



**PARK CITY HISTORIC PRESERVATION BOARD MEETING
SUMMIT COUNTY, UTAH
March 4, 2026**

The Historic Preservation Board of Park City, Utah, will hold its regular meeting in person at the Marsac Municipal Building, City Council Chambers, at 445 Marsac Avenue, Park City, Utah 84060. Meetings will also be available online and may have options to listen, watch, or participate virtually.

- 1. MEETING CALLED TO ORDER AT 5:00PM**
- 2. ROLL CALL**
- 3. MINUTES APPROVAL**
 - 3.A. Consideration to Approve the Historic Preservation Board Meeting Minutes from February 2, 2026
- 4. STAFF AND BOARD COMMUNICATIONS AND DISCLOSURES**
- 5. PUBLIC COMMUNICATIONS**
- 6. WORK SESSION**
 - 6.A. **Historic District Grant Program** – The Historic Preservation Board Will Provide Feedback to Staff on Improvements to the Grant Program, Specifically Regarding the Annual Funding Amounts Allocated to the Redevelopment Areas and the Citywide General Fund. (20 mins.)
 - 6.B. **External Siding Materials in the Historic Districts** – The Historic Preservation Board Will Review and Provide Feedback on the Draft Master List of Materials and Finishes (30 mins.)
 - 6.C. **1060 Woodside Avenue – Relocation of a Landmark Historic Structure** – The Historic Preservation Board Will Conduct a Work Session to Review the Applicant's Request to Relocate a Landmark Historic Structure. PL-25-06673 (30 mins.)
- 7. REGULAR AGENDA**
 - 7.A. **1304 Park Avenue** – The Historic Preservation Board Will Provide a Recommendation to the City Council on the Location of a Fence in the Right-of-Way at 1304 Park Avenue. (30 mins.)
(A) Public Hearing; (B) Possible Recommendation for City Council Consideration
 - 7.B. **322 Main Street – Material Deconstruction** – The Applicant Proposes a Rooftop and Rear Addition and Changes to the Front Facade of the Landmark Historic Structure in the Historic Commercial Business District. PL-24-06265 (30 mins.)
(A) Public Hearing; (B) Action
- 8. ADJOURNMENT**

Pursuant to the Americans with Disabilities Act, individuals needing special accommodations during the

meeting should notify the Planning Department at 435-615-5060 or planning@parkcity.gov at least 24 hours prior to the meeting.

***Parking is available at no charge for meeting attendees who park in the China Bridge parking structure.**



**PARK CITY MUNICIPAL CORPORATION
HISTORIC PRESERVATION BOARD MEETING
MARSAC MUNICIPAL BUILDING
COUNCIL CHAMBERS
445 MARSAC AVENUE
PARK CITY, SUMMIT COUNTY, UTAH
MINUTES OF FEBRUARY 4, 2026**

BOARD MEMBERS IN ATTENDANCE: Douglas Stephens – Chair, Puggy Holmgren, Katie Noble, Randy Scott, John Hutchings, Lola Beatlebrox, Dalton Gackle (attending virtually)

EX OFFICIO MEMBERS: Rebecca Ward, Planning Director; Meredith Covey, Planner II; Jacob Klopfenstein, Planner II; Elissa Martin, Project Planning Manager

1. CALL TO ORDER

Chair Douglas Stephens called the meeting to order at approximately 5:00 p.m.

2. ROLL CALL

All Board Members were present with the exception of Board Member Dalton Gackle.

3. MINUTES APPROVAL

A. Consideration to Approve the Historic Preservation Board Meeting Minutes from January 7, 2026.

MOTION: Board Member Scott moved to APPROVE the Historic Preservation Board Meeting Minutes from January 7, 2026. Board Member Hutchings seconded the motion.

VOTE: The motion passed with the unanimous consent of the Board.

4. STAFF AND BOARD COMMUNICATIONS AND DISCLOSURES

There were no Staff or Board communications and disclosures.

5. PUBLIC COMMUNICATIONS

There were no public communications.

6. REGULAR AGENDA

A. 573 Main Street – Modification to Historic District Design Review – The Applicant Proposes to Modify the Historic District Design Review to Materially Deconstruct Portions of the Front and Secondary Façade to Restore Historic Windows and Façade in the Historic Commercial Business Zoning District. PL-25-06753.

Planner II, Meredith Covey, presented the Staff Report and explained that 573 Main Street is a Landmark Historic Site on the Park City Historic Sites Inventory. The lot straddles two districts, the Historic Commercial Business (“HCB”) and Historic Residential – 2 Subzone A (“HR-2A”) Zoning Districts. The historic structure was constructed in 1913 with a wood addition that was constructed in the 1990s. In 2012, the applicant received a Historic District Design Review (“HDDR”) approval from the Planning Department. The applicant is now proposing to modify that HDDR. As part of the modification request, the applicant is proposing to restore three window openings on the historic structure. The first is on the north façade, which would require removing 15 square feet of material. Two are on the west façade, which would require removing 20 square feet of material in total. The Land Management Code (“LMC”) encourages the restoration of historic openings. Planner Covey explained that the new windows will need to match the historic windows on the structure.

The applicant is also proposing some changes to the primary façade. Planner Covey explained that the proposed changes are highlighted in the presentation materials. The proposal is to restore two windows on the front façade to picture windows with a three-part transom, as seen historically. There is also a proposal to restore steps leading to the door between the windows. The applicant is using photographic evidence to restore those features. The Planning Department’s Historic Consultant reviewed the window style and found that the proposed style is appropriate for the time the structure was constructed.

For the canopy on the north side of the structure, the applicant is proposing to remove the wood framing to increase the headroom. This does not increase the degree of non-compliance, which is compliant with the LMC regulations. On the north side, the applicant is proposing to convert a window into a door. This would require removing 15 square feet of historic material. New door openings on historic structures are permitted and appropriate only when not viewable from the primary public right-of-way. Planner Covey reported that this is on a secondary façade and is not visible from the primary public right-of-way. The applicant is proposing to match the historic dimensions and style with the new door.

Planner Covey reported that as conditioned, the proposal complies with the following:

- LMC 15-11-12.5 - Historic Preservation Board Review for Material Deconstruction;
- LMC 15-13-3 - Regulations for Historic Commercial Structures; and
- LMC 15-9-6 - Regulations for Non-Complying Structures.

Some of the Conditions of Approval were highlighted. The applicant will be required to provide the City with a financial guarantee for the historic material proposed to be removed.

The applicant will also be required to obtain HDDR approval for the work that is proposed on the non-historic addition. There is a façade easement recorded against the property. As part of that façade easement, the applicant will need to coordinate with the Planning Department for express written permission for the work that is proposed on the front façade.

Staff recommends the Historic Preservation Board consider approving the request based on the Findings of Fact, Conclusions of Law, and Conditions of Approval outlined in the Draft Final Action Letter. Planner Covey reported that there was public input received, which was forwarded to all of the Board Members. The applicant is present to answer questions.

It was noted that Board Member Gackle joined the meeting virtually at 5:05 p.m.

The applicant, Jonathan DeGray, reiterated that he was able to answer Board Member questions. There is agreement with the Staff Report, but he provided clarification about the canopy over what was the entrance. It is an addition and is not original to the building. The modifications to the canopy, while on the list, are not technically historic in nature. Chair Stephens asked for additional information about the canopy over the lower entrance. Planner Covey reported that the degree of non-compliance will not be increased.

Chair Stephens mentioned the comment that was emailed. He noted that the comment mentioned privacy concerns and asked if this is something the Historic Preservation Board can address. Planning Director, Rebecca Ward, reported that the LMC for historic districts does not prohibit rooftop decks, which is what the door would be accessing. The Municipal Code for noise will apply to the property, so the future use of the deck will need to comply with the noise ordinance. Board Member Puggy Holmgren asked about the future plans for the building. Mr. DeGray stated that it will be a 14-room boutique hotel. The rooftop deck would be accessed from one of the units and there will be plans brought back to the City.

Board Member Katie Noble asked for additional information about Figure 13. Mr. DeGray explained that all of the power into the building was originally housed there. Since then, this has been removed and moved to the back of the building. Board Member Lola Beatlebrox expressed support for the application and stated that this has been a long time coming. She commented that this is an incredible building and it will be wonderful to see it restored.

Chair Stephens opened the public hearing. There were no comments. The public hearing was closed.

Board Member Randy Scott stated that he is pleased to see the project move forward. He likes that historic photographs are being referenced. There were no additional comments.

MOTION: Board Member Scott moved to APPROVE a Modification to a Historic District Design Review at 573 Main Street, based on the following:

Procedural History:

1. 573 Main Street was constructed in 1913 and is designated a Landmark Historic Site designated on the Park City Historic Sites Inventory.
2. The Structure straddles the Historic Commercial Business (HCB) and Historic Residential – 2 Subzone A (HR-2A) Zoning Districts.
3. The Landmark Historic Site is Lot 1 of the 573 Main Street Subdivision recorded with Summit County January 2, 2014.
4. In 2012 the Applicant submitted a Historic District Design Review (HDDR) Application to the Planning Department to expand the second and third level floor plan by adding approximately 125 square feet to the north of the Structure and approximately 400 square feet to the southwest corner of each floor. The proposal also involved a remodel of the rear façade to remove one door and two windows, remodel three windows, and change the pitch of the roof on the southwest corner.
 - a. On March 21, 2013, Planning Staff approved the Historic District Design Review (HDDR) (PL-12-01497).
5. On August 21, 2013, the Applicant submitted a request for a Modification to include a roof top deck on the southwest corner of the non-Historic portion of the existing building. The Applicant also proposed to extend the existing interior stair to gain access to the deck.
 - a. On September 30, 2013, Planning staff approved the request for Modification.
6. In November of 2013 the Building Department issued a Building for the exterior work Permit (BD-13-19143).
7. On March 23, 2017, the Building Department issued a Building Permit for interior tenant improvements (BD-16-22413).
8. The Applicant continues to work under these Building Permits.

