



**PLANNING DEPARTMENT ADMINISTRATIVE PUBLIC HEARING  
SUMMIT COUNTY, UTAH  
March 19, 2026**

The Planning Department of Park City, Utah, will hold a Public Hearing in person at the Marsac Municipal Building, Planning Department Conference Room, at 445 Marsac Avenue, Park City, Utah 84060. Meetings will also be available online and may have options to listen, watch, or participate virtually.

Zoom Link: <https://us02web.zoom.us/j/88167820277>

**1. REGULAR AGENDA - 12:00PM**

- 1.A. **954 Woodside Avenue – Administrative Conditional Use Permit** – The Applicant Proposes a Retaining Wall Greater than Four Feet in the Required Front Yard Setback Historic Residential -1 Zoning District. PL-26-06828.  
(A) Public Hearing; (B) Action
- 1.B. **384 Woodside Avenue – Historic District Design Review** – The Applicant Proposes to Construct a New Single Family Dwelling at a Non-Historic Site in the Historic Residential-1 Zoning District. PL-25-06388.  
(A) Public Hearing; (B) Action

Pursuant to the Americans with Disabilities Act, individuals needing special accommodations during the meeting should notify the Planning Department at 435-615-5060 or [planning@parkcity.gov](mailto:planning@parkcity.gov) at least 24 hours prior to the meeting.

**\*Parking is available at no charge for meeting attendees who park in the China Bridge parking structure.**

PARK CITY MUNICIPAL CORPORATION  
PLANNING DEPARTMENT  
445 MARSAC AVE | PO BOX 1480  
PARK CITY, UT 84060  
(435) 615-5060



## ADMINISTRATIVE PERMIT / ADMINISTRATIVE CONDITIONAL USE PERMIT

*For Office Use Only*

STAFF DETERMINATION	PROJECT PLANNER	APPLICATION #	PL-26-06828
APPROVED _____	_____	DATE RECEIVED	02.12.2026
DENIED _____	_____	EXPIRATION	_____

### PROJECT INFORMATION

NAME: 954 Woodside Avenue Residence

ADDRESS: 954 Woodside Avenue  
Park City, UT 84060

TAX ID: SA-17-A and SA-18 OR

SUBDIVISION: \_\_\_\_\_ OR

SURVEY: \_\_\_\_\_ LOT #: \_\_\_\_\_ BLOCK #: \_\_\_\_\_

### APPLICANT INFORMATION

NAME: Matthew R. Keiser

MAILING ADDRESS: [REDACTED]

PHONE #: [REDACTED] FAX #: ( ) -

EMAIL: [REDACTED]

### APPLICANT REPRESENTATIVE INFORMATION

NAME: Stoker Architecture, Inc. c/o Karen Backstrom, AIA, LEED AP

PHONE #: [REDACTED]

EMAIL: [REDACTED]

If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at [www.parkcity.gov](http://www.parkcity.gov).

**PROJECT DESCRIPTION**

- 1. On a separate sheet of paper, give a general description of the proposal and attach it to the application (See Submittal Requirement #2). Description shall also indicate the project's compliance with any applicable criteria as described in the Land Management Code contained in applicable zoning district and supplemental regulation.
  - 2. Type of Conditional Use Permit:  
If Other, please describe: Administrative CUP
  - 3. Existing Zoning: HR-1
  - 4. Is the project within the Sensitive Lands Overlay?  
 Yes  No
  - 5. Current use of the property: Single family residence
  - 6. Total Project Area: 0.06 acres 2,812.5 square feet
  - 7. Number of parking spaces per Title 15 Land Management Code, Chapter 3, Off Street Parking:  
2 required 2 proposed
  - 8. Project access via: (check one)  
 Public Road  Private Road  Private Driveway
  - 9. Occupancy type: (check one)  
 Owner Occupied  Lease  Nightly Rental  
 Condominium  Timeshare
  - 10. Utility service availability:  
 Existing  Requires extension of City service
- Items below are required for Outdoor Dining Applications only
- 11. Total Existing Dining Area: \_\_\_\_\_ square feet
  - 12. Total Outdoor Dining Area: \_\_\_\_\_ square feet
  - 13. Dates of operation of Outdoor Dining use:  
Starting: \_\_\_\_\_ Ending: \_\_\_\_\_
  - 14. Daily hours of operation of Outdoor Dining use: \_\_\_\_\_
- 
- 

If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at [www.parkcity.gov](http://www.parkcity.gov).

**ACKNOWLEDGEMENT OF RESPONSIBILITY**

This is to certify that I am making an application for the described action by the City and that I am responsible for complying with all City requirements with regard to this request. This application should be processed in my name and I am a party whom the City should contact regarding any matter pertaining to this application.

I have read and understood the instructions supplied by Park City for processing this application. The documents and/or information I have submitted are true and correct to the best of my knowledge. I understand that my application is not deemed complete until a Project Planner has reviewed the application and has notified me that it has been deemed complete.

I will keep myself informed of the deadlines for submission of material and the progress of this application. I understand that a staff report will be made available for my review three days prior to any public hearings or public meetings. This report will be on file and available at the Planning Department in the Marsac Building.

I further understand that additional fees may be charged for the City's review of the proposal. Any additional analysis required would be processed through the City's consultants with an estimate of the expense provided prior to an authorization with the study.

Signature of Applicant: [Signature]  
 Name of Applicant: Matthew R. Keiser  
 Mailing Address: [Redacted] PRINTED  
 Phone: [Redacted] Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_  
 Type of Application: Administrative CUP

**AFFIRMATION OF SUFFICIENT INTEREST**

I hereby affirm that I am the fee title owner of the below described property or that I have written authorization from the owner to pursue the described action. I further affirm that I am aware of the City policy that no application will be accepted nor work performed for properties that are tax delinquent.

Name of Owner: Richard Keiser Revocable Trust dated April 15, 2024  
By: Joan W. Keiser, Trustee  
By: Lauren Samantha Keiser, Trustee  
 Mailing Address: [Redacted] PRINTED

Street Address/ Legal Description of Subject Property:  
854 Woodside Avenue, Park City, UT 84060

Signature: Joan W. Keiser Lauren S. Keiser Date: 2/11/26

1. If you are not the fee owner attach a copy of your authorization to pursue this action provided by the fee owner.
2. If a corporation is fee titleholder, attach copy of the resolution of the Board of Directors authorizing the action.
3. If a joint venture or partnership is the fee owner, attach a copy of agreement authorizing this action on behalf of the joint venture or partnership
4. If a Home Owner's Association is the applicant then the representative/president must attach a notarized letter stating they have notified the owners of the proposed application. A vote should be taken prior to the submittal and a statement of the outcome provided to the City along with the statement that the vote meets the requirements set forth in the CCRs.

Please note that this affirmation is not submitted in lieu of sufficient title evidence. You will be required to submit a title opinion, certificate of title, or title insurance policy showing your interest in the property prior to Final Action.

If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-6000 or visit us online at [www.parkcity.gov](http://www.parkcity.gov).

Re: 954 Woodside Ave., Park City, UT, 84060 – Admirative Conditional Use Permit

We, **JOAN W. KEISER** and **LAUREN SAMANTHA KEISER**, Trustees of the **Richard Keiser Revocable Trust dated April 15, 2024** (fee title owner of 954 Woodside Avenue), hereby authorize **[Matthew Keiser / Stoker Architecture, Inc.]** to act as our **Applicant/Agent** for purposes of filing, processing, and obtaining the above-referenced Park City approval, including submitting applications, plans, and correspondence, and receiving decisions on our behalf.

Signed: Joan W. Keiser, Trustee Joan W. Keiser, Trustee  
Signed: Lauren S. Keiser, Trustee Lauren Samantha Keiser, Trustee  
Date: 2/11/26



February 12, 2026

Park City Municipal Corporation  
Planning Department

RE: Administrative Conditional Use Permit application, Written Statement  
Keiser Residence (PL-25-06443)  
954 Woodside Avenue  
Park City, UT 84060

Planning Department:

The purpose of this Administrative CUP is to comply with Condition of Approval #16 of the HDDR Approval dated May 1, 2025 which states "Retaining walls greater than four feet in the Front Setback or greater than six feet in the Rear or Side Setbacks require an Administrative Conditional Use Permit.

We're proposing a retaining wall less than six feet in height at the West (front) and South (side) property lines to:

1. Create a well-defined front entry for the proposed house.
2. Retain the existing grade at the property line shared with the South neighbor, and the grade at the City right-of-way.
3. Strengthen the established pattern of street-level right-of-ways along the East side of Woodside Avenue.

The retaining walls define the pedestrian entry while providing a visual boundary between public and private. The lower elevation of the front yard accommodates a prominent, covered, front entry porch, typical of the Park City's Historic District.

The driveway requirements for new single-family residences necessitates that we modify the grade at the right-of-way. This allows us the opportunity to re-imagine the remainder of right-of-way. By adding fill to the area between the proposed retaining wall and street, it mitigates the existing, abrupt drop in grade, and becomes more compatible with the fill and pattern of right-of-ways at homes along the East side of Woodside Avenue.

February 12, 2026  
Page 2

The exposed portion of the front retaining wall will be approximately 5'-10" tall as viewed from the yard, and 7" to 33" tall as viewed from the street. The side wall connects to the front wall at 5'-10" and slopes down to 3'-0". The walls will be constructed of board-formed concrete, with the walls and associated footings being contained entirely within the property.

Landscaping consisting of drought-resistant, perennial shrubs, grasses and trees will be planted between the front wall and street to visually buffer the walls.

In summary, the proposed retaining walls mitigate the variations in grade, and serve as a functional and attractive feature highlighting the home's front entry and yard while strengthening the established pattern of the historic neighborhood streetscapes.

Sincerely,



Michael J. Stoker, AIA, NCARB – Architect  
Stoker Architecture, Inc.

## PROJECT INFO

OWNER:  
RICHARD KEISER REVOCABLE TRUST  
C/O MATTHEW R KEISER

PARCEL:  
9A-1B AND 9A-11-A  
FLAT AMENDMENT IN PROGRESS

### LOT 2:

PHYSICAL ADDRESS:  
954 WOODSIDE AVENUE  
PARK CITY, UT 84060

ZONING:  
HR-1 DISTRICT

PROPERTY PARAMETERS:  
LOT AREA= 2,025 SF (0.06 ACRE)  
BUILDING PAD= 1,125 SF  
ALLOWED FOOTPRINT= 1,201 SF  
ACTUAL FOOTPRINT= 1,200 SF

LEVEL	ELEVATION	AREA
FLOOR LEVEL 1	6960.1	FINISHED AREA= 1201 SF
FLOOR LEVEL 2	6963.1	FINISHED AREA= 1201 SF
FLOOR LEVEL 2S	6975.6	FINISHED AREA= 122 SF
GARAGE LEVEL	6975.6	GARAGE AREA= 409 SF
FLOOR LEVEL 3	6978.2	FINISHED AREA= 670 SF
FLOOR LEVEL 3S	6985.1	FINISHED AREA= 531 SF
ROOFTOP DECK	6990.2	ROOFTOP DECK= 505 SF

TOTAL FINISHED AREA= 3,125 SF

NOTE: BUILDING AREA AND FOOTPRINT CALCULATED AT OUTSIDE FACE OF EXTERIOR WALLS.  
FLOOR LEVEL AREAS CALCULATED AT OUTSIDE FACE OF EXTERIOR WALL, WITH NO DEDUCTION FOR STAIRS (COUNTED 3 TIMES).

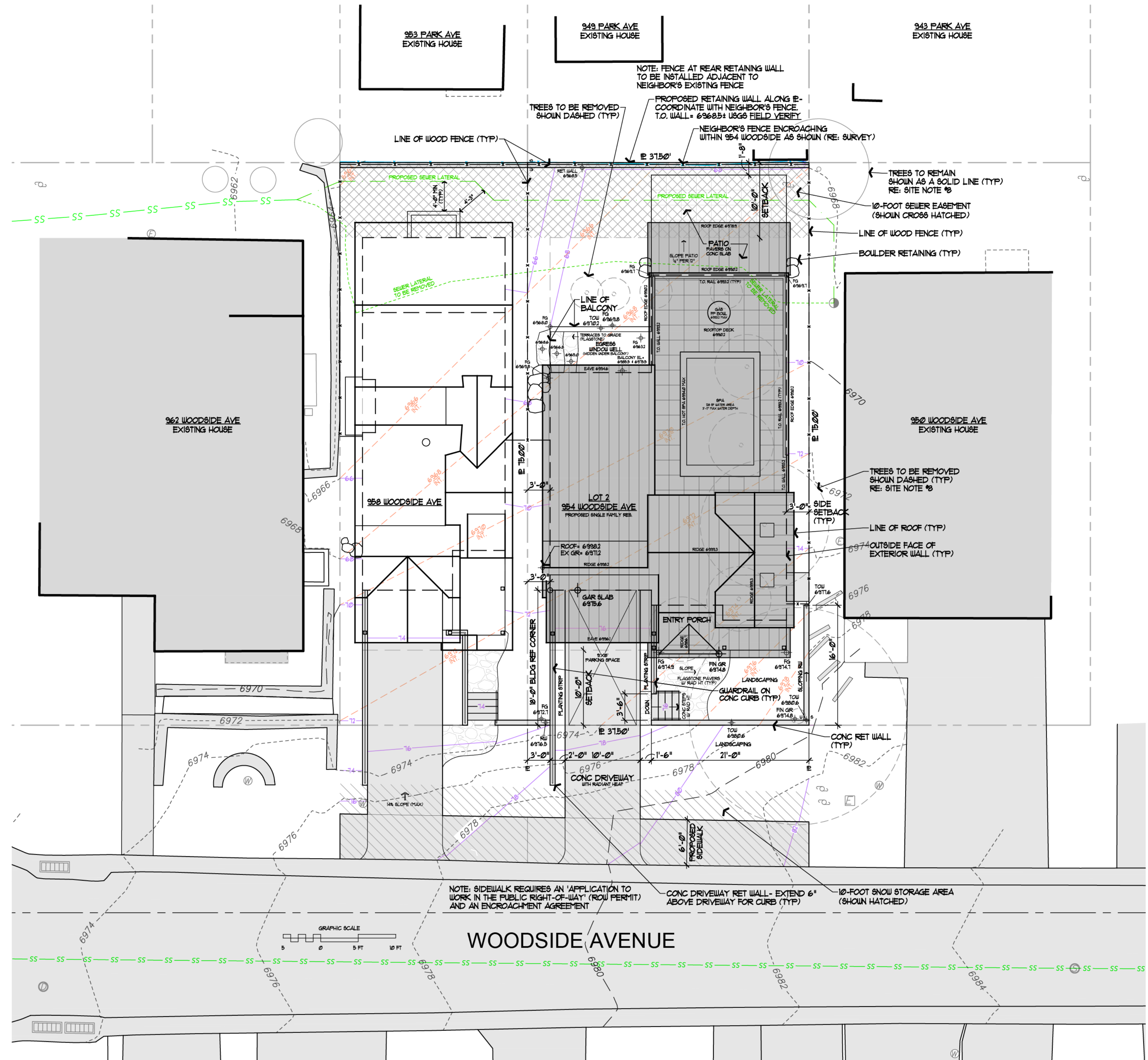
## SITE NOTES

- NOTE: SITE PLAN PREPARED USING SITE PLAN CREATED USING 'RECORD OF SURVEY 4 EXISTING CONDITIONS MAP' PROVIDED BY 'PARK CITY SURVEYING', SIGNED AND DATED 12/10/2022 AND RECORDED ON 2/14/2023. REFER TO SURVEY FOR ADDITIONAL INFORMATION.
- SCOPE OF WORK TO INCLUDE DEMOLITION AND REMOVAL OF STRUCTURES WITHIN PROPERTY LINES (HOUSE, DECKS, PATIOS, STAIRS, ETC.).
- INTERPOLATED CONTOUR LINES SHOWN CONNECTING EXISTING GRADE AT NEIGHBORING SIDE PROPERTY LINES. INTERPOLATED CONTOUR LINES AT REAR PROPERTY LINE SHOWN AS ADJUTING EXISTING NEIGHBOR'S FENCE (TOPOGRAPHY NOT PROVIDED AT NEIGHBORING REAR PROPERTIES).
- SEWER LATERAL SERVING SUBJECT PROPERTY TO BE CONNECTED TO SEWER MAIN AT WOODSIDE AVENUE. EJECTOR PUMP REQUIRED.
- PORTION OF SEWER LATERAL SERVING 950 WOODSIDE AVE AND LOCATED WITHIN SUBJECT PROPERTY TO BE RELOCATED WITHIN EASEMENT AT REAR YARD AS SHOWN.
- EXISTING OVERHEAD ELECTRICAL LINES WITHIN PROPERTY TO BE BURIED.
- OTHER UTILITY LINES (GAS, WATER, ETC.) TO BE RELOCATED AS REQUIRED.
- ALL VEGETATION TO BE REMOVED, WITH SIX TREES NOTED FOR REPLACEMENT (ONE MATURE, BUT DECAYING). TREES WITH TRUNKS LOCATED OFF PROPERTY TO REMAIN. REFER TO LANDSCAPE PLAN (SHEET L-1) FOR REPLACEMENT TREES, OTHER PLANTS AND LANDSCAPE FEATURES INCLUDING PATIOS, RETAINING WALLS, FENCES, ETC.
- SIDEWALK, DRIVEWAY RETAINING WALLS, HEATED DRIVEWAY AND HEATED WALKWAYS WITHIN THE RIGHT-OF-WAY TO BE REVIEWED AND APPROVED BY THE ENGINEERING DEPARTMENT.  
NOTE: ENCROACHMENT AGREEMENT REQUIRED.
- BOULDER RETAINING WALLS TO BE LESS THAN 4 FEET IN HEIGHT MEASURED FROM FINAL GRADE.
- FENCES SHALL NOT EXCEED 6 FEET IN HEIGHT MEASURED FROM FINAL GRADE WITHIN THE REAR AND SIDE SETBACK.
- EXPOSED SURFACES OF CONCRETE RETAINING WALLS TO BE BOARD-FORMED.

## SYMBOLS

--- 6972 ---	EXISTING CONTOUR LINE
- - - 6972 INT. - - -	INTERPOLATED CONTOUR LINE
---	NEW CONTOUR LINE
+	SPOT ELEVATION
ABBREVIATIONS:	
EG	EXISTING GRADE
EL	ELEVATION
FN	FINISH
F.V.	FIELD VERIFY
FG	FINISH GRADE
GR	GRADE
PL	PROPERTY LINE
R/W	RETAINING WALL
T.O.	TOP OF
TOG	TOP OF SLAB
TOW	TOP OF WALL
US	WALL STEP

REFER TO SURVEY FOR ADDITIONAL INFORMATION



NOTE:  
REFER TO SHEET A-14 FOR ROOF PLAN

NOTE: SITE PLAN CREATED USING 'RECORD OF SURVEY 4 EXISTING CONDITIONS MAP' PROVIDED BY 'PARK CITY SURVEYING', SIGNED AND DATED 12/10/2022 AND RECORDED ON 2/14/2023.

**SITE PLAN**  
1/8" = 1'-0"



MICHAEL J. STOKER, AIA, NCARB - ARCHITECT  
KAREN BACKSTROM, AIA, LEED AP - ARCHITECT  
PARK CITY, UT 84060  
mstokerarchitect.com

**MJS**  
STOKER ARCHITECTURE, INC.

**954 WOODSIDE AVE - MOOSE**  
A NEW HOME FOR MATT KEISER AND CHARLY COHEN  
LOT 2, 958 WOODSIDE AVENUE SUBDIVISION - 954 WOODSIDE AVE, PARK CITY, UT 84060

Date 2/12/26 ACJP

Revisions

1
2
3
4

Drawn

Project 22-675-2

Sheet

**SP-1**

# Planning Department Staff Report



**Subject:** 954 Woodside Avenue  
**Application:** PL-26-06828  
**Author:** Nan Larsen, Senior Planner  
**Date:** March 19, 2026  
**Type of Item:** Administrative Conditional Use Permit

## Recommendation

(I) Review the Administrative Conditional Use Permit for a retaining wall greater than four feet in height in the Front Setback, (II) conduct a public hearing, and (III) consider Approving based on the Findings of Fact, Conclusions of Law, and Conditions of Approval outlined in the draft Final Action Letter (Exhibit A).

## Description

**Applicant:** Matthew Keiser  
Applicant Representative: Karen Backstrom

**Location:** 954 Woodside Avenue

**Zoning District:** Historic Residential (HR-1) District

**Adjacent Land Uses:** Residential

**Reason for Review:** Retaining walls greater than four feet in height in the Front Setback require an Administrative Conditional Use Permit.<sup>1</sup>

HR-1 Historic Residential –1  
LMC Land Management Code  
SFD Single-Family Dwelling

*Terms that are capitalized as proper nouns throughout this staff report are defined in LMC [§ 15-15-1](#).*

## Background

On August 22, 2023, the City Council approved the 958 Woodside Avenue Plat Amendment (Ordinance No. 2023-39) to create two Lots for the construction of two new Single-Family Dwellings (SFDs) – one at 958 Woodside Avenue and one at 954 Woodside Avenue. 954 Woodside Avenue is 2,812.5 square feet and Lot 2 of the 958 Woodside Avenue Plat Amendment.

