic material in profile, dimension, configuration, texture and finish as determined by the Preservation Planner, according to the HDC's Illustrated Building Materials Handbook.
5. The new exterior deck shall match in size, shape, configuration, material, overall construction, etc. to the original. No expansion of the deck is permitted. The flooring of the deck may be stained/treated redwood, or Trek material in a neutral color. The underside of the deck shall be covered in beadboard material and painted out to match that of the building.
6. Any change in use and occupancy may result in a modification to the deck pursuant to compliance with International Building Code and LMC requirements.
7. The new exterior second-story facade shall incorporate a single, 3'x6'-8" door for access. This new door shall be located within one of the existing decorative bays on the front facade and open into the building. The door shall be solid, and faced with the existing wood siding removed from said area in order to accommodate the door. This sided finish of the door shall align with the siding found on the adjacent surrounding exterior wall surface.
8. The new deck shall incorporate porch brackets (on the underside of the deck) centered on each post. The type, profile and general dimensions of the wood brackets shall be reviewed and approved by the Preservation Planner according to the HDC's Illustrated Building Materials Handbook, prior to the issuance of full building permit.
9. All existing exterior lighting fixtures (including lighting for signing) shall be upgraded for compliance with the Park City Light Code. All fixtures, quantity and design shall be reviewed and approved by the Preservation Planner for compliance with the Land Management Code and the Historic District Design Guidelines prior to issuance of full building permit. No new lighting is permitted as part of this deck upgrade. Excessive exterior lighting on, around or under porches, decks, etc. shall not be permitted.
10. The building colors shall include a body and trim color. A third accent color may be utilized. The colors shall be complementary of each other, but provide sufficient visual contrast. The Guidelines encourage neutral earth-tone colors and hues. A Paint Application shall be submitted for review and approved by the Preservation Planner prior to the issuance of full building permit.
11. All standard conditions of approval shall apply.
12. This approval shall expire on July 8, 2003, if a building permit has not been issued within a year of this approval.

ACTION LETTER - 322 Main Street

July 8, 2003

Page 3

Any person who submitted written comment on a proposal, the owner of any property within three hundred (300) feet of the boundary of the subject site, or the owner of the subject property may appeal to the Historic District Commission any action pertaining to the approval or denial. The petition must be filed in writing with the Planning Department within ten (10) calendar days of a Planning Staff decision.

Respectfully,



Derek Satchell
Preservation Planner

CDD STAFF APPROVAL REPORT

DATE: June 16, 2003
DEPARTMENT: Planning Department
AUTHOR: Derek Satchell
TITLE: 322 Main Street - Design Review of Modifications
to an Existing Historic Commercial Building
TYPE OF ITEM: Work Session

FILE COPY

SUMMARY RECOMMENDATIONS: Staff to approve with the following Findings of Fact, Conclusions of Law and Conditions of Approval.

A. PROJECT STATISTICS

Applicant: Mary Lou Toly
Location: 322 Main Street
Proposal: Design review for modifications to an existing historic
commercial building
Zoning: Historic Commercial Business (HCB) zone
Adjacent Land Uses: Commercial
Date of Application: May 20, 2003

B. BACKGROUND

The applicant is proposing to structurally upgrade the existing non-historic deck located on the front facade of the historic building. Additionally, the applicant is proposing to make the re-built deck accessible for outdoor dining. This idea was formerly presented to the HDC on June 21, 1999. At that time, the applicant was also a 1999 HDC grant recipient. During the meeting, the HDC had expressed general support for the work, and in making the deck accessible, but was concerned about using HDC grant monies to make improvements to an existing non-historic feature on the building. No action was taken and the file was eventually deemed inactive and closed by the CDD. On May 20, 2003, the applicant resubmitted the same information to proceed with the work. Because grant monies will not be used, the applicant is seeking action.

C. ANALYSIS

The applicant proposes to remove the existing non-historic exterior deck, and replace it in-kind with a new structurally upgraded one. Additionally, the deck will be made accessible to the general public for outdoor dining on the premises. The work has been reviewed and approved by the Chief Building Official for compliance with the Uniform Building Code. The building is located within the Historic Commercial Business District (HCB), and the Main Street Historic District.

Outlined below are specific Historic District Design Guidelines which relate to the proposed alterations to this property:

Historic District Guidelines for Commercial Renovation

Guideline #1: Maintain the Stepping Alignment of Storefronts

- The top edge of most storefronts is usually defined by a horizontal band.
Finding: Not Applicable. The historic building shall maintain its current architectural configuration.

Guideline #2: Maintain Original Storefront Openings.

- The size and shape of the original windows and doors are important historic characteristics.
Finding: Not Applicable. The proposal does not include any changes to the existing storefront openings.

Guideline #3: Maintain Original Storefront Components.

- Most storefronts have similar components that are combined in different ways for each building, but the repetition of these standard elements creates an important visual unity on the street.
Finding: Not Applicable. The proposal does not include any changes to the existing storefront components.

Guideline #4: Maintain Original Upper Story Windows.

- The size and shape of these windows contribute to the character of the building front, and when repeated along the street, creates a visual unity.
Finding: Not Applicable. There are no upper story windows on the front facade of this building. However, the building does maintain an articulated facade pattern consisting of decorative siding and trim elements. The proposed new door will incorporate the same siding and trim treatment in order not to disrupt the existing architectural pattern of the wall.

Guideline #5: Preserve the Pattern Created by Recessed Entrances

- Most buildings have a recessed entry, and when repeated along the street, they create an important visual pattern.
Finding: Not Applicable. The existing recessed entry below will not be affected.

Guideline #6: Preserve Original Door Proportions.

- Retain original doors where feasible.
Finding: Not Applicable. The proposal does not include any changes to the existing storefront components.

Guideline #7: Preserve the Original Dimensions of Window and Door Frames

Frames used historically were wider than many stock frames available today. Narrow frames will alter the proportions of these openings, and negatively affect the historic integrity of the building.

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Guideline #7: Preserve the Original Dimensions of Window and Door Frames

Frames used historically were wider than many stock frames available today. Narrow frames will alter the proportions of these openings, and negatively affect the historic integrity of the building.

Finding: Not Applicable. The proposal does not include any changes to the existing window and door components. The new access door on the second level will incorporate a "hidden" frame so as not to visually draw attention to it.

Guideline #8: Consider Using Awnings or Canopies to Provide Color and Depth to the Facade.

- Awnings are appropriate on most storefronts and upper story windows, and can reinforce the color scheme of the facade.

Finding: Not Applicable. The applicant is not proposing any awnings or canopies.

Guideline #9: Avoid Concealing Original Facade Materials.

- Brick, clapboards, and stone have interesting colors and textures that are assets to individual buildings and to the street.

Finding: Not Applicable. No original historic facade materials will be concealed as a result of this application.

Guideline #10: Leave Brick Unpainted Where Feasible.

- The original finish of masonry is historically important, and should be retained unless the condition is so poor that a protective coating is necessary. Sandblasting the brick will not be approved.

Finding: Not Applicable. There is no historic masonry on the front facade of this building.

Guideline #11: Retain the Original Shape of the Clerestory Glass.

- The shape of this glass panel is important to the proportion of the storefront.

Finding: Not Applicable. No clerestory glass exists.

Guideline #12: Retain the Kickplate as a Decorative Panel.

- Restore the kickplate if it is missing. Wood is preferred in most cases, but masonry may be appropriate.

Finding: Not Applicable. No kickplates exists on the facade fronting the street.

Guideline #13: Reconstruct a missing Cornice When Historic Evidence is Available.

- Historic buildings need a cornice to cap the facade. Their repetition along the street also contributes to the stair-step alignment.

Finding: Not Applicable. The existing historic cornice on the building shall remain intact.

Guideline #14: Maintain Established Horizontal Lines When Using Simplified Versions of Original Cornices.

- Most original cornices in Park City were simple in their design to begin with, and will be easy to replicate.

Finding: Not Applicable. The existing historic cornice on the building shall remain intact.

Guideline #15: Replace Decoration Where it was Known to Existed, If Feasible.

- A special concern is what to do in a renovation where details are missing. Use remaining pieces to reproduce missing parts if they exist.

Finding: Not Applicable. The prosed design does not incorporate any replication of missing exterior decoration.

Guideline #16: Contemporary Interpretation of the Original Historic Storefront design May Be Appropriate Where Original is Lost.

- If good evidence of the original condition is not available, a simple design using standard storefront components is acceptable.

Finding: Not Applicable. The prosed design does not incorporate any replication of missing exterior decoration.

Guideline #17: Trim Materials Should be Subordinate to the Major Facade Materials.

- Brick and wood are the major facade materials used in the Historic Commercial District.

Finding: Not Applicable. The prosed design does not incorporate any replication of missing exterior decoration.

D. RECOMMENDATION

Staff approves the modifications to the existing historic commercial property located at 322 Main Street pursuant to the following Findings of Fact, Conclusions of Law and Conditions of Approval:

Findings of Fact

1. The findings discussed in the analysis section of this report are incorporated herein.
2. The existing structure is historic.
3. The existing deck is not historic.
4. This idea of making the deck accessible to the public for outdoor dining was reviewed by the HDC on June 21, 1999, and was generally supported.
5. The incorporation of a door on the upper facade will need to be executed in a manner that will not disrupt the existing architectural pattern of the wall.
6. The existing structure is located within the HCB zone.

Conclusions of Law

1. The proposed work complies with the Park City Historic District Design Guidelines as conditioned.

Conditions of Approval

1. Receipt and approval of a Construction Mitigation Plan (CMP) by the Community Development Department is a condition precedent to the issuance of **any** building permit.

2. The final building plans and construction details shall reflect substantial compliance with the drawings dated May 20, 2003, and as reviewed and approved by the Preservation Planner on July 8, 2003.
3. The General Contractor shall field verify all existing conditions prior to executing any work and match replacement materials/features accordingly. All discrepancies found between the final approved plans and the existing conditions must be reported to the Preservation Planner for direction prior to construction.
4. Repair and retain all existing historic wood siding and missing trim elements (ex: corner boards, fascia boards, etc.) in kind. All ghost outlines and general wear exhibited by the existing original wood siding shall remain. Replacement of any original wood siding or trim elements shall be made only in cases of structural failure or major deterioration. All replacement or missing elements (ex: corner boards, fascia boards, etc.) shall match existing historic material in profile, dimension, configuration, texture and finish as determined by the Preservation Planner, according to the HDC's Illustrated Building Materials Handbook.
5. The new exterior deck shall match in size, shape, configuration, material, overall construction, etc. to the original. No expansion of the deck is permitted. The flooring of the deck may be stained/treated redwood, or Trek material in a neutral color. The underside of the deck shall be covered in beadboard material and painted out to match that of the building.
6. Any change in use and occupancy may result in a modification to the deck pursuant to compliance with International Building Code and LMC requirements.
7. The new exterior second-story facade shall incorporate a single, 3'x6'-8" door for access. This new door shall be located within one of the existing decorative bays on the front facade and open into the building. The door shall be solid, and faced with the existing wood siding removed from said area in order to accommodate the door. This sided finish of the door shall align with the siding found on the adjacent surrounding exterior wall surface.
8. The new deck shall incorporate porch brackets (on the underside of the deck) centered on each post. The type, profile and general dimensions of the wood brackets shall be reviewed and approved by the Preservation Planner according to the HDC's Illustrated Building Materials Handbook, prior to the issuance of full building permit.
9. All existing exterior lighting fixtures (including lighting for signing) shall be upgraded for compliance with the Park City Light Code. All fixtures, quantity and design shall be reviewed and approved by the Preservation Planner for compliance with the Land Management Code and the Historic District Design Guidelines prior to issuance of full building permit. No new lighting is permitted as part of this deck upgrade. Excessive exterior lighting on, around or under porches, decks, etc. shall not be permitted.
10. The building colors shall include a body and trim color. A third accent color may be utilized. The colors shall be complementary of each other, but provide sufficient visual contrast. The Guidelines encourage neutral earth-tone colors and hues. A Paint Application shall be submitted for review and approved by the Preservation Planner prior to the issuance of full building permit.
11. All standard conditions of approval shall apply.
12. This approval shall expire on July 8, 2003, if a building permit has not been issued within a year of this approval.