Findings of Fact:

1. Pursuant to Land Management Code (LMC) § 15-13-3(B)(2)(f)(2) Historic window openings that have been altered or lost over time shall be restored. The Applicant's proposal to restore three window openings is compliant.
 - a. The Applicant proposes to restore one window opening on the north façade. The Applicant states that the previous window opening was

- filled in with non-Historic material and proposes to remove 15 square feet of material to restore the opening.
- b. The Applicant proposes to restore two west facing window openings on floor 2 and 3 of the Structure on the south façade. The Applicant states that the previous window openings were filled in with non-Historic material and proposes to remove 20 square feet of material to restore the openings.
2. Pursuant to LMC § 15-13-3(B)(2)(d) the reestablishment of storefront windows to their Historic configuration is encouraged. The Applicant proposes restoring the fixed windows to those seen on the Structure historically.
 3. Pursuant to LMC § 15-13-3(B)(2)(d) missing elements shall be replaced in a manner that is consistent with the Historic Structure. The Applicant proposes to restore the steps to the southeast entrance based on photographic evidence of the absent features.
 4. Pursuant to LMC § 15-13-3(B)(2)(f) the removal of a Historic window opening is appropriate only on secondary façade when not visible from the primary public right of way. Additionally pursuant to LMC § 15-13-3(B)(2)(e) the creation of a new door opening is appropriate only on a secondary façade when not visible from the primary public right of way. The proposed converted door is not visible from the primary public right of way and is located on a second story. The proposed door is required to be compatible with the Historic Structure in design, materials, dimension and placement. The Applicant proposes to match the dimensions and form to the adjacent window opening.
 5. The Applicant does not propose to increase the height of the canopy which would result in the Historic windows being covered. LMC § 15-15-1 defines “Non-Complying Structure” as a Structure that “legally existed before its current zoning designation; and because of subsequent zoning changes, does not conform to the zoning regulation’s Setback, Height restrictions, or other regulations that govern the Structure.” The previous canopy Structure a Non-Complying Structure. Pursuant to LMC § 15-9-6, a Non-Complying Structure may be altered so long as it does not create any new non-compliance. The removing of the wooden framing to allow for additional headroom does not create any new non-compliance.
 6. Pursuant to LMC § 15-11-9 a Financial Guarantee is required prior to the issuance of a Building Permit. The Chief Building Official will determine the dollar amount for the necessary Financial Guarantee, and the Applicant will be required to record an encumbrance agreement, or other instrument in a form acceptable to the City Attorney, with the Summit County Recorder’s Office. When the work has been completed the Applicant will be responsible for contacting Park City Municipal Corporation to request a release of the encumbrance. Planning Staff will conduct an inspection to ensure compliance

with the Conditions of Approval, Historic Preservation Plan, and all other required codes, standards, and ordinances.

7. There is a façade easement recorded with Summit County (Entry No. 987046) protecting the primary façade of the Landmark Historic Structure. The easement requires that no changes be made to the façade of the Historic Structure, including the alteration, partial removal, construction, remodeling, or other physical or structural change without express written permission by a duly authorized representative of Park City Municipal.

Conclusions of Law:

1. The proposal complies with the Land Management Code requirements pursuant to LMC § 15-11-12.5 *Historic Preservation Board Review for Material Deconstruction*.

Conditions of Approval:

1. Final building plans and construction details shall reflect substantial compliance with the Historic Preservation Board February 4, 2026, approval. Any changes, modifications, or deviations from the approved Material Deconstruction that have not been approved in advance by the Planning and Building Departments may result in a stop work order.
2. The Applicant is responsible for notifying the Planning and Building Departments prior to making any changes to approved plans.
3. Any changes, modifications, or deviations from the approved scope of work shall be submitted in writing for review and approval/denial in accordance with the applicable standards by the Planning Director or their Designee prior to construction.
4. The Applicant shall provide the City with a Financial Guarantee, in accordance with LMC § 15-11-9, to be recorded with the Summit County Recorder's Office prior to submitting a Building Permit application.
5. The Applicant shall coordinate with the Engineering Department for encroachments into the City Right-of-Way.
6. The replacement windows shall exactly match the historic window in size, dimensions, glazing pattern, depth, profile, and material.
7. The converted door shall be compatible with the Historic Structure in design, materials, dimension and placement.

8. The Applicant shall obtain HDDR approval from the Planning Department for the work proposed on the non-Historic addition.
9. The Applicant shall coordinate with the Planning Department for express written permission for work to the façade as required by the Façade Easement.
10. All work shall comply with LMC § 15-13-3 Regulations for Historic Commercial Structures.

Board Member Holmgren seconded the motion.

VOTE: The motion passed with the unanimous consent of the Board.

B. 218 Sandridge Road – Historic District Grant Application – The Applicant Requests a \$24,900 Historic District Grant to Complete Framing Work on the Exterior Walls and Roof of 218 Sandridge Road, a Significant Historic Site. PL-25-06789.

Planner II, Jacob Klopfenstein, presented the Staff Report and explained that this is a Historic District Grant Application for 218 Sandridge Road. He reported that there are two Historic District Grant Applications on the agenda, with the first at 218 Sandridge Road. It was noted that the applicant representative, Ben Akers, is also present at the meeting.

The applicant is requesting a grant of \$24,900 for framing of the exterior walls and roof repairs. Planner Klopfenstein reported that 218 Sandridge Road is a Significant Historic Site. This grant request is part of an ongoing restoration project at the site that includes a remodel, addition, and detached accessory building. The framing work on the exterior walls and the roof repairs are proposed to be completed in June 2026. Background information about the site was shared. On February 7, 2024, the Historic Preservation Board approved a Material Deconstruction request to remove siding and some roof material.

On January 6, 2025, the applicant entered into a Cash Deposit Agreement to ensure compliance with the approved Historic Preservation Plan. On December 3, 2025, the Historic Preservation Board approved a Modification request to remove the historic 1889 and 1907 roof forms and reconstruct the roofs. An exoskeleton was put in place to brace the walls during this work. On December 22, 2025, the applicant submitted the Historic District Grant Program application. Photographs of the current conditions were shared.

Planner Klopfenstein reported that the roof of the historic structure has been removed at this point and the applicant has implemented the exoskeleton framing system. Additional photographs were shared with the Historic Preservation Board. The Board can award up to \$127,136 in grants during Fiscal Year 2026 for emergency and competitive grants. 218 Sandridge Road is within the Main Street RDA. The fund for the Main Street RDA currently has \$30,000 available. If the Historic Preservation Board chooses to award \$24,900 to this property, there will be a remaining balance of \$5,100 for the remainder of the fiscal year.

Several Conditions of Approval from the Draft Final Action Letter were reviewed. There is a condition that states the work must comply with the Historic Preservation Plan for 218 Sandridge Road. Other conditions state that all previous Conditions of Approval will remain in effect and the grantee must maintain the architectural significance of the structure. Planner Klopfenstein reported that there are other Conditions of Approval included that are related to construction deadlines, proof of payment, lien requirements, and modifications.

In addition to the 218 Sandridge Road request, the Historic Preservation Board is evaluating an additional grant request for 525 Park Avenue. That grant request is \$24,500. 525 Park Avenue is also within the Main Street RDA. Planner Klopfenstein reiterated that there is \$30,000 available in that fund, so the Board will be unable to award both grants in full. If the Historic Preservation Board chooses not to award a grant to one of these projects, the applicant not awarded could apply in the next fiscal year, which will start in July 2026. The Staff recommendation is to review the Historic District Grant request for 218 Sandridge Road, open a public hearing, and determine whether a grant should be awarded.

Several options are available to the Historic Preservation Board, including the following:

- Award a \$24,900 Historic District Grant to 218 Sandridge Road and decline to award a Historic District Grant to 525 Park Avenue;
- Decline to award a Historic District Grant to 218 Sandridge Road and award a \$24,500 grant to 525 Park Avenue;
- Award a reduced grant amount to both 218 Sandridge Road and 525 Park Avenue, up to a total of \$30,000;
- Decline to award a Historic District Grant to either project;
- Request additional information and continue the discussion to a date certain or to a date uncertain.

Chair Stephens requested that the 525 Park Avenue grant information be presented before there is a discussion about potential grant amounts. There can be a Board Member discussion about the two proposals after all of the information has been provided by Staff.

Chair Stephens opened the public hearing. There were no comments. The public hearing was closed.

After the 525 Park Avenue presentation, the Board voted on the grant amounts.

MOTION: Board Member Noble moved to APPROVE a Historic District Grant for 218 Sandridge Road for \$20,000 and directed Staff to modify the Final Action Letter to reflect the adjusted amount. The approval is based on the following:

Background:

1. On February 7, 2024, the Historic Preservation Board approved the Applicant's Material Deconstruction request to remove 48 square feet of 1940s-era siding on the southern façade of the building and to remove 64 square feet of the 1889 Roof Form.
 - a. As part of the approval, the Board determined that the removal of the 1889 roof material does not negatively impact the historic roof form and held its earlier finding that the removal of the 1941 addition's roof restores the roofline of the 1907 addition.
 - b. The Board included the November 1, 2023, decision to approve the applicant's Material Deconstruction of the 1941 roofline, which restored the 1907 roofline, in the February 7, 2024, Final Action Letter.
2. On January 6, 2025, the Applicant entered into a Cash Deposit Agreement in accordance with the City preservation policy outlined in LMC Section 15-11-9 to ensure protection of Historic materials throughout construction and compliance with the approved Historic Preservation Plan.
3. On December 3, 2025, the Historic Preservation Board approved the Applicant's Modification request for 218 Sandridge Road to remove the Historic 1889 and 1907 roof forms and reconstruct them with proper structuring and new standing seam-metal roofing, salvaging all possible salvageable Historic Materials.

Findings of Fact:

1. The City initiated the Historic District Grant Program (HDGP) in 1987 with the goal to financially incentivize the preservation, rehabilitation, restoration, and reconstruction of Historic Structures and Sites to create a community that honors its past and encourages historic preservation.
2. Work eligible for a 50% matching grant through the HDGP includes, but is not limited to, repairing or replacing roofs and restoring Historic features.
3. The Applicant submitted a \$24,900 Historic District Grant request during Fiscal Year 2026, Quarter 2, for framing of the exterior walls, and roof of 218 Sandridge Road, a Significant Historic Site.
4. The Applicant proposes completing the framing work in June 2026.
5. 218 Sandridge Road is in the Main Street Redevelopment Area (RDA).
6. Funding for the Applicant's request will be sourced from the Main Street RDA grant fund, which has an initial balance of \$30,000.

- a. This is the first grant application for Fiscal Year 2026 that has been submitted for a Site within the Main Street RDA.
 - b. After the grant funds are dispersed to the Applicant for 218 Sandridge, the Main Street RDA fund will have a remaining balance of \$5,100.
7. HDGP recipients must agree to a five-year lien with the City that is recorded against the property.
- a. If the property is sold before the five-year period has passed, the Applicant is responsible for repaying the City a pro-rated amount of the awarded HDGP funds.
 - b. The Applicant for the HDGP request for 218 Sandridge was made aware of and acknowledged the lien requirements through the HDGP application process.