On February 18, 2025, the Applicant submitted an HDDR for a SFD at 954 Woodside Avenue. On May 1, 2025, Planning staff found the proposed SFD complied with the LMC as conditioned and approved the HDDR.

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<sup>1</sup> LMC [§ 15-4-2](#)

On October 23, 2025, a Modification to the HDDR was approved by the Planning Director to modify a Condition of Approval to allow a larger rooftop spa.

On February 13, 2026, the Applicant submitted a request for an Administrative Conditional Use to allow a retaining wall greater than four feet in height in the Front Setback (Exhibit B).

### **Analysis**

See Final Action Letter for Analysis.

The Development Review Committee reviewed the proposal on March 3, 2026.<sup>2</sup>

### **Department Review**

The Planning and Executive Departments reviewed this report.

### **Notice**

Staff published notice on the City's website and the Utah Public Notice website and posted notice to the property on March 5, 2026. Staff mailed courtesy notice to adjacent property owners on March 5, 2026. The *Park Record* published courtesy notice on March 6, 2026.<sup>3</sup>

### **Public Input**

Staff did not receive any public input at the time this report was published.

### **Alternatives**

The Planning Director may:

- Approve the ACUP for a retaining wall greater than four feet in the Front Setback.
- Deny the ACUP and direct staff to make Findings for the denial.
- Request additional information and continue the discussion to a date certain.

### **Exhibits**

A: Draft Final Action Letter

B: Applicant ACUP Submittal

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<sup>2</sup> The Development Review Committee meets the first and third Tuesday of each month to review and provide comments on Planning Applications, including review by the Building Department, Engineering Department, Sustainability Department, Transportation Planning Department, Code Enforcement, the City Attorney's Office, Local Utilities including Rocky Mountain Power and Enbridge Gas, the Park City Fire District, Public Works, Public Utilities, and the Snyderville Basin Water Reclamation District (SBWRD).

<sup>3</sup> LMC [§ 15-1-21](#)



**Planning Department**

March 19, 2026

Karen Backstrom

CC: Matthew Keiser

**NOTICE OF PLANNING DIRECTOR ACTION**

**Description**

Address: 954 Woodside Avenue

Zoning District: Historic Residential - 1 (HR-1) District

Application: Administrative Conditional Use Permit

Project Number: PL-26-06828

Action: APPROVED WITH CONDITIONS (See Below)

Date of Final Action: March 19, 2026

Project Summary: The Applicant proposes a board-formed concrete retaining wall that is up to 6 feet in height from Final Grade in the Front Setback that spans approximately 37 feet in length along the west and south property lines.

**Action Taken**

On March 19, 2026, the Planning Director conducted a public hearing and approved the Administrative Conditional Use Permit according to the following findings of fact, conclusions of law, and conditions of approval:

**Findings of Fact**

1. 954 Woodside Avenue is the 2,812.5-square-foot Lot 2 of the 958 Woodside Avenue Plat Amendment.
2. 954 Woodside is in the Historic Residential -1 (HR-1) Zoning District.
3. The Applicant proposes constructing a new Single-Family Dwelling on Lot 2 and submitted a Historic District Design Review (HDDR) application to the Planning Department.
4. On May 1, 2025, the Planning Director approved the HDDR.
5. To construct the Single-Family Dwelling, the Applicant proposes a board-formed concrete retaining wall that is up to 6 feet in height from Final Grade in the Front



**Planning Department**

Setback that spans approximately 37 feet in length along the west and south property lines.

6. Land Management Code (LMC) Chapter 15-2.2 outlines the following for the HR-1 Zoning:
  - a. Retaining walls greater than four feet in height from Final Grade within the Front Setback require an Administrative Conditional Use Permit.
  - b. LMC Section 15-15-1 defines *Setback* as “[a] line parallel to a Property Line (or a Right-of-Way, platted Street, existing curb or edge of a Street, whichever line may extend furthest into the lot) at a distance established by the Zoning District. Between this line and the corresponding Property Line, no Structure or portion thereof shall be permitted, erected, constructed, or placed unless specifically allowed by the Zoning District
  - c. The required Front Setback is therefore 10 feet from the Front Property Line.
7. The proposed retaining wall, as conditioned, complies with the Conditional Use Permit criteria outline in LMC Section 15-1-10(E).

CUP Review Criteria	Analysis of Proposal
Size and Location of the Site	<b>No Mitigation Required:</b> The proposed retaining wall will be between 7 inches to 33 inches tall when viewed from the street. The retaining wall will be approximately 6 feet tall when viewed from the front yard and will span along portions of the west and south property lines and will measure approximately 37 feet in length.
Traffic considerations including capacity of the existing Streets in the Area	<b>No Mitigation Required:</b> The retaining wall will not generate or impact traffic beyond the Use of the Site as a SFD.
Utility capacity, including Storm Water runoff	<b>Mitigating Condition of Approval Recommended:</b> Condition of Approval 3 requires that drainage behind the new retaining wall be maintained such that water drains away from the wall.
Emergency vehicle Access	<b>No Mitigation Required:</b> The retaining wall will not impact emergency vehicle access to the property.



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<p>Location and amount of off-street parking</p>	<p><b>No Mitigation Required:</b> The retaining wall is necessary to modify the grade along the west property line to allow a driveway that meets the requirements for a SFD. An addition of fill between the proposed retaining wall and the street mitigates the existing drop in grade and allows for the construction and use of the driveway.</p>
<p>Internal vehicular and pedestrian circulation system</p>	<p><b>No Mitigation Required:</b> The retaining wall is proposed within the 10 foot Front Setback and will allow pedestrian access into the front yard.</p>
<p>Fencing, Screening, and landscaping to separate the Use from adjoining Uses.</p>	<p><b>Mitigating Condition of Approval Recommended:</b> Condition of Approval 5 is recommended to require landscaping to visually screen the proposed retaining wall from the public Street, to buffer any possible negative visual effects of the structure.</p>
<p>Building mass, bulk, and orientation, and the location of Buildings on the Site; including orientation to Buildings on adjoining Lots</p>	<p><b>No Mitigation Required:</b> The proposed retaining wall will measure approximately 6 feet when viewed from the front yard area and between 7 inches and 33 inches when viewed from the street. The retaining wall will measure approximately 37 feet along the west and south property lines.</p>
<p>Usable Open Space</p>	<p><b>No Mitigation Required:</b> The proposed retaining wall will not impact usable Open Space at the property.</p>
<p>Signs and lighting</p>	<p><b>No Mitigation Required:</b> No signs or exterior lighting are proposed as a part of this retaining wall ACUP Application.</p>
<p>Physical design and Compatibility with surrounding Structures in mass, scale, style, design, and architectural detailing</p>	<p><b>No Mitigation Required:</b> The proposed retaining wall will consist of a concrete material that is appropriate for the Historic Residential District.</p>



**Planning Department**

<p>Noise, vibration, odors, steam, or other mechanical factors that might affect people and Property Off-Site</p>	<p><b>No Mitigation Required:</b> The proposed retaining wall will not affect noise, vibration, odors, steam, or other mechanical factors that might affect people and property off-Site.</p>
<p>Control of delivery and service vehicles, loading and unloading zones, and Screening of trash and recycling pickup Areas</p>	<p><b>No Mitigation Required:</b> No changes proposed that affects control of delivery and service vehicles.</p>
<p>Expected Ownership and management of the project as primary residences, Condominiums, time interval Ownership, Nightly Rental, or commercial tenancies, how the form of Ownership affects taxing entities</p>	<p><b>No Mitigation Required:</b> 954 Woodside is privately owned.</p>
<p>Within and adjoining the Site, environmentally Sensitive Lands, Physical Mine Hazards, historic Mine waste and Park City Soils ordinance, Steep Slopes, and appropriateness of the proposed Structure to the existing topography of the Site</p>	<p><b>No Mitigation Required:</b> The Site is not within the Sensitive Land Overlay, and is outside the Park City Soils Ordinance boundary.</p>
<p>Reviewed for consistency with the</p>	<p><b>No Mitigation Required:</b> The 2025 General Plan recommends maintaining and protect the City's unique</p>



**Planning Department**

goals and objectives of the Park City General Plan; however such review for consistency shall not alone be binding	Historic District. The proposed retaining wall complies with the General Plan as the material, location, size, and location is consistent with the character and existing conditions of the historic district.
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**Conclusions of Law**

1. The retaining wall, as conditioned, complies with LMC Chapter 15-2.2 *Historic Residential -1 Zoning District* and LMC Section 15-1-10(E) *Conditional Use Permits*.
2. The proposed Use, as conditioned, will be compatible with the surrounding Structures in Use, scale, massing, and circulation.
3. The effects of any differences in Utah or scale have been mitigated through careful planning.

**Conditions of Approval**

1. Final building plans and construction details shall reflect substantial compliance with the plans approved March 19, 2026, by the Planning Director. Any changes, modifications, or deviations from the approved design and placement that have not been approved in advance by the Planning and Building Departments may result in a stop work order.
2. The Applicant shall obtain a Building Permit for the retaining wall and complete Engineering Department review for the retaining wall prior to construction.
3. Drainage behind the new retaining wall shall be maintained such that storm water runoff drains away from the wall to abate retaining wall failure.
4. Landscaping to visually screen the retaining wall from the public Street will consist of perennial shrubs, grasses, and trees.

This Final Action may be appealed pursuant to LMC [§ 15-1-18](#). If you have questions or concerns regarding this Final Action Letter, please call (435) 640-0558 or email [nannette.larsen@parkcity.gov](mailto:nannette.larsen@parkcity.gov)

Sincerely,

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Rebecca Ward  
Planning Director



**Planning Department**

CC: Nan Larsen

# Planning Department Staff Report



**Subject:** 384 Woodside Avenue  
**Application:** PL-25-06388  
**Author:** Elissa Martin, Planning Project Manager  
**Date:** March 19, 2026  
**Type of Item:** Historic District Design Review

## Recommendation

(I) Review the Historic District Design Review (HDDR) to construct a new Single-Family Dwelling at 384 Woodside Avenue, (II) conduct a public hearing, and (III) consider approving the HDDR based on the Findings of Fact, Conclusions of Law, and Conditions of Approval outlined in the Draft Final Action Letter (Exhibit A).

## Description

**Applicant:** Rob and Laura Beasley  
Represented by Jonathan DeGray

**Location:** 384 Woodside Avenue

**Zoning District:** Historic Residential – 1

**Adjacent Land Uses:** Residential

**Reason for Review:** The Planning Director reviews and takes Final Action on HDDRs.<sup>1</sup>

HDDR Historic District Design Review  
HR-1 Historic Residential - 1  
LMC Land Management Code  
ROW Right-of-Way  
SFD Single-Family Dwelling  
SSCUP Steep Slope Conditional Use Permit

*Terms that are capitalized as proper nouns throughout this staff report are defined in LMC [§ 15-15-1](#).*

## Summary

384 Woodside Avenue is Lot B of the Wardell Replat First Amended Subdivision approved by the Planning Commission on April 2, 2025 ([Meeting Packet](#), Item 6C; [Minutes](#), p. 11).<sup>2</sup> The Applicant proposes to construct a new Single-Family Dwelling (SFD) on the Lot in the Historic Residential-1 (HR-1) Zoning District.

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<sup>1</sup> LMC [§ 15-11-12](#)

<sup>2</sup> The Plat has not yet been recorded, and this HDDR approval is conditioned upon the recordation of the Plat with Summit County.

## Background

On November 12, 2025, the Planning Commission approved the 384 Woodside Avenue Steep Slope Conditional Use Permit (SSCUP) with a Building Height exception for a Garage on a downhill Lot according to the provisions in LMC [§ 15-2.2-5 \(D\)\(4\)](#) ([Agenda Packet](#), Item 5D; [Minutes](#), p. 7). On February 5, 2026, the Planning Director considered the HDDR for the proposed SFD during an administrative public hearing and continued the item to February 19, 2026, at the Applicant's request, so the Applicant could review the LMC requirement for the maximum depth of a garage when a Building Height exception has been granted ([Agenda Packet](#), Item 1.D; [Minutes](#), p. 20). During the February 19, 2026 administrative public hearing, the item was continued again to a date uncertain, as there had not been any resolution reached with the Applicant regarding the depth of the garage. On March 12, 2026, the Applicant submitted updated plans that meet the dimensional requirements for a Garage, pursuant to LMC [§ 15-2.2-5 \(D\)\(4\)](#).



Figure 1: 384 Woodside Avenue (green) (Lot B of the Wardell First Amended Plat Amendment)



Figure 2: 384 Woodside Avenue proposed SFD within the Streetscape

### **Analysis**

See Final Action Letter, Exhibit A.

### **Department Review**

The Planning and Executive Departments reviewed this report.

### **Notice**

Staff published notice on the City's website and the Utah Public Notice website on March 5, 2026. Staff mailed courtesy notice to property owners within 100 feet and posted notice to the property on March 5, 2026.<sup>2</sup>

### **Public Input**

See Exhibit B for public input on the proposed SFD at 384 Woodside Avenue

### **Alternatives**

The Planning Director may:

- Approve the HDDR.
- Deny the HDDR and direct staff to make Findings for the denial.
- Request additional information and continue the discussion to a date certain.

### **Exhibit**

A: Draft Final Action Letter

Attachment 1: Approved Plans

B: Public Input

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<sup>2</sup> LMC [§ 15-1-21](#)



**Planning Department**

March 19, 2026

Rob and Laura Beasley  
CC: Jonathan DeGray

**NOTICE OF PLANNING DIRECTOR ACTION**

**Description**

Address: 384 Woodside Avenue

Zoning District: Historic Residential-1

Application: Historic District Design Review

Project Number: PL-25-06388

Action: APPROVED WITH CONDITIONS (See Below)

Date of Final Action: March 19, 2026

Project Summary: The Applicant proposes to construct a new Single-Family Dwelling (SFD) on a non-Historic Site in the Historic Residential-1 (HR-1) Zoning District.

**Action Taken**

On March 19, 2026, the Planning Director conducted a public hearing and approved the Historic District Design Review (HDDR) for a new SFD at 384 Woodside Avenue, according to the following Findings of Fact, Conclusions of Law, and Conditions of Approval:

**Findings of Fact**

1. 384 Woodside Avenue is Lot B of the Wardell Replat First Amended Subdivision, approved by the Planning Commission on April 2, 2025; the plat has not been recorded and this HDDR approval is conditioned upon the recordation of the Plat with Summit County.
2. The existing SFD straddles the common Lot line and is proposed to be demolished and two new SFDs are proposed to be constructed on Lot A and B.
3. On July, 8, 2025, the property owner submitted an HDDR application to construct a SFD at 384 Woodside Avenue, a non-Historic site, in the HR-1 Zoning District.



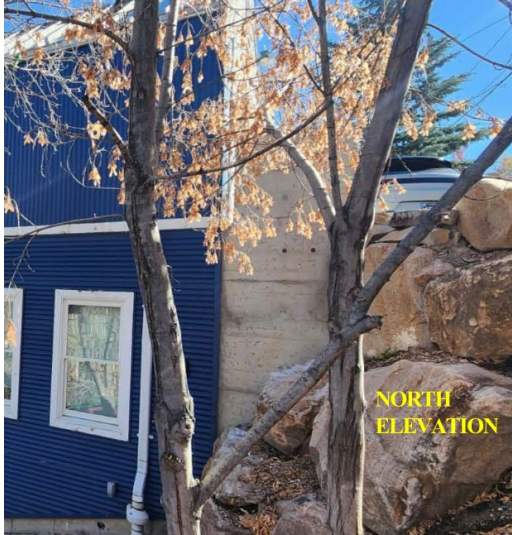
**Planning Department**

4. The proposed SFD must meet the HR-1 Zoning District Lot and Site Requirements, pursuant to LMC § 15-2.2-3:

Zoning Requirement	Analysis
LMC § 15-2.2-3(A)  Minimum Lot Size for an SFD – 1,875 square feet	COMPLIES: The SFD is proposed on a 1,875-square-foot Lot.
Maximum Lot Size – 3,750 square feet	COMPLIES: The area of the Lot is under 3,750 square feet, at 1,875 square feet.
LMC § 15-2.2-3(B) Minimum Lot Width is 25 feet, measured 15' back from the Front Lot Line	COMPLIES: The Lot measures 25 feet in width.
LMC § 15-2.2-3(E) Maximum Building Footprint – 843.75 square feet <sup>1</sup>	COMPLIES: The proposed SFD has a Building Footprint of 842 square feet.
LMC § 15-2.2-3(F) Lots that are 75 feet in depth require 10-foot Front and Rear Setbacks <sup>2</sup>	COMPLIES: The Lot is 75 feet in depth. The proposed SFD and decks are set back 10 feet from the Front and Rear Lot lines.
LMC § 15-2.2-3(G)(1), Front Setback must be open and free of any Structure except:  “Fences, walls, and retaining walls not more than four feet (4') in height, or as permitted in Section 15-4-2 Fences and Retaining Walls”, which states:  “Within any required Front Setback or Street Side Setback, Fences and retaining walls shall not exceed four feet (4') in height, measured from Final Grade”.	COMPLIES w/Condition: There is an existing retaining wall that stabilizes the driveway and partially encroaches into the Front Setback. If a new retaining wall is proposed to replace the existing one, and exceeds four feet in height within the Front Setback, it will require an Administrative Conditional Use Permit. See Condition of Approval 10.

<sup>1</sup> MAXIMUM FP = (A/2) x 0.9<sup>A/1875</sup> where FP = maximum Building Footprint and A = Lot Area.

<sup>2</sup> LMC § 15-2.2-3(F)

<p>“Roof overhangs, eaves or cornices projecting not more than three feet (3’) into the Front Setback.”</p> <p>“Hard-surfaced driveways leading to a Garage”</p>	 <p>COMPLIES: The roof overhang extends two feet into the Front Setback.</p> <p>COMPLIES: The proposed driveway is within the Front Setback and leads to an approved garage (see below for additional Off-Street Parking requirements related to the driveway).</p>
<p>LMC § 15-2.2-3(H), the Rear Setback must be open and free of any Structure (except those elements listed in the above section).</p>	<p>COMPLIES: No Structures are proposed in the Rear Setback.</p>
<p>LMC § 15-13-2.2-3(I) Side Setbacks for Lots up to 25 feet in width require three-foot Setbacks on each side<sup>3</sup></p> <p>Pursuant to LMC § 15-2.2-3(J), the Side Setback must be open and free of any Structure except:</p> <p>LMC § 15-4-2(A), “Fences and retaining walls shall not exceed six feet (6’) in height measured from Final Grade within any required Rear Setback or Side Setback.”</p>	<p>COMPLIES: The SFD is set back three feet from the side Lot Lines.</p> <p>COMPLIES: The Applicant proposes retaining walls that encroach into the Side Setback that do not exceed six feet in height.</p>

<sup>3</sup> LMC [§ 15-2.2-3\(I\)](#)



Planning Department

“A one foot (1’) roof or eave overhang is permitted on Lots with a Side Setback of less than five feet (5’)”

“Pathways or steps connecting to a City staircase or pathway”

COMPLIES: The roof overhang extends one foot into the Side Setbacks on each side.

There are existing steps on the property (in the Side Setback) that connect to existing steps in the 4<sup>th</sup> Street (unbuilt) Right-of-Way (ROW). The plans indicate the steps in the Side Setback are proposed to be removed. Condition of Approval 13 requires the existing steps in the unbuilt ROW be removed unless there is an approved encroachment agreement with the City.



5. To meet the minimum Off-Street Parking requirement of two Parking Spaces, pursuant to Off-Street Parking standards outlined in LMC § 15-3-6(A), the Applicant requested Planning Commission approval of a Building Height exception pursuant to LMC § 15-2.2-5 (D)(4) *Building Height Exceptions, Garage on Downhill Lot*.
6. On November 12, 2025, the Planning Commission granted the exception and found the following:
  - a) The site is limited in depth and contains Very Steep Slopes; additionally, the required Off-Street Parking is limited to the portion of the driveway that is outside the public ROW and the garage.
  - b) The length of the driveway outside the public ROW is 18 feet, which will accommodate one Parking Space with the required dimension of 18 feet in depth, pursuant to LMC § 15-3-3(F), *Parking Space Dimensions*.



**Planning Department**

- c) The Applicant proposes a tandem parking configuration with the second required Parking Space in a single-car garage that has a Building Height of 32 feet, 2 inches from Existing Grade for the north gable end of the garage. The proposed garage exceeds the 27-foot Zone Height, by five feet, two inches.
- d) The Applicant's plans show the garage has a depth of 18 feet, which meets the HR-1 requirement according to the Building Height Exception for Garages on a Downhill Lot, which states the depth of the garage shall not exceed the minimum depth for internal Parking Space(s), pursuant to LMC § 15-3-3(F), Parking Space Dimensions, which is 18 feet in depth.