EXHIBITS

Exhibit A - Location Map

Exhibit B - Floor Plans

Exhibit C - Elevations

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322 Main Street

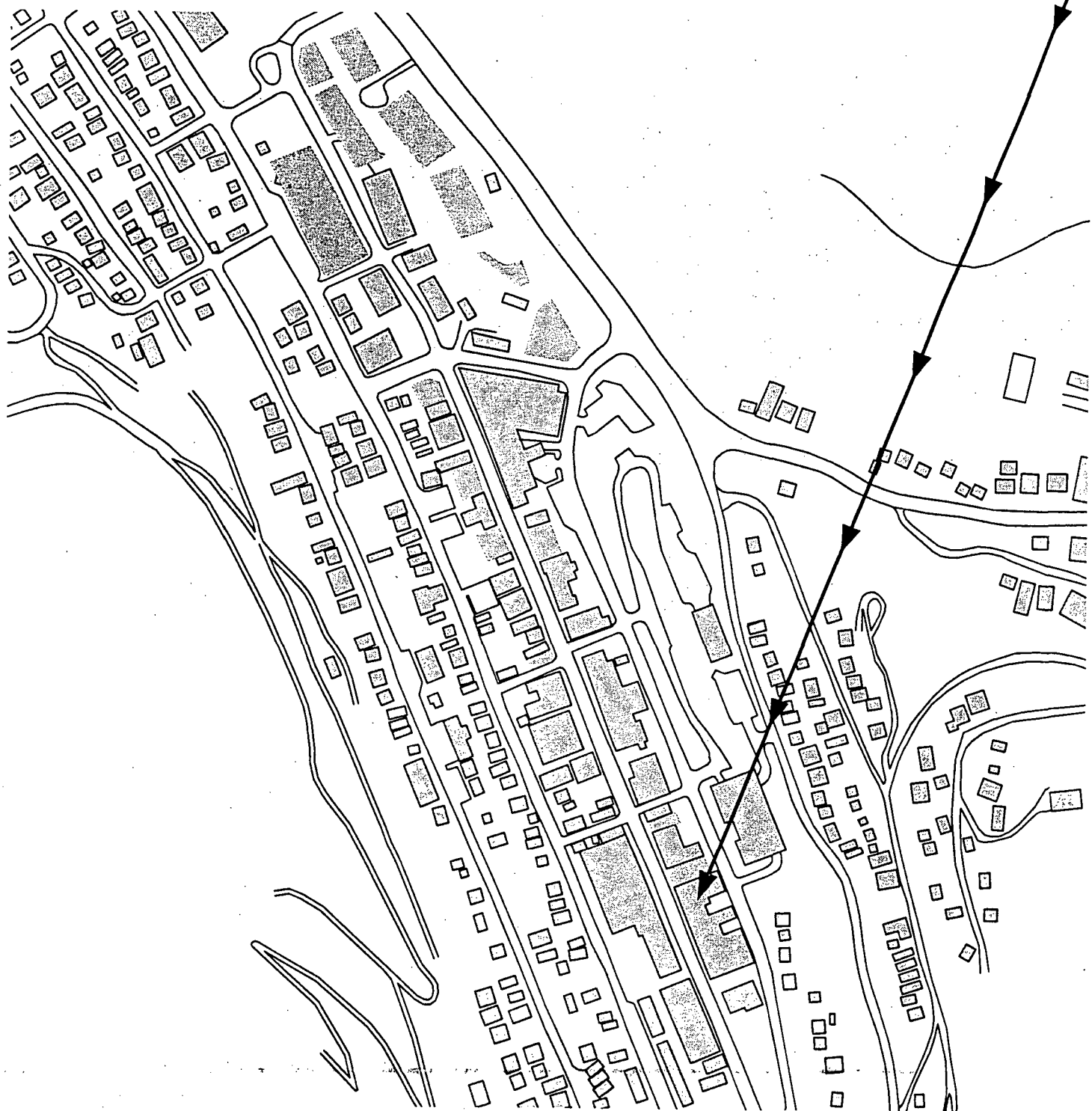
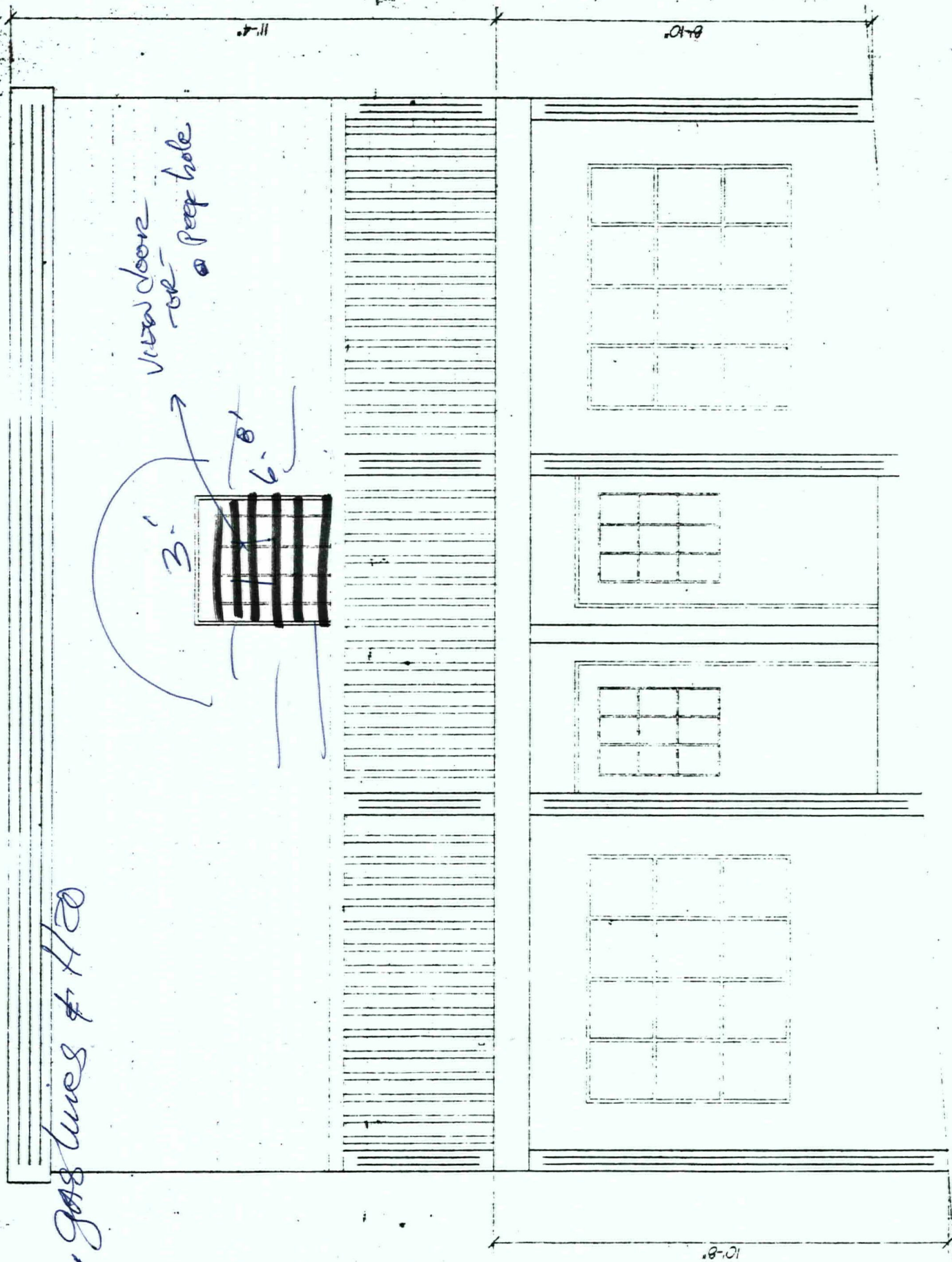


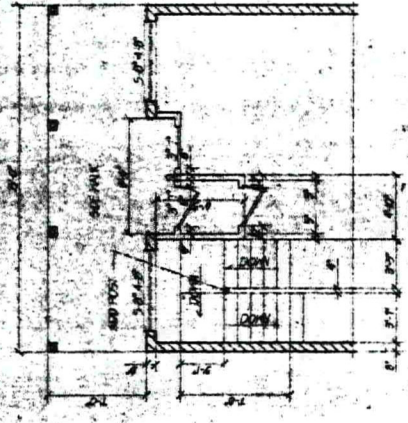
Exhibit A Vicinity Map



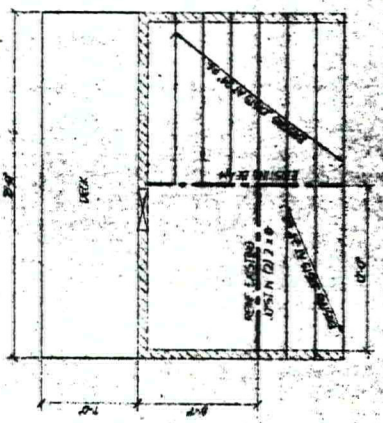




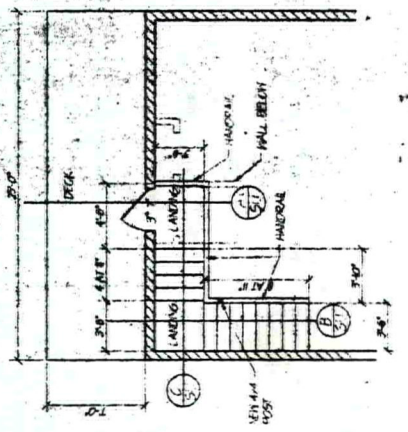
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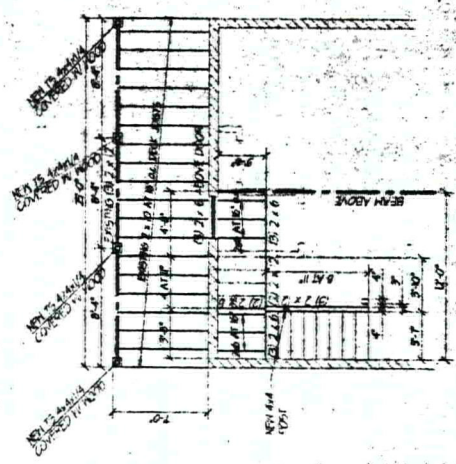
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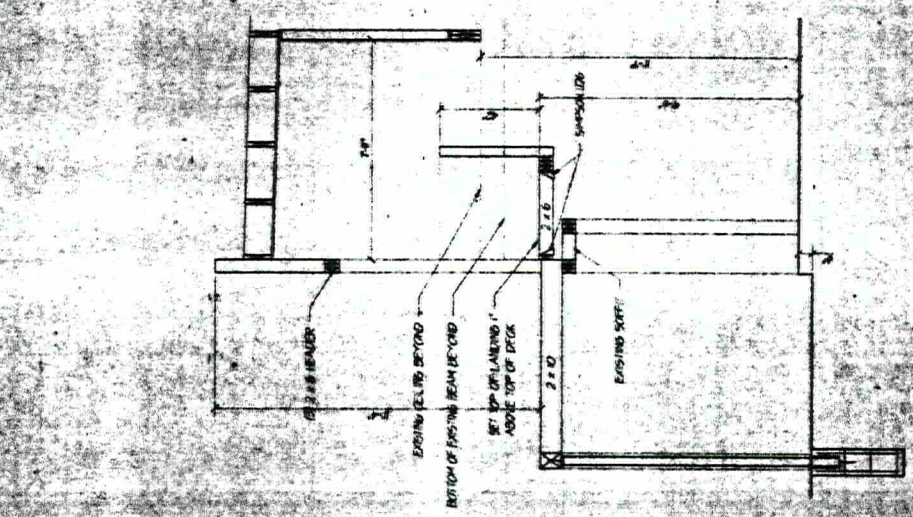
2 EXISTING CEILING FRAMING



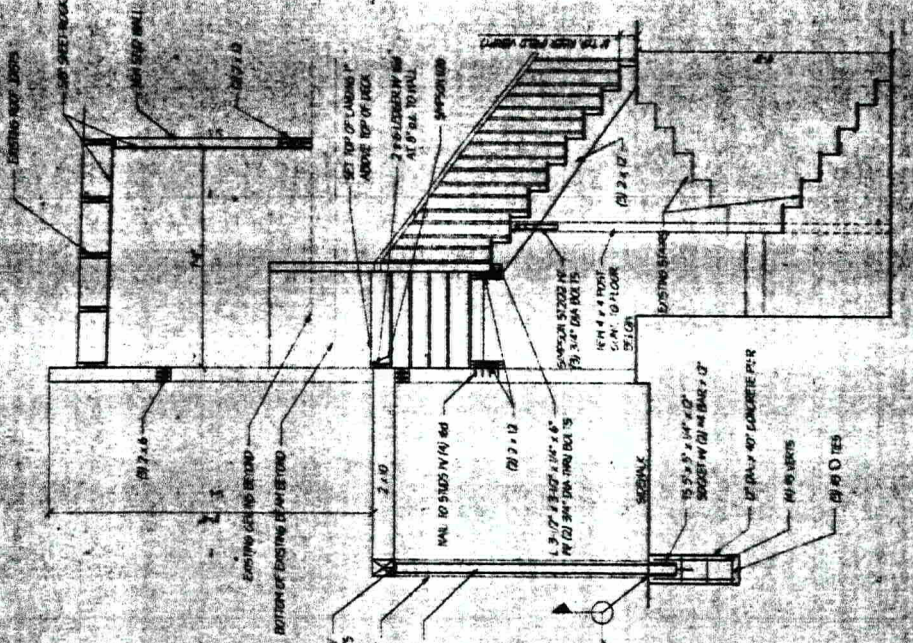
3 NEW DECK AND STAIR PLAN



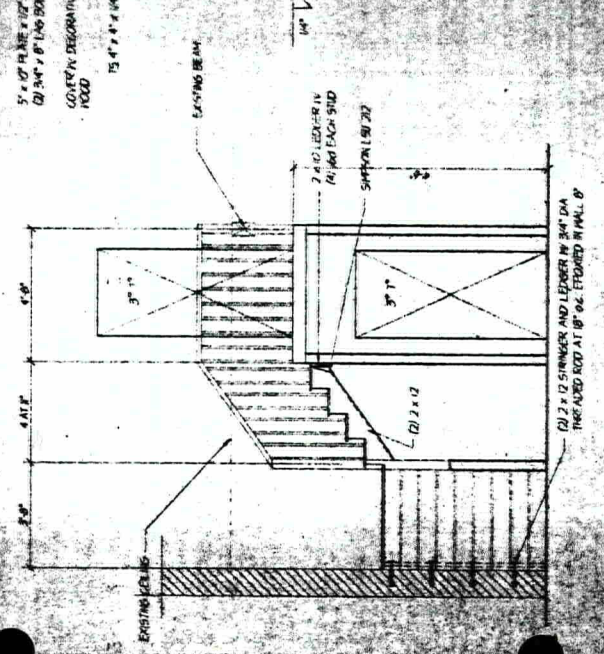
4 NEW DECK AND STAIR FRAMING PLAN



1 CROSS SECTION



2 STAIR SECTION



3 STAIR SECTION

RECEIVED
 MAY 20 2003
 PARK CITY
 PLANNING DEPT.





FILE COPY

Building • Engineering • Planning

July 27, 2010

Red Banjo
Tana Ireland
PO Box 489
Park City, UT 84060

NOTICE OF PLANNING DEPARTMENT ACTION

<u>Application #</u>	PL-10-01002
<u>Subject</u>	Street Dining on Main at Red Banjo
<u>Description</u>	Administrative Conditional Use Permit
<u>Action Taken</u>	Approved
<u>Date of Action</u>	July 16, 2010

On July 16, 2010 the Park City Planning Department Staff made an official determination of approval of your application based on the following:

Findings of Fact

1. The proposed use is located at 322 Main Street.
2. The site is currently within the HCB District.
3. Outdoor dining requires an Administrative Conditional Use Permit subject to the criteria outlined in LMC § 15-2.12(B)(1).
4. The outdoor dining is to be located on the Street adjacent to the restaurant.
5. The application, as conditioned, complies with all requirements of the LMC § 15-2.6-12(B)(1).
6. The proposed street dining area is within proposed leased public property.
7. The proposed street dining deck is for a business that is current in the 1984 Main Street Parking Special Improvement District assessment and has fully paid for parking.
8. The overall stock of parking spaces on Main Street will not be negatively impacted by the loss of two (2) parking spaces.
9. The street dining deck does not diminish any landscaping.
10. The proposed street dining deck and also the sidewalk between the building and the proposed street dining deck will exceed the minimum of three feet and eight inches (44 inches) of clearance at all times to comply with ADA access; the sidewalk will maintain a width of seven (7') feet; as it currently exists.
11. In case of an emergency, including but not limited to, a flood, a storm drain

issue, utility issue, the structure may be removed or damaged by response teams at the cost of the owner.

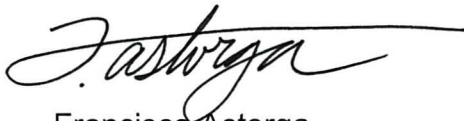
12. The proposed furniture and actual street dining deck will be compatible with the streetscape.