Conclusions of Law:

1. The Applicant's request qualifies for a Historic District Grant award.

Conditions of Approval:

1. All work shall comply with the approved Historic Preservation Plan for 218 Sandridge.
2. All previous Conditions of Approval for 218 Sandridge remain in effect, including, but not limited to, Conditions of Approval from the Historic Preservation Board February 7, 2024 Final Action Letter and December 3, 2025 Final Action Letter.
3. The grantee shall maintain the architectural significance of the structure, retain and/or restore the historic character of the structure, preserve the structural integrity of the structure, and perform normal maintenance and repairs.
4. The grantee shall complete the work funded by the Historic District Grant within one year of approval of the grant application.
5. The Applicant shall submit a photograph of completed work to Planning Staff.
6. The grantee shall submit proof of payment to the Planning Department for disbursement of funds within 30 days of final inspection.
7. Prior to issuance of the grant, the grantee shall agree to and execute a five-year lien with the City in a form approved by the City Attorney's Office and record such lien with the Summit County Recorder's Office. Should the property be sold within the five-year period, the grantee is responsible for

repaying the City a pro-rated amount of the grant disbursement. If the property is sold within one year, 100% of the awarded funds shall be paid back to the City.

8. Any changes, modifications, or deviations from the approved scope of work shall be submitted in writing for review and approval/denial in accordance with the applicable standards by the Planning Director prior to construction.

Board Member Holmgren seconded the motion.

VOTE: The motion passed with the unanimous consent of the Board.

C. 525 Park Avenue – Historic District Grant Application – The Applicant Requests a \$24,500 Historic District Grant to Repair and Paint the Exterior Façade of the Landmark Historic Structure, known as St. Luke’s Episcopal Church. PL-25-06804.

Project Planning Manager, Elissa Martin, presented the Staff Report and explained that this is a Historic District Grant Application for 525 Park Avenue. 525 Park Avenue is also known as St. Luke’s Episcopal Church. It is a Landmark Historic Site in the Historic Residential – 1 Zoning District. The historic building was constructed circa 1901 during the Mature Mining Era. It is described on the Historic Sites Inventory Form as a small, one-story, frame, rectangular chapel in a simplified Gothic style, sided in painted horizontal shiplap.

According to the project description from the applicant, the external siding on the historic building is deteriorating due to years of exposure to high-altitude UV radiation and intense winter moisture cycles. This has caused the current paint coating to peel and crack. The grant funding would cover the cleaning of the external siding, the removal of surface contaminants, scraping and sanding of peeling areas, repair of substrate and replacement of rotted elements with in-kind materials, sealing of the windows, doors, and joints to protect against moisture, and the application of a high-adhesion primer and weather resistant paint to the building. The proposed external siding repair and paint qualify as eligible work items.

Manager Martin shared images of the structure that were submitted by the applicant. The funding request is \$24,500, which is 50% of the total estimated cost. The property is within the Main Street RDA and would be sourced from the \$30,000 Main Street RDA fund. This is the same funding source as the 218 Sandridge Road grant application. If the grant for 525 Park Avenue is awarded, the remaining balance of the Main Street RDA would be \$5,500. If the grant is not awarded, the applicant can apply again in Fiscal Year 2027.

Staff recommends the Historic Preservation Board review and score the Historic District Grant Application for 525 Park Avenue, open a public hearing, and determine whether this grant should be awarded. Manager Martin shared the evaluation criteria with the Board.

Board Member Noble noted that the building is only 1,600 square feet. She asked about the cost to paint and repair the exterior. \$50,000 for a 1,600 square foot building seems

high. The applicant, Dan Moak, reported that he received a quote from a contractor, which was submitted with the application. It is possible that the full amount will be less than this as additional bids come in. Chair Stephens asked if the project work has started. Mr. Moak explained that there will be two or three more quotes obtained to ensure the best price is found for the work. The project needs to move forward because there is paint peeling off. For historic preservation, the historic wood on the property needs to be sealed. It was noted that the intention is to wait until the temperatures are warm enough to start the work.

Board Member Holmgren asked for a breakdown of the costs. Director Ward reported that the Meeting Materials Packet includes more detailed information. The application form has a page where there is a breakdown of the cost, but the level of detail provided can vary from applicant to applicant. Board Member Scott discussed the two grant applications that have been submitted. He likes the thoroughness of the 525 Park Avenue application. The application is complete and there is a clear outline of what the grant money will be used for. On the other hand, the 218 Sandridge Road application does not have as much detail.

Planner Klopfenstein shared the cost breakdown that was submitted by the applicant for the 218 Sandridge Road application. Mr. Moak shared additional comments about the 525 Park Avenue application. The goal of preserving the building is so it can be open every day. It is a volunteer run initiative and the building is owned by a 501(c)(3) non-profit organization. The goal of the project is to beautify it, since it is in a high traffic area, and to make it accessible for the people of Park City. Chair Stephens thanked him for the clarification.

Board Member Beatlebrox scored 525 Park Avenue at 17 points, which is a high score. It received a high score because of the important historic elements. Board Member John Hutchings explained that when he scored both applications and tried to break out the funding, it was \$20,000 to 525 Park Avenue and \$10,000 to 218 Sandridge Road. He scored the Park Avenue property high because of the landmark status and architectural features.

Board Member Scott reported that he gave 525 Park Avenue a score of 17 points. For 218 Sandridge Road, he did not feel that he had enough information to determine a score. Board Member Noble felt similar to Board Member Scott. She did not feel there was as much clarity with the 218 Sandridge Road application compared to the 525 Park Avenue application. She gave the 525 Park Avenue property a score of 16 points. Board Member Noble explained that her background includes the renovation of historic houses. Her concern is that the costs associated with the 525 Park Avenue project seem to be high. Her preference would be to award some money to that project now. There could be another application submitted in the future when there is a desire to do work on the inside.

Board Member Holmgren stated that 525 Park Avenue is an important part of Park City. When she saw that this was submitted as a grant application, she was excited, because the work will be beneficial. Board Member Gackle scored both properties similarly. 218 Sandridge Road has come before the Board before, so there might have been an assumption that the Board was familiar with the project. Both projects are deserving of funding, so it makes sense for the Historic Preservation Board to discuss possible amounts.

Chair Stephens asked how much the Main Street RDA started with at the beginning of the fiscal year. Manager Martin reported that it started with \$30,000. These are the first two applications in this fiscal year for the Main Street RDA. Chair Stephens believed both applications were noteworthy for different reasons. 218 Sandridge Road is focused on restoration and there is an extensive restoration plan in place. There might not have been as much detail included in the application, but this is something the Board has discussed before. It will be a visible piece of residential history. 218 Sandridge Road is far into the process where 525 Park Avenue is just starting the process. It is important for the Board to consider how to assist both applicants. It was noted that the 525 Park Avenue applicant could apply for additional funding at the start of the next fiscal year. Chair Stephens pointed out that it is also possible to award some funding to that project in the current fiscal year.

Chair Stephens suggested splitting the funding amount, with slightly more for the 218 Sandridge Road project, since the 525 Park Avenue project is not as far along in the process. Director Ward reported that the Historic Preservation Board could direct Staff to modify the Draft Final Action Letter for the awarded amount. If the applicants come forward with revised plans, those would be evaluated under a new application. Chair Stephens suggested \$24,000 for the 218 Sandridge Road application and \$6,000 for 525 Park Avenue, with it being made clear that the Board would like to see an application return for Park Avenue.

Board Member Beatlebrox thought the amounts should be more even. Board Member Noble noted that if both applicants are unable to obtain the necessary funding at the current time, both could submit grant applications in the next fiscal year as well. These are both worthwhile projects, so it is a difficult decision to make. She expressed support for \$20,000 for the 218 Sandridge Road application and \$10,000 for the 525 Park Avenue application.

Board Member Hutchings asked if there needs to be clarification about what the \$10,000 would be used for, since it would only cover a portion of what has been submitted for. Director Ward explained that the way the Draft Final Action Letter is written, it would be for the same scope of work, but a reduced award amount would be granted. It is possible for the applicant to submit another application in the next fiscal year for the same project. There would need to be a breakdown submitted that shows how the funds have been used.

Board Member Gackle believed that if the awarded amounts were split fairly evenly, both projects would likely submit applications in the next fiscal year as well. That is not necessarily a bad thing, since these are the first applications the Historic Preservation Board has received this fiscal year for the Main Street RDA funds. Board Member Scott stated that it makes sense to focus on what is currently before the Historic Preservation Board.

Board Member Gackle agreed with earlier comments from Chair Stephens. The process has already started for 218 Sandridge Road, which means the funds will be used almost immediately. As a result, an even split of the grant funding does not necessarily make sense.

Board Member Beatlebrox reported that one applicant is a non-profit and the other is an individual. Board Member Gackle pointed out that both are historic structures in need of preservation. Board Member Hutchings agreed with the comment made by Board Member

Soctt about focusing on what is currently before the Historic Preservation Board. Based on his score, the Park Avenue application has more historic value. As a result, he would award more grant funding to that project. Board Member Holmgren liked the amounts proposed by Board Member Noble earlier in the meeting, which were \$20,000 and \$10,000.

Chair Stephens reiterated that the 218 Sandridge Road project is already in process. It is a substantial historic restoration of a single-family residence. He would support \$20,000 being awarded to that project and \$10,000 to the 525 Park Avenue project. He would hope that the Park Avenue project would return to the Historic Preservation Board in the future.

Additional discussions were had about the two grant applications and the amount to award. Chair Stephens pointed out that the Board has asked a lot of the 218 Sandridge Road project already. Board Member Gackle noted that the Sandridge home is from the 1800s and work might need to be done more immediately. The church was built slightly after and could withstand a slight delay in the funding. He is leaning toward the \$20,000 and \$10,000 split.

Board Member Noble asked about funds from a different location that might not be used by the end of the fiscal year. She wanted to know if there was a way to move those to another fund, which was denied. Board Member Noble wondered if it would be possible to increase the Main Street RDA amount next year. Director Ward reported that the City Council will start the Fiscal Year 2027 budget discussions shortly. If the Historic Preservation Board feels there should be a request made to increase the grant funds, that is something that can be communicated. The Board continued to discuss the current grant applications.