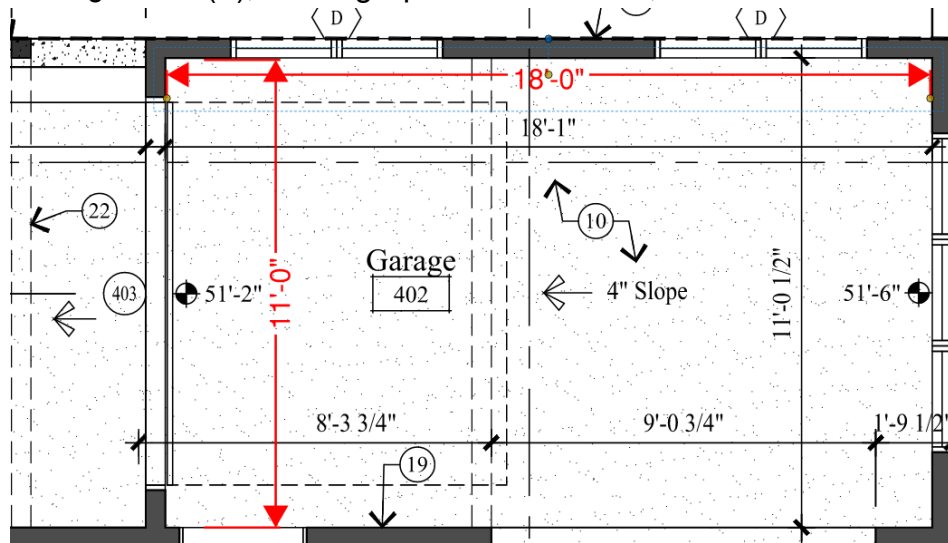


Figure 1: Excerpt from Applicant's plans with staff's measurements of the garage

- 7. The proposed SFD must meet the HR-1 Zoning District Building Height requirements outlined in LMC § 15-2.2-5, as follows:
  - a) While most of the Building, as measured from Existing Grade, meets the HR-1 Zone height of 27 feet, the Applicant requested a Building Height exception to allow a height of 32 feet, 2 inches from Existing Grade, for the north gable end of the garage, pursuant to LMC § 15-2.2-5(D)(4), *Building Height Exception, Garage on a Downhill Lot*, which provides that the Planning Commission may grant a Building Height exception up to 35' to accommodate a single car wide garage in a Tandem Parking configuration. On November 12, 2025, the Planning Commission approved the exception as part of the Steep Slope Conditional Use Permit.



## Planning Department

- b) The HR-1 Zoning District establishes a maximum 35-foot internal height requirement. The Applicant's proposed interior height, measured from the Lowest Floor Plane to the point of the highest wall top plate that supports the ceiling joists is 35 feet 8 inches. On November 12, 2025, the Planning Commission approved the Building Height exception.
  - c) The proposed SFD meets the requirement for a 10-foot horizontal step in the downhill façade.
  - d) The proposed Contributing Roof Form has a 7:12 roof pitch, consistent with the requirement to be between 7:12 and 12:12 pitch. The rear of the Structure contains a shed roof.
  - e) The proposed Final Grade is within four feet of Existing Grade.
8. The proposed SFD must meet the standards outlined in LMC § 15-13-8(A) *Regulations for New Residential Infill Construction in Historic Districts, Universal Regulations*:
- a. The proposed SFD is a simple building form, with unadorned materials and restrained ornamentation.
  - b. The proposed SFD does not directly imitate existing historic structures and is designed with a contemporary interpretation of the selected style of architecture.
  - c. The proposed SFD is differentiated from historic structures in that it is a modern interpretation of historic structures, yet it is compatible with historic structures in materials, features, size, scale, proportion and massing. The SFD is proposed to be clad in horizontal wood siding, and the overall Structure is broken into smaller modules with varied sloping roof forms that reflect the scale and massing of historic structures.
  - d. The building is designed to step up the Steep Slope, with terraced retaining walls that minimize the appearance of large cuts and fill.
  - e. The exterior elements are designed to be of human scale and are compatible with neighboring Historic Structures.
  - f. The scale and height of the proposed Structure reflects the predominant pattern of the Streetscape.
9. The proposed SFD must meet the standards outlined in LMC § 15-13-8(B) *Regulations for New Residential Infill Construction in Historic Districts, Specific Guidelines* as follows:



**Planning Department**

<p>1. Site Design</p>	
<p>a) Building Setback and Orientation          LMC § 15-13-8(B)(1)(a) states, "Structures shall be located on a site in a way that follows the predominant pattern of historic buildings along the street, maintaining traditional setbacks, orientation of entrances, alignment along the street, and open space."</p>	<p>COMPLIES: The proposed SFD is sited such that it is consistent with the pattern of the surrounding Structures and Lot conditions, maintaining the minimum Setbacks required by the HR-1 Zoning District.</p>
<p>b) Topography and Grading: LMC § 15-13-8(B)(1)(b) states, "Building and site design shall respond to natural features. New infill residential buildings shall step down or up to follow the existing contours of steep slopes."</p>	<p>COMPLIES: The proposed Structure steps with the downhill slope of the site and while retaining walls will be required to accomplish the construction, the site is already disturbed from the existing home, and cuts in Existing Grade will be terraced.</p>
<p>c) Landscaping and Vegetation:          "Existing landscape features that contribute to the character of the Historic District and existing landscape features that provide environmental sustainability benefits shall be respected and maintained."           "A detailed landscape plan, particularly for areas viewable from the primary public right-of-way, which respects the manner and materials traditionally used in the Historic Districts, shall be provided."</p>	<p>See Conditions of Approval 6 and 7: Impacts to existing vegetation shall be minimized; any areas disturbed during construction surrounding the proposed work shall be brought back to their original state. The Applicant's Landscape Plan shall detail areas viewable from the primary public right of way, where landscaping shall contribute to the character of the Historic District; existing landscape features that provide environmental sustainability benefits shall be respected and maintained.           The proposed landscaping shall be at least 50% Water Wise and compliant with § 15-5-5(N). The Applicant shall provide an updated Water Wise irrigation plan at building permit submission.</p>
<p>d) Retaining Walls -          LMC § 15-13-8(B)(1)(d) states, "a site shall be contoured in a way that reduces the need for retaining walls."</p>	<p>COMPLIES: The proposed development of a SFD on the Steep Slope requires retaining walls; the plans indicate the retaining walls step with the Existing Grade and are no more than four feet in height; cuts in the grade create terraced areas for landscaping to screen the retaining walls.</p>



**Planning Department**

<p>h) Parking Area &amp; Driveways.          LMC § 15-13-8(B)(1)(h)(7) requires a maximum 10-foot driveway width in Historic Districts.</p>	<p>COMPLIES:          The Applicant proposes a 10-foot-wide driveway.           See the parking analysis above regarding Off-Street Parking requirements.</p>
<p>2. Primary Structures</p>	
<p>a) Mass, Scale, &amp; Height</p>	<p>COMPLIES: The SFD is compliant with Zoning District regulations regarding Building Footprint, Setbacks, height and massing, and dwelling volume requirements of the Steep Slope Criteria.</p> <p>The height of the garage exceeds the HR-1 Zone Height of 27 feet. On November 12, 2025, the Planning Commission approved a building height exception pursuant to LMC § 15-2.2-5(D)(4) <i>Building Height Exception, Garage on a Downhill Lot</i>.</p> <p>The proposed SFD includes variations in roof height to break up the form, mass and scale of the overall Structure.</p> <p>The primary façade, as viewed from the street, is one story in height and is compatible with the historic character area.</p> <p>The building mass is broken into modules that relate to structures in the character area, and to the scale of historic buildings, to minimize the perceived mass of the Structure and to reflect the mass, scale and proportions of historic buildings within the Streetscape.</p>
<p>b) Foundation – LMC § 15-13-8(B)(2)(b) states, "No more than two (2) feet of the new foundation shall be visible above final grade on secondary and tertiary facades."</p>	<p>COMPLIES: The exposed foundation on the Lower Level, North Elevation exceeds two feet in height. The Applicant revised the plans to add wood siding material to the exposed foundation.</p>



Figure 2: Area shaded in yellow is the exposed foundation clad in additional siding material

c) Doors – LMC § 15-13-8(B)(2)(c) states, "All buildings that face the street shall have a well-defined primary entrance."

"Doors shall be designed and finished with trim elements similar to those used historically."

COMPLIES: The front entrance is proud of the garage door by 6 feet 8 inches and is defined with a gabled roof over an entry porch.

The proposed design and finish of the trim elements of the door are wood and insulated glass.

d) Windows -- LMC § 15-13-8(B)(2)(d) states, "Ratios of solid-to-void that are compatible with surrounding historic buildings shall be used" and "Windows shall be historic size and shall relate to the human scale of the Historic District."

COMPLIES: The glazing has been broken up to reflect the historic 2:1 vertical orientation and solid-to-void ratio of Historic Window openings.

The large expanse of glazing on the sliding doors that open to the rear deck on the Living Level, is located on the tertiary façade and is screened by a solid railing as opposed to an open railing.



**Planning Department**

	Accent windows which do not reflect a 2:1 ratio are located primarily on the secondary and tertiary façades.
<p>e) Roofs - LMC § 15-2.2-5 requires a roof pitch of at least 7:12.</p> <p>LMC § 15-13-8(B)(2)(e), states, "Roofs of new residential infill buildings shall be visually compatible with roof shapes and orientation of surrounding Historic Sites and adjacent buildings that contribute to the character of the Historic District."</p>	<p>COMPLIES: The proposed gable and shed roof forms are compatible with surrounding Structures, and the contributing roof form has a roof pitch of 7:12.</p>
<p>3. LMC § 15-13-8(B)(3) Mechanical and Utility Systems and Service Equipment:</p> <p>"Mechanical and/or utility equipment, including heating and air conditioning units, meters, and exposed pipes, shall be located on the back of the building or in another inconspicuous location."</p> <p>"Ground-level equipment shall be screened from view using landscape elements such as fences, low stone walls, or perennial plant materials".</p>	<p>See Condition of Approval 16: All mechanical equipment shall be located on the tertiary façade, or on the secondary façade beyond the midpoint of the structure; visual impact of the equipment shall be minimized by incorporating it as an element of the building or landscape design. Mechanical equipment shall be fully screened from adjacent properties and from cross-canyon vantage points.</p>
<p>4. Materials:</p> <p>a. "Building materials shall be compatible in scale, proportion, texture, finish and color to materials used on Historic Structures in the Historic District. The dimensions of masonry units, wood siding, and other building materials shall be similar to those used historically."</p> <p>b. "The primary siding material for new structures shall appear similar to those on historic structures in the Streetscape or character area.</p>	<p>COMPLIES: The proposed siding is cedar wood, painted opaque in a horizontal orientation, which is compatible with traditional siding of Historic Structures.</p>



**Planning Department**

<p>Historically, the most common material on primary structures was painted horizontal lap siding with a reveal between 6 to 8 inches. Secondary structures such as barns and sheds typically had siding of unpainted wood (horizontal lap or vertical board and batten) or corrugated metal panels."</p>	
<p>5. Garages: LMC § 15-13-8(B)(6)(b) states, "Single vehicle garage doors not greater than 9 feet wide by 9 feet high shall be used to access the garage."</p>	<p>COMPLIES: The proposed single-car garage door is nine feet wide by nine feet tall, and the glazing is no more than 30% of the total square footage of the garage door façade.</p>

**Conclusions of Law**

1. The proposal complies with LMC § 15-11-12 *Historic District or Historic Site Review*.
2. The proposal, as conditioned, complies with LMC Chapter 15-2.2 *Historic Residential – 1 (HR-1) District*.
3. The proposal complies with LMC Chapter 15-3 *Off-Street Parking*.
4. The proposal, as conditioned, complies with LMC § 15-13-8 *Regulations for New Residential Sites in the Historic District*.

**Conditions of Approval**

1. If the Applicant does not obtain a building permit within one year of the date of this approval, this HDDR approval will expire unless the Applicant submits a written extension request to the Planning Department prior to the expiration date and the Planning Department approves an extension.
2. Final building plans and construction details shall reflect substantial compliance with the plans approved March 19, 2026 by the Planning Department. Any changes, modifications, or deviations from the approved design that have not been approved in advance by the Planning and Building Departments may result in a stop work order.
3. The Applicant is responsible for notifying the Planning and Building Departments prior to making any changes to the approved plans.



## Planning Department

4. Any changes, modifications, or deviations from the approved scope of work shall be submitted in writing for review and approval/denial in accordance with the applicable standards by the Planning Director or their Designee prior to construction.
5. The Applicant shall provide adequate snow storage for the new driveway on site and if the driveway is heated, the Applicant shall obtain Engineering Department approval of an encroachment agreement for the portion of the heated driveway in the public right-of-way.
6. The Applicant shall submit a detailed landscaping and irrigation plan demonstrating compliance with LMC Section 15-5-5(N) for review and approval prior to Building Permit issuance.
7. The Applicant shall replace any significant vegetation removed in an equivalent manner on site.
8. The Applicant shall submit detailed storm water and drainage mitigation plans to the Engineering Department for review and approval prior to Building Permit issuance.
9. The site shall be re-graded so as to blend with the grade of adjacent sites and not create the need for incompatible retaining walls.
10. Proposed retaining walls must be clearly identified on the construction plans, showing height and material; new retaining walls that encroach into the Front Setback shall not exceed four feet in height from Final Grade, unless an Administrative Conditional Use Permit is approved.
11. No more than two feet of foundation shall be visible on the proposed SFD on the secondary and tertiary facades.
12. Because the home is five feet or less from the property line, snow shed and Access Agreements will need to be made with neighboring properties.
13. The existing steps in the unbuilt public ROW shall be removed unless there is an approved encroachment agreement with the City.
14. Roofing materials shall have a Solar Reflectivity Index (SRI) of 35 or less.
15. Any changes to the proposed siding materials must be submitted to the Planning Department for review and approval during Building Permit stage.
16. All mechanical equipment shall be indicated on the Building Permit plans, and be located on the tertiary façade, or on the secondary façade beyond the midpoint of the structure; visual impact of the equipment shall be minimized by incorporating it as an element of the building or landscape design. Mechanical equipment shall



**Planning Department**

be fully screened from adjacent properties and from cross-canyon vantage points, and shall comply with Setback requirements.

17. Prior to submitting a building permit, the Applicant shall demolish the existing SFD and record the Wardell Replat First Amended Subdivision, approved by the Planning Commission on April 2, 2025 for the creation of two Lots.

This Final Action may be appealed pursuant to LMC [§ 15-1-18](#). If you have questions or concerns regarding this Final Action Letter, please call the project planner at 435-699-7741 or email [elissa.martin@parkcity.gov](mailto:elissa.martin@parkcity.gov).

Sincerely,

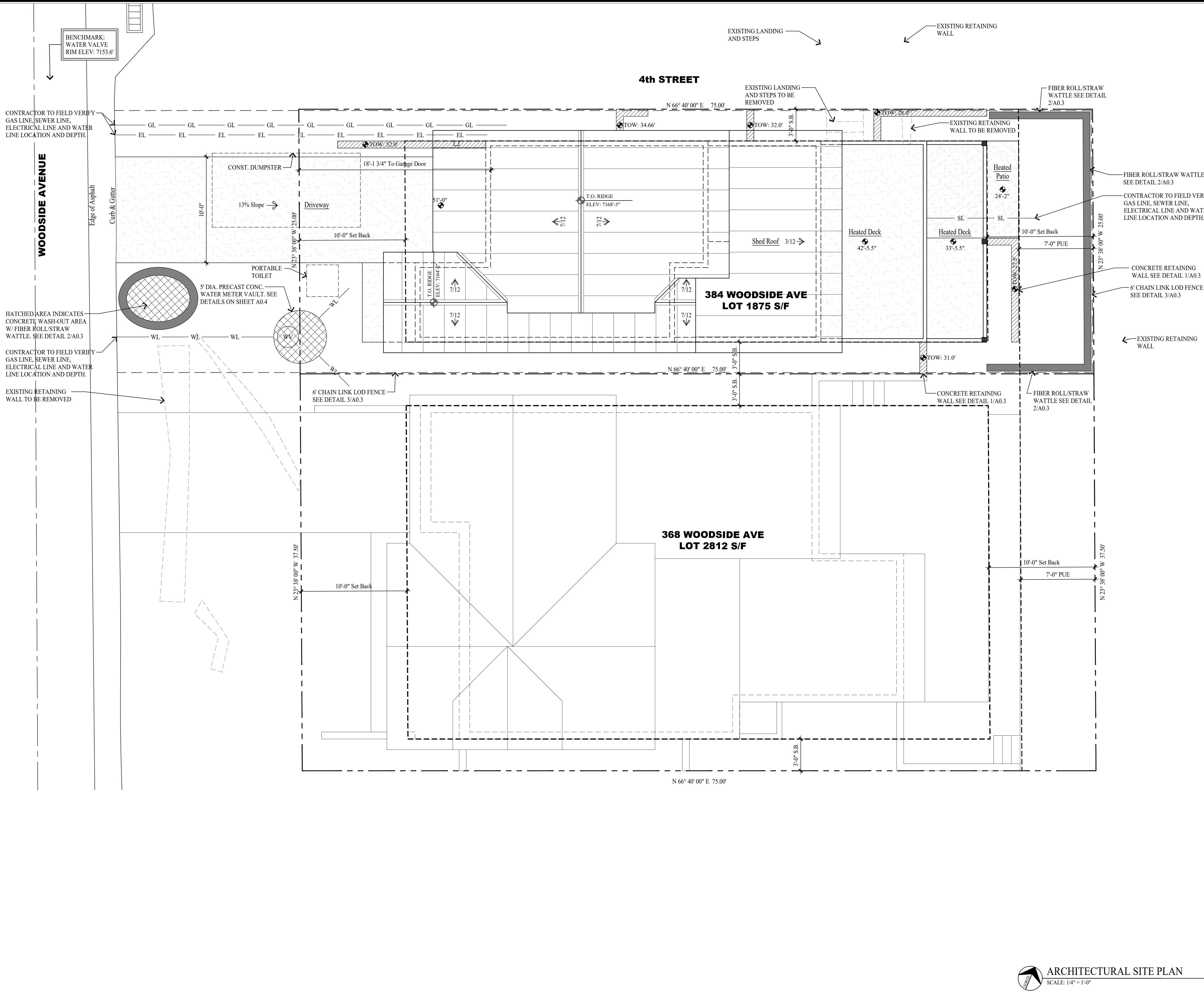
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Rebecca Ward, Planning Director

CC: Elissa Martin

Attachment 1: Approved Plans

THE GRAPHIC MATERIAL AND DESIGN ON THIS SHEET ARE INSTRUMENTS OF SERVICE AND REMAIN AT ALL TIMES THE PROPERTY OF JONATHAN DEGRAY - ARCHITECT P.C. REPRODUCTION OR REUSE OF THE MATERIAL AND DESIGN CONTAINED HEREIN IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF JONATHAN DEGRAY - ARCHITECT P.C. VIOLATORS WILL BE PROSECUTED TO THE FULLEST EXTENT OF THE LAW. JONATHAN DEGRAY - ARCHITECT P.C. ALL RIGHTS RESERVED



### GENERAL NOTES

**SITE PLAN NOTES:**  
 1. ALL SURFACE WATER SHALL DRAIN AWAY FROM THE HOUSE AT ALL POINTS. DIRECT THE DRAINAGE WATER TO THE STREET OR AN APPROVED DRAINAGE COURSE BUT NOT ONTO THE NEIGHBORING PROPERTIES. THE GRADE SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10 FEET. -IRC R401.3

**STABILIZATION CONSTRUCTION ENTRANCE**  
 FOR A MINIMUM OF 50' FROM ROADWAY. A FILTER FABRIC SHALL BE INSTALLED OVER A COMPACTED SUBGRADE. A 6" LAYER OF 1"-2" AGGREGATE SHALL BE PLACED OVER THIS MEMBRANE. DAILY INSPECTION FOR SEDIMENT BUILD UP AND/OR LOSS OF GRAVEL WILL BE ENFORCED, AND REMEDIED AT ONCE.

**GRADING NOTES**  
 1. DRAINAGE TO COMPLY WITH IRC CHAPTER 4  
 2. MAXIMUM ALTERED SLOPES AT 2:1  
 3. MINIMUM SLOPE FOR DRAINAGE = 2%  
 4. DRAIN AWAY FROM BUILDING  
 5. CONTAIN DRAINAGE ON PROPERTY  
 6. BOULDER RETAINING WALLS NOT TO EXCEED 4'-0" EXPOSED HEIGHT  
 7. EXCAVATION NOT TO EXCEED 2:1 SLOPE WITH OUT A SOILS REPORT.

**UTILITY NOTES**  
 1. ALL UTILITY LINES TO BE UNDERGROUND.  
 2. ABOVE GRADE UTILITY BOX TO BE IN SCREENED LOCATION.

**SNOW REMOVAL**  
 SNOW PLOWED FROM DRIVE SHALL NOT BE PUSHED ONTO THE STREET.

### LEGEND

- SEWER MANHOLE LID
- ELECTRIC METER BOX
- GAS METER
- WATER VALVE
- WATER METER
- STORM DRAIN LID
- POWER POLE
- WATER METER VAULT
- DATUM ELEVATION
- FIRE HYDRANT
- TELECOM BOX
- ELECTRICAL BOX
- SEWER CLEAN OUT
- LOD FENCE
- SURFACE DRAINAGE FLOW
- EXISTING CONTOUR LINE
- NEW CONTOUR LINE
- ASSUMED CONTOUR LINE
- PROPERTY LINE
- SET BACK LINE
- EXISTING HOUSE FOOTPRINT
- EXISTING ELECTRICAL LINE
- WATER LINE
- SEWER LINE
- GAS LINE
- ELECTRICAL LINE

0 5 10'  
 GRAPHIC SCALE

NOTE:  
 1. SWPPP SIGN AND SWPPP DOCUMENT MUST BE ON SITE DURING CONSTRUCTION.  
 2. DOWNSTREAM SEDIMENT TRAPS NEED TO EXTEND UP BOTH SIDES FAR ENOUGH TO PREVENT OFFSITE DEPOSITION. FIELD VERIFY.