Conditions of Approval

1. The applicant shall sign the lease agreement and shall comply with the terms and conditions of the lease.
2. The applicant shall also comply with the Street Dining Operational Restrictions as outlined on Attachment 1 of the lease agreement.
3. The deck shall encroach a maximum of seven feet nine inches (7'-9") from the curb line onto the street. The deck may encroach a maximum of one foot three inches (1'-3") from the curb line into the sidewalk if the desire as indicated on the Operational Restrictions.
4. A minimum 44" aisle clearance shall be maintained for pedestrian circulation and emergency access at all times. The applicant is proposing to maintain a seven foot (7') wide walking area on the sidewalk.
5. Nothing herein shall allow any violation to the International Fire Code, International Building Code, or Park City Municipal Code, including any violation of the Municipal Noise Ordinance.
6. The use will not be allowed after 10:00 p.m.
7. Proposed furniture including umbrellas shall not be installed until the Park City Building Dept. receives, reviews, and approves corresponding fire resistance certificates. The applicant shall also provide fabric samples for the Park City Building Dept. to perform a burn test.

If you have questions regarding your project or the action taken please don't hesitate to contact me at 435.615.5064 or fastorga@parkcity.org.

Respectfully,



Francisco Astorga
Planner



Administrative Conditional Use Permit Staff Report

Application: PL-10-01002
Subject: Street Dining on Main at Red Banjo
Author: Francisco Astorga
Date: July 16, 2010
Type of Item: Staff Approval – Administrative Conditional Use Permit

Action Summary

Staff reviewed the project for outdoor dining at 322 Main Street for compliance with Land Management Code § 15-2.6-12(B)(1) and approved the application according to the Findings of Fact, Conclusions of Law, and Conditions of Approval incorporated herein.

Description

Project Name: Red Banjo Street Dining on Main
Applicant: Tana Ireland
Location: 322 Main Street
Zoning: Historic Commercial Business (HCB) District
Adjacent Land Uses: Retail
Reason for Review: Outdoor Dining requires an Administrative Conditional Use Permit with Staff Review and Planning Department approval

Background

Tana Ireland, owner of Red Banjo, is requesting to build a temporary street dining deck on Main Street. The proposed deck is nine feet (9') wide and the length of the linear frontage of their building on Main Street (Exhibit A), which is twenty-four feet (24'). The applicant requests to use the street dining deck for outdoor dining from May 1 to October 30.

The City Council reviewed the applicant's request to utilize the Main Street right-of-way during their July 15, 2010 meeting. The Council approved the lease of City property/right-of-way for the use of street dining. The Council approved the deck to a maximum of width of nine feet (9') which includes a maximum encroachment from the curb line into the street of seven feet nine inches (7'-9") and a maximum encroachment from the curb line into the sidewalk of one foot three inches (1'-3"). The applicant is proposing to only use the 7'-9" width within the street; due to the posts in the sidewalk that support their second story deck, the 1'-3" encroachment into the sidewalk does not provide enough additional deck space to support the construction costs.

Analysis

Staff has attached a copy of the approved lease agreement that will be executed with the applicant prior to construction of any street dining deck (Exhibit B). Staff has also prepared operational restrictions. Any seasonal lease the City enters into would: regulate the time and duration of the use, provide for consistency in look and materials, ensure the aesthetic value of the Historic District is maintained by preventing visual clutter, preventing conflicts with Special Events/Master Festival Licenses, mitigating for conflicting uses in the public right-of-way, ensuring for clean sidewalks, and providing an ongoing monitoring mechanism and revocation provision for failure to comply with regulation.

The site is within the HCB District, which permits outdoor dining, subject to the following criteria set forth in LMC § 15-2.6-12(B)(1):

- a) The proposed seating Area is located on private Property or leased public Property and does not diminish parking or landscaping. **Complies as mitigated.**

The proposed street dining area is within proposed leased public property. The Council approved the lease of City property/right-of-way for the use of street dining. The proposed street dining deck is for a business that is current in the 1984 Main Street Parking Special Improvement District assessment and has fully paid for parking. Lots which were current in the 1984 parking assessment are exempt from the parking obligation for a floor area ratio (FAR) greater than 1.5. The parking area where the street dining deck is proposed will reduce the overall stock of Main Street parking by two (2) parking spaces. Due to the temporary nature of the request, occurring from the beginning of May to the end of October, staff finds the overall stock of parking spaces on Main Street will not be negatively affected by the loss of two (2) parking spaces. The street dining deck does not diminish any landscaping.

- b) The proposed seating Area does not impede pedestrian circulation. **Complies as mitigated.**

The proposed street dining deck and also the sidewalk between the building and the proposed street dining deck will exceed the minimum of three feet and eight inches (44 inches) of clearance at all times to comply with ADA access; the sidewalk will maintain a width of seven (7') feet; as it currently exists.

- c) The proposed seating Area does not impede emergency Access or circulation. **Complies as mitigated.**

Due to the temporary nature of the street dining deck, emergency access vehicles will have the ability to access the street dining deck to service any emergency if necessary. In case of an emergency, including but not limited to, a flood, a storm drain issue, utility issue, the structure may be removed or damaged by response teams at the cost of the owner.

- d) The proposed furniture is Compatible with the Streetscape. **Complies as mitigated.**

As designed, the proposed furniture and actual street dining deck will be compatible with the streetscape and it will complement the historic district. The deck and furniture are being reviewed to meet the Main Street Historic District Design Guidelines.

- e) No music or noise is in excess of the City Noise Ordinance, Title 6. **Complies as mitigated.**

The use shall be in compliance of the City Noise Ordinance.

- f) No Use after 10:00 p.m. **Complies as mitigated.**

Street Dining will not be permitted after 10:00 p.m.

- g) No net increases in the Restaurant's seating capacity without adequate mitigation of the increased parking demand. **Complies as mitigated.**

Due to the temporary nature of the request taking place from the beginning of May to the end of October, staff finds that the parking demand based on the restaurant's seating capacity will not be increased; the assumption being that patrons who would otherwise sit inside for dining will choose to sit outside instead.

At a recent City Council meeting, it was determined that the term of the street dining deck shall automatically renew each year for a total of three (3) years terminating on October 30, 2012, unless terminated earlier as provided in the lease agreement. The property may only be utilized for a six (6) month period commencing on May 1st and terminating on October 30th each year except for the period of the Arts Fest (the first Friday, Saturday and Sunday of August), unless the applicant has negotiated an agreement that allows the deck to remain. An annual review by the City Council, with input from the Planning Department, will be conducted by April 1st of each year.

Process

The approval of this application constitutes Final Action that may be appealed following the procedures found in LMC § 15-1-18. Staff review of a Building

Permit is not publicly noticed nor subject to review by the Planning Commission unless appealed.

Notice

The property was posted ten (10) days prior to final action. Courtesy mailing was sent to adjacent affected property owners ten (10) days prior to final action.

Public Input

No public input has been received.

Significant Impacts

There are no significant fiscal or environmental impacts from this application.

Action Summary

Staff reviewed the project for outdoor dining at 322 Main Street for compliance with Land Management Code § 15-2.6-12(B)(1) and approved the application according to the Findings of Fact, Conclusions of Law, and Conditions of Approval incorporated herein.

Findings of Fact:

1. The proposed use is located at 322 Main Street.
2. The site is currently within the HCB District.
3. Outdoor dining requires an Administrative Conditional Use Permit subject to the criteria outlined in LMC § 15-2.12(B)(1).
4. The outdoor dining is to be located on the Street adjacent to the restaurant.
5. The application, as conditioned, complies with all requirements of the LMC § 15-2.6-12(B)(1).
6. The proposed street dining area is within proposed leased public property.
7. The proposed street dining deck is for a business that is current in the 1984 Main Street Parking Special Improvement District assessment and has fully paid for parking.
8. The overall stock of parking spaces on Main Street will not be negatively impacted by the loss of two (2) parking spaces.
9. The street dining deck does not diminish any landscaping.
10. The proposed street dining deck and also the sidewalk between the building and the proposed street dining deck will exceed the minimum of three feet and eight inches (44 inches) of clearance at all times to comply with ADA access; the sidewalk will maintain a width of seven (7') feet; as it currently exists.
11. In case of an emergency, including but not limited to, a flood, a storm drain issue, utility issue, the structure may be removed or damaged by response teams at the cost of the owner.
12. The proposed furniture and actual street dining deck will be compatible with the streetscape.

Conditions of Approval:

1. The applicant shall sign the lease agreement and shall comply with the terms and conditions of the lease.
2. The applicant shall also comply with the Street Dining Operational Restrictions as outlined on Attachment 1 of the lease agreement.
3. The deck shall encroach a maximum of seven feet nine inches (7'-9") from the curb line onto the street. The deck may encroach a maximum of one foot three inches (1'-3") from the curb line into the sidewalk if the desire as indicated on the Operational Restrictions.
4. A minimum 44" aisle clearance shall be maintained for pedestrian circulation and emergency access at all times. The applicant is proposing to maintain a seven foot (7') wide walking area on the sidewalk.
5. Nothing herein shall allow any violation to the International Fire Code, International Building Code, or Park City Municipal Code, including any violation of the Municipal Noise Ordinance.
6. The use will not be allowed after 10:00 p.m.
7. Proposed furniture including umbrellas shall not be installed until the Park City Building Dept. receives, reviews, and approves corresponding fire resistance certificates. The applicant shall also provide fabric samples for the Park City Building Dept. to perform a burn test.

Exhibits

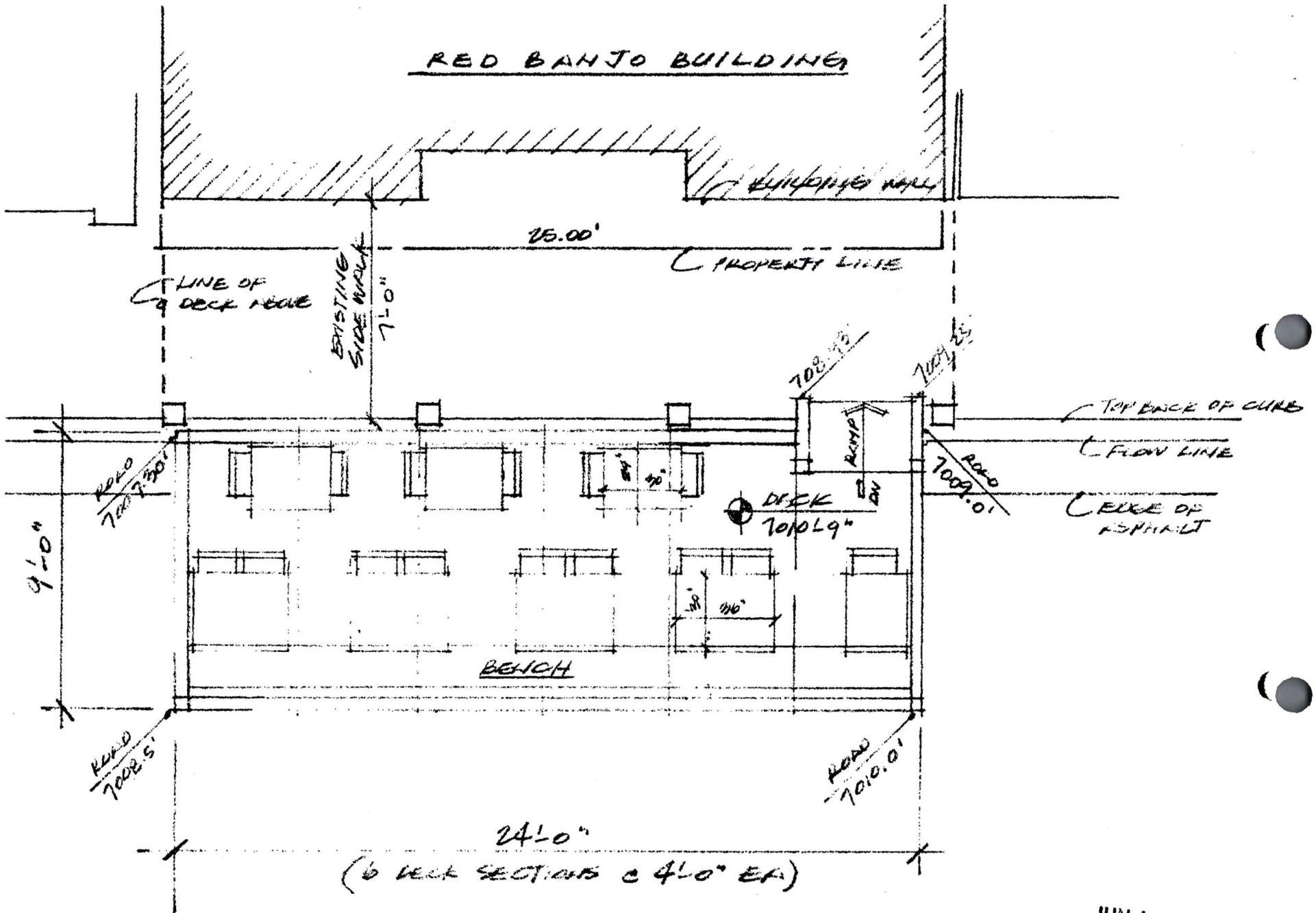
Exhibit A – Plans

Exhibit B – Lease and Operational Restrictions

**Red Banjo
322 Main Street
Street Dining Deck**



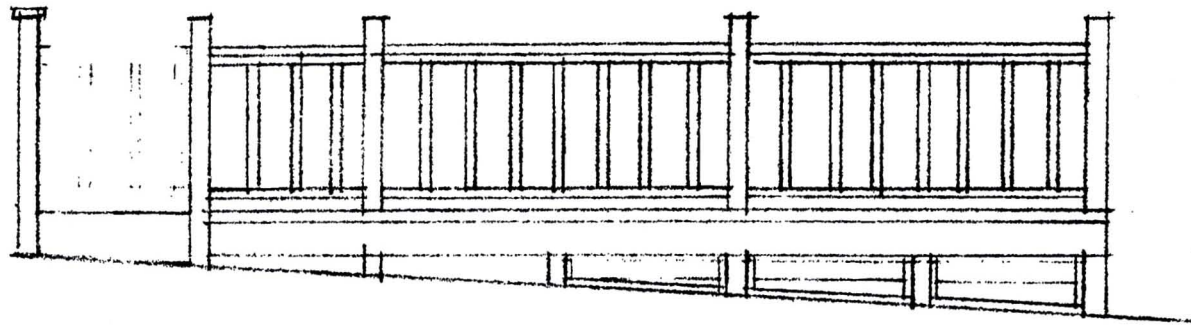
1 inch = 20 feet



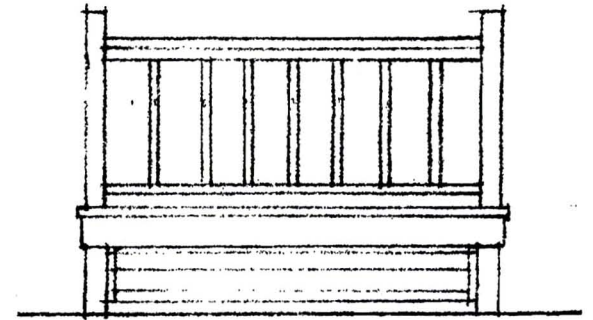
RED BANJO DECK

SCALE: 1/4" = 1'-0"