Chair Stephens opened the public hearing. There were no comments. The public hearing was closed.

MOTION: Board Member Noble moved to APPROVE a Historic District Grant for 525 Park Avenue for \$10,000, and directed Staff to modify the Final Action Letter to reflect the adjusted amount. The approval is based on the following:

Findings of Fact:

1. The City initiated the Historic District Grant Program (HDGP) in 1987 with the goal to financially incentivize the preservation, rehabilitation, restoration, and reconstruction of Historic Structures and Sites to create a community that honors its past and encourages historic preservation.
2. Work eligible for a 50% matching grant through the HDGP includes, but is not limited to restoring Historic features and painting exterior.
3. The Applicant submitted a Historic District Grant application during Fiscal Year 2026, Quarter 2, for \$24,500 to repair and paint the external façade of the Historic Structure at 525 Park Avenue, known as St. Luke's Episcopal Church, a Landmark Historic Site in the Historic Residential-1 (HR-1) Zoning District.

4. The Applicant proposes completing the work in the summer of 2026.
5. 525 Park Avenue is in the Main Street Redevelopment Area (RDA).
6. Funding for the Applicant's request will be sourced from the Main Street RDA grant fund, which has an initial balance of \$30,000.
 - a. This is one of two grant applications submitted for Q2 Fiscal Year 2026 for a Site within the Main Street RDA.
 - b. If the funding request for \$24,500 for 525 Park Ave is awarded it would result in a remaining balance of \$5,500 for the Main Street RDA.
7. HDGP recipients must agree to a five-year lien with the City that is recorded against the property.
 - a. If the property is sold before the five-year period has passed, the Applicant is responsible for repaying the City a pro-rated amount of the awarded HDGP funds.
 - b. The Applicant for the HDGP request for 525 Park Avenue was made aware of and acknowledged the lien requirements through the HDGP application process.

Conclusions of Law:

1. The Historic Preservation Board determined the Applicant's funding request for 525 Park Avenue qualifies for a Historic District Grant award on February 4, 2026.

Conditions of Approval:

1. The grantee shall maintain the architectural significance of the structure, retain and/or restore the historic character of the structure, preserve the structural integrity of the structure, and perform normal maintenance and repairs.
2. The grantee shall complete the work funded by the Historic District Grant within one year of approval of the grant application.
3. The Applicant shall submit a photograph of completed work to Planning Staff.
4. The grantee shall submit proof of payment to the Planning Department for disbursement of funds within 30 days of completion of the work.
5. Prior to issuance of the grant, the grantee shall agree to and execute a five-year lien with the City in a form approved by the City Attorney's Office and record such lien with the Summit County Recorder's Office. Should the property be sold within the five-year period, the grantee is responsible for

repaying the City a pro-rated amount of the grant disbursement. If the property is sold within one year, 100% of the awarded funds shall be paid back to the City.

6. Any changes, modifications, or deviations from the approved scope of work shall be submitted in writing for review and approval/denial in accordance with the applicable standards by the Planning Director prior to construction.

Board Member Holmgren seconded the motion.

VOTE: The motion passed with the unanimous consent of the Board.

- D. **732 Crescent Road – Modification of Historic District Design review – The Applicant Proposes to Panelize the Landmark Historic Structure to Construct a Basement and Rear Addition in the HR-1 Zoning District. PL-26-06813.**

It was noted that the application was withdrawn.

9. **ADJOURNMENT**

MOTION: Board Member Holmgren moved to ADJOURN the Historic Preservation Board Meeting. Board Member Hutchings seconded the motion.

VOTE: The motion passed with the unanimous consent of the Board.

The Historic Preservation Board Meeting adjourned at approximately 5:53 p.m.

Meredith Covey

From: [REDACTED]
Sent: Wednesday, February 4, 2026 12:23 PM
To: Meredith Covey
Cc: Len Braudis
Subject: Re: [External] 573 Main Street

Warning: Replies to this message will go to [REDACTED] If you are unsure this is correct please contact the helpdesk.

Meredith,

Thank you for the below information. Unfortunately we are not able to attend the meeting tonight as we have a conflict with the timing.

I would like to submit to the board our serious concerns with noise and privacy as it relates to a window being replaced by door for access to a rooftop. This is on the north facade. As the board will see from the attached photo, this roof looks directly at our yard and home and there is absolutely no screening from a noise perspective let alone the ability for some sense of privacy. With all the historic regulation that goes on in Old Town I am perplexed how this can be passed without proper efforts of remediation for other property owners rights.

Elizabeth Braudis.

PENDING APPROVAL

2:11

X

PENDING APPROVAL



Historic Preservation Board Staff Report



Subject: Historic District Grant Program
Authors: Elissa Martin, Planning Project Manager
Jacob Klopfenstein, Planner II
Date: March 4, 2026
Type of Item: Work Session

Recommendation

(I) Review the Historic District Grant Program annual fund.

(II) Consider making a recommendation to City Council to increase the Historic District Grant amounts available to applicants.

(III) In preparation for an April 1 work session on the potential updates or revisions to the Historic District Grant Program, provide input on topics to prepare for discussion.

Acronyms

FY	Fiscal Year
HDDR	Historic District Design Review
HDGP	Historic District Grant Program
HPB	Historic Preservation Board
LMC	Land Management Code
RDA	Redevelopment Area

Terms that are capitalized as proper nouns throughout this staff report are defined in LMC [§ 15-15-1](#).

Background

Since 1987, the City has awarded hundreds of thousands of dollars to the rehabilitation and historic preservation of Significant and Landmark Historic Structures and Sites through the Historic District Grant Program (HDGP). Money is set aside each Fiscal Year (FY) in the Citywide General Fund, Lower Park Avenue RDA, and Main Street RDA to fund grant requests for rehabilitation and preservation of Historic Structures designated Significant or Landmark Historic Sites on Park City's Historic Sites Inventory.¹

The Mission Statement is below:

“The Park City Historic District Grant Program is designed to financially incentivize the Preservation, Rehabilitation, Restoration, and Reconstruction of Historic Structures and Sites in order to create a community that honors its past and encourages Historic Preservation.”

¹ LMC [§ 15-11-10](#)

Between 2015 and 2020, staff held multiple work sessions with the City Council and the HPB to implement improvements to the program. In 2017, the City hired Duval Companies to evaluate the HDGP and make recommendations for improvement. In 2018, Duval Companies completed the Historic Grant Study (“Duval Study”) (Exhibit A). Some recommendations have been implemented and some are still pending consideration.

One area of importance the Study highlights is the amount of funding that is offered during each grant cycle for the three different grant areas (Citywide, Lower Park Ave RDA, and Main Street RDA). Please see Exhibit B for a map of the RDA boundaries.

The grant cycle runs concurrently with the City’s FY; at the beginning of each FY, the three funds are replenished with fixed amounts. If grant funding is not awarded in that FY, it does not carry over.

According to the Duval Study, the Park City RDA was established in 1977, with a primary goal to improve the Main Street area. After completing a survey of property owner needs in spring 1987, the Historic District Commission recommended a matching grant program for Historic renovations, and the City established the HDGP.

Initially, the City funded the HDGP with \$2.5 million over the first three years. The grant program funded 33 projects in the first year, 40 in the second, and 47 in the third year. By 1994, the grant program had funded 224 projects. Initially, residential projects were limited to a grant payout of \$5,000, and commercial projects to \$10,000. However, in 1998, the maximums were raised to \$10,000 for residential projects and \$15,000 for commercial projects.

Today’s funding levels have been allocated as follows since at least 2015:

- Citywide General Fund \$ 47,136
- Lower Park Ave RDA \$ 50,000
- Main Street RDA \$ 30,000

Current HDGP Process

According to the City’s official [budget policy](#), the City Council appropriates a specific dollar amount relating to Historic Preservation as part of the annual budget process, and the funds are appropriated between the General Fund and the two RDA funds (see below). The Planning Department and HPB award grants based on criteria established by staff and the HPB. Grant requests of \$25,000 or more require City Council approval.

The funding levels for the HDGP have not increased since at least 2015 and have not reflected rising construction and labor costs.

The following is a breakdown of grants that have been awarded from the three funds since FY24:

HDGP Fund	Funding Level	FY24	FY25	FY26
General Fund	\$ 47,136	\$ 41,960	\$ 47,136	\$ 24,950
LPA RDA	\$ 50,000	\$ 38,600	\$ 0	\$ 9,805
MS RDA	\$ 30,000	\$ 23,170	\$ 31,800	\$ 30,000

[Historic mine sites](#) fall outside the Lower Park Avenue and Main Street RDAs, so grant requests like the recent [window restoration project](#) at the Silver King Coalition Mine site was disbursed from the General Fund.

At the February 2026 HPB meeting, members of the HPB expressed interest in the potential to increase the funding levels, at least for the Main Street RDA and possibly for the other funds as well. The Main Street RDA offers the least amount of funding, yet it contains hundreds of Significant and Landmark Historic Sites that would potentially qualify for grant funding (see Fig. 1 below, and Exhibit B, RDA Maps).

The current grant cycle ends June 30, 2026, and the next begins July 1, 2026. The HPB may consider forwarding a recommendation to City Council to consider increasing or reallocating the grant funds to better align with current construction and labor costs and to address the current balance between the different boundaries and the Historic Sites that may qualify for and benefit from grants.

Discussion

(I) **Historic Sites and Grant Eligibility**

There are over 400 Landmark and Significant Historic Sites within the City. Approximately 192 of these sites are within the Main Street RDA. Approximately 104 are within the Lower Park Avenue RDA. Approximately 124, including Historic mine sites, are not within the RDA areas, so grant requests for those sites would be disbursed from the General Fund.

Figure 1 below shows the approximate locations of Landmark and Significant Historic Sites within the Main Street and Lower Park Avenue RDAs. The map in Figure 1 provides an estimate and is provided for informational purposes only; it is not an official determination regarding designation of Historic Sites. Land Management Code (LMC) [Section 15-11-10](#) outlines and codifies the Park City Historic Sites Inventory.