IMPERVIOUS AREA: 1375 S/F

**Jonathan DeGray**  
 Architect

P.O. Box 1674, 614 Main Street, Suite 302, Park City, Utah 84060  
 Tel. 435-649-7263, E-mail: degrayarch@westoffice.net

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PROJECT DESCRIPTION:  
**BEASLEY RESIDENCE**  
 HISTORIC DISTRICT DESIGN REVIEW

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384 WOODSIDE AVENUE, PARK CITY, UTAH 84060

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SHEET DESCRIPTION:  
**ARCHITECTURAL SITE PLAN**

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REVISIONS:

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DATE:  
 JANUARY 12, 2026

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PROJECT NUMBER:  
 2503-01

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SHEET NUMBER:  
**A0.1**

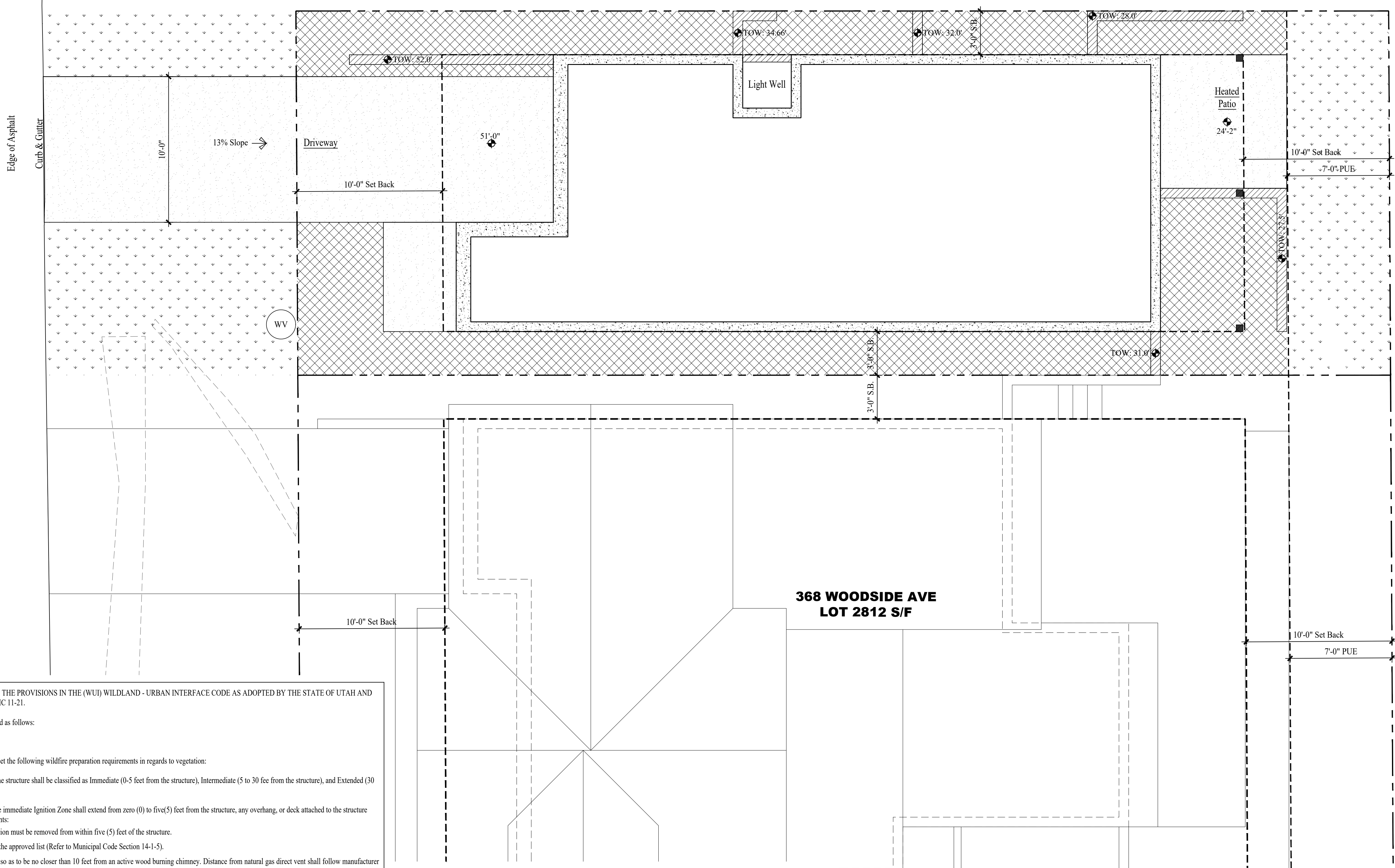
THE GRAPHIC MATERIAL AND DESIGN ON THIS SHEET ARE INSTRUMENTS OF SERVICE AND REMAIN AT ALL TIMES THE PROPERTY OF JONATHAN DEGRAY - ARCHITECT P.C. REPRODUCTION OR REUSE OF THE MATERIAL AND DESIGN CONTAINED HEREIN IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF JONATHAN DEGRAY - ARCHITECT P.C. VIOLATORS WILL BE PROSECUTED TO THE FULLEST EXTENT OF THE LAW. JONATHAN DEGRAY - ARCHITECT P.C. ALL RIGHTS RESERVED.

**WOODSIDE AVENUE**

**4th STREET**

**368 WOODSIDE AVE  
LOT 2812 S/F**

BENCHMARK:  
WATER VALVE  
RIM ELEV.: 7153.6'



BUILDING SHALL COMPLY WITH THE PROVISIONS IN THE (WU) WILDLAND - URBAN INTERFACE CODE AS ADOPTED BY THE STATE OF UTAH AND AMENDED BY PARK CITY PER LMC 11-21.

1. Section 603.5, is added and shall read as follows:
- 603.5 Home Ignition Zone.
- 603.5.1 Purpose. All structures must meet the following wildfire preparation requirements in regards to vegetation:
- 603.5.2 Ignition Zones. Areas around the structure shall be classified as Immediate (0-5 feet from the structure), Intermediate (5 to 30 feet from the structure), and Extended (30 to 100 feet from the structure).
- 603.5.2.1 Immediate Ignition Zone. The immediate Ignition Zone shall extend from zero (0) to five(5) feet from the structure, any overhang, or deck attached to the structure and shall meet the following requirements:
- All dead and dying vegetation must be removed from within five (5) feet of the structure.
  - All vegetation must be on the approved list (Refer to Municipal Code Section 14-1-5).
  - All trees must be trimmed so as to be no closer than 10 feet from an active wood burning chimney. Distance from natural gas direct vent shall follow manufacturer recommendations.
- 603.5.2.2 Intermediate Ignition Zone. The Intermediate Ignition Zone shall extend from the edge of the Immediate Ignition Zone to a distance not to exceed 30 feet, which may include an area outside the established LOD, and shall meet the following requirements:
- All vegetation in this zone must be on the approved list. See Municipal Code Section 14-1-5 (Also see 2006 Utah Wildland Urban Interface Code Appendix B).
  - All dead and dying vegetation shall be removed.
  - Grasses must be kept to a maximum of 4 inches in height above ground.
  - Vegetation under trees shall be removed so as to preclude the laddering effect of a ground fire from spreading into the tree crown.
  - Trees taller than 10 feet and less than 15 feet must have all branches removed from within four (4) feet of the ground as measured from the highest point of the ground below the canopy of the tree.
  - Trees greater than 15 feet must have all branches removed from within six (6) feet of the ground as measured from the highest point of the ground below the canopy of the tree.
  - Trees and shrubs must be clustered with the canopies of the clusters being no closer than 18 feet to the next closest cluster.
  - No single tree cluster shall exceed five (5) trees or cover more than 15% of the Intermediate Ignition Zone, whichever is lesser.
- Exception: Structures meeting all of the requirements labeled in sub-section C items 1 through 4 and at least 3 of the items labeled 5 through 9 listed in Section 603.4.3 are not required to meet items 5 through 8 above. Notwithstanding any exception, all landscaping in the Intermediate Ignition Zone must be such that a ground fire is not likely to spread into the tree canopy.
- 603.5.2.3 Extended Ignition Zone. The Extended Ignition Zone shall extend from the edge of the Intermediate Ignition Zone to a distance not to exceed 100 feet, which may include an area outside of the established LOD, and shall meet the following requirements:
- All dead and dying vegetation shall be removed.
  - Small conifers growing between trees may be removed in the context of clumping, clustering, and thinning, in accordance with Section 603.4.
  - Trees greater than 15 feet must have all branches removed from within six (6) feet of the ground as measured from the highest point of the ground below the canopy of the tree.
  - Trees and shrubs must be clustered with the canopies of the clusters being no closer than 12 feet to the next closest cluster.
  - No single tree cluster shall exceed 5 trees or cover more than 25% of the Intermediate Ignition Zone, whichever is lesser.
- 603.5.2.4 Exception Structures meeting all of the items listed in Section 603.4 are not required to meet items 3 through 5 above. Notwithstanding any exception, all landscaping in the Extended Ignition Zone must be such that a ground fire is not likely to spread into the tree canopy.

**PLANT SCHEDULE**

SYMBOL	KEY	QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	COMMENTS
DECIDUOUS TREES							
(A)	2	Aspen	Populus tremuloides	3" Dia.	6'-10'		
(B)	2	Rocky Mtn. Maple	Acer Glabrum	3" Dia.	3'-8"		
(C)	1	Flowering Crabapple	Malus Floribunda	3" Dia.	6'-8"	6'-10" Tall	
SHRUBS							
(D)	8	Red twig dogwood	Cornus sericea "baileyi"	5 Gal.			Spacing as noted on plan
(E)	8	Red Chokeberry	Aronia arbutifolia	5 Gal.			Spacing as noted on plan
(F)	5	Honeysuckle	Diervilla Lonicera	5 Gal.			Spacing as noted on plan
GROUND COVER and HYDROSEEDING							
(G)	30	Mountain Lover	Pachistima Myrsinites	4" Pots	12"-18"		Distribute Equally
(H)	30	Creeping Mahonia	Mahonia Repens	1 Gal.	12"-18"		Distribute Equally
(I)	100 S/F	Wood Chips		Small			3" Thick Layer
(J)	414 S/F	Native Grass Seed Mix		1 lb/1500	Hydroseed		See seed mix below

**NATIVE GRASS SEED MIX**  
The seed mix shall be utilized in areas specified for native grasses. This mixture shall be applied at a sufficient rate so that germination and subsequent coverage reaches 80% in a representative 10'x10' area. If coverage does not reach 80% reseeded must occur. Apply at a rate of 80 lbs./acre on the following percentages:  
20% Crested Wheatgrass, 10% Streambank Wheatgrass, 20% Pubescent Wheatgrass, 15% Perennial Ryegrass, 15% Mountain Bromegrass, 10% Indian Ryegrass, 10% Alpine Bluegrass.  
\* In addition, add 10 lbs./acre each of Linum lewisii and Penstemon Eatonii with native grass seed mixture.

- PLANTING NOTES**
- CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO INITIATION OF EXCAVATION OR PLANTING OPERATIONS. ANY DAMAGE TO EXISTING UTILITIES ON SITE OR ADJACENT PROPERTY SHALL BE CONTRACTORS RESPONSIBILITY.
  - ALL PLANT MATERIAL SHALL CONFORM TO CURRENT AMERICAN ASSOCIATION OF NURSERYMANS STANDARD SPECIFICATIONS.
  - ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DRAWINGS, DETAILS, AND SPECIFICATIONS.
  - CONTRACTOR SHALL VERIFY ALL QUANTITIES. IN CASE OF A DISCREPANCY, THE ILLUSTRATED LOCATIONS SHALL DICTATE COUNT.
  - CONTRACTOR SHALL COORDINATE ALL PLANTING WITH IRRIGATION CONTRACTOR, AS NEEDED.
  - IN THE EVENT OF A DISCREPANCY NOTIFY THE ARCHITECT OR OWNER IMMEDIATELY.
  - NO SUBSTITUTIONS SHALL BE ALLOWED WITHOUT WRITTEN PERMISSION OF THE ARCHITECT OR OWNER.
  - SHRUB BEDS SHALL RECEIVE 6" OF TOPSOIL.
  - ALL SHRUB BEDS SHALL HAVE 3" OF DECOMPOSED BARK MULCH INSTALLED.
  - SHRUB BED EDGING SHALL BE PRESSURE TREATED WOOD OR "Trex" EDGING. IT SHALL SEPARATE ALL SHRUB BEDS/NATIVE GRASS LOCATIONS.
  - ALL PLANTS AND ALL PLANT STAKES SHALL BE SET PLUMB.
  - ALL ROOT WRAPPING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED AT TIME OF PLANTING AND PROPERLY DISCARDED.
  - NO BARE ROOT STOCK SHALL BE USED.

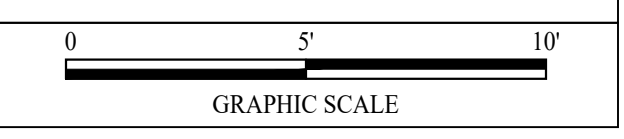
**NOTE:**  
THE LANDSCAPING SHALL HAVE AN IRRIGATION SYSTEM WITH A WATERSENSE LABELED SMART IRRIGATION CONTROLLER. PER LMC 15-5-5 (N).

**GENERAL NOTES**

- SITE PLAN NOTES:**
- ALL SURFACE WATER SHALL DRAIN AWAY FROM THE HOUSE AT ALL POINTS. DIRECT THE DRAINAGE WATER TO THE STREET OR AN APPROVED DRAINAGE COURSE BUT NOT ONTO THE NEIGHBORING PROPERTIES. THE GRADE SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10 FEET. -IRC R401.3
- STABILIZATION CONSTRUCTION ENTRANCE**
- FOR A MINIMUM OF 50' FROM ROADWAY. A FILTER FABRIC SHALL BE INSTALLED OVER A COMPACTED SUBGRADE. A 6" LAYER OF 1 1/2" AGGREGATE SHALL BE PLACED OVER THIS MEMBRANE. DAILY INSPECTION FOR SEDIMENT BUILD UP AND/OR LOSS OF GRAVEL WILL BE ENFORCED, AND REMEDIATED AT ONCE.
- GRADING NOTES**
- DRAINAGE TO COMPLY WITH IRC CHAPTER 4
  - MAXIMUM ALTERED SLOPES AT 2:1.
  - MINIMUM SLOPE FOR DRAINAGE = 2%.
  - DRAIN AWAY FROM BUILDING.
  - CONTAIN DRAINAGE ON PROPERTY.
  - BOULDER RETAINING WALLS NOT TO EXCEED 4'-0" EXPOSED HEIGHT.
  - EXCAVATION NOT TO EXCEED 2:1 SLOPE WITH OUT A SOILS REPORT.
- UTILITY NOTES**
- ALL UTILITY LINES TO BE UNDERGROUND.
  - ABOVE GRADE UTILITY BOX TO BE IN SCREENED LOCATION.
- SNOW REMOVAL**
- SNOW PLOWED FROM DRIVE SHALL NOT BE PUSHED ONTO THE STREET.

**LEGEND**

- SEWER MANHOLE LID
- ELECTRIC METER BOX
- GAS METER
- WATER VALVE
- WATER METER
- STORM DRAIN LID
- POWER POLE
- WATER METER VAULT
- DATUM ELEVATION
- FIRE HYDRANT
- TELECOM BOX
- ELECTRICAL BOX
- SEWER CLEAN OUT
- LOD FENCE
- SURFACE DRAINAGE FLOW
- EXISTING CONTOUR LINE
- NEW CONTOUR LINE
- ASSUMED CONTOUR LINE
- PROPERTY LINE
- SET BACK LINE
- EXISTING HOUSE FOOTPRINT
- EXISTING ELECTRICAL LINE
- WATER LINE
- SEWER LINE
- GAS LINE
- ELECTRICAL LINE



**NOTE:**  
1. SWPPP SIGN AND SWPPP DOCUMENT MUST BE ON SITE DURING CONSTRUCTION.  
2. DOWNSTREAM SEDIMENT TRAPS NEED TO EXTEND UP BOTH SIDES FAR ENOUGH TO PREVENT OFFSITE DEPOSITION. FIELD VERIFY.

DISTURBED / GROUND COVER AREA: 514 S/F

**Jonathan DeGray**  
A r c h i t e c t

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Tel. 435-649-7263, E-mail: degrayarch@qwestoffice.net

**BEASLEY RESIDENCE**  
HISTORIC DISTRICT DESIGN REVIEW

384 WOODSIDE AVENUE, PARK CITY, UTAH 84060

**LANDSCAPE PLAN**

REVISIONS:

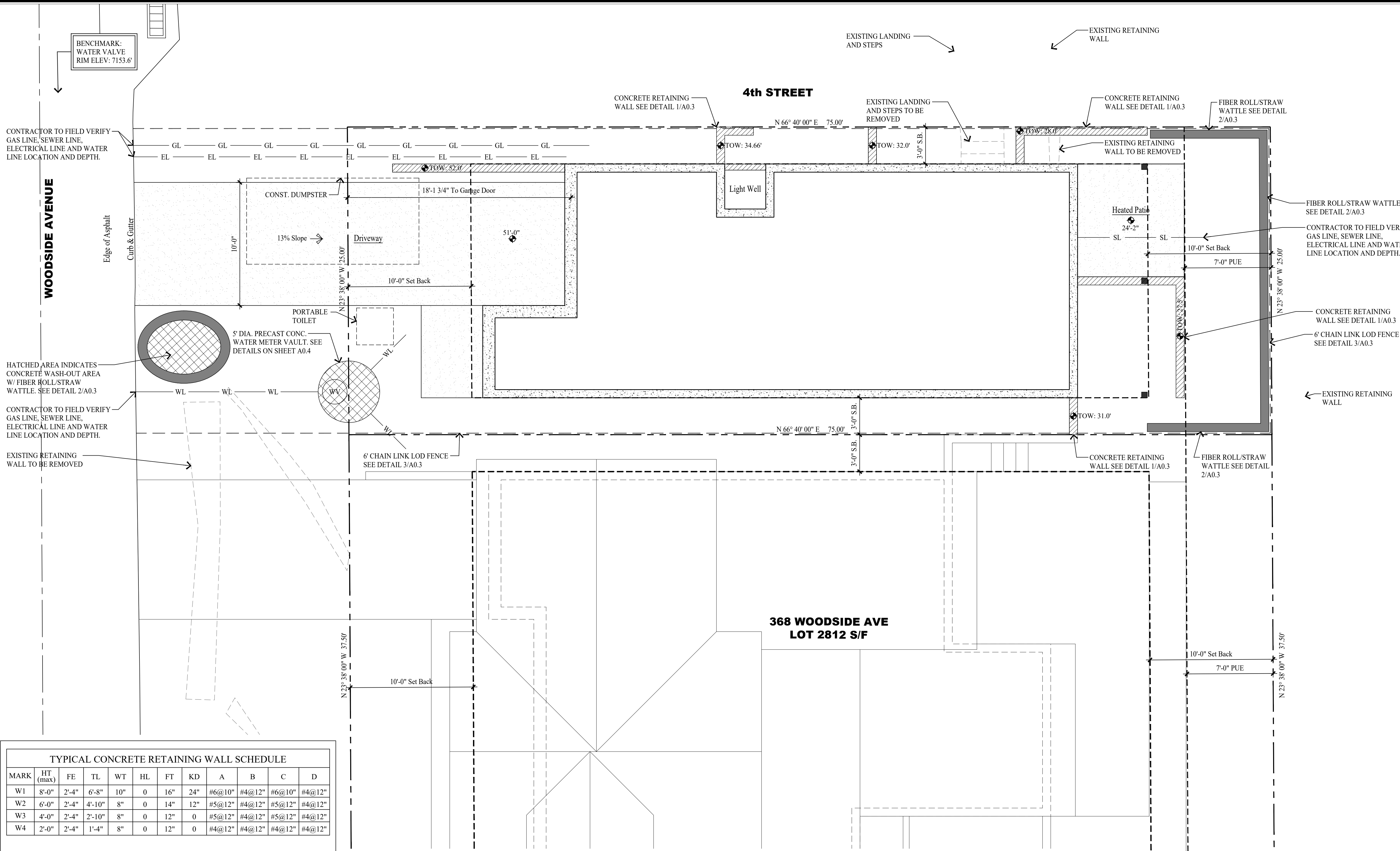
DATE: JANUARY 12, 2026

PROJECT NUMBER: 2503-01

SHEET NUMBER:

**A0.2**

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### GENERAL NOTES

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### LEGEND

- SEWER MANHOLE LID
- ELECTRIC METER BOX
- GAS METER
- WATER VALVE
- WATER METER
- STORM DRAIN LID
- POWER POLE
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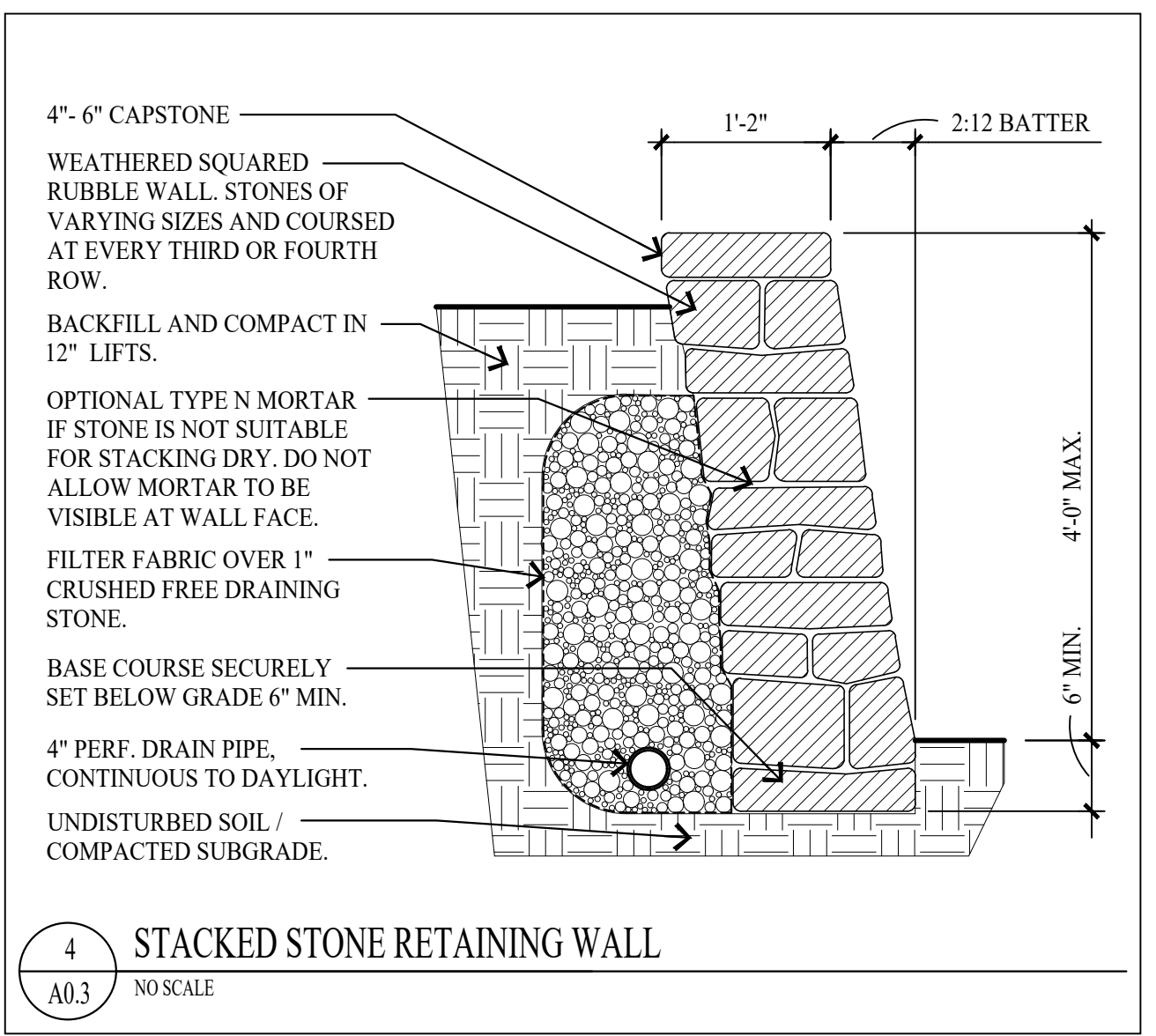
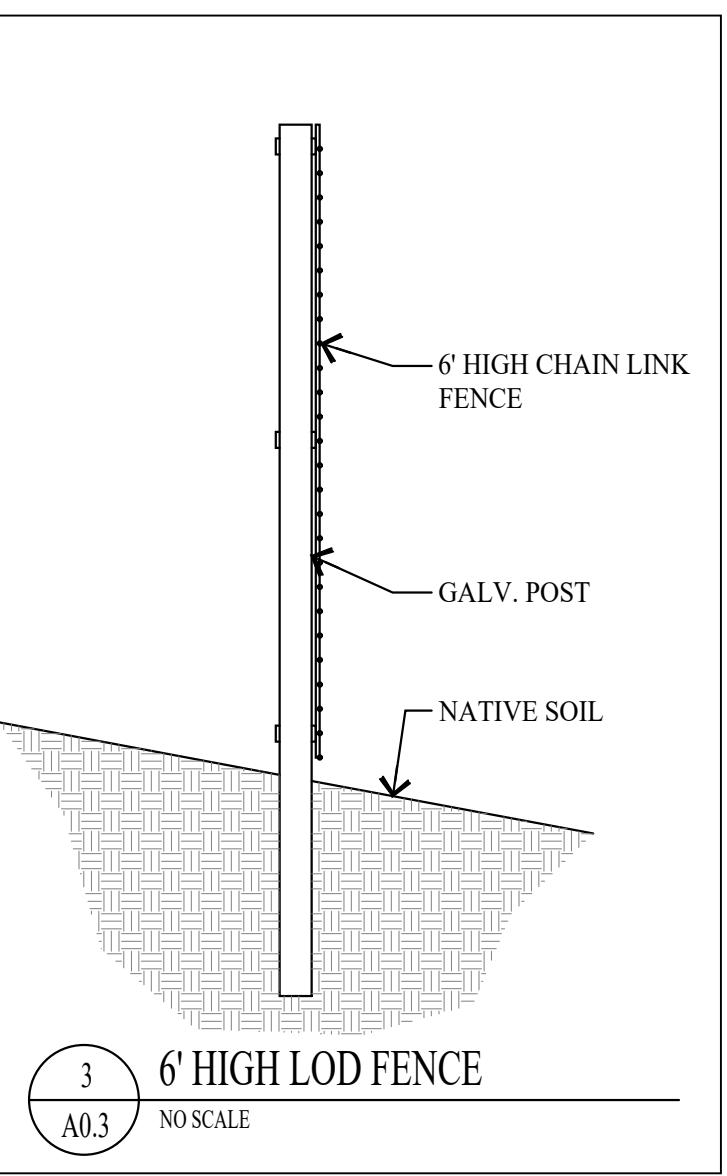
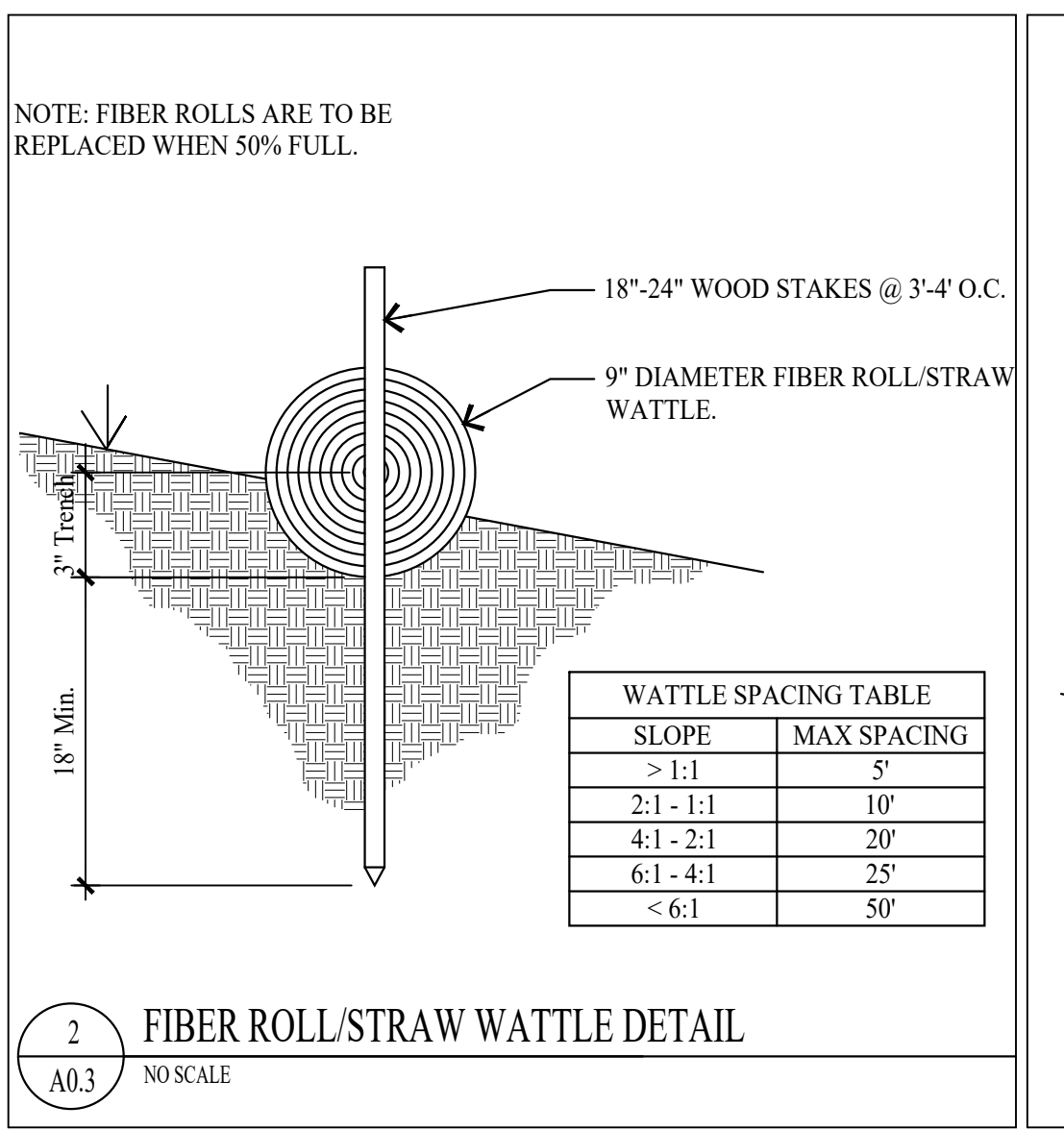
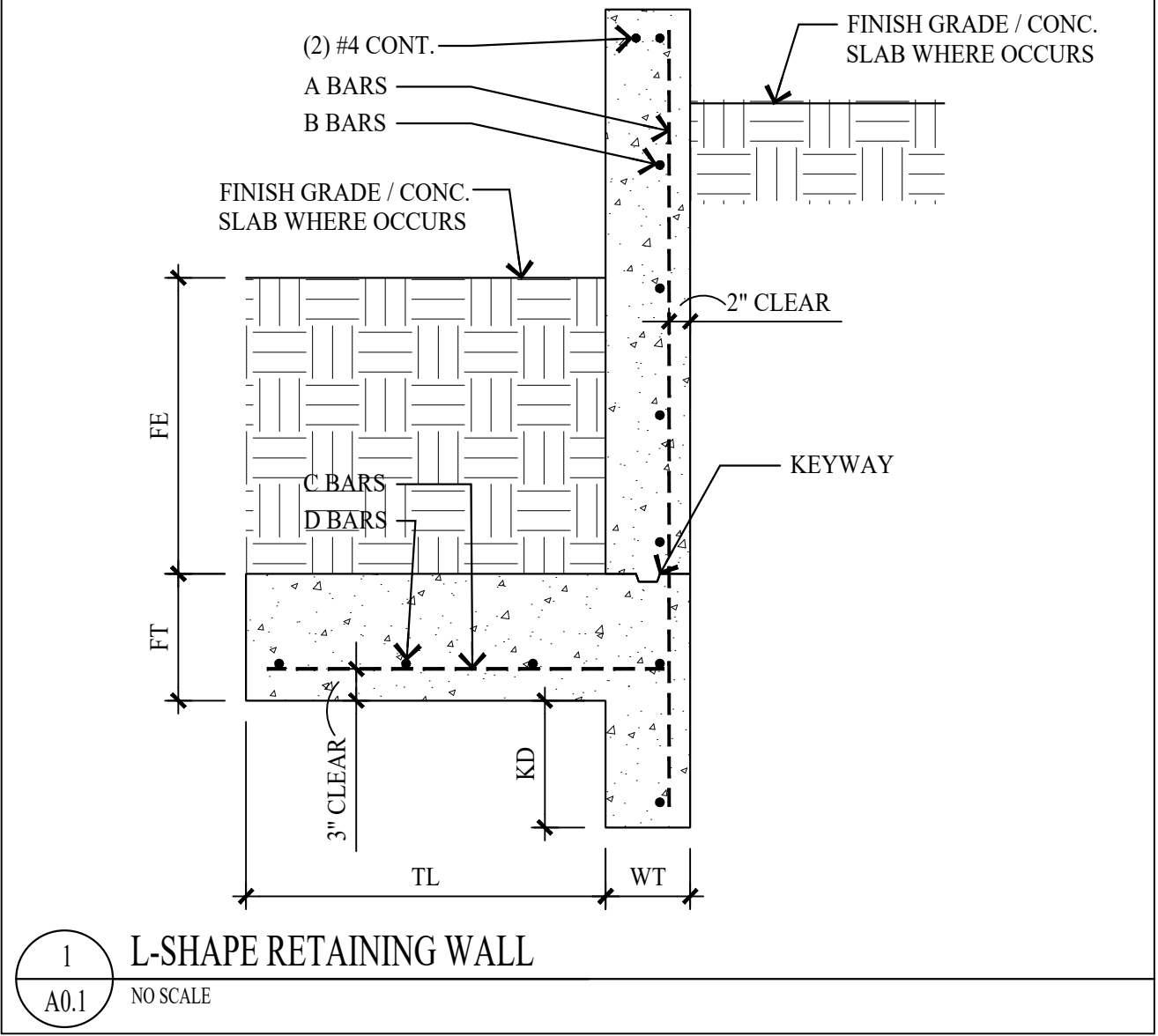
0 5 10'  
GRAPHIC SCALE

NOTE:  
1. SWPPP SIGN AND SWPPP DOCUMENT MUST BE ON SITE DURING CONSTRUCTION.  
2. DOWNSTREAM SEDIMENT TRAPS NEED TO EXTEND UP BOTH SIDES FAR ENOUGH TO PREVENT OFFSITE DEPOSITION. FIELD VERIFY.

IMPERVIOUS AREA: 1375 S/F

**TYPICAL CONCRETE RETAINING WALL SCHEDULE**

MARK	HT (max)	FE	TL	WT	HL	FT	KD	A	B	C	D
W1	8'-0"	2'-4"	6'-8"	10"	0	16"	24"	#6@10"	#4@12"	#6@10"	#4@12"
W2	6'-0"	2'-4"	4'-10"	8"	0	14"	12"	#5@12"	#4@12"	#5@12"	#4@12"
W3	4'-0"	2'-4"	2'-10"	8"	0	12"	0	#5@12"	#4@12"	#5@12"	#4@12"
W4	2'-0"	2'-4"	1'-4"	8"	0	12"	0	#4@12"	#4@12"	#4@12"	#4@12"



**Jonathan DeGray**  
Architect

P.O. Box 1674, 614 Main Street, Suite 302, Park City, Utah 84060  
Tel. 435-649-7263, E-mail: degrayarch@qwestoffice.net

PROJECT DESCRIPTION:  
**BEASLEY RESIDENCE**  
HISTORIC DISTRICT DESIGN REVIEW

384 WOODSIDE AVENUE, PARK CITY, UTAH 84060

SHEET DESCRIPTION:  
**SWPPP PLAN**

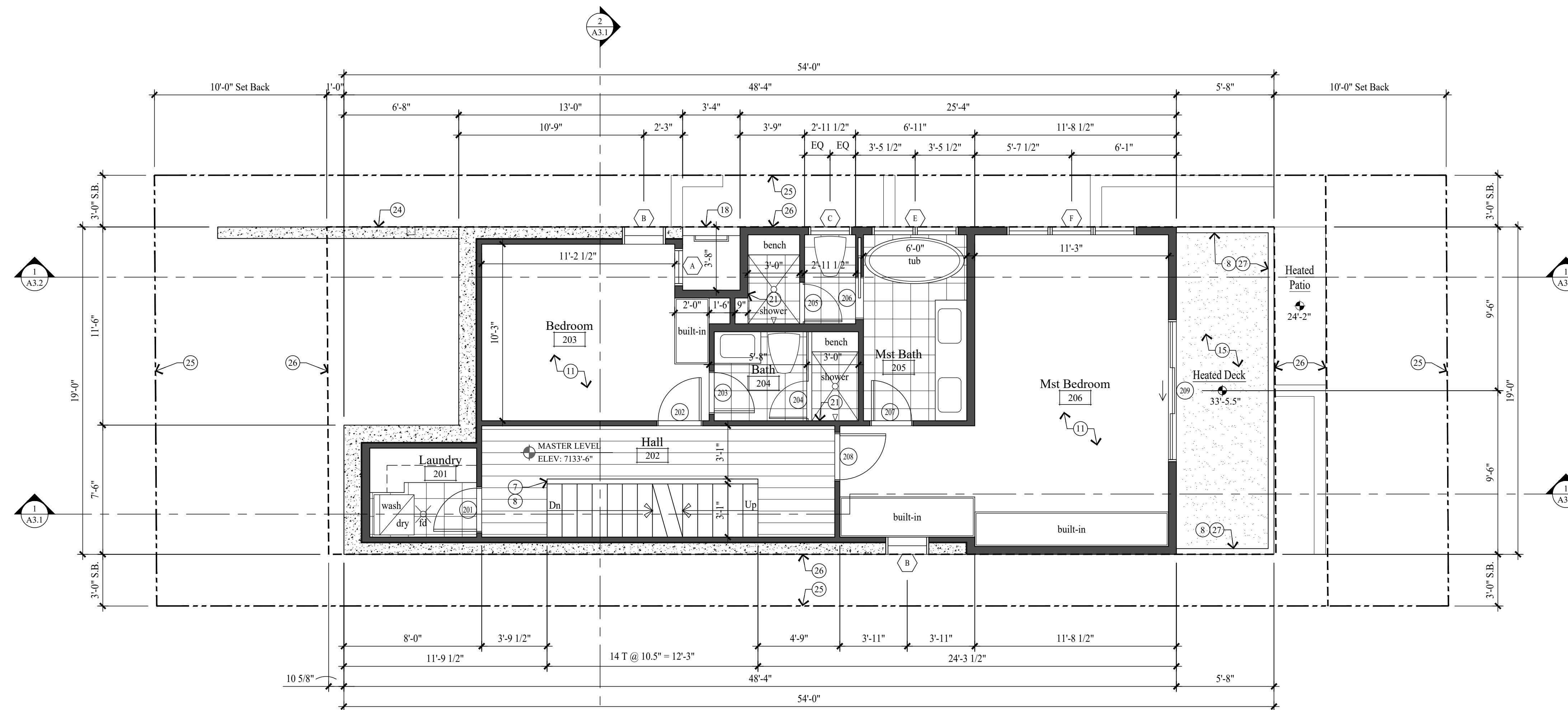
REVISIONS:

DATE: JANUARY 12, 2026

PROJECT NUMBER: 2503-01

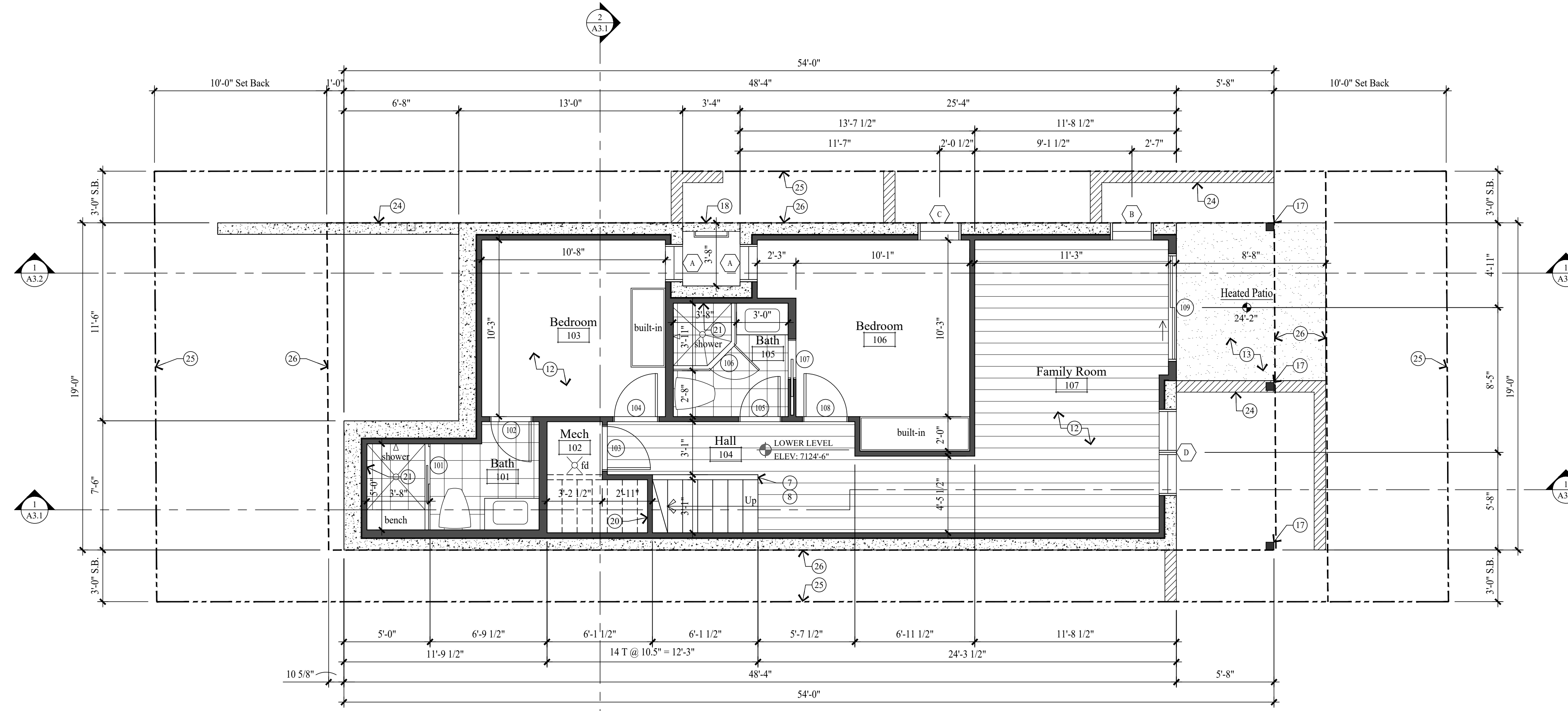
SHEET NUMBER: **A0.3**

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**MASTER LEVEL PLAN**  
SCALE: 1/4" = 1'-0"

Living Area: 829 s/f  
Footprint: 842.0 s/f



**LOWER LEVEL PLAN**  
SCALE: 1/4" = 1'-0"

Living Area: 829 s/f  
Footprint: 842.0 s/f

**GENERAL NOTES**

- NEW CONCRETE WALL
- NEW 2x FRAMED WALL
- 1. ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE FIELD VERIFIED PRIOR TO ANY CONSTRUCTION.
- 2. EXTERIOR WALLS TO BE 2x6 FRAMING W/ BIB INSULATION R-23 TYP. ALL INTERIOR WALLS TO BE 2x4 FRAMING, U.N.O. W/ BIB INSULATION R-15 TYP. ALL INTERIOR PLUMBING AND BEARING WALLS TO BE 2x6 FRAMING, U.N.O. W/ BIB INSULATION R-23 TYP. ALL FLOOR JOIST TO BE 9 1/2" TJI FRAMING U.N.O. W/ BIB INSULATION R-38 TYP. ROOF JOIST TO BE 9 1/2" TJI FRAMING W/ BIB INSULATION R-38 TYP.
- 3. FIRE SPRINKLERS TO BE ON THE WARM SIDE OF THE BUILDING ENVELOPE. ANTIFREEZE WILL NO LONGER BE ALLOWED IN FIRE SPRINKLER SYSTEMS.
- 4. AIR LEAKAGE: THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH SECTIONS N1102.4.1 - N1102.4.4.
- 5. HOME HARDENING SHALL COMPLY WITH THE WILDLAND - URBAN INTERFACE CODE AS ADOPTED BY THE STATE OF UTAH.

**KEY NOTES**

- 1 CLASS A NON-REFLECTIVE STANDING SEAM METAL ROOF TO BE ICC-ES APPROVED ON ICE AND WATER MEMBRANE ON 5/8" EXTERIOR SHEATHING ON ROOF JOIST - SEE STRUCT. FOR SIZE & SPACING.
- 2 METAL RIDGE VENT.
- 3 1 1/2" x 3" CONT. METAL DRIP EDGE ON 2x4 ON 1x10 BUILT-UP FASCIA - STAIN/PAINT.
- 4 1x6 T&G CEDAR SOFFIT - STAIN/PAINT. SOFFIT TO BE VENTED @ ALL ROOF EAVES.
- 5 FLAT ROOF: REINFORCED WATERPROOF MEMBRANE ON RIGID INSULATION SLOPED 1/4" PER FOOT ON 3/4" PLYWD. ON ROOF JOIST. SEE STRUCT. FOR JOIST SIZE AND SPACING.
- 6 ROOF DRAIN & OVER FLOW SYSTEM OR POLYCAST TRENCH DRAIN SYSTEM. CONTRACTOR TO COORDINATE PIPE/WALL LOCATION. ALL ROOF DRAINS TO TIE INTO GRAVEL SUMP.
- 7 36" HIGH GUARD RAILING: 1 1/2"x4" METAL TOP CAP. CONTINUOUS W/ 1/2" DIA. STEEL BARS HORIZONTAL, SPACED LESS THAN 4". THROUGH 4x4 VERTICAL TUBE STEEL POSTS.
- 8 FOR TYPICAL STAIRWAY, HANDRAILING AND GUARDRAILING NOTES & DETAILS ON SEE SHEET A4.1.
- 9 HEATED FLOOR SLAB: 4" CONCRETE TOPPING ON METAL DECKING. SEE STRUCTURAL FOR REINFORCING AND DETAILS.
- 10 HEATED GARAGE SLAB: 5" CONCRETE TOPPING ON METAL DECKING - SLOPED 5". SEE STRUCT. FOR REINFORCING AND DETAILS.
- 11 1 1/2" GYPCRETE W/ HYDRONIC HEATING ON 3/4" PLYWOOD ON FLOOR JOIST - SEE STRUCTURAL FOR SIZE AND SPACING.
- 12 4" REINFORCED CONCRETE SLAB W/ HYDRONIC HEATING ON 2" RIGID INSULATION (CONTINUOUS) ON 6 MIL POLYETHYLENE VAPOR RETARDER (JOINTS TO LAP 6" MIN.) ON 4" GRAVEL BASE CLEANED/GRADED.
- 13 4" REINFORCED HEATED CONCRETE PATIO / PORCH / WALKWAY / DRIVEWAY ON 4" GRAVEL BASE.
- 14 POLYCAST TRENCH DRAIN SYSTEM OR EQUAL. TIE INTO GRAVEL SUMP.
- 15 HEATED DECK: 4"-6" CONCRETE TOPPING SLOPED TO DRAIN 25%, ON LIQUID APPLIED WATERPROOF MEMBRANE OR EQUAL, ON METAL DECKING - SEE STRUCTURAL.
- 16 6x6 TIMBER COLUMN - STAIN/PAINT.
- 17 5x5 TS COLUMN - PAINT.
- 18 6" CONCRETE WINDOW WELL W/ EGRESS LADDER. SEE STRUCTURAL FOR DETAILS.
- 19 5/8" TYPE "X" ON GARAGE CEILING AND WALL SEPARATING THE GARAGE AND LIVING SPACE.
- 20 ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.
- 21 TUBS AND SHOWERS WITH TILED WALLS TO HAVE A POLYSTYRENE FOAM SYSTEM, WEDI OR EQUAL.
- 22 DASHED LINES INDICATES WALL/BREAM ABOVE.
- 23 60" GAS FIREPLACE DIRECT VENT. ON 10" PLATFORM. SEALED GAS APPLIANCE APPROVED FOR SLEEPING AREAS.
- 24 CONCRETE RETAINING WALL.
- 25 PROPERTY LINE.
- 26 SET BACK / PUE LINE.
- 27 36" HIGH GUARD RAILING: 1 1/2"x4" METAL TOP CAP. CONTINUOUS W/ FLAT METAL PANEL INFILL W/ 4x4 VERTICAL TUBE STEEL POSTS.

**Jonathan DeGray**  
A r c h i t e c t

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Tel. 435-649-7263, E-mail: degrayarch@westoffice.net

**BEASLEY RESIDENCE**  
HISTORIC DISTRICT DESIGN REVIEW

384 WOODSIDE AVENUE, PARK CITY, UTAH 84060

PROJECT DESCRIPTION:  
**LOWER LEVEL PLAN**  
**MASTER LEVEL PLAN**

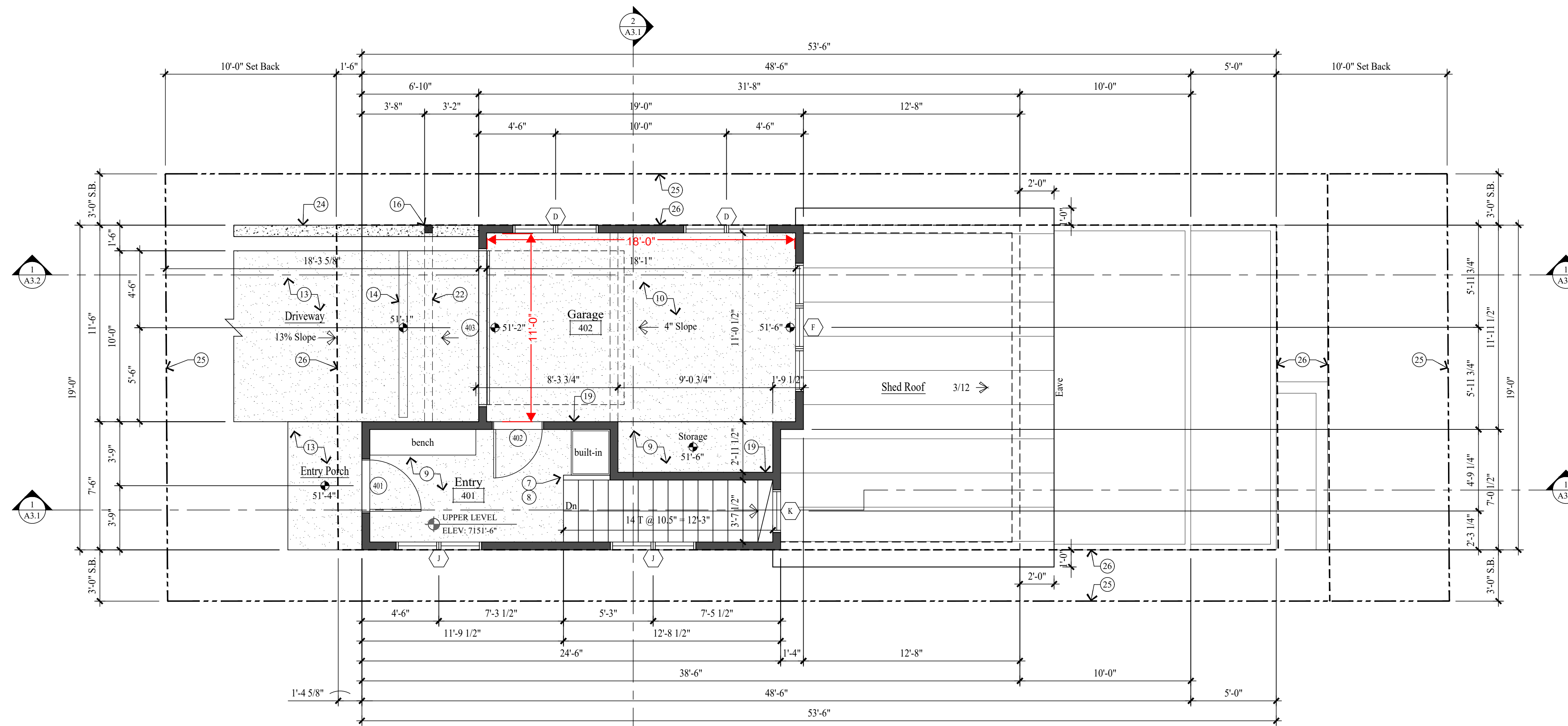
REVISIONS:

DATE:  
JANUARY 12, 2026

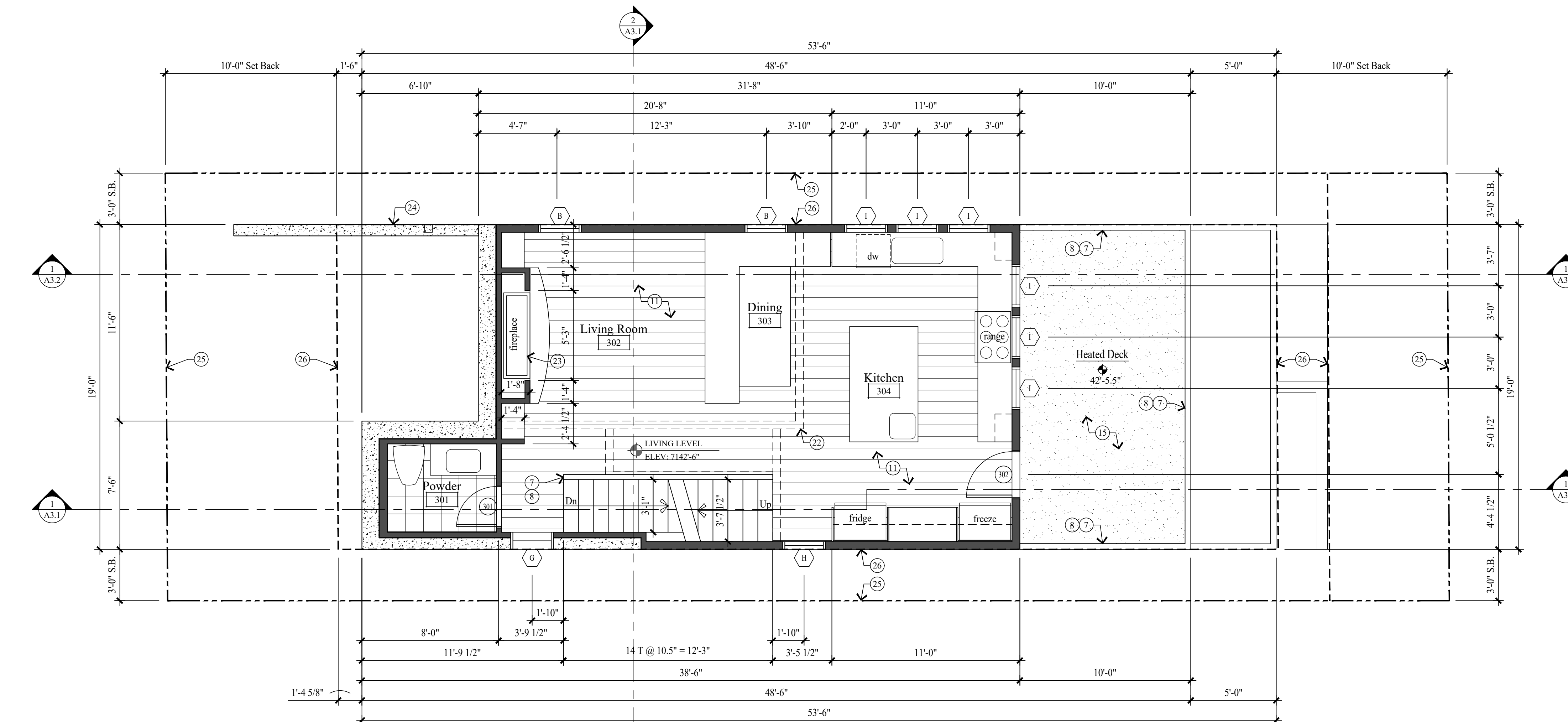
PROJECT NUMBER:  
2503-01

SHEET NUMBER:  
**A1.1**

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**UPPER / GARAGE LEVEL PLAN**  
SCALE: 1/4" = 1'-0"



**LIVING LEVEL PLAN**  
SCALE: 1/4" = 1'-0"

**GENERAL NOTES**

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- 16 6x6 TIMBER COLUMN - STAIN/PAIN.
- 17 5x5 TS COLUMN - PAINT.
- 18 6" CONCRETE WINDOW WELL W/ EGRESS LADDER. SEE STRUCTURAL FOR DETAILS.
- 19 5/8" TYPE "X" ON GARAGE CEILING AND WALL SEPARATING THE GARAGE AND LIVING SPACE.
- 20 ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.
- 21 TUBS AND SHOWERS WITH TILED WALLS TO HAVE A POLYSTYRENE FOAM SYSTEM, WEDI OR EQUAL.
- 22 DASHED LINES INDICATES WALL/BREAM ABOVE.
- 23 60" GAS FIREPLACE DIRECT VENT. ON 10" PLATFORM. SEALED GAS APPLIANCE APPROVED FOR SLEEPING AREAS.
- 24 CONCRETE RETAINING WALL.
- 25 PROPERTY LINE.
- 26 SET BACK / PUE LINE.
- 27 36" HIGH GUARD RAILING: 1 1/2"x4" METAL TOP CAP. CONTINUOUS W/ FLAT METAL PANEL INFILL W/ 4x4 VERTICAL TUBE STEEL POSTS.

**Jonathan DeGray**  
A r c h i t e c t

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Tel. 435-649-7263, E-mail: degrayarch@qwestoffice.net

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PROJECT DESCRIPTION:  
**BEASLEY RESIDENCE**  
HISTORIC DISTRICT DESIGN REVIEW

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384 WOODSIDE AVENUE, PARK CITY, UTAH 84060

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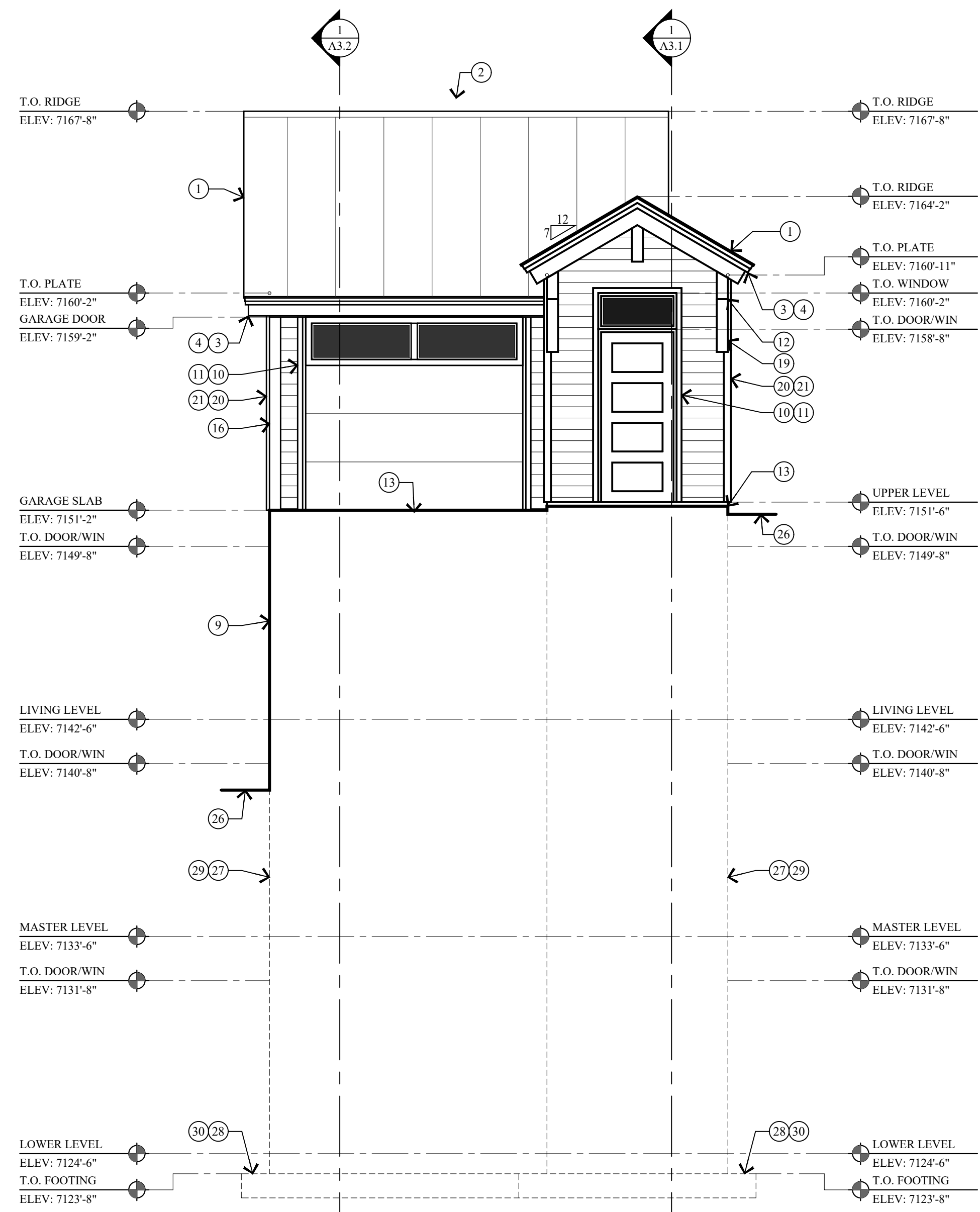
SHEET DESCRIPTION:  
**LIVING LEVEL PLAN**  
UPPER / GARAGE LEVEL PLAN