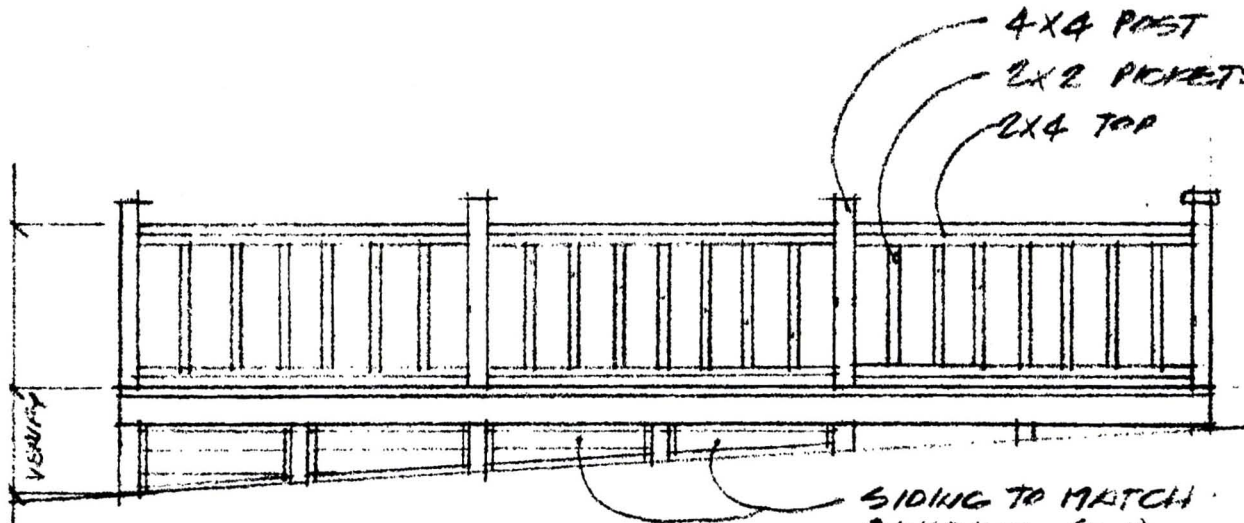
JUN 16 2010



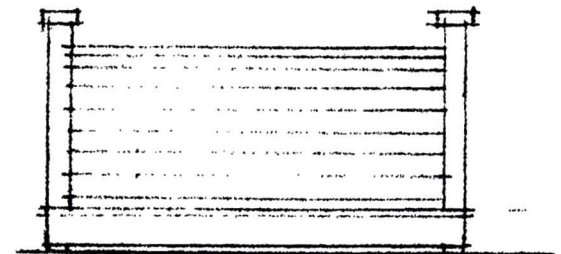
SIDEWALK ELEV.
1/4"



NORTH END
1/4"



MAIN ST. ELEV.
1/4"



SOUTH END
1/4"

JUN 16 2010

When recorded return to:
City Recorder
PO Box 1480
Park City UT 84060

**Fee Exempt per Utah Code
Annotated 1953 21-7-2**

**ENCROACHMENT PERMIT
322 MAIN STREET - MARY LOU TOLY**

THIS AGREEMENT is made by and between PARK CITY MUNICIPAL CORPORATION (City) and MARY LOU TOLY (Owner) to set forth the terms and conditions under which the City will permit the Owner to build and maintain certain improvements within the City street known as Main Street in front of and adjacent to 322 Main Street, Park City, Utah. Subject to the following terms and conditions of this agreement, Owner shall have the right to construct and maintain a column-supported balcony over the Main Street sidewalk in front of 322 Main Street.

1. MARY LOU TOLY is the owner of, and this encroachment agreement shall be appurtenant to, the following described property:

The northerly 20 feet of Lot 5, and the Southerly 5 feet of Lot 6, Block 22, Park City Survey, Park City Survey, Section 16, T2S, R4E, Salt Lake Base and Meridian, and Lot 6, Block 69, Park City Survey.

This agreement is not transferable to other property, but is freely transferrable with the title to these lots. The license and conditions as stated in the agreement, are binding on the successors in title or interest of Owner.

2. The improvements permitted within the City property described above shall consist of a column-supported balcony of a design approved by the Park City Building Department. No modifications to the balcony may be made without prior written permission from Park City Municipal Corporation. Park City's approval or lack thereof will be based on the Land Management Code, the Building Code, and the Historic District Design Guidelines in effect at the time of any requested modification.

3. Although it is not currently planned, the City may, at some future date, elect to make improvements to Main Street at this location and install overhead improvements to the full width of platted Main Street. Such overhead improvements may include, but are not limited to, street, lighting, bulbouts, or covered walkways. To the extent that any overhead improvements

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ALAN SPRIGGS, SUMMIT CO RECORDER
2003 JUL 17 11:08 AM FEE \$.00 BY DMG
REQUEST: PARK CITY MUNICIPAL CORP

require the removal, relocation, replacement, and/or destruction of the improvements the Owner may have built within the Main Street right-of-way, the Owner waives any right to compensation for the loss of the use of the balcony within the City street right-of-way and/or for any change in the grade and elevation of Main Street, its adjacent sidewalk and curb, and any related public improvements. This waiver of compensation, in the unlikely event the encroaching portions of the balcony are removed for purposes of installing overhead improvements or any other City improvements, is the consideration given for the granting of this encroachment permit.

4. Prior to installing City improvements in, along, or above Main Street and/or its adjacent sidewalks and curb in a manner that will require the removal or relocation of the balconies, the City will give the Owner sixty (60) days notice, in which time the Owner shall make adjustments and remodel the balcony as necessary to accommodate the changes in the City improvements within the Main Street right-of-way at Owner's cost.

5. No permanent right, title, or interest of any kind shall vest in the Owners in the City property by virtue of this agreement. The balcony may not be condominiumized or otherwise separately owned from the balance of the Owner's property. The property interest hereby created is a revocable license, and not an easement or other perpetual interest. No interest shall be perfected under the doctrines of adverse possession, prescription, or other similar doctrines of law based on adverse use, as the use hereby permitted is entirely permissive in nature.

6. The Owner or her successor shall maintain the balcony in a good state of repair at all times, and upon notice from the City, will repair any damaged, weakened, or failed sections. The Owner agrees to hold the City harmless and indemnify the City for any and all claims which might arise from third parties, who are injured as a result of the Owner's use of the Main Street right-of-way for private purposes, or from the failure of the Owner's improvements. The Owner agrees to maintain general liability insurance in effect in perpetuity, with an aggregate insurance value of not less than \$1,000,000.00 (one million dollars) per occurrence, and Park City shall be named as an Additional Insured by the Owner's insurance carrier.

7. This agreement shall be in effect until the license is revoked by the City. Revocation shall be effected by the City regarding a notice of revocation with the Summit County Recorder and sending notice to Owner or her successor.

DATED this 14th day of July, 2003.

PARK CITY MUNICIPAL CORPORATION

Eric W. DeHaan PE

Eric W. DeHaan, City Engineer

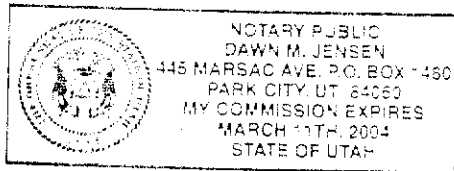
Attest: Sharon C. Bauman

Mary Lou Toly
Mary Lou Toly

STATE OF UTAH

COUNTY OF SUMMIT

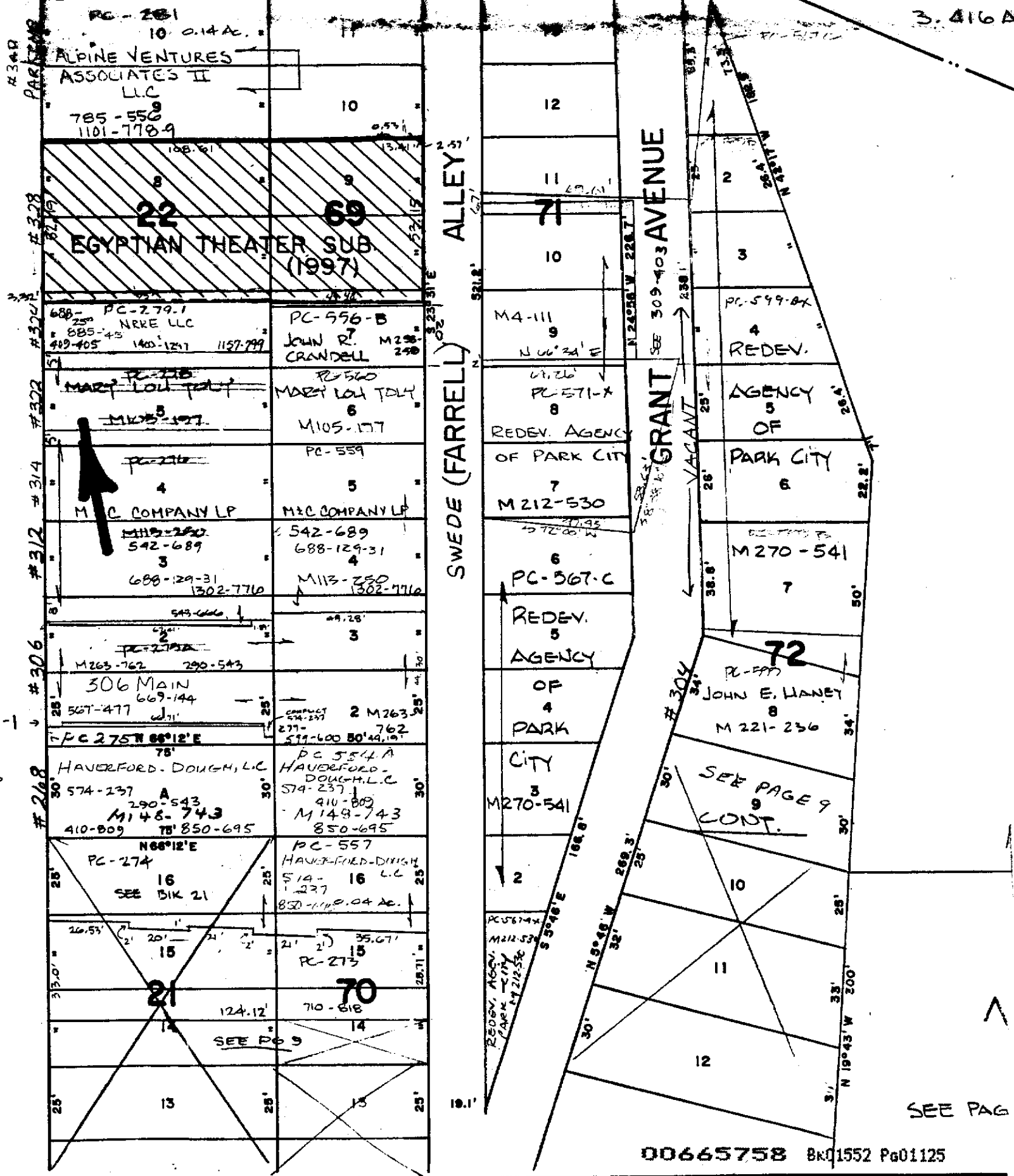
On the 14th day of July, 2003, personally appeared before me Mary Lou Toly, who, being first duly sworn and upon oath, did acknowledge to me that she is the owner of the property known as 322 Main Street, Park City, and that she signed this agreement freely and voluntarily.



Dawn M. Jensen
Notary Public
Residing at: Summit Co.

Commission expires: 3-11-2004

RECORDERS NOTE
DUE TO THE COLOR OF THE INK
OF THE NOTARY SEAL AFFIXED
TO THIS DOCUMENT, THE
SEAL MAY BE UNSATISFACTORY
FOR COPYING.



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SEE PAG

ved	REVISIONS - DATE AND INITIAL		(In Pencil)	
TaxComm	Sept 5 1999			
By				

SUMM

Planning Department Staff Report



Subject: 2428 Gilt Edge Circle
Application: PL-26-06848
Author: Jaron Ehlers, Planner I
Date: April 2, 2026
Type of Item: Extension of Plat Amendment

Recommendation

(I) Review the proposed Queen Esther Village No. 1 Extension of Plat Amendment, (II) conduct a public hearing, and (III) consider approval based on the Findings of Fact, Conclusions of Law, and Conditions of Approval outlined in the draft Final Action Letter (Exhibit A).

Description

Applicant: Queen Esther Village No. 1 HOA
Blayde McIntyre – Altitude Engineering, Applicant Representative
Stefanie Wilson, Applicant Representative

Location: 2428 Gilt Edge Circle

Zoning District: Residential Development

Adjacent Land Uses: Residential

Reason for Review: The Planning Director may consider an extension of a Plat Amendment.¹

LMC Land Management Code

Terms that are capitalized as proper nouns throughout this staff report are defined in LMC [§ 15-15-1](#).

Background

On March 26, 2025, the Planning Commission approved the Queen Esther Village No. 1 Units 11, 12, 14, 15, 18, 19, 20, 21, 22, 23, and 24 Amended Condominium Plat Amendment to Convert 855 Square Feet of Common Ownership to Limited Common Ownership and 819 Square Feet of Common Ownership to Private Ownership ([Meeting Packet](#), Item 5.C; [Minutes](#), p. 9-14).

Condition of Approval 2 from the Final Action Letter states: “The Applicant shall record the plat at the County within one year from the date of Planning Commission approval. If recordation is not complete within one year, this approval will be void, unless a request

¹ LMC [§ 15-7.1-6\(C\)\(4\)](#)

for an extension is made in writing prior to the expiration date and an extension is granted by the Planning Director” (Exhibit B).

On March 9, 2026, the Applicant requested an extension to the approved Plat Amendment in writing, prior to the March 26, 2026, expiration date (Exhibit C).

Analysis

Land Management Code [§ 15-7.1-6\(C\)\(4\)](#) states, “Applicants may request time extensions of the Planning Commission approval by submitting a request in writing to the Planning Department prior to expiration of the approval. The Planning Director may grant an extension to the expiration date when the Applicant is able to demonstrate no change in circumstance that would result in an unmitigated impact or that would result in a finding of non-compliance with the Park City General Plan or the Land Management Code in effect at the time of the extension request. Change in circumstance includes physical changes to the Property or surroundings. Notice shall be provided consistent with the requirements for a Final Plat in Section 15-1-12.”

There has been no change of circumstances, nor have there been any changes to the property or surroundings that would result in an unmitigated impact or finding of noncompliance.

The Applicant requests a one-year extension due to delays in obtaining required signatures and to allow for necessary corrections to be made to the plat prior to recording.

Department Review

The Planning Department and Executive Department reviewed this report.

Notice

Staff published notice on the City’s website and the Utah Public Notice website and posted notice to the property on March 19, 2026. Staff mailed courtesy notice to property owners within 300 feet on March 19, 2026.²

Public Input

Staff did not receive any public input at the time this report was published.