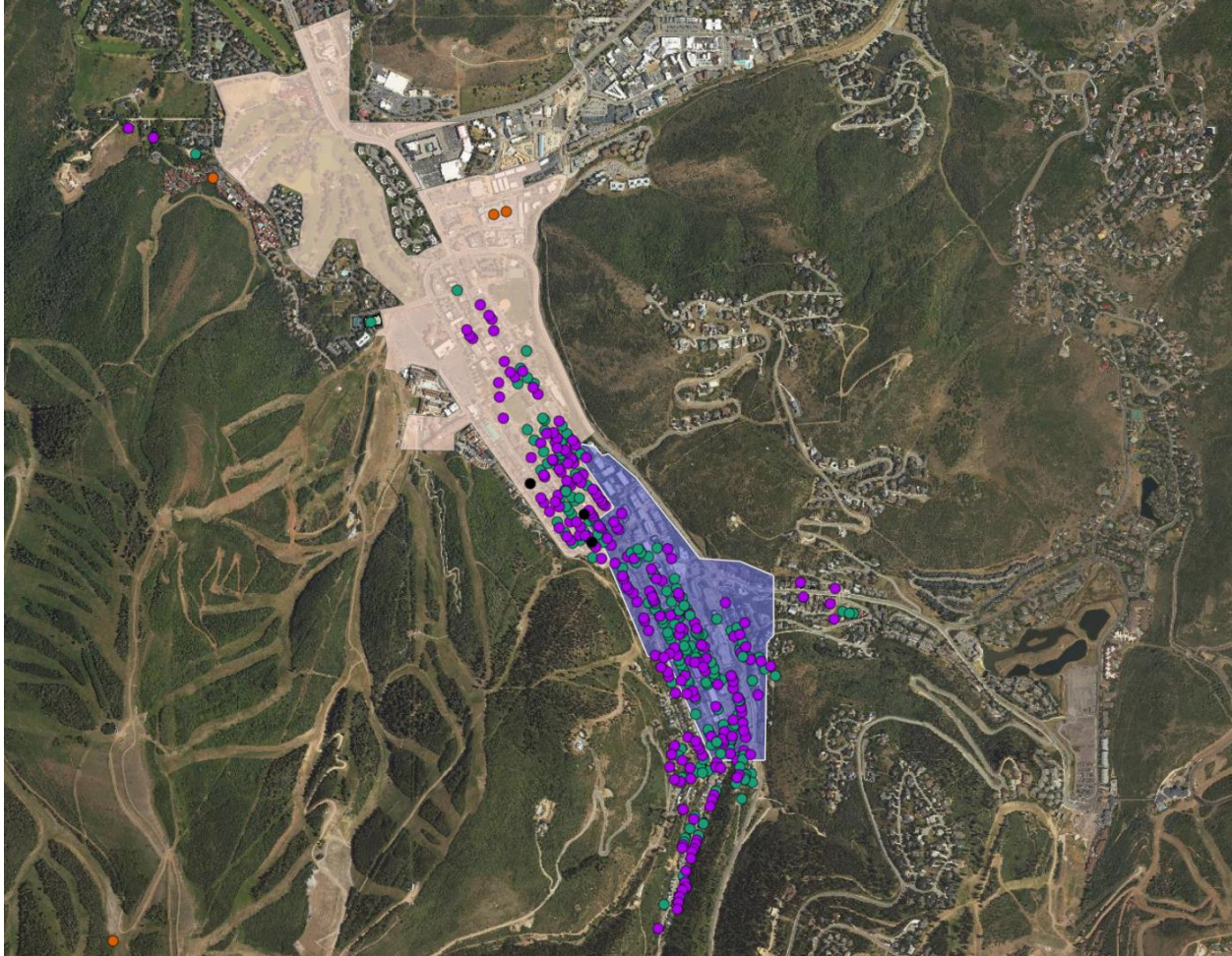


Figure 1: Unofficial map of Park City showing Main Street RDA (outlined in blue), Lower Park Ave. RDA (outlined in tan), Landmark Historic Sites (green points), and Significant Historic Sites (purple points).

Because there are more Historic Sites within the Main Street RDA and outside the RDAs, more grant requests are likely to require funds from the General Fund and Main Street RDA rather than the Lower Park Avenue RDA. Staff recommends considering increases to those funds and keeping the Lower Park Avenue RDA at its current funding level.

(II) Vacant Historic Sites

Not including Historic Mine Sites, there are at least 12 Historic Sites within the City that are vacant, unoccupied, or dilapidated. Five are within the Lower Park Avenue RDA, two are within the Main Street RDA. The remaining five are outside the RDAs, so a grant request for any of those sites would be disbursed from the General Fund; however, two of those sites are City-owned and have recently been stabilized.²

As of February 2026, eight of the 12 vacant Historic Sites had active applications for rehabilitation, though some have been on hold for several years.

² The Spriggs Barn and the Accessory Structures near 360 Daly Avenue.

(III) Proposed HDGP Budget Increases

The 2025 General Plan recommends incentivizing the reuse and renovation of existing Historic Structures rather than demolition. A budget increase for the HDGP would be in line with this General Plan recommendation and would address increases in construction costs since the funding levels were last increased prior to 2015.

If the HPB is interested in increasing grant funds, the potential recommendation to address outstanding historic sites could be as follows:

- General Fund: \$27,864 increase (\$75,000 total)
- Lower Park Avenue RDA: no increase (\$50,000 total)
- Main Street RDA: \$45,000 increase (\$75,000 total)

(IV) April Work Session

The General Plan recommends establishing a range of options to incentivize the preservation of documented historic resources associated with the ski era, such as A-frame dwellings from the 1960s and 1970s.

Currently, only Landmark and Significant Historic Sites are eligible for the HDGP, and ski-era A-frame dwellings are not. The HPB could consider expanding eligibility of the HDGP to include ski-era resources.

Though these structures are not designated Historic Sites, the Board could consider a requirement for property owners of ski-era resources to enter into a façade easement to ensure the continued preservation of the building as a condition to receive a grant.

In addition to the above, staff requests feedback from the HPB for an April work session on other areas of consideration to improve the HDGP, outlined below.

The current criteria for evaluating Historic District Grant requests is provided below.

Criteria Evaluation	Scoring Value	Staff Score	HPB Score
Character defining historic elements of the structure and/or site will be preserved and/or restored as viewed from the primary right-of-way.	0: Non-visible historic elements will be preserved or restored 1: Few visible historic elements will be preserved or restored 2: Several visible historic elements will be preserved or restored 3: Majority of visible historic elements will be preserved or restored 4: All visible historic elements will be preserved or restored		
Proposed improvements to the site will positively impact the vitality of the historic context of the neighborhood.	0: No proposed improvements 1: Minimal positive impact 2: General positive impact 3: Significant positive impact		
Proposed design and scope of work uses best practices for the treatment of historic materials.	0: None 1: Insufficient 2: Average 3: Above average 4: Exceeds expectations		
The historic features and elements of the structure and/or site will be enhanced by the proposed work.	0: Minimally enhanced 1: Generally enhance 2: Exceeds expectations		
Proposed work facilitates reversal of non-historic elements or alterations.	0: None 1: Some 2: Exceeds expectations *Note: If no non-historic elements or alterations are present mark N/A.		
Priority is given to restoration and treatment of historic materials, rather than replacing historic materials and features in-kind.	0: No priority given to restoration 1: Minimum priority given 2: Some priority given 3: General priority given 4: Exceeds expectations		

Does the HPB find the above criteria provide meaningful evaluation of applications, or would the Board like to discuss potential updates in the April work session?

Eligible work that qualifies for a Historic District Grant award includes the following:

- Repairing/Restoring/replacing windows
- Repointing masonry
- Repairing or replacing roofs
- Painting exterior
- Electrical updating*
- Upgrading mechanical systems
- Upgrading insulation
- Reconstructing Historic porches
- Restoring Historic features

Ineligible work includes, but is not limited to:

- Acquisition costs
- New additions
- Landscaping/flatwork
- Interior remodeling/new finishes
- Interior paint

Does the HPB find the scope of eligible work helps achieve the goals of the HDGP, or would the Board like to re-evaluate qualifying projects?

The current grant application requires applicants to submit a Project Description, Proposed Timeline and a Breakdown of Estimated Costs for the scope of work. Currently the application also requires the submission of “Cost Estimate”, but does not specify if that is to be in the form of an actual bid from a vendor or if that is the Applicant’s estimated costs. Does the Board find they are receiving the information needed to fully evaluate requests, or would the Board like to discuss updates to the application requirements?

Currently, grants are awarded in an amount up to 50% of the total cost of the proposed project. Does the HPB find that this funding structure is appropriate or should alternatives funding ratios be explored?

Recommendations from the Duval Study that have not been implemented to date include but not limited to:

1. Establish a communications strategy to raise awareness, build community knowledge and engagement, and tell Park City’s story.
2. Establish a regular annual cycle of reporting. Audiences for regular reporting include the Historic Preservation Board, Mayor and City Council, and the general public.

- a. Establish metrics for tracking and reporting outcomes
3. Create a database of projects to track them from the time a grant is awarded to the time the grant is paid out (we have started to do this).
4. Define a target list of investment priorities where the grant can make a difference, and review it annually to keep it current. Consider public projects, historic mine structures, distressed properties, roof replacements, large remodels, and incentivizing above-minimum-standard outcomes (form, materials, details).

What other information would the Board like to see for the next Work Session regarding the HDGP?

Department Review

The Planning Department, Executive Department, and City Attorney's Office reviewed this report.

Exhibits

- A: 2018 Duval Companies Historic Grant Study
- B: RDA Boundary Map

Historic Grant Study

Park City
Planning Department

2018



www.parkcity.org

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Set with Galaxie Polaris.

This report was prepared by Duval Development (www.duvalcompanies.com) under the direction of Kjersti Monson.

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Foreword from the Mayor

Park City's historic architecture contributes to our sense of place while paying tribute to our industrial mining history. We have the opportunity to embrace our past through our historic preservation efforts while encouraging new architecture that is both of its time and paying tribute to our historical roots. Since 1987, the Historic District Grant program has incentivized private investment in historic preservation through a matching grant program that invests public funds to offset the often restrictive costs of restoration projects. The success of the Historic District Grant program's early efforts contributed to Old Town's transformation from a dilapidated ghost town into the thriving downtown that exists today.

Historic preservation has not only revitalized our downtown but spurred the local economy. Property values within Park City's two (2) National Register Historic Districts—the 1979 Main Street National Register Historic District and the 1984 Mining Era Residences Thematic National Register District—are some of the highest statewide. Additionally, historic preservation efforts have led to Main Street emerging as the cultural heart of our community. Small-scale commercial buildings such as the Old County Sheriff's Office at 509 Main Street have served as incubator spaces for start-ups while rehabilitation projects such as that at High West Distillery, formerly the National Garage, at 703 Park Avenue are embraced by local businesses that provide vibrancy to our local entertainment district.