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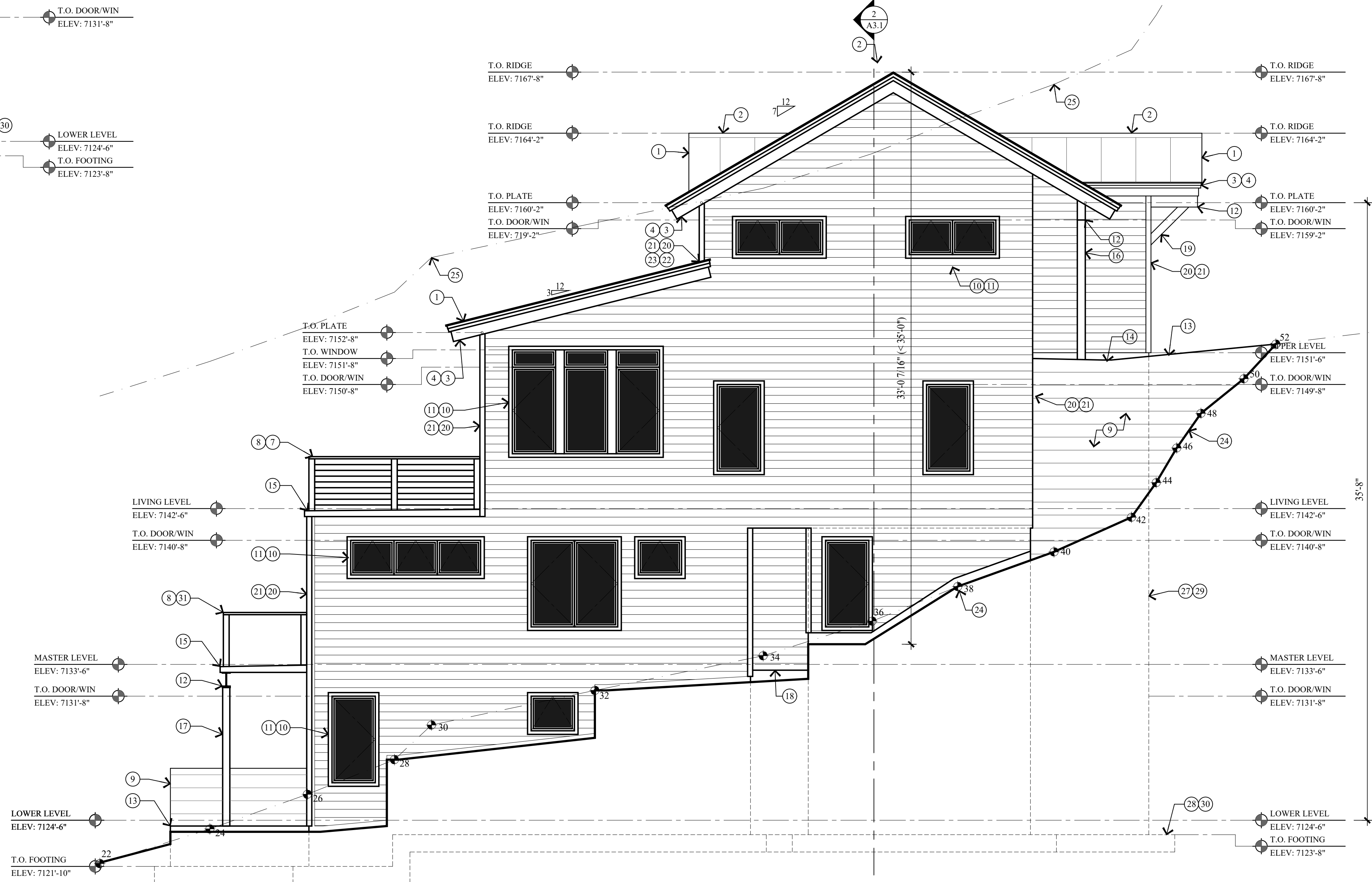
REVISIONS:

DATE:	MARCH 12, 2026
PROJECT NUMBER:	2503-01
SHEET NUMBER:	<b>A1.2</b>

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2 WEST ELEVATION  
 SCALE: 1/4" = 1'-0"



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 SCALE: 1/4" = 1'-0"

KEY NOTES

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- 2 MEATAL RIDGE VENT.
- 3 1 1/2" x 3" CONT. METAL DRIP EDGE ON 2x4 ON 1x10 BUILT-UP FASCIA - STAIN/PAIN.
- 4 1x6 T&G CEDAR SOFFIT - STAIN/PAIN. SOFFIT TO BE VENTED @ ALL ROOF EAVES.
- 5 FLAT ROOF: REINFORCED WATERPROOF MEMBRANE ON RIGID INSULLULATION SLOPED 1/4" PER FOOT ON 3/4" PLYWD. ON ROOF JOIST. SEE STRUCT. FOR JOIST SIZE AND SPACING.
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**Jonathan DeGray**  
 Architect

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BEASLEY RESIDENCE  
 HISTORIC DISTRICT DESIGN REVIEW

384 WOODSIDE AVENUE, PARK CITY, UTAH 84060

NORTH AND WEST ELEVATIONS

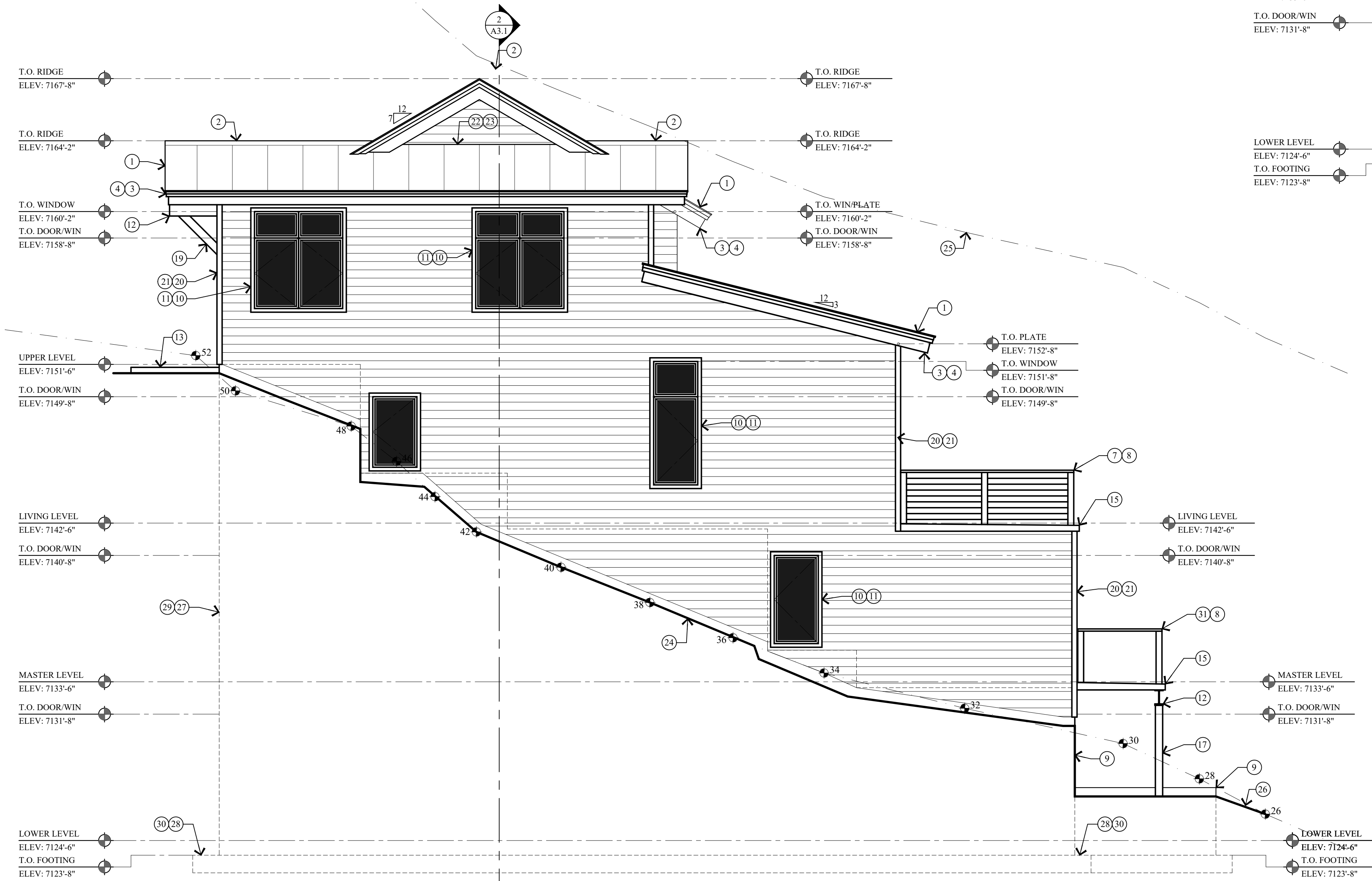
REVISIONS:

DATE: MARCH 12, 2026

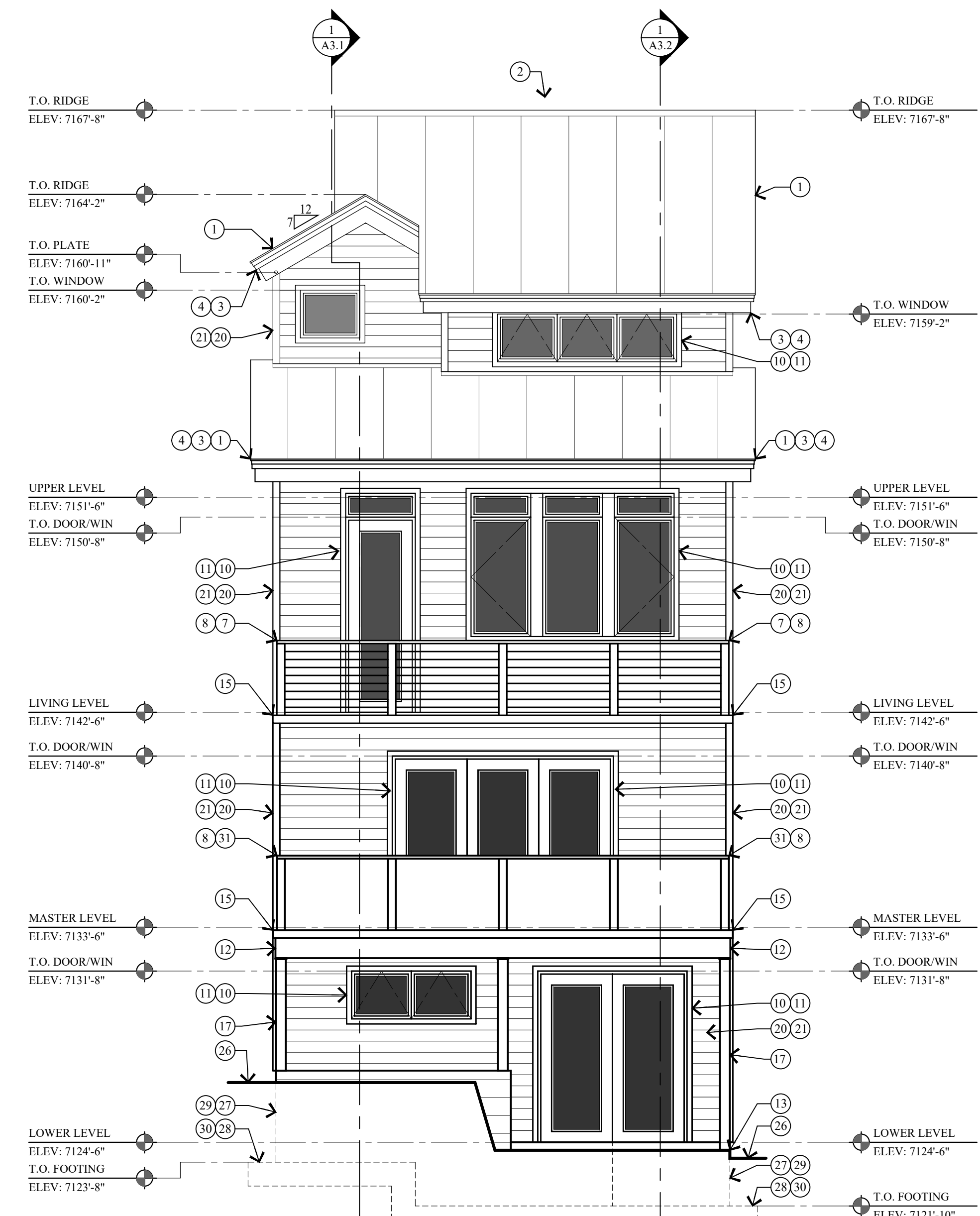
PROJECT NUMBER: 2503-01

SHEET NUMBER: A2.1

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**Jonathan DeGray**  
 A r c h i t e c t

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 Tel. 435-649-7263, E-mail: degrayarch@gwstoffice.net

---

PROJECT DESCRIPTION:  
**BEASLEY RESIDENCE**  
 HISTORIC DISTRICT DESIGN REVIEW

---

384 WOODSIDE AVENUE, PARK CITY, UTAH 84060

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SHEET DESCRIPTION:  
**SOUTH AND EAST ELEVATIONS**

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REVISIONS:

NO.	DATE	DESCRIPTION

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DATE:  
 MARCH 12, 2026

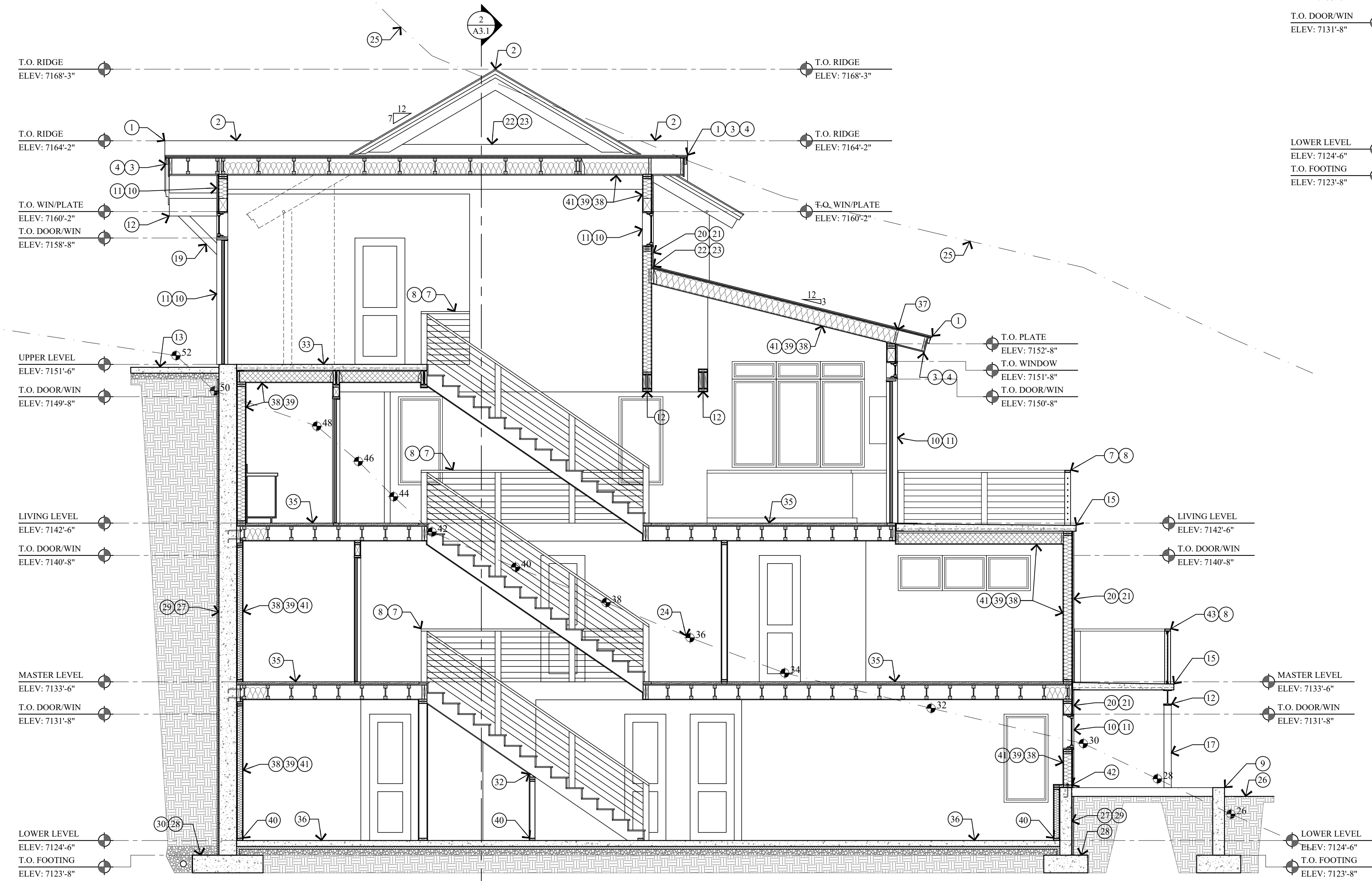
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PROJECT NUMBER:  
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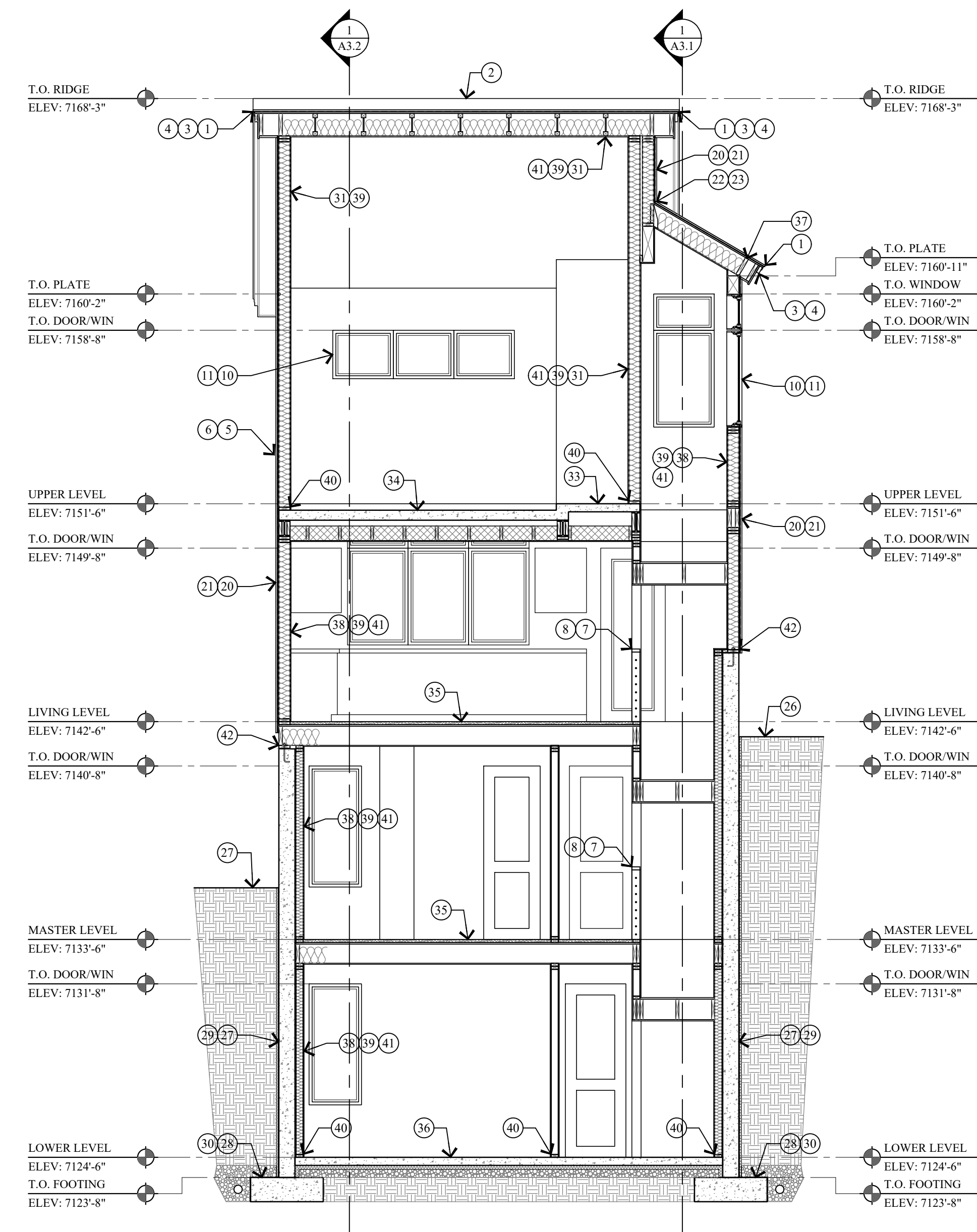
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SHEET NUMBER:  
**A2.2**

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1 BUILDING SECTION  
 A3.1 SCALE: 1/4" = 1'-0"