Alternatives

The Planning Director may:

- Approve the proposed Plat Amendment Extension.
- Deny the proposed Plat Amendment Extension and direct staff to make Findings for the denial.
- Request additional information and continue the discussion to a date certain.

Exhibits

² LMC [§ 15-1-21](#)

- A: Draft Final Action Letter
- B: 2025 Plat Amendment Final Action Letter
- C: Applicant's Extension Request



Planning Department

April 2, 2026

Blayde McIntyre

CC: Stefanie Wilson

NOTICE OF PLANNING DEPARTMENT ACTION

Description

Address: 2428 Gilt Edge Circle

Zoning District: Residential Development

Application: Plat Amendment Extension

Project Number: PL-26-06848

Action: APPROVED WITH CONDITIONS (See Below)

Date of Final Action: April 2, 2026

Project Summary: The Applicant Proposes a One-Year Extension to the Queen Esther Village No. 1 Plat Amendment Approved by the Planning Commission on March 26, 2025.

Action Taken

On April 2, 2026, the Planning Director conducted a public hearing and approved the Plat Amendment Extension according to the following findings of fact, conclusions of law, and conditions of approval.

Procedural History

1. On March 26, 2025, the Planning Commission approved the Queen Esther Village No. 1 Units 11, 12, 14, 15, 18, 19, 20, 21, 22, 23, and 24 Amended Condominium Plat to Convert a total of 855 Square Feet of Common Ownership to Limited Common Ownership and 819 Square Feet of Common Ownership to Private Ownership.

Findings of Fact

1. On March 9, 2026, the Applicant requested an extension to the approved Plat Amendment in writing, prior to the March 26, 2026, expiration date.



Planning Department

2. There has been no change of circumstances, nor have there been any changes to the property or surroundings that would result in an unmitigated impact or finding of noncompliance.
3. The Applicant requests a one-year extension due to delays in obtaining required signatures and to allow for necessary corrections to be made to the plat prior to recording.

Conclusions of Law

1. The Plat Amendment Extension is consistent with LMC § 15-7.1-3 *Classification of Subdivision*, § 15-7.1-6 *Final Subdivision Plat*, and Chapter 15-2.13 *Residential Development Zoning District*.
2. Neither the public nor any person will be materially injured by the proposed Plat Amendment.
3. Approval of the Plat Amendment, subject to the conditions below, does not adversely affect the health, safety, and welfare of the citizens of Park City.
4. The Applicant demonstrated that the proposal was the same as the Queen Esther Village No.1 Plat Amendment approved by the Planning Commission on March 26, 2025, and that there was no change in circumstance that would result in an unmitigated impact or that would result in a finding of non-compliance with the Park City General Plan or the Land Management Code, pursuant to LMC § 15-7.1-6(C)(4).

Conditions of Approval

1. The Applicant shall record the plat at the County within one year from Planning Director approval of extension. If recordation is not complete, this approval will be void.
2. All Conditions of Approval from the Queen Esther Village No. 1 Plat Amendment shall apply.

This Final Action may be appealed pursuant to LMC [§ 15-1-18](#). If you have questions or concerns regarding this Final Action Letter, please call (435) 615-5058 or email jaron.ehlers@parkcity.gov.

Sincerely,

Rebecca Ward
Planning Director



Planning Department

CC: Jaron Ehlers, Project Planner



Planning Department

March 26, 2025

Blayde McIntire

CC: Queen Esther Board of Trustees

NOTICE OF PLANNING COMMISSION ACTION

Description

Address: 2364, 2370, 2374, 2378, 2382, 2420, 2424, 2426, 2428, 2430, and 2434 Gilt Edge Circle

Zoning District: Recreation Development

Application: Condominium Plat Amendment

Project Number: PL-24-06292

Action: APPROVED WITH CONDITIONS (See Below)

Date of Final Action: March 26, 2025

Project Summary: The Applicant is Proposing to Convert 855 Square Feet of Common Ownership to Limited Common Ownership and 819 Square Feet of Common Ownership to Private Ownership in the Recreation Development Zoning District.

Action Taken

On March 26, 2025, the Planning Commission conducted a public hearing and approved the Queen Esther Village No. 1 Units 11, 12, 14, 15, 18, 19, 20, 21, 22, 23, and 24 Amended Condominium Plat Amendment according to the following findings of fact, conclusions of law, and conditions of approval:

Findings of Fact

1. Queen Esther Village No. 1 is in the Residential Development (RD) Zoning District.
2. Queen Esther Village No. 1 is governed by the Queen Esther Village Master Planned Development (MPD), which was first approved as a Planned Unit Development (PUD) by the Planning Commission on May 13, 1981.



Planning Department

3. On September 25, 2024, the Applicant applied for a Plat Amendment. The Applicant provided proof of the required two-thirds vote by the Homeowners Association (HOA) at time of application.
4. On December 16, 2024, Planning Staff issued a complete application notice to the Applicant.
5. The proposed Plat Amendment consists of 11 Units within the Queen Esther Village No. 1 Condominium (Summit County Recorder Entry No. 182974).
6. The affected units consist of two types, A and B.
7. The Plat Amendment proposes changes to both unit types. Unit Type A includes Units A12, A19, A22, and A24. Unit Type B includes Units B11, B14, B15, B18, B20, B21, and B23.
8. Unit Type A:
 - a. As shown on the Current Plat includes a 96-square-foot patio designated as Limited Common.
 - b. Although the Plat identifies this as the main floor for both Units A and B, only the patios for Unit A Types are impacted by this Plat Amendment. Over the years, patios constructed for Unit A Types have been larger than what is allowed by the Plat.
 - c. The Applicant requests to convert the Common Area around the patio to create an approximately 171-square-foot Limited Common patio for the participating units.
9. Unit Type B:
 - a. Unit B Types were constructed with a storage area platted as Private Ownership with a Common Area opening located under the upper-level deck.
 - b. The Applicant proposes to convert the 117-square-feet of Common Area under the upper-level deck to Private Ownership.
10. The proposal to amend the Queen Esther Village No. 1 Plat complies with the requirements of the Residential Development Zoning District outlined in Land Management Code (LMC) Chapter 15-2.13:
 - a. LMC § 15-2.13-2(B)(2) establishes Multi-Unit Dwellings as Conditional Uses subject to an MPD. The Queen Esther Village MPD was approved on May 13, 1981.
 - b. LMC § 15-2.13-3(B) establishes a Front Setback of 20 feet. The unit closest to the Front Setback is Unit B23, over 43 feet from the Front Lot Line.



Planning Department

- c. LMC § 15-2.13-3(D) establishes a Rear Setback of 15 feet. The closest affected unit, A18, is over 59 feet from the Rear Lot Line.
 - d. LMC § 15-2.13-3(F) establishes a Side Setback of 12 feet. The closest affected unit, B18, is over 15 feet from the western Side Lot Line.
 - e. LMC § 15-2.13-4 establishes a Building Height of 28 Feet from Existing Grade. As shown by the Boundary Survey, none of the buildings affected by this Plat Amendment exceed the allowed Building Height.
11. The proposal to amend the Queen Esther Village No. 1 Plat complies with the Off-Street Parking requirements outlined in Land Management Code Chapter 15-3.
- a. LMC § 15-3-6(B) establishes a parking requirement of two spaces for a Multi-Unit Dwelling 2,000 square feet or larger. Each unit has a two-car Garage and a driveway located outside the Setbacks. There are also seven parking spaces for community guests.
12. The proposal to amend the Queen Esther Village No. 1 Plat complies with the Subdivision Procedures outlined in LMC Chapter 15-7.1.
- a. Plat Amendments shall be reviewed according to LMC § 15-7.1-6, Final Subdivision Plat and approval requires (a) a finding of Good Cause, and (b) a finding that no Public Street, Right-of-Way, or easement has been vacated or amended.
 - b. There is Good Cause for the proposed Plat Amendment:
 - i. The Planning Commission shall make a finding as to good cause prior to approving a Plat Amendment. LMC § 15-15-1 defines Good Cause as “[p]roviding positive benefits and mitigating negative impacts, determined on a case by case basis to include such things as: providing public amenities and benefits, resolving existing issues and non-conformities, addressing issues related to density, promoting excellent and sustainable design, utilizing best planning and design practices, preserving the character of the neighborhood and of Park City and furthering the health, safety, and welfare of the Park City community.”
 - ii. Staff finds there is Good Cause for the Plat Amendment because:
 - 1. It corrects an existing non-conformity by reflecting as-built conditions for Unit Type A units.



Planning Department

2. It allows unused area to become usable for property owners of Unit Type B units without expanding the building envelope.
 - c. No Public Street, Right-of-Way, or easement is vacated or amended.
13. The Development Review Committee reviewed the proposal on November 5, 2024, and requires Conditions of Approval.
 - a. The Summit County Surveyor requires recordation of amended Covenants, Conditions, & Restrictions (CC&Rs) to reflect the Plat Amendment concurrent with recordation of the amended plat (Condition of Approval 3).
14. Staff published notice on the City's website and the Utah Public Notice website and posted notice to the property on March 12, 2025. Staff mailed courtesy notice to property owners within 300 feet on March 12, 2025. The Park Record published courtesy notice on March 12, 2025.

Conclusions of Law

1. There is Good Cause for this Condominium Plat Amendment because it corrects an existing non-conformity by reflecting as-built conditions for Unit Type A. Good Cause exists for Unit Type B because it allows for an unused area to become used by the property owner without expanding the building envelope.
2. The Plat Amendment is consistent with the Land Management Code, including Chapter 15-2.13 *Residential Development (RD) District*, Chapter 15-3, *Off-Street Parking Requirements*, and Chapter 15-7 *Subdivisions*.
3. Neither the public nor any person will be materially injured by the proposed Plat Amendment.
4. Approval of the Plat Amendment, subject to the conditions stated below, does not adversely affect the health, safety, and welfare of the citizens of Park City.

Conditions of Approval

1. The City Planner, City Attorney, and City Engineer shall review and approve the final form and content of the Plat Amendment for compliance with State law, the Land Management Code, and these Conditions of Approval, prior to recordation of the plat.
2. The Applicant shall record this Plat Amendment at the County within one year from the date of Planning Commission approval. If recordation has not occurred within one year's time, this approval for the plat will be void, unless a request for



Planning Department

an extension is made in writing prior to the expiration date and an extension is granted by the Planning Director.

3. The Applicant shall submit the "Eighth Amended and Restated Declaration of Condominium for Queen Esther Village Project 1, A Condominium Project" for review to the Planning Department. The "Eighth Amended and Restated Declaration of Condominium for Queen Esther Village Project 1, A Condominium Project" shall include:
 - a. A statement of purpose for the Plat Amendment,
 - b. A statement and date of the vote of two-thirds of Unit Owners in the affirmative to authorize the conversion of Common Area to Private Ownership Area,
 - c. An exhibit describing the boundary of the condominium project,
 - d. Parcel numbers for Units 1-26 of the Queen Esther condominiums,
 - e. Updated ownership percentages.
4. Prior to any enclosure of Private Ownership Area, this amended plat must be recorded and a Building Permit must be submitted and issued by the Park City Building Department.

If you have questions or concerns regarding this Final Action Letter, please call (435) 615-5058 or email jaron.ehlers@parkcity.org.

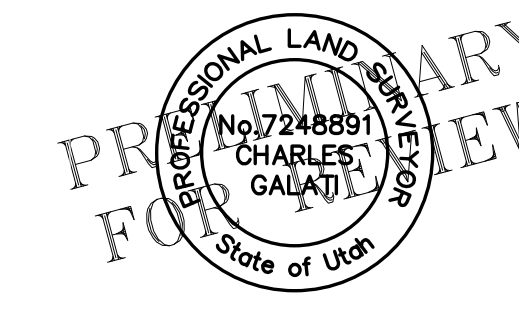
Sincerely,

Signed by:
A handwritten signature in blue ink, appearing to read "Sarah Hall", enclosed in a blue rectangular box.

3/26/2025

Sarah Hall, Planning Commission Chair

CC: Jaron Ehlers, Project Planner



I, Charles Galati, do hereby certify that I am a Professional Land Surveyor in the State of Utah and that I hold license number 724889 in accordance with Title 58, Chapter 22, Professional Engineers and Professional Land Surveyors Licensing Act. I further certify that I have completed a survey and have referenced a record of survey map of the existing property boundaries in accordance with Section 17-23-17 and have verified the boundary locations and have placed monuments as represented on the plat hereon, hereafter to be known as QUEEN ESTHER VILLAGE NO. 1, UNITS 11, 12, 14, 15, 18, 19, 20, 21, 22, 23 & 24 AMENDED.

LEGAL DESCRIPTION

UNITS 11, 12, 14, 15, 18, 19, 20, 21, 22, 23 & 24, CONTAINED WITHIN THE QUEEN ESTHER VILLAGE NO. 1, A UTAH CONDOMINIUM PROJECT, AS THE SAME IS IDENTIFIED IN THE RECORD OF SURVEY MAP RECORDED IN SUMMIT COUNTY, UTAH ON AUGUST 26, 1981 AS ENTRY NO. 182974, AND IN THE DECLARATION OF CONDOMINIUM FOR QUEEN ESTHER VILLAGE PROJECT NO. 1, (AND AS AMENDED) RECORDED IN SUMMIT COUNTY, UTAH, TOGETHER WITH THE UNDIVIDED INTEREST IN SAID CONDOMINIUM PROJECT'S COMMON AREAS AND FACILITIES, AS IS SPECIFIED, AND MAY BE AMENDED, IN THE DECLARATION OF CONDOMINIUM FOR QUEEN ESTHER VILLAGE PROJECT NO. 1, RECORDED IN SUMMIT COUNTY, UTAH.