Historic preservation has also contributed to City Council's goals for sustainability. For decades, the historic preservation movement has recognized that existing buildings are inherently greener when compared to demolition and new construction, particularly when considering their embodied energy and the carbon impacts generated by new construction. The Historic District Grant program encourages property owners to maintain and restore existing historic materials, reducing the demand for new milled lumber and demolition waste.

The buildings and sites that contribute to our community's historic fabric promote economic vitality, socially equity, and a strong, resilient complete community. Much of the restoration work to bring back the vibrancy of these structures is credited to the Historic District Grant program. This study is key to helping us move forward with restructuring the grant program so that it may continue to incentivize and promote historic preservation efforts in our community.

Sincerely,



Jack Thomas
Mayor
January 2014 - January 2018



Andy Beerman
Mayor
January 2018 - Present

Preface

As early as the 1970s, Park City recognized the need to safeguard its industrial mining history through historic preservation. These early efforts were initiated by local residents utilizing private investment to rehabilitate their historic miner's shacks and commercial buildings; however, by 1987, the City had established the Historic District Grant program to further incentivize preserving historic buildings through a collaborative public-private partnership. The grant program played a significant role in promoting historic preservation while also spurring investment. Park City's commitment to historic preservation has continued to prosper, and today the City has some of the highest property values in the state.

Since its creation in 1987, Park City's Historic District Grant program has been modified to continue to serve the needs of the community. Initially developed as a matching grant program to offset the costs of exterior restorations, grant requests were reviewed on an annual basis and small expenditures provided seed money for small projects. As the grant program matured and costs of construction increased, the grant program was reviewed on a "first-come, first serve" basis with grant distributions increasing to cover the costs of whole-house renovations. As grant awards increased, staff and the Historic Preservation Board began to question the effectiveness of this public-private investment.

Changes to government accounting rules (GASB) in 2014 to the Historic District Grant program led to the Park City Planning Department engaging Kjersti Monson of Duval Development, LLC in 2017. Ms. Monson has provided a detailed history of the grant program in order to aid staff and decision makers in understanding the history of the program. On November 16, 2017, Ms. Monson engaged leadership in an in-depth, robust work session with City Council and the Historic Preservation Board (HPB) to identify current priorities, conditions, and trends. The outcome of that discussion, as well as her community engagement, has served as the basis for her recommendations in this report to restructure the program going forward.

This report is intended to aid staff in considering options and priorities as we continue to revise and adapt the grant program to changing demands. Originally, the Historic District Grant program served as a catalyst to incentivizing historic preservation by helping to offset the costs of expensive exterior restorations; however, as real estate prices have increased and the trend in renovations has shifted from small-scale to larger, more intensive projects, the goals and priorities of the grant program have changed. As we move forward with restructuring the Historic District Grant program, it will be imperative that we find a way to balance these changing demands while still encouraging and promoting historic preservation in throughout the community.

Sincerely,



Bruce Erickson, AICP
Planning Director



Doug Stephens
Historic Preservation Board Chair

Acknowledgments

City Council

Andy Beerman, Mayor (2018-present)

Jack Thomas, Mayor (2014-2017)

Becca Gerber

Tim Henney

Steve Joyce

Lynn Ware Peek

Nann Worel

Cindy Matsumoto, Councilperson (2010-2017); City Council liaison to HPB

Historic Preservation Board

Douglas Stephens, Chair

Jack Hodgkins

Randy Scott

Puggy Holmgren

Lola Beatlebrox

John Hutchings

Alex Weiner

David White, HPB Chair (2012- 2017)

Cheryl Hewett, HPB member (2014-2017)

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Sandra Morrison

Introduction

Park City has benefited culturally and economically from the community's longstanding dedication to historic preservation. The initial success in 1979 of achieving national designation for the historic Main Street district, followed by the creation of a dedicated commission in the early 1980s (the Historic District Commission, which in 2003 was restructured as the Historic Preservation Board) focused on preservation matters, led to purposeful and strategic public investments in restoration, enhancement, and interpretation.

It was the Historic District Commission (HDC) that designed and implemented the Historic District Grant (HDG) program.

the goal of incentivizing private investment through an injection of public dollars.

The overwhelming private response to the grant program over many years has resulted in hundreds of properties improved through not only investment of dollars, but through cultivation of knowledge and a culture of preservation.

Applicant property owners entered into purposeful dialogue with the City and the HDC as they explored their options and achieved compliance with guiding preservation policies. Newspaper articles highlighted and interpreted significant renovation stories, and in so doing served to celebrate the town's history.

Historic preservation has contributed to Park City's vibrant Main Street.



The character and charm of historic Main Street has contributed to Park City's appeal as a destination for both tourism and events. Economic activity has risen as a result of the community's policies and investments in preservation.

Because funds for the HDG program originated with the Redevelopment Agency (RDA) – which remained the funder for much of the life of the grant, there was an underlying framework of economic development thinking in the program's formation and administration. It was a dollar-for-dollar matching grant program designed as a public-private initiative, and was fully intentioned about

The Park City Historical Society and Museum recognized achievements in historic preservation with certificates and plaques. As more properties were renovated and became contributing properties, the downtown that was once considered “blighted” became one of the most desirable places to live in the country: a place of great character and a viable second home option for many.

The overwhelming success of Park City's historic-building investments, to which the Historic District Grant program has been a core contributor, has led to a different set of challenges and issues for the community. Policymakers are now wrestling with how to maintain affordability in housing, and how to retain local primary residents in light of the area's desirability as a second home and short term rental option.

The Historic District Grant program has been a major player in the growth and success of Park City as

a tourist destination and a valued community. The program has had a long and illustrious life, with great success over many decades, and it has evolved over time. The grant program of today is not the same as the program that was launched in 1987. Levels of funding, types of grants, and eligible expenditures have all evolved numerous times over the course of the grant program's life, and the City has sensed that the program must evolve again to adapt to new community realities and to reflect current City goals.

The purpose of this study, commissioned and overseen by the Planning Department, has been to document the grant's history, understand and contextualize the grant through the lens of current priorities and conditions as well trends through time, and to make recommendations for how to shape the grant going forward so that it can continue to contribute to both the character and the values of Park City.

History

ABOUT THE PROGRAM

In 1977, the Park City Redevelopment Agency was created with multiple goals in mind, most notably the improvement of Main Street. In 1979, as part of a burgeoning preservation movement, the City succeeded in having Main Street designated as a National Register Historic District, and city leaders envisioned enhancements to downtown that would contribute to Park City becoming a recreational and touristic destination.

Under the same leadership who sought the National Register designation, additional historic residential and historic commercial zoning was put in place by the City over the next couple of years, and historic properties were identified. In 1981, the Historic District Commission was created by ordinance and given broad powers within the historic districts, including authority over the review and approval of building permits, demolition permits, and shaping preservation policy.

Although there was significant interest in preservation and renovation in these early years, demonstrated through formal actions of government in ordinance and policy, there were very limited resources to undertake renovation of historic properties. A headline on December 18, 1986 in the Park Record declared "Renovation is expensive, but it may be the only hope." The article laments historic properties in limbo - homes that are too run down to be rented or inhabited, yet too expensive to fix.

In their first few years, the Historic District Commission explored several ways to incentivize restoration of historic properties by owners, including a revolving loan program, a matching grant program, and a no-strings-attached grant program. In March 1987, the HDC conducted surveys to identify homeowner needs pertinent to historic renovation activities, and a month later they presented their finalized proposal for the preferred incentive program: a matching grant program for historic renovations.

The Historic District Grant program, approved that spring, was part of a proposed 3-year, \$2.5 million initiative of the RDA to improve downtown Park City, including park, street, historic property, and parking enhancements. It was initially conceived as a three-year program, but was so successful and popular that it became institutionalized. In the first year, 33 projects were funded. In the second, 40, and in the third, 47. It was designed to be simple, with a one page application once a year, and the results were immediate and dramatic, leveraging an incredible private response of over 100 projects completed in the first 5 years (by 1991) with approximately half a million public dollars invested.

This pace heated up, with 224 projects reported complete just three years later, in 1994. Over the next two decades, hundreds of projects would be completed, and more than \$2 million would be invested, transforming Park City into a quaint destination with a strong sense of place and touristic appeal.

CHANGES & ADAPTATION

The goals and criteria for the program changed over time. From 1987 to 1991, the grant was for exteriors only – intended to fund “physical improvements to the outside of the building so all residents would benefit.” In 1992, foundation and stabilization work became eligible. Wiring heating and plumbing became eligible expenditure in 1995. By 1997, critical structural and foundation work became the major focus and priority of the grant.

Funding levels and the number of grants also changed over time. The initial \$5,000 residential maximum and \$10,000 commercial maximum became \$10,000/\$15,000 respectively in 1998, and during that same year a \$50,000 grant was offered for the first time. Grant maximums by type were eventually phased out and replaced by a common pool of allocated funds distributed to eligible and approved projects on a first come first served basis. This was one of the changes implemented under new grant governance put in place in 2003.

Changing Authorities & Governance

In July 2003, a sweeping set of actions disbanded the Historic District Commission and replaced it with the Historic Preservation Board, which was given more limited authority. During this time, the City also streamlined and restructured other parts of government leading to the departure or dismissal of three department directors: community development, administrative services, and leisure services.

The HDC had become the subject of ire by many who claimed that the

Commissioners held too much power to make subjective decisions, and that their authority was unchecked. Initial indications by elected officials that the Commission would be eliminated were not well received, however, and a restructuring by ordinance was pursued instead. In the restructuring, a new body was formed with diminished authority. City staff would now take on the authority to review and approve permit applications – a power previously held by the HDC. Demolition permit decisions in historic districts were shifted to an independent hearing board. The newly formed Historic Preservation Board would retain the authority to shape city policy on preservation, and would continue to oversee the grant program.

One of the first changes made to the Historic District Grant program was to end the annual application and award cycle and replace it with year-round applications and awards, a change which remains a popular characteristic of the program today. Although the change was a welcome one for homeowners, it had the potentially unintended consequence of reducing opportunities for annual press coverage of the program.

In past years, reporters covered announcements of the upcoming deadline, informational meetings were organized in the weeks leading up to the deadline, metrics from the previous grant cycle were published (including fun facts like which street had received the most investment that year), and human interest stories were featured about very significant properties or projects renovated that year. The annual cycle also inspired events and awards, for instance the Historical Society honoring the best projects with certificates and plaques at an annual event.