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  - SOLID BLOCKING AND HURRICANE HOLD DOWN AT EACH RAFTER OR SIMPSON VPA.
  - 1/2" GYP. BD. ON 4 MIL POLYETHYLENE VAPOR RETARDER AT FLOOR JOIST, ROOF JOIST AND EXTERIOR WALLS.
  - INSULATION: SEE GENERAL NOTE #2 ON FLOOR PLAN SHEETS FOR TYPE AND R-VALUE.
  - ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY INCLUDING LEDGERS AND FURRING WALLS MUST BE PRESERVATIVELY TREATED OR FOUNDATION GRADE REDWOOD.
  - FIRE BLOCK STUD SPACES AT SOFFIT, FLOOR AND CEILING JOIST LINES, AT 10 FT. VERTICALLY AND HORIZONTALLY, AND AT ANY OTHER LOCATIONS NOT SPECIFICALLY MENTIONED WHICH COULD AFFORD PASSAGE FOR FLAMES. - IRC R302.11
  - TREATED WOOD SILL PLATE W/ 1/2" ANCHOR BOLTS EMBEDDED 7" INTO CONCRETE, SPACED 32" O.C. U.N.O. ON PLANS. PLATE WASHERS SHALL 3"x3"x1/4" AND USED ON EACH BOLT. SEE STRUCTURAL SHEAR WALL SCHEDULE.
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**Jonathan DeGray**  
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**BEASLEY RESIDENCE**  
 HISTORIC DISTRICT DESIGN REVIEW

384 WOODSIDE AVENUE, PARK CITY, UTAH 84060

**BUILDING SECTIONS**

PROJECT DESCRIPTION:

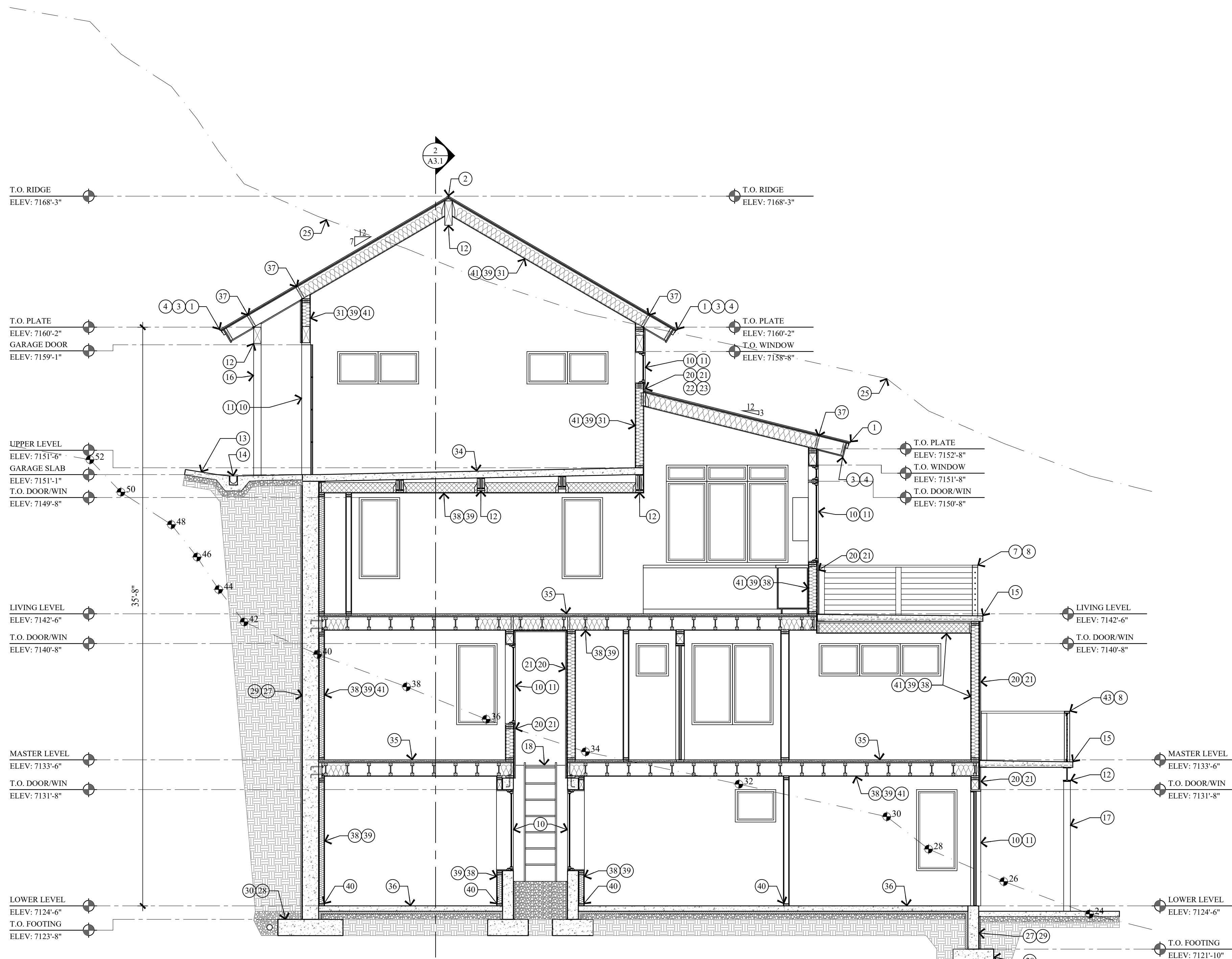
REVISIONS:

DATE: JANUARY 12, 2026

PROJECT NUMBER: 2503-01

SHEET NUMBER: A3.1

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 A3.2 SCALE: 1/4" = 1'-0"

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- 38 1/2" GYP. BD. ON 4 MIL POLYETHYLENE VAPOR RETARDER AT FLOOR JOIST, ROOF JOIST AND EXTERIOR WALLS.
- 39 INSULATION: SEE GENERAL NOTE #2 ON FLOOR PLAN SHEETS FOR TYPE AND R-VALUE.
- 40 ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY INCLUDING LEDGERS AND FURRING WALLS MUST BE PRESERVATIVELY TREATED OR FOUNDATION GRADE REDWOOD.
- 41 FIRE BLOCK STUD SPACES AT SOFFIT, FLOOR AND CEILING JOIST LINES, AT 10 FT. VERTICALLY AND HORIZONTALLY, AND AT ANY OTHER LOCATIONS NOT SPECIFICALLY MENTIONED WHICH COULD AFFORD PASSAGE FOR FLAMES. - IRC R302.11
- 42 TREATED WOOD SILL PLATE W/ 1/2" ANCHOR BOLTS EMBEDDED 7" INTO CONCRETE. SPACED 32" O.C. U.N.O. ON PLANS. PLATE WASHERS SHALL 3"x3"x1/4" AND USED ON EACH BOLT. SEE STRUCTURAL SHEAR WALL SCHEDULE.
- 43 36" HIGH GUARD RAILING: 1 1/2"x4" METAL TOP CAP. CONTINUOUS W/ FLAT METAL PANEL INFILL W/ 4x4 VERTICAL TUBE STEEL POSTS.

**Jonathan DeGray**  
 A r c h i t e c t

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BEASLEY RESIDENCE  
 HISTORIC DISTRICT DESIGN REVIEW  
 384 WOODSIDE AVENUE, PARK CITY, UTAH 84060

**BUILDING SECTION**

DATE:	JANUARY 12, 2026
PROJECT NUMBER:	2503-01
SHEET NUMBER:	A3.2

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ROOM FINISH SCHEDULE										
ROOM		FLOOR		WALLS			CEILING		REMARKS	
NO.	NAME	MAT'L	BASE	NORTH	EAST	SOUTH	WEST	HEIGHT		
LOWER LEVEL										
101	BATH	TILE	TILE	GYP	GYP	GYP	GYP	7-11 1/2"	GYP	
102	MECH	CONCRETE	WOOD	GYP	GYP	GYP	GYP	7-11 1/2" / VARIES	GYP	
103	BEDROOM	CARPET	WOOD	GYP	GYP	GYP	GYP	7-11 1/2"	GYP	
104	HALL	WOOD	WOOD	GYP	GYP	GYP	GYP	7-11 1/2"	GYP	
105	BATH	TILE	TILE	GYP	GYP	GYP	GYP	7-11 1/2"	GYP	
106	BEDROOM	CARPET	WOOD	GYP	GYP	GYP	GYP	7-11 1/2"	GYP	
107	FAMILY ROOM	WOOD	WOOD	GYP	GYP	GYP	GYP	7-11 1/2"	GYP	
MASTER LEVEL										
201	LAUNDRY	TILE	TILE	GYP	GYP	GYP	GYP	7-11 3/4"	GYP	
202	HALL	WOOD	WOOD	GYP	GYP	GYP	GYP	7-11 3/4"	GYP	
203	BEDROOM	CARPET	WOOD	GYP	GYP	GYP	GYP	7-11 3/4"	GYP	
204	BATH	TILE	TILE	GYP	GYP	GYP	GYP	7-11 3/4"	GYP	
205	MST BATH	TILE	TILE	GYP	GYP	GYP	GYP	7-11 3/4"	GYP	
206	MST BEDROOM	CARPET	WOOD	GYP	GYP	GYP	GYP	7-11 3/4" / 7-9 1/2"	GYP	
LIVING LEVEL										
301	POWDER	TILE	TILE	GYP	GYP	GYP	GYP	VARIES	GYP	
302	LIVING ROOM	WOOD	WOOD	GYP	GYP	GYP	GYP	VARIES	GYP	
303	DINING	WOOD	WOOD	GYP	GYP	GYP	GYP	VARIES	GYP	
304	KITCHEN	WOOD	WOOD	GYP	GYP	GYP	GYP	VARIES	GYP	
UPPER LEVEL										
401	ENTRY	WOOD	WOOD	GYP	GYP	GYP	GYP	VARIES	GYP	
402	GARAGE	CONCRETE	WOOD	GYP	GYP	GYP	GYP	VARIES	GYP	5"8" TYPE X GYP/SUM BOARD

WINDOW SCHEDULE								
MARK Ⓢ	SIZE		TYPE	FRAME MAT'L	EXTERIOR FINISH	INTERIOR FINISH	GLAZING	REMARKS
	WIDTH	HEIGHT						
A	2'-2"	5'-0"	CASEMENT	WOOD ALUM. CLAD	MANUFACTURER	STAIN & VARNISH	INSULATED - LOW E	
B	2'-6"	5'-0"	CASEMENT	WOOD ALUM. CLAD	MANUFACTURER	STAIN & VARNISH	INSULATED - LOW E	
C	2'-6"	2'-0"	AWNING	WOOD ALUM. CLAD	MANUFACTURER	STAIN & VARNISH	INSULATED - LOW E	
D	5'-0"	2'-0"	AWNING	WOOD ALUM. CLAD	MANUFACTURER	STAIN & VARNISH	INSULATED - LOW E	(2) 2'-6" x 2'-0" AWNING MULLED - SEE ELEVATION
E	5'-0"	5'-0"	CASEMENT	WOOD ALUM. CLAD	MANUFACTURER	STAIN & VARNISH	INSULATED - LOW E	(2) 2'-6" x 5'-0" CASEMENT MULLED - SEE ELEVATION
F	7'-6"	2'-0"	AWNING	WOOD ALUM. CLAD	MANUFACTURER	STAIN & VARNISH	INSULATED - LOW E	(3) 2'-6" x 2'-0" AWNING MULLED - SEE ELEVATION
G	2'-6"	4'-0"	CASEMENT	WOOD ALUM. CLAD	MANUFACTURER	STAIN & VARNISH	INSULATED - LOW E	
H	2'-6"	7'-0"	CASEMENT/TRANSOM	WOOD ALUM. CLAD	MANUFACTURER	STAIN & VARNISH	INSULATED - LOW E	2'-6" x 5'-0" CASEMENT MULLED TO 2'-6" x 2'-0" TRANSOM - SEE ELEVATION
I	2'-6"	6'-0"	CASEMENT/TRANSOM	WOOD ALUM. CLAD	MANUFACTURER	STAIN & VARNISH	INSULATED - LOW E	2'-6" x 5'-0" CASEMENT MULLED TO 2'-6" x 1'-0" TRANSOM - SEE ELEVATION
J	5'-0"	5'-6"	CASEMENT/TRANSOM	WOOD ALUM. CLAD	MANUFACTURER	STAIN & VARNISH	INSULATED - LOW E	(2) 2'-6" x 4'-0" CASEMENT MULLED TO (2) 2'-6" x 1'-6" TRANSOM - SEE ELEVATION
K	2'-6"	2'-0"	PICTURE	WOOD ALUM. CLAD	MANUFACTURER	STAIN & VARNISH	INSULATED - LOW E	

WINDOW NOTES
1. ALL WINDOWS OPENINGS TO BE FIELD VERIFIED BY CONTRACTOR BEFORE INSTALLATION.
2. GLAZING IN HAZARDOUS LOCATION IS REQUIRED TO BE GLAZED WITH SAFETY MATERIAL. IRC SECTION R308.3 AND R308.4.
3. ALL WINDOWS IN BATHROOMS MUST BE TEMPERED GLASS
4. TEMPERED GLASS SHALL BE PROVIDED IN: FRAMELESS GLASS DOORS, GLASS IN DOORS, GLASS WITHIN A 24" ARC OF DOORS, GLAZING LESS THAN 60" ABOVE A WALKING SURFACE THAT IS WITHIN 5 FEET STAIRS, OR GLAZING WITHIN 5 FEET OF SPAS OR POOLS, CERTAIN FIXED PANELS, AND SIMILAR GLAZED OPENINGS SUBJECT TO HUMAN IMPACT. IRC R308
5. EGRESS WINDOWS: FINISH SILL HT. MIN 44" FROM FLOOR MIN. CLEAR OPENING OF 5.7 S/F MIN NET CLEAR OPENING 20" WIDTH AND 24" HT.
6. ALL WINDOWS TO HAVE A MIN. U-VALUE OF .31

DOOR SCHEDULE										
MARK Ⓢ	TYPE	SIZE		DOOR MAT'L	DOOR FINISH	FRAME MAT'L	FRAME FINISH	HDWR TYPE	REMARKS	
		WIDTH	HEIGHT							
LOWER LEVEL										
101	SHOWER	2'-2"	6'-6"	1/2"	GLASS	CLEAR			SHOWER	TEMP - EURO GLASS ENCLOSURE - SLIDER
102	STYLE & RAIL	2'-4"	7'-0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PRIVACY	
103	STYLE & RAIL	2'-6"	7'-0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PASSAGE	
104	STYLE & RAIL	2'-6"	7'-0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PRIVACY	
105	STYLE & RAIL	2'-4"	7'-0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PRIVACY	
106	SHOWER	2'-0"	6'-6"	1/2"	GLASS	CLEAR			SHOWER	TEMP - EURO GLASS ENCLOSURE
107	STYLE & RAIL	2'-2"	7'-0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PRIVACY	POCKET DOOR
108	STYLE & RAIL	2'-6"	7'-0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PRIVACY	
109	PATIO	6'-0"	7'-0"	1 3/4"	WOOD-ALUM	STAIN - MANFR	WOOD-ALUM	STAIN - MANFR	LOCKSET	(3) 3'-0" DOORS - INSUL - LOW E - TEMP - WEATHER STRIP - THRESH
MASTER LEVEL										
201	STYLE & RAIL	2'-6"	7'-0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PASSAGE	
202	STYLE & RAIL	2'-6"	7'-0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PRIVACY	
203	STYLE & RAIL	2'-4"	7'-0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PRIVACY	
204	SHOWER	2'-2"	6'-6"	1/2"	GLASS	CLEAR			SHOWER	TEMP - EURO GLASS ENCLOSURE
205	SHOWER	2'-2"	6'-6"	1/2"	GLASS	CLEAR			SHOWER	TEMP - EURO GLASS ENCLOSURE
206	STYLE & RAIL	2'-4"	7'-0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PRIVACY	POCKET DOOR
207	STYLE & RAIL	2'-4"	7'-0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PRIVACY	
208	STYLE & RAIL	2'-8"	7'-0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PRIVACY	
209	PATIO	9'-0"	7'-0"	1 3/4"	WOOD-ALUM	STAIN - MANFR	WOOD-ALUM	STAIN - MANFR	LOCKSET	(3) 3'-0" DOORS - INSUL - LOW E - TEMP - WEATHER STRIP - THRESH
LIVING LEVEL										
301	STYLE & RAIL	2'-4"	7'-0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PRIVACY	
302	FRENCH	2'-8"	8'-0" / 1'-0"	1 3/4"	WOOD-ALUM	STAIN - MANFR	WOOD-ALUM	STAIN - MANFR	LOCKSET	8'-0" DOOR W TRANS - INSUL - LOW E - TEMP - WEATHER STRIP - THRESH
UPPER LEVEL										
401	ENTRY	3'-0"	7'-0" / 1'-6"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	LOCKSET	7'-0" DOOR W TRANS - INSUL - LOW E - TEMP - WEATHER STRIP - THRESH
402	STYLE & RAIL	2'-10"	7'-0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	LOCKSET	20 MIN - SELF LATCHING - SMOKE SEAL - THRESHOLD
403	OVERHEAD DOOR	9'-0"	8'-0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	GARAGE	AUTO DOOR OPENER - TEMP GLASS

DOOR NOTES
1. ALL DOOR OPENINGS TO BE FIELD VERIFIED BY CONTRACTOR BEFORE INSTALLATION.
2. ALL DOORS TO BE 1 3/4" SOLID CORE UNLESS NOTED OTHERWISE.
3. ALL SHOWER DOORS AND GLASS SHOWER ENCLOSURES SHALL BE TEMPERED GLASS. IRC SECTION R308.3 AND R308.4
4. FRENCH/PATIO/TERRACE/NANNA DOORS TO BE SUPPLIED BY WINDOW MANUFACTURE TO HAVE A U-VALUE OF .31 MINIMUM.
5. AUTOMATIC GARAGE DOOR OPENERS SHALL BE TESTED IN ACCORDANCE WITH UL325. - IRC 309.4.
6. NO MORE THAN 30% OF GLASS IN GARAGE DOORS.

Jonathan DeGray  
A r c h i t e c t

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BEASLEY RESIDENCE  
HISTORIC DISTRICT DESIGN REVIEW

384 WOODSIDE AVENUE, PARK CITY, UTAH 84060

PRODUCT DESCRIPTION:

DOOR, WINDOW AND ROOM SCHEDULES

REVISIONS:

DATE:

MARCH 12, 2026

PROJECT NUMBER:

2503-01

SHEET NUMBER:

A5.1

**From:** [Mike Herring](#)  
**To:** [Elissa Martin](#)  
**Cc:** [Seth Hill](#); [Lisa Butler](#); [jordanrlevin](#); [Helen Levin](#); [Matthew Mitton](#); [REDACTED] [Mike Herring](#)  
**Subject:** [External] PL-25-06388 (384 Woodside Ave) – Adjacent Property Owner Concerns for March 19 Hearing  
**Date:** Tuesday, March 10, 2026 9:37:40 AM

Warning: Replies to this message will go to [mikeinparkcity@gmail.com](mailto:mikeinparkcity@gmail.com). If you are unsure this is correct please contact the helpdesk.

**[CAUTION]** This is an external email.

Dear Ms. Martin,

I am the owner of 363 Park Avenue, which directly shares a lot line with 384 Woodside Avenue (PL-25-06388). I understand there is a hearing scheduled for March 19 at noon at 445 Marsac Avenue, and I plan to attend.

Given that my property is immediately adjacent to the proposed residence, I would like to formally raise the following items for consideration prior to building permit issuance:

**1. Snow Shed and Access Agreements**

The Final Action Letter indicates that snow shed and access agreements will be required where the home is five feet or less from the property line. As the adjoining owner, I request confirmation of:

- The proposed snow retention strategy along the shared boundary
- How roof drainage and meltwater will be directed to avoid discharge onto my property
- The process and timing for reviewing any required access or snow shed agreements

**2. Privacy Impacts Along the Shared Property Line**

Due to the stepped design and elevated decks, there are direct sightlines into portions of my yard and residence. I request review of:

- Solid (non-open) railing treatment along decks facing my property
- Additional evergreen screening at mature height
- Any side-yard window placement or glazing treatments that may reduce direct overlook

**3. Drainage and Retaining Walls at the Boundary**

Given the steep slope and proximity of excavation to the shared lot line, I would appreciate confirmation that:

- Final grading directs all surface and subsurface drainage away from my property
- Retaining wall heights and foundation exposure remain compliant with approved conditions
- Engineering review will specifically evaluate impacts to the adjacent downhill structure

Because this project is immediately adjacent to my home, I want to ensure that the intent of the approval conditions—particularly regarding screening, grading, and neighbor agreements—is fully implemented.

Please let me know if there are updated plan sets, snow retention details, or drainage plans available for review prior to the March 19 hearing.

Thank you for your attention to this matter. I look forward to discussing it further.

Sincerely,  
Michael Herring  
Owner, 363 Park Avenue  
[REDACTED]

cc:

John DeGray, Architect, 384 Woodside Avenue  
Jordan & Helen Levin, Owners, 351 Park Avenue  
Lisa Butler - Owner, 363 Park Avenue  
Seth Hill - Property Manager, 363 Park Avenue  
Matt Mitton, Attorney for Owners of 363 Park Avenue

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Mike Herring | [REDACTED]