BEGINNING AT A POINT WHICH IS SOUTH 66°45'00" EAST 184.00 FEET FROM CORNER NUMBER 2 OF THE QUEEN ESTHER NUMBER 10 MINING SURVEY 0979, SAID CORNER ALSO BEING THE MOST SOUTHEASTELY CORNER OF LOT 9, SOLAMERE SUBDIVISION NUMBER 1, AND MORE SPECIFICALLY DESCRIBED AS BEING NORTH 27.25 FEET AND EAST 4325.71 FEET FROM THE EAST QUARTER CORNER OF SECTION 16, TOWNSHIP 2 SOUTH, RANGE 4 EAST, SALT LAKE BASE AND MERIDIAN; AND RUNNING THENCE NORTH 23°15'00" EAST 140.00 FEET; THENCE NORTH 66°45'00" WEST 62.52 FEET; THENCE NORTH 9°31'08" EAST 17.43 FEET TO A POINT ON A 2000 FOOT RADIUS CURVE TO THE LEFT (CENTER BEARS NORTH 9°31'08" EAST 20.00 FEET OF WHICH THE CENTRAL ANGLE IS 76°01'08"); THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE 26.54 FEET TO A POINT OF TANGENCY; THENCE NORTH 23°30'00" EAST 66.57 FEET TO A POINT ON A 137.50 FOOT RADIUS CURVE TO THE LEFT (CENTER BEARS NORTH 66°30'00" WEST 137.50 FEET OF WHICH THE CENTRAL ANGLE IS 101°30'00"); THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE 40.40 FEET TO A POINT OF TANGENCY; THENCE NORTH 5°00'00" EAST 102.75 FEET; THENCE SOUTH 85°00'00" EAST 25.00 FEET TO A POINT ON A 30.00 FOOT RADIUS CURVE TO THE LEFT (CENTER BEARS SOUTH 85°00'00" EAST 30.00 FEET OF WHICH THE CENTRAL ANGLE IS 130°03'17"); THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE 70.71 FEET THENCE SOUTH 40°03'17" EAST 25.00 FEET; THENCE SOUTH 27°00'00" WEST 102.3 FEET; THENCE SOUTH 63°00'00" EAST 274.58 FEET; THENCE SOUTH 01°16'38" EAST 152.945 FEET TO A POINT ON A 77.50 FOOT RADIUS CURVE TO THE LEFT; (CENTER BEARS SOUTH 01°16'38" EAST 77.50 FEET OF WHICH THE CENTRAL ANGLE IS 38°13'22"); THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE 51.70 FEET TO A POINT OF TANGENCY; THENCE SOUTH 91°30'00" EAST 11.92 FEET TO A POINT ON A 112.50 FOOT RADIUS CURVE TO THE RIGHT; (CENTER BEARS SOUTH 80°30'00" WEST 112.50 FEET OF WHICH THE CENTRAL ANGLE IS 28°30'07"); THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE 55.96 FEET TO A POINT OF TANGENCY; THENCE SOUTH 84°40'00" EAST 106.15 FEET; THENCE SOUTH 16°00'00" WEST 258.00 FEET TO THE SOUTHERLY LINE OF THE QUEEN ESTHER NO. 10 MINING SURVEY NO. 0979; THENCE NORTH 66°45'00" WEST ALONG SAID SOUTHERLY LINE 051.05 FEET TO THE POINT OF BEGINNING. CONTAINS 4.7714 ACRES.

HOMEOWNER'S ASSOCIATION CONSENT TO RECORD

KNOW ALL BY THESE PRESENTS that the undersigned is the _____ of the _____ of the above described tract of land, and hereby causes the same to be amended as set forth to be hereafter known as QUEEN ESTHER VILLAGE NO.1 UNITS 11, 12, 14, 15, 18, 19, 20, 21, 22, 23 & 24 AMENDED.

In witness whereof, the undersigned set his hand this _____ day of _____, 202__.

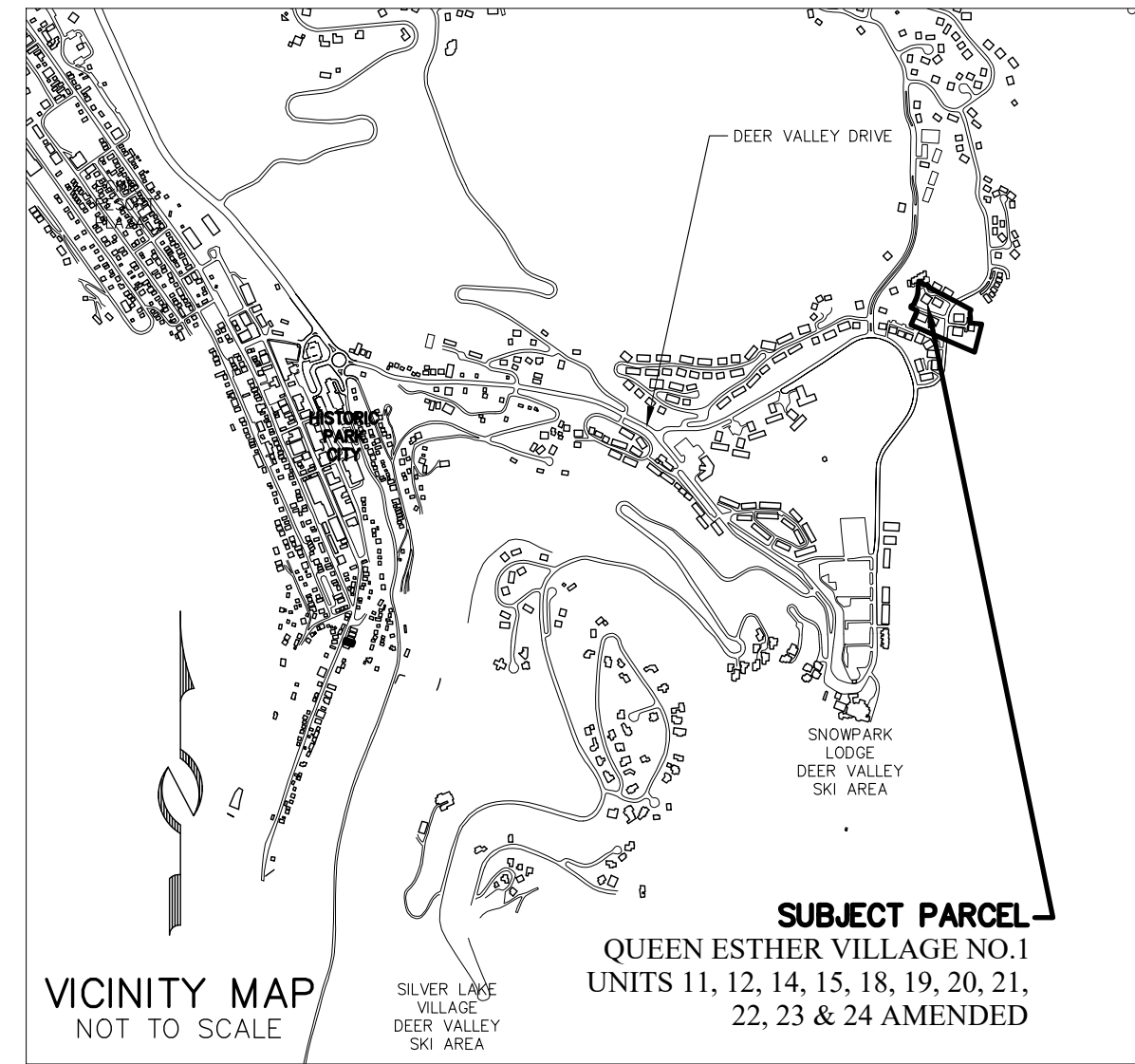
By: _____, its _____

ACKNOWLEDGEMENT

STATE OF UTAH)
) ss.
COUNTY OF SUMMIT)

On this _____ day of _____, 20____, _____ personally appeared before me, whose identity is personally known to me or proven on the basis of satisfactory evidence, and who by me duly sworn/affirmed, did say that he is signing as of the _____

Notary Public _____
Printed Name _____
Residing in: _____
My commission expires: _____
Commission No. _____



NOTES

- 1. This plat amendment is subject to the Conditions of Approval in Ordinance _____.
- 2. The purpose of this plat is to amend the main level of Units 11, 14, 15, 18, 20, 21 & 23 in order to change the common space under decks to private space. In addition, Limited Common Ownership of Units 12, 19, 22 & 24 will be amended as shown hereon. The purpose of this plat is also to clarify the private ownership as noted in Note 6 below and indicated hereon.
- 3. See Record of Survey S-11801 performed by Allterra Utah, dated November 24, 2024 on file and of record in the Office of the Summit County Recorder.
- 4. Interior Unit dimensions as shown were derived utilizing a combination of the dimensions shown in the original Queen Esther Village No. 1 Subdivision plat and a field survey of the exterior finished building surface. All interior dimensions running to a wall between Units are to the interior surface of that wall. Unless otherwise shown, all other interior dimensions are to the interior surface of the wall concerned.
- 5. The walls, floors and ceilings are boundaries of a Unit, and all paneling, tiles, wallpaper, painting, finished flooring and any other materials constituting any portion of the finished surfaces thereof are part of the Unit. All other portions of the walls, floors and ceilings are part of the Common Ownership.
- 6. When the project was originally built, the developer built private storage spaces on the lower levels of certain units indicated hereon as "PRIVATE OWNERSHIP CLARIFICATION" that were not indicated on the original plat. Each of these areas has been part of the private ownership of the associated adjoining Unit, will continue to be part of the private ownership of the associated adjoining Unit and are shown to clarify the aforementioned ambiguity.

ADDRESS TABLE

UNIT NO.	ADDRESS
11	2370 GILT EDGE CIRCLE
14	2374 GILT EDGE CIRCLE
15	2378 GILT EDGE CIRCLE
18	2382 GILT EDGE CIRCLE
20	2434 GILT EDGE CIRCLE
21	2430 GILT EDGE CIRCLE
23	2426 GILT EDGE CIRCLE

LINE TABLE

LINE	DIRECTION	LENGTH
L1	N 9°31'08" E	17.43'
L2	S 85°00'00" E	25.00'
L3	S 40°03'17" E	25.00'
L4	S 27°00'00" W	10.23'
L5	S 9°30'00" E	11.92'

CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD LENGTH
C1	20.00'	26.54'	76°01'53"	N 61°30'57" E	24.64'
C2	137.50'	44.40'	18°30'05"	N 14°14'58" E	44.21'
C3	30.00'	70.71'	135°02'03"	S 62°31'16" E	55.45'
C4	77.50'	51.70'	38°13'19"	S 9°36'39" W	50.75'
C5	112.50'	55.96'	28°30'01"	S 4°45'00" W	55.38'

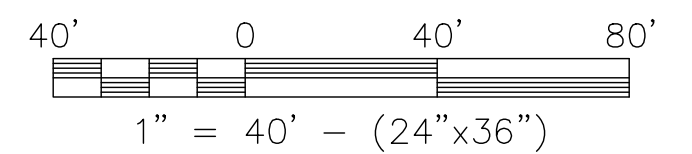
UNIT AREA TABLE

UNIT NO.	MAIN LEVEL AREA	UPPER LEVEL AREA	TOTAL UNIT AREA
11	809 SQ. FT.	1303 SQ. FT.	2112 SQ. FT.
14	809 SQ. FT.	1303 SQ. FT.	2112 SQ. FT.
15	809 SQ. FT.	1303 SQ. FT.	2112 SQ. FT.
18	809 SQ. FT.	1303 SQ. FT.	2112 SQ. FT.
20	809 SQ. FT.	1303 SQ. FT.	2112 SQ. FT.
21	809 SQ. FT.	1303 SQ. FT.	2112 SQ. FT.
23	809 SQ. FT.	1303 SQ. FT.	2112 SQ. FT.

QUEEN ESTHER VILLAGE NO. 1 UNITS 11, 12, 14, 15, 18, 19, 20, 21, 22, 23 & 24 AMENDED

LOCATED IN THE NORTHEAST QUARTER OF SECTION 15, TOWNSHIP 2 SOUTH, RANGE 4 EAST, SALT LAKE BASE AND MERIDIAN PARK CITY, SUMMIT COUNTY, UTAH

- LEGEND
- Found Monument (As-Noted)
 - Found Street Monument (As-Noted)
 - ◆ Section Corner
 - ▨ PRIVATE OWNERSHIP
 - ▩ LIMITED COMMON OWNERSHIP
 - COMMON OWNERSHIP



PROFESSIONAL LAND SURVEYING AND CONSULTING
ALLTERRA
UTAH, LLC

435-640-4200
463 SCENIC HEIGHTS ROAD, FRANCIS, UTAH 84036

SNYDERVILLE BASIN WATER RECLAMATION DISTRICT
REVIEWED FOR CONFORMANCE TO SNYDERVILLE BASIN WATER RECLAMATION DISTRICT STANDARDS ON THIS _____ DAY OF _____, 20____
BY _____
SNYDERVILLE BASIN WATER RECLAMATION DISTRICT

PLANNING COMMISSION
RECOMMENDED BY THE PARK CITY PLANNING COMMISSION
THIS _____ DAY OF _____, 20____
BY _____
CHAIR

ENGINEER'S CERTIFICATE
I FIND THIS PLAT TO BE IN ACCORDANCE WITH INFORMATION ON FILE IN MY OFFICE
THIS _____ DAY OF _____, 20____
BY _____
PARK CITY ENGINEER

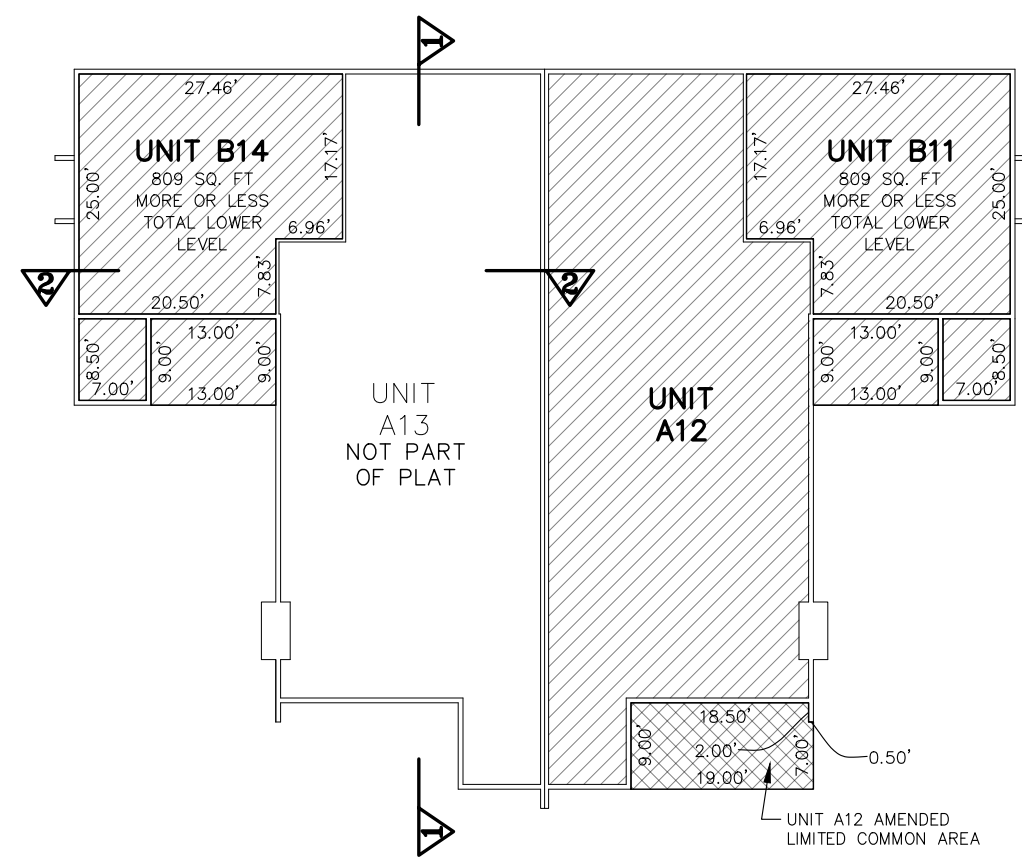
APPROVAL AS TO FORM
APPROVED AS TO FORM THIS _____ DAY OF _____, 20____
BY _____
PARK CITY ATTORNEY