Adapting to New Rules

In 2014, changes to government accounting rules (GASB) resulted in a finding that the City could no longer fund capital improvement projects with Capital Improvement Project (CIP) funds for projects or assets the City does not own. Historic District Grants constituted capital improvement projects of this type.

The Historic District Grant program was originally housed in the CIP and funded with the Main Street and Lower Park Avenue (LoPA) RDA funds as directed by Council and included in the RDA resolutions. The funding questions raised in 2014 spurred broader questions about administering the program including a review of the application process and eligibility criteria, which reflected an interest in aligning the program more closely with other City priorities and objectives.

In 2012, City Council adopted the Park City 2030 Long Range Strategic Plan, and defined a set of priorities that reflected a significant policy focus on housing, transportation, and energy. The top priority identified was affordability. Staff and elected officials observed that Park City was becoming an expensive place to live, and, in particular, the historic districts were becoming popular second home communities where locals and primary residents were at risk of being priced out.

In a conversation with Planning Director Bruce Erickson, it was evident that this trend was perceived as not only a housing challenge, but a vibrancy challenge. In addition to promoting an equitable and complete community, Erickson is focused on keeping a local influence on and around Main Street and elsewhere,

noting that chains and franchises diminish the value of Park City as a place with a unique local flavor that tourists and residents both value.

To keep local influence vibrant, it's important to make it possible for primary residents, who comprise local business owners and the workforce that supports them, to remain in Park City, owning and operating authentic local establishments and not being driven out by rising costs of housing. For many reasons, affordable housing is a major initiative of the City and a value that policymakers and staff seek to embed in public dollars expended.

The HPB was asked to review recommended changes to the program, and to provide direction regarding the application process and policy for administration of the program.

At that time, the HPB approved the following changes, which began to reflect consideration of primary versus secondary homeowners and their eligibility to receive Historic District Grants:

- Houses lived in by primary residents (those houses in which the homeowner or a renter lives in full time) can be awarded up to 50% of

Locally owned and operated businesses contribute to the vibrancy and authenticity of Main Street. It's important to support primary residents in Park City.



Main Street is home to many unique local businesses and establishments. A sense of authenticity and local flavor is generated as a result of local influence and investment.

Recommended Changes Approved

Issues directly and tangentially pertinent to an update of the Historic District Grant program were fleshed out by staff with leadership at a Council working session on October 9, 2014. In a staff report to City Council, a recommendation was made for Council to review and adopt a new policy for the administration of the Historic District Grant program. Staff brought the matter to the Historic Preservation Board on November 5, 2014.

their eligible costs, while homes which are to be used as secondary homes or nightly rentals (i.e. not lived in by the primary residents) can be awarded up to 40% of eligible costs.

- Commercial properties continue to be eligible for up to 50% of construction costs regardless of ownership.
- An additional 10% may be awarded to those property owners committed to renovating a significant structure to elevate its status to *landmark*.

2.0 History

Staff sought and received a positive recommendation from the HPB to City Council on the proposed changes, and on December 4, 2014, staff recommended to City Council that they review recommended changes and adopt a policy for administration of the program.

In January 2015, staff submitted a report to City Council consistent with this recommendation, and Council supported staff recommendations. Throughout 2015-2016, staff considered ways to adjust the program in light of the funding question and adopted City priorities. On January 5, 2017, the following staff report was made to City Council:

"Since 1987, the Historic District Grant program has operated continuously with the support of City Council and the Historic Preservation Board (HPB). The Historic Preservation Grant program was originally housed in the Capital Improvement Project (CIP) and funded with the Main Street and Lower Park

Avenue (LoPA) RDA funds as directed by Council and included in the RDA resolutions.

With changes to the government accounting rules (GASB) in 2014, the City can no longer fund capital improvement projects with CIP funds for projects or assets the City does not own such as properties awarded grants through the Historic District Grant program. In 2015, staff revised the Historic District Grant program in order to reflect changes to the GASB.

Due to the concerns and feedback we received from the Historic Preservation Board (HPB) in early 2015-2016, staff has been analyzing ways in which to restructure the grant program."

The Planning Department engaged Duval to document the grant's history, understand and contextualize the grant through the lens of current priorities and conditions as well trends through time, and to make recommendations for how to shape

the grant going forward so that it can continue to contribute to both the character and the values of Park City. This report is the outcome of that engagement, and is intended to inform staff and policymakers as they consider options and make decisions about the grant program in its next iteration.

Analysis

An analysis of history and trends was necessary to inform the process of defining the next iteration of the Historic District Grant program. Considerations included Park City land value trends, a study of buying power of grant dollars over time based on costs of construction, ownership trends, economic impacts, and City values and priorities.

preservation, and the grant's performance over time. A summary of findings follows.

Based on sample data, Park City property values have risen more and at a faster rate in historic districts than in the city generally. 1990 data was too incomplete to analyze, but the trend of a widening gap is legible in an analysis of data from 2000-16..

SOURCES & METHODS

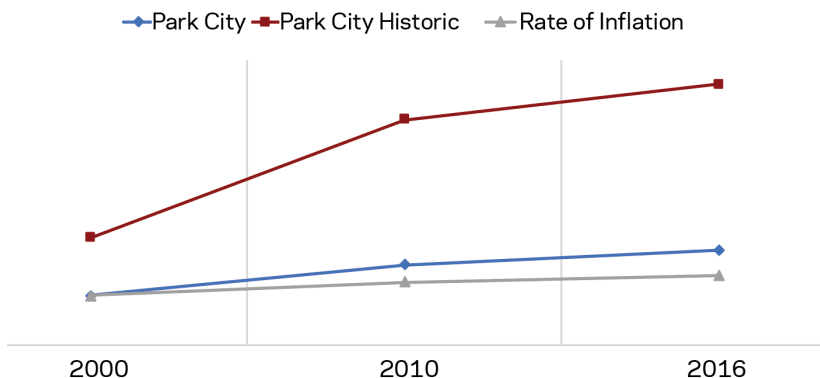
For this study, decades of parcel data from multiple sources was utilized, including Summit County, the City of Park City, and the US Census. Additional non-parcel data sources include the ENR Construction Cost Index, City staff reports, adopted plans and policies, and news archives (Park City Record) spanning 1979-2004. Finally, direct engagement

The City completed a housing assessment and plan in 2012 aimed at addressing growing challenges of affordability, and these issues have been raised by both City staff and stakeholders as an important consideration in determining how to shape and administer the grant.

Park City's investments in historic preservation, as well as the success

Property values in Park City have risen faster than inflation, especially in historic districts.

LAND VALUE \$ / ACRE



A random sample of parcels was analyzed, showing the value of land per acre over a sixteen year period in Park City. Values in historic districts were greater and rose faster than the city-wide average.

was undertaken, including stakeholder interviews, a facilitated workshop with leadership and a technical advisory meeting with staff.

the city has seen as a ski and resort destination, have created lasting value and appeal, which brings both benefits and costs.

FINDINGS & OBSERVATIONS

Our analysis has considered property values, income, ownership trends, economic impact of historic

Because land value in Park City has outpaced the rate of inflation over decades, and land value in historic districts has risen at an even greater rate than Citywide, affordability and

3.0 Analysis

equity concerns have now become a focus of policymaker attention.

Wealthy Households a Large Share of Total

Park City's median household income in 2015 was \$105,102, which is almost twice the US median income of \$53,889. It also exceeds the median income in the state of Utah (\$60,727) and Summit County (\$91,773). The median household income in Park City grew from \$90,567 in 2000 to \$1,050,102 in 2015, outpacing inflation by over 15%, while the US median household income shrank over that same period from \$79,542 in 2000 to \$53,889 in 2015.

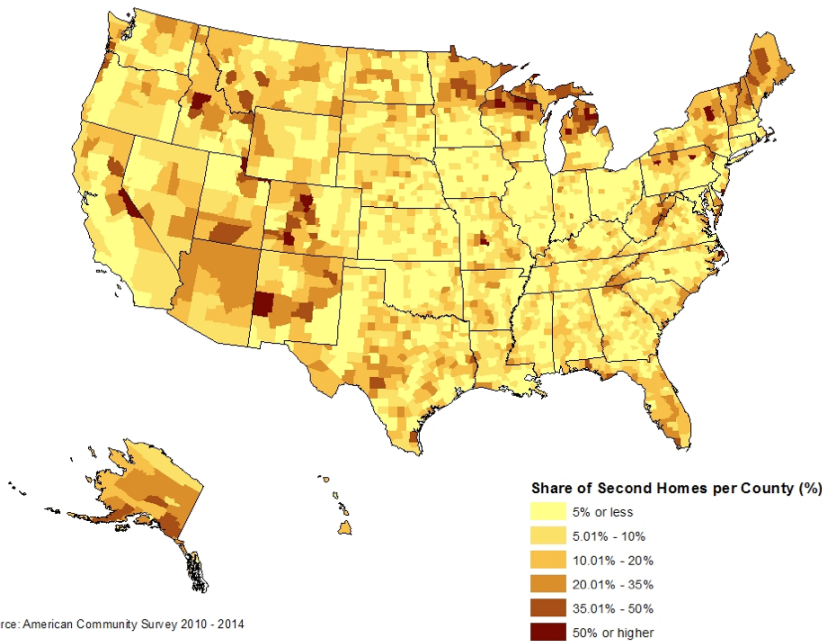
Households with income over \$200,000 per year comprise over 25% of households in Park City; by comparison, households earning over \$200,000 per year make up just over 5% of all households in the U.S.

Affordability of housing is a major concern of Park City leadership, who commissioned a housing study in 2010 and have since taken steps to make the issue a policy priority. Deeper consideration of this issue is beyond the purview of this report, but it is included as an observation due to the interest of some stakeholders in addressing affordability goals in the expenditure of public dollars, including grant dollars.

Secondary Homeownership is a Factor

The National Association of Home Builders (NAHB) estimated from American Community Survey data that in 2014, the share of second homes among the entire U.S. housing stock was 5.6% . For those areas with robust second home markets like Summit County, there are pros and cons to having a much higher rate of non-primary owners. In a 2011 analysis , the Summit County

Percent of Housing Stock Allocated to Second Homes



More than half of residences in Summit County are second homes.

With access to scenic beauty, skiing and recreation, Summit County has become a popular second home market.