COUNCIL APPROVAL AND ACCEPTANCE
APPROVAL AND ACCEPTANCE BY THE PARK CITY COUNCIL THIS _____ DAY OF _____, 20____
BY _____
MAYOR

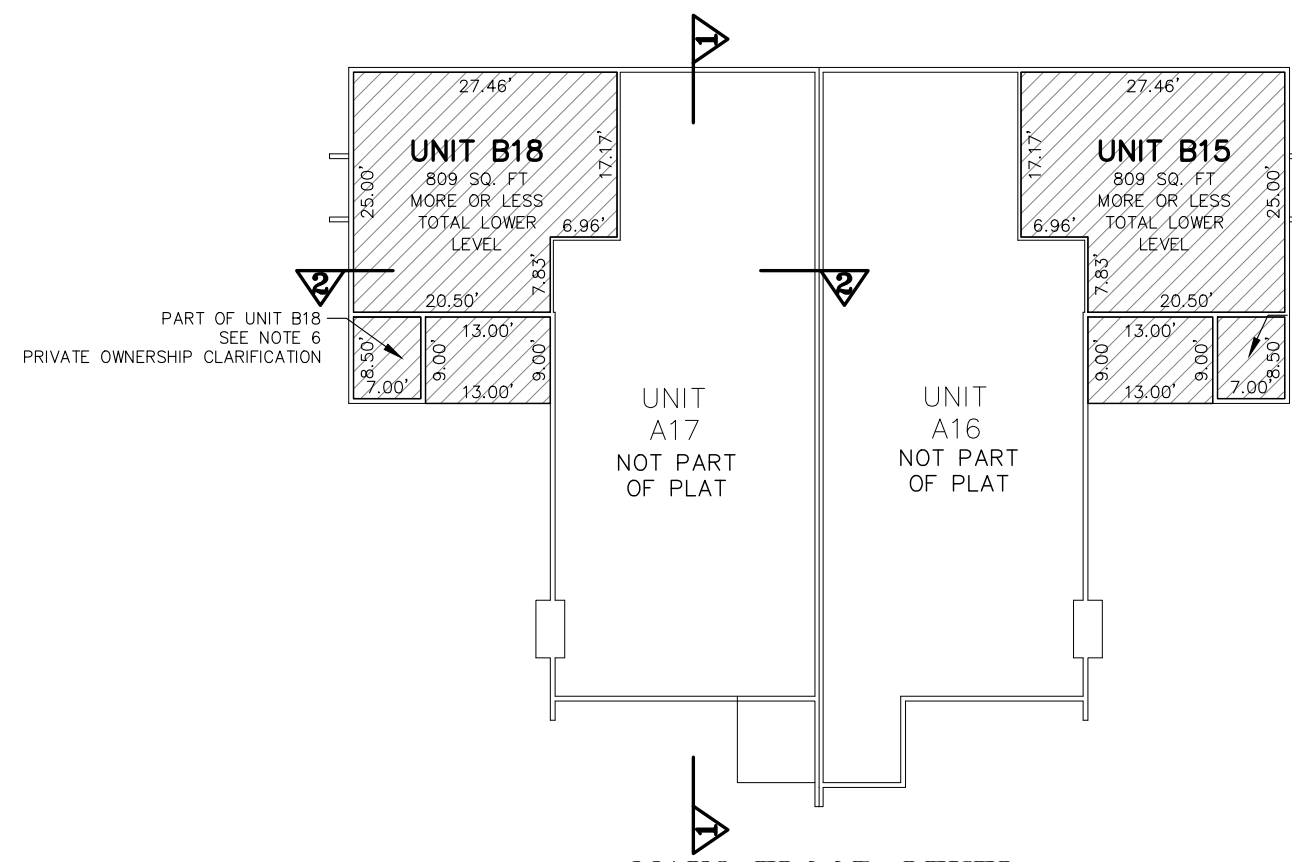
CERTIFICATE OF ATTEST
I CERTIFY THIS PLAT WAS APPROVED BY THE PARK CITY COUNCIL THIS _____ DAY OF _____, 20____
BY _____
PARK CITY RECORDER

PUBLIC SAFETY ANSWERING POINT APPROVAL
APPROVED ON THIS _____ DAY OF _____, 20____
BY _____
SUMMIT COUNTY GIS COORDINATOR

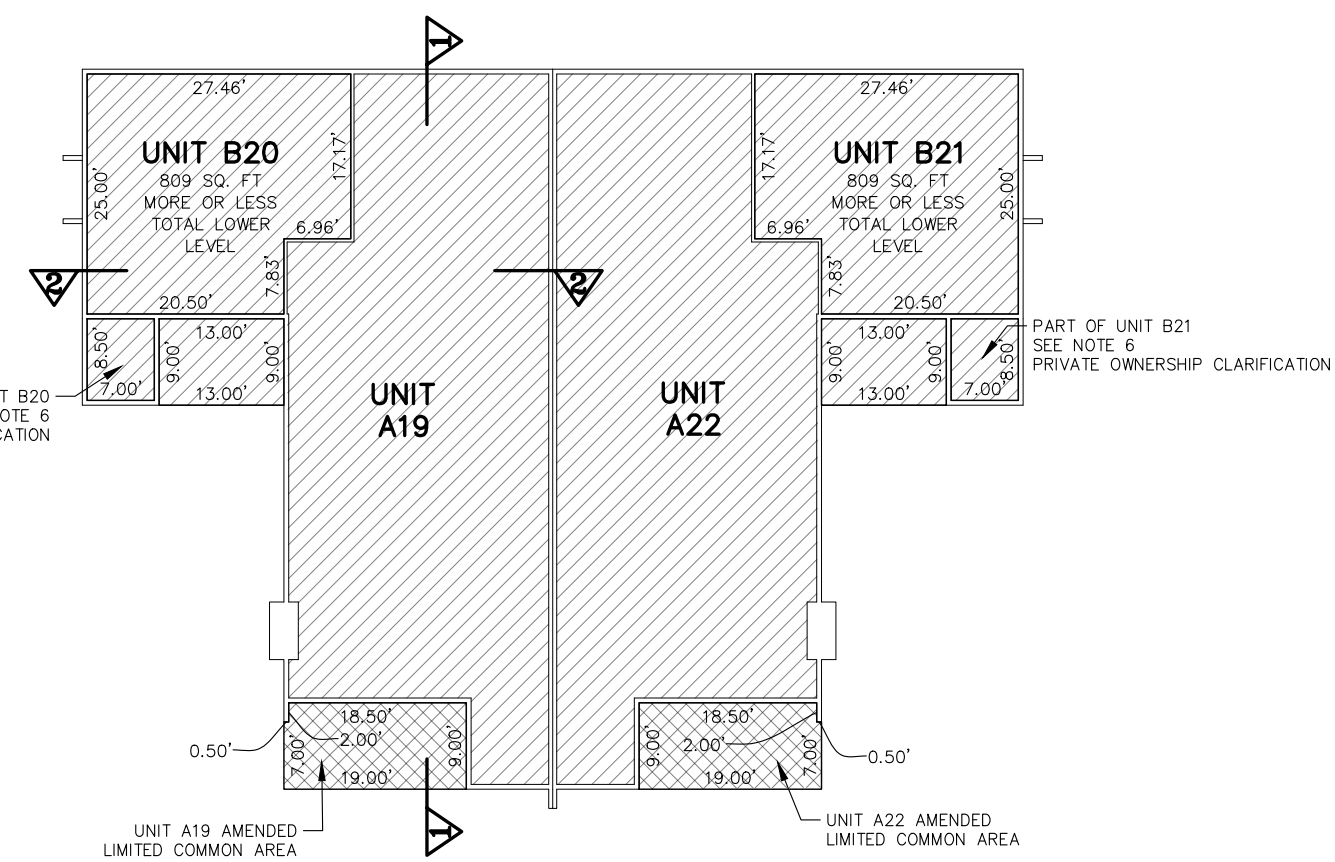
RECORDED
STATE OF UTAH, COUNTY OF SUMMIT, AND FILED AT THE REQUEST OF _____
FEE _____ RECORDER _____
TIME _____ DATE _____ ENTRY NO. _____



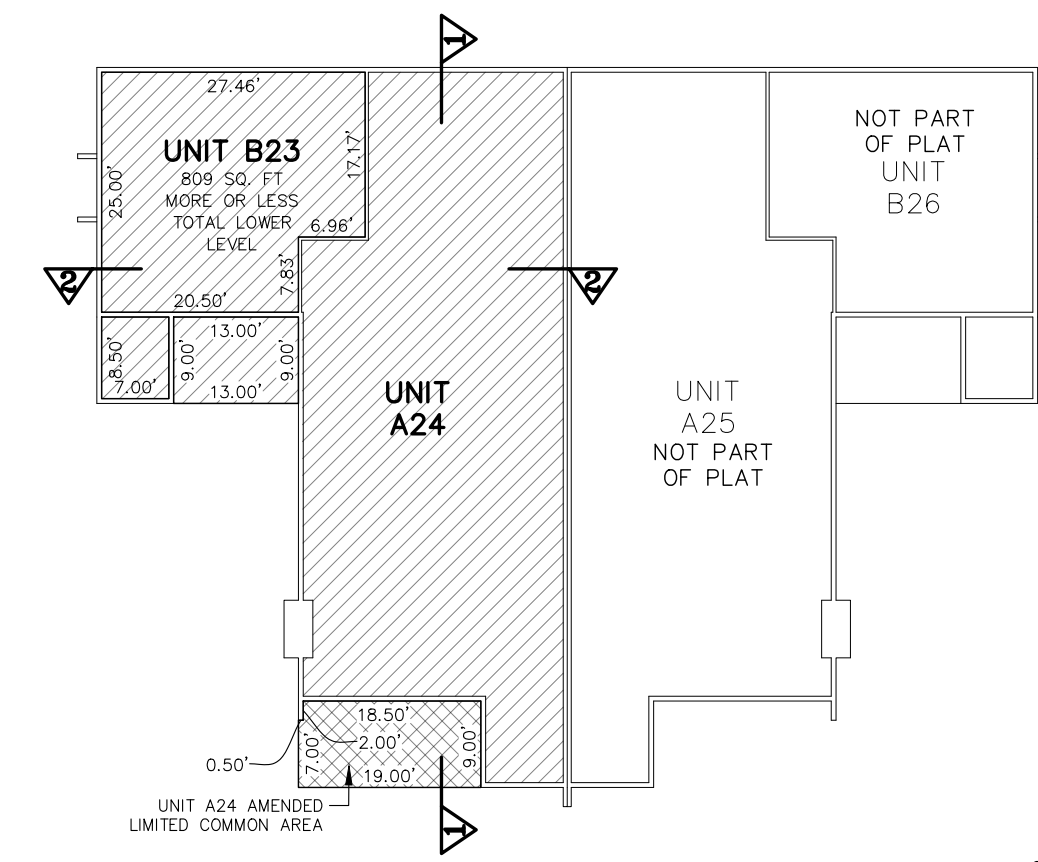
**MAIN FLOOR LEVEL
UNITS B11 & B14
AND
LIMITED COMMON OWNERSHIP UNIT
A12**



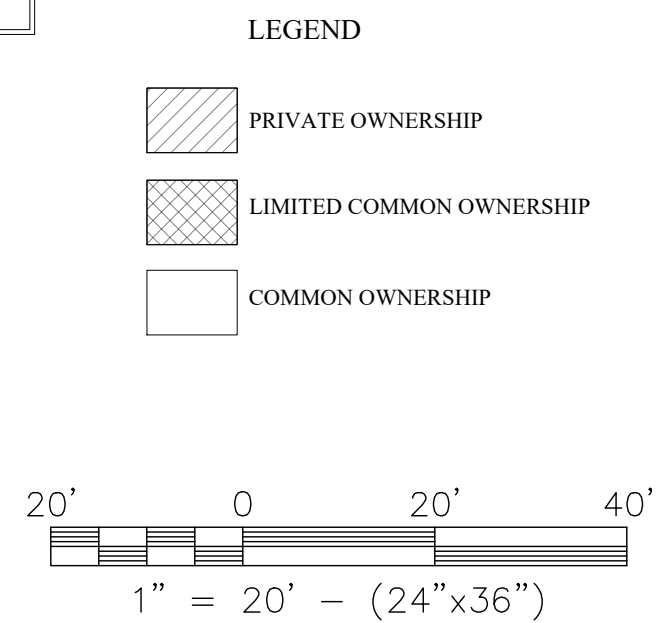
**MAIN FLOOR LEVEL
UNITS B15 & B18**



**MAIN FLOOR LEVEL
UNIT B20 & B21
AND
LIMITED COMMON OWNERSHIP UNITS
A19 & A22**



**MAIN FLOOR LEVEL
UNIT B23
AND
LIMITED COMMON OWNERSHIP UNIT
A24**



OWNER UNIT 11 CONSENT TO RECORD

KNOW ALL BY THESE PRESENTS that the undersigned is the owner of UNIT 11 of the QUEEN ESTHER VILLAGE NO. 1 CONDOMINIUM PROJECT and hereby causes the same to be amended as set forth to be hereafter known as QUEEN ESTHER VILLAGE NO.1 UNITS 11, 12, 14, 15, 18, 19, 20, 21, 22, 23 & 24 AMENDED.

In witness whereof, the undersigned set his hand this _____ day of _____, 20__.

By: _____

ACKNOWLEDGEMENT

STATE OF UTAH)
)
 :ss.
COUNTY OF SUMMIT)

On this _____ day of _____, 20__ , _____ personally appeared before me, whose identity is personally known to me or proven on the basis of satisfactory evidence, and who by me duly sworn/affirmed, did say that _____ is signing _____.

Notary Public _____
Printed Name _____
Residing in: _____
My commission expires: _____
Commission No. _____

OWNER UNIT 15 CONSENT TO RECORD

KNOW ALL BY THESE PRESENTS that the undersigned is the owner of UNIT 15 of the QUEEN ESTHER VILLAGE NO. 1 CONDOMINIUM PROJECT and hereby causes the same to be amended as set forth to be hereafter known as QUEEN ESTHER VILLAGE NO.1 UNITS 11, 12, 14, 15, 18, 19, 20, 21, 22, 23 & 24 AMENDED.

In witness whereof, the undersigned set his hand this _____ day of _____, 20__.

By: _____

ACKNOWLEDGEMENT

STATE OF UTAH)
)
 :ss.
COUNTY OF SUMMIT)

On this _____ day of _____, 20__ , _____ personally appeared before me, whose identity is personally known to me or proven on the basis of satisfactory evidence, and who by me duly sworn/affirmed, did say that _____ is signing _____.

Notary Public _____
Printed Name _____
Residing in: _____
My commission expires: _____
Commission No. _____

OWNER UNIT 20 CONSENT TO RECORD

KNOW ALL BY THESE PRESENTS that the undersigned is the owner of UNIT 20 of the QUEEN ESTHER VILLAGE NO. 1 CONDOMINIUM PROJECT and hereby causes the same to be amended as set forth to be hereafter known as QUEEN ESTHER VILLAGE NO.1 UNITS 11, 12, 14, 15, 18, 19, 20, 21, 22, 23 & 24 AMENDED.

In witness whereof, the undersigned set his hand this _____ day of _____, 20__.

By: _____

ACKNOWLEDGEMENT

STATE OF UTAH)
)
 :ss.
COUNTY OF SUMMIT)

On this _____ day of _____, 20__ , _____ personally appeared before me, whose identity is personally known to me or proven on the basis of satisfactory evidence, and who by me duly sworn/affirmed, did say that _____ is signing _____.

Notary Public _____
Printed Name _____
Residing in: _____
My commission expires: _____
Commission No. _____

OWNER UNIT 14 CONSENT TO RECORD

KNOW ALL BY THESE PRESENTS that the undersigned is the owner of UNIT 14 of the QUEEN ESTHER VILLAGE NO. 1 CONDOMINIUM PROJECT and hereby causes the same to be amended as set forth to be hereafter known as QUEEN ESTHER VILLAGE NO.1 UNITS 11, 12, 14, 15, 18, 19, 20, 21, 22, 23 & 24 AMENDED.

In witness whereof, the undersigned set his hand this _____ day of _____, 20__.

By: _____

ACKNOWLEDGEMENT

STATE OF UTAH)
)
 :ss.
COUNTY OF SUMMIT)

On this _____ day of _____, 20__ , _____ personally appeared before me, whose identity is personally known to me or proven on the basis of satisfactory evidence, and who by me duly sworn/affirmed, did say that _____ is signing _____.

Notary Public _____
Printed Name _____
Residing in: _____
My commission expires: _____
Commission No. _____

OWNER UNIT 18 CONSENT TO RECORD

KNOW ALL BY THESE PRESENTS that the undersigned is the owner of UNIT 18 of the QUEEN ESTHER VILLAGE NO. 1 CONDOMINIUM PROJECT and hereby causes the same to be amended as set forth to be hereafter known as QUEEN ESTHER VILLAGE NO.1 UNITS 11, 12, 14, 15, 18, 19, 20, 21, 22, 23 & 24 AMENDED.

In witness whereof, the undersigned set his hand this _____ day of _____, 20__.

By: _____

ACKNOWLEDGEMENT

STATE OF UTAH)
)
 :ss.
COUNTY OF SUMMIT)

On this _____ day of _____, 20__ , _____ personally appeared before me, whose identity is personally known to me or proven on the basis of satisfactory evidence, and who by me duly sworn/affirmed, did say that _____ is signing _____.

Notary Public _____
Printed Name _____
Residing in: _____
My commission expires: _____
Commission No. _____

OWNER UNIT 21 CONSENT TO RECORD

KNOW ALL BY THESE PRESENTS that the undersigned is the owner of UNIT 21 of the QUEEN ESTHER VILLAGE NO. 1 CONDOMINIUM PROJECT and hereby causes the same to be amended as set forth to be hereafter known as QUEEN ESTHER VILLAGE NO.1 UNITS 11, 12, 14, 15, 18, 19, 20, 21, 22, 23 & 24 AMENDED.

In witness whereof, the undersigned set his hand this _____ day of _____, 20__.

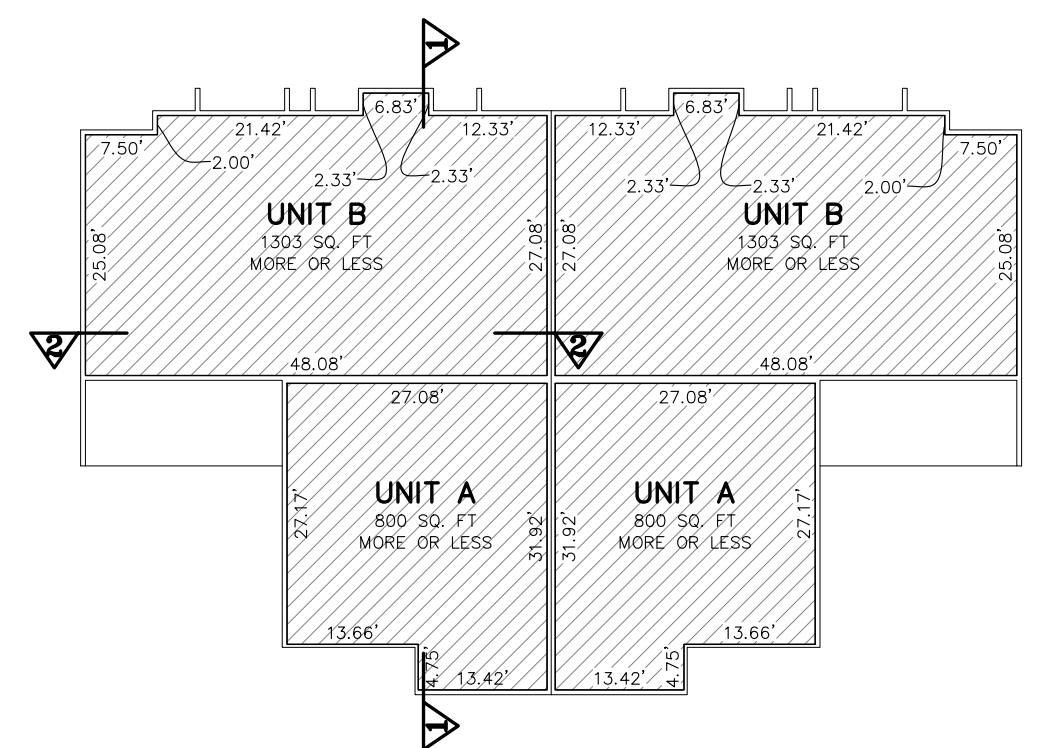
By: _____

ACKNOWLEDGEMENT

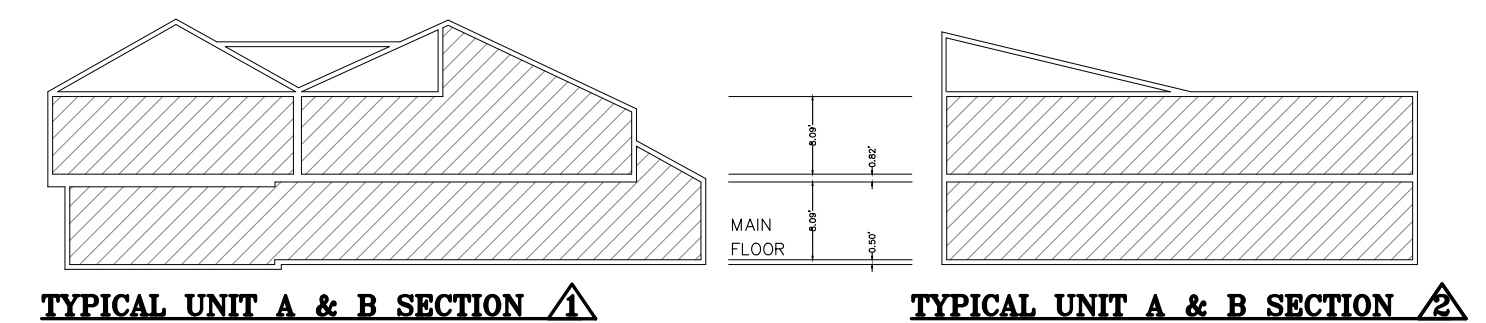
STATE OF UTAH)
)
 :ss.
COUNTY OF SUMMIT)

On this _____ day of _____, 20__ , _____ personally appeared before me, whose identity is personally known to me or proven on the basis of satisfactory evidence, and who by me duly sworn/affirmed, did say that _____ is signing _____.

Notary Public _____
Printed Name _____
Residing in: _____
My commission expires: _____
Commission No. _____



**TYPICAL UPPER
FLOOR LEVEL**



OWNER UNIT 23 CONSENT TO RECORD

KNOW ALL BY THESE PRESENTS that the undersigned is the owner of UNIT 23 of the QUEEN ESTHER VILLAGE NO. 1 CONDOMINIUM PROJECT and hereby causes the same to be amended as set forth to be hereafter known as QUEEN ESTHER VILLAGE NO.1 UNITS 11, 12, 14, 15, 18, 19, 20, 21, 22, 23 & 24 AMENDED.

In witness whereof, the undersigned set his hand this _____ day of _____, 202__.

By: _____

ACKNOWLEDGEMENT

STATE OF UTAH)
)
 :ss.
COUNTY OF SUMMIT)

On this _____ day of _____, 202__ , _____ personally appeared before me, whose identity is personally known to me or proven on the basis of satisfactory evidence, and who by me duly sworn/affirmed, did say that _____ is signing _____.

Notary Public _____
Printed Name _____
Residing in: _____
My commission expires: _____
Commission No. _____

**QUEEN ESTHER VILLAGE NO. 1
UNITS 11, 12, 14, 15, 18, 19, 20, 21, 22, 23 &
24 AMENDED**

LOCATED IN THE NORTH EAST QUARTER OF SECTION 15, TOWNSHIP 2 SOUTH, RANGE 4 EAST,
SALT LAKE BASE AND MERIDIAN
PARK CITY, SUMMIT COUNTY, UTAH

PROFESSIONAL LAND SURVEYING
AND CONSULTING
ALLTERRA
UTAH, LLC
435-640-4200
463 SCENIC HEIGHTS ROAD, FRANCIS, UTAH 84036

3/20/25 SHEET 2 OF 3
RECORDED
STATE OF UTAH, COUNTY OF SUMMIT, AND FILED
AT THE REQUEST OF _____
FEE _____ RECORDER _____
TIME _____ DATE _____ ENTRY NO. _____

OWNER UNIT 12 CONSENT TO RECORD

KNOW ALL BY THESE PRESENTS that the undersigned is the owner of UNIT 12 of the QUEEN ESTHER VILLAGE NO. 1 CONDOMINIUM PROJECT and hereby causes the same to be amended as set forth to be hereafter known as QUEEN ESTHER VILLAGE NO.1 UNITS 11, 12, 14, 15, 18, 19, 20, 21, 22, 23 & 24 AMENDED

In witness whereof, the undersigned set his hand this _____ day of _____, 20__.

By: _____

ACKNOWLEDGEMENT

STATE OF UTAH)
:ss.
COUNTY OF SUMMIT)

On this _____ day of _____, 20__ , _____ personally appeared before me, whose identity is personally known to me or proven on the basis of satisfactory evidence, and who by me duly sworn/affirmed, did say that _____ is signing _____.

Notary Public
Printed Name
Residing in:
My commission expires:
Commission No.

OWNER UNIT 19 CONSENT TO RECORD

KNOW ALL BY THESE PRESENTS that the undersigned is the owner of UNIT 19 of the QUEEN ESTHER VILLAGE NO. 1 CONDOMINIUM PROJECT and hereby causes the same to be amended as set forth to be hereafter known as QUEEN ESTHER VILLAGE NO.1 UNITS 11, 12, 14, 15, 18, 19, 20, 21, 22, 23 & 24 AMENDED.

In witness whereof, the undersigned set his hand this _____ day of _____, 20__.

By: _____

ACKNOWLEDGEMENT

STATE OF UTAH)
:ss.
COUNTY OF SUMMIT)

On this _____ day of _____, 20__ , _____ personally appeared before me, whose identity is personally known to me or proven on the basis of satisfactory evidence, and who by me duly sworn/affirmed, did say that _____ is signing _____.

Notary Public
Printed Name
Residing in:
My commission expires:
Commission No.

OWNER UNIT 22 CONSENT TO RECORD

KNOW ALL BY THESE PRESENTS that the undersigned is the owner of UNIT 22 of the QUEEN ESTHER VILLAGE NO. 1 CONDOMINIUM PROJECT and hereby causes the same to be amended as set forth to be hereafter known as QUEEN ESTHER VILLAGE NO.1 UNITS 11, 12, 14, 15, 18, 19, 20, 21, 22, 23 & 24 AMENDED.

In witness whereof, the undersigned set his hand this _____ day of _____, 20__.

By: _____

ACKNOWLEDGEMENT

STATE OF UTAH)
:ss.
COUNTY OF SUMMIT)

On this _____ day of _____, 20__ , _____ personally appeared before me, whose identity is personally known to me or proven on the basis of satisfactory evidence, and who by me duly sworn/affirmed, did say that _____ is signing _____.

Notary Public
Printed Name
Residing in:
My commission expires:
Commission No.

OWNER UNIT 24 CONSENT TO RECORD

KNOW ALL BY THESE PRESENTS that the undersigned is the owner of UNIT 24 of the QUEEN ESTHER VILLAGE NO. 1 CONDOMINIUM PROJECT and hereby causes the same to be amended as set forth to be hereafter known as QUEEN ESTHER VILLAGE NO.1 UNITS 11, 12, 14, 15, 18, 19, 20, 21, 22, 23 & 24 AMENDED.

In witness whereof, the undersigned set his hand this _____ day of _____, 20__.

By: _____

ACKNOWLEDGEMENT

STATE OF UTAH)
:ss.
COUNTY OF SUMMIT)

On this _____ day of _____, 20__ , _____ personally appeared before me, whose identity is personally known to me or proven on the basis of satisfactory evidence, and who by me duly sworn/affirmed, did say that _____ is signing _____.

Notary Public
Printed Name
Residing in:
My commission expires:
Commission No.

QUEEN ESTHER VILLAGE NO. 1
UNITS 11, 12, 14, 15, 18, 19, 20, 21, 22, 23 &
24 AMENDED

LOCATED IN THE NORTH EAST QUARTER OF SECTION 15, TOWNSHIP 2 SOUTH, RANGE 4 EAST,
SALT LAKE BASE AND MERIDIAN
PARK CITY, SUMMIT COUNTY, UTAH

Explanation of Queen Esther Plat Amendment Extension

The Plat was finally approved to go to mylar for signatures by the City and County around July 2025. The mylar was sent all over the Country to obtain the 11 owner signatures and notaries required. This took a considerable amount of time. There was one owner, in particular, who took several months to sign.

Once the signatures were obtained, the Plat was delivered back to the City/ County for recording. However, upon further review, additional changes to the Plat and Condominium Declarations were required. Also, new Title Reports were required.

During the time it took to facilitate all of this, one of the unit owners sold their unit. This required the new unit owner to come to Park City to sign the plat in place of the old owner.

We believe we have now obtained all the required signatures, and satisfied the City/ County requirements. However, our Plat approval expires next week. We are filing for the extension just in case the Plat does not record before expiration.