Assessor found that more than half the homes in the County were in non-primary ownership. This places Summit County in company with other major second home markets, though still not breaking into the range of the top ten counties which range from 62% (Dukes County, Massachusetts) to nearly 80% (Hamilton County, NY) second homes.

According to the Assessor, the tax benefits garnered by the presence of second home owners are desirable, but are countered for some by a sense of diminishing community cohesion.

Two themes pertinent to second home ownership rates have been specifically identified through outreach and engagement. One is about maintaining housing affordability so that Park City remains a complete community with a strong sense of local identity. The other is about ensuring that the City retains its authenticity and unique character through the viability of locally owned and operated businesses. If the owners of these vibrant establishments can no longer afford to be a resident of Park City, they could be lost and replaced by establishments with less interest in reflecting local identity.

These issues are a consideration of the Historic District Grant program design inasmuch as the City and the Historic Preservation Board have directed that ownership type should inform levels of eligibility for grant support.

Historic Preservation has Economic Impact

PlaceEconomics, with the University of Pennsylvania, prepared a study for the Advisory Council on Historic



Authentic locally owned businesses are an important part of Park City's character and identity.

Preservation (AHCP) in 2011 (updated in 2013) called Measuring Economic Impacts of Historic Preservation. The study proposes a number of metrics for use in placing economic value on historic preservation, including:

- Jobs / Household Income
- Property Values
- History/Culture Tourism
- Environmental Measurements
- Downtown Revitalization

The study outlines the definition and purpose of such metrics, as well as potential methods of analysis. Detailed work on the subject of economic impact is beyond the scope of this study, and yet the economic impact of historic preservation has been a substantial part of Park City's story and is important to observe in this context.

Metrics are a Valuable Tool

Leadership may wish to pursue the development of metrics for Park City to guide future policy and to test several hypotheses that can be made based on a more casual analysis of the facts:

- Jobs have grown along with businesses, events, and resorts in Park City, and the City's investment in historic resources like Main Street has contributed to that.
- Property values have grown in part due to historic investments, with values in historic districts above the City average.
- Tourism has boomed in Park City; natural resources and character-building historic resources are both major contributors to Park City's appeal as a destination.
- Restoration of older properties contributes to sustainability with building efficiency and compact development benefits. Metrics for environmental/historic preservation outcomes could be developed.
- Downtown revitalization was the original purpose that drove the RDA and HDC to pursue public investments in both infrastructure and historic preservation in the 1980s. That trajectory has transformed historic Park City and created economic value.

Buying Power Outpaced the Cost of Construction

The average cost of construction nationally, according to the ENR Construction Cost Index (CCI), has risen by 2.37 times from the time of the grant’s launch in 1987 to the current day, meaning in short that it has become more expensive to build things. In 1987, the CCI was \$4,406 and by 2016 the CCI had risen to \$10,443.

Many stakeholders who were interviewed during the engagement process identified *rising construction costs* as a reason for the diminished perceived relevance of the grant program. However, the rise in construction costs over time was matched and exceeded by a more significant rise in the buying power made possible by the rising value of grant awards over time.

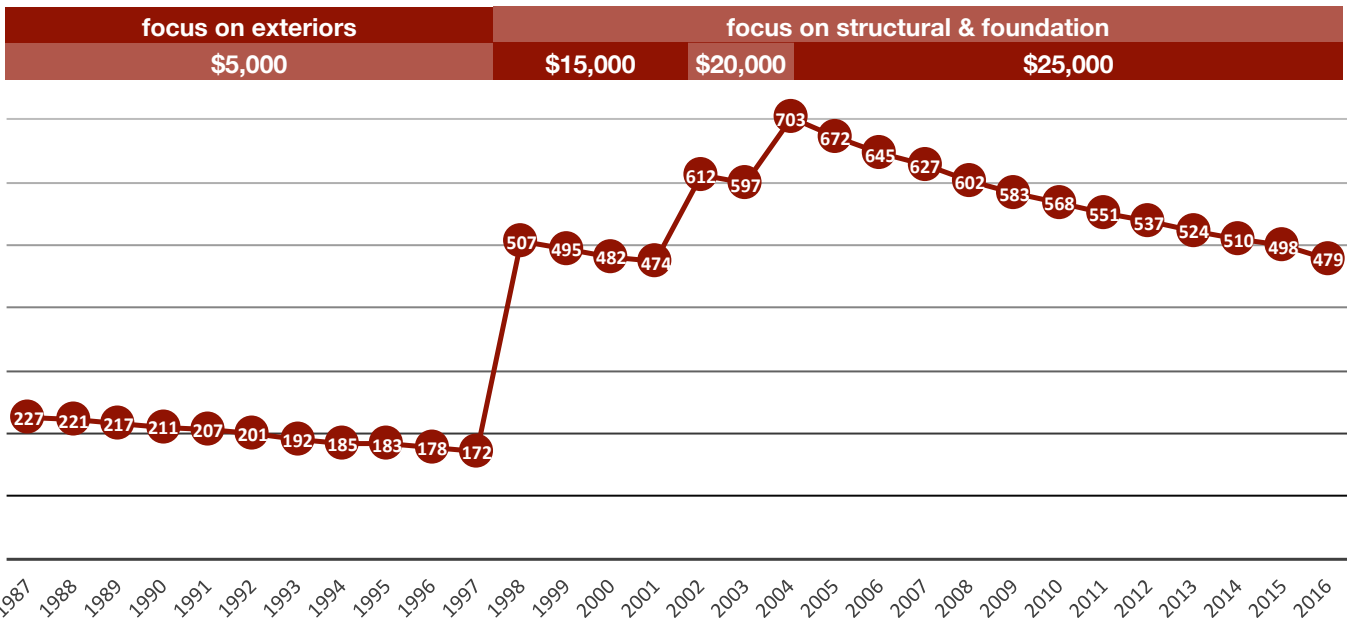
An analysis was conducted of historical data for the grant program and the “buying power” it has provided. Grant awards were logged over time based on City data and newspaper records. The maximum allowable grant value for each year was recorded, and that was converted to “buying power” for that year using the ENR Construction Cost Index data for the same year.

It’s clear that each grant dollar can buy a certain amount of materials and labor in a given year. What was less clear prior to the analysis was whether the grant’s buying power had diminished over time due to construction costs.

The data demonstrates that the buying power of the maximum grant declined over the first decade, but then rose at a higher rate than construction costs due to grant

Rising construction costs were matched and exceeded by the rising value of grant awards.

BUYING POWER OF THE RESIDENTIAL GRANT



“Buying power” is a unit of labor hours + materials that the maximum grant in a given year could buy based on the ENR Construction Cost Index for that year. The chart shows, for instance, that from 1987 to 1997, the buying power of a \$5,000 grant steadily decreased, but when the maximum award grew to \$15,000 in 1998, buying power was more than double what it was in the initial year of the grant.

Average grant size has risen slightly over time.

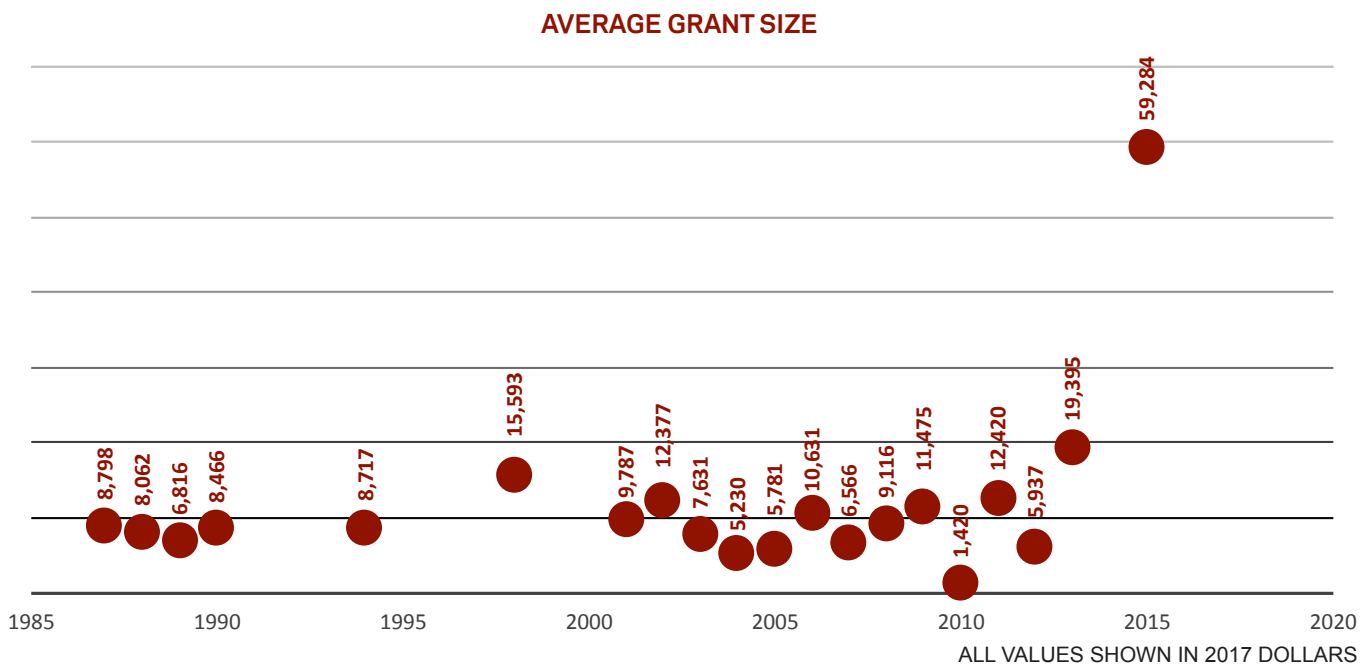
awards becoming larger over time. For approximately the first decade of the grant's life, residential awards were capped at \$5,000 and commercial at \$10,000. Both residential and commercial caps were raised to \$15,000 in 1988, then raised again in the early 2000s to \$20,000. The current maximum award that the HPB can approve is \$25,000, though larger awards can be given with approval of Council. The buying power generated by these "raises" over time have enabled residents to buy more labor hours and materials in the latter life of the grant than they could in the early years - even accounting for the rising cost of construction. These findings are inconsistent with the prevailing assumption that the grant had more buying power in its early years. It would be more accurate to say that there were a larger number of grants

awarded in the early years, and that the impact of the grant to numerous properties was more widely known and publicized.

Average Grant Value Rose Slightly Over Time

The average grant size is the total dollars awarded for a given year divided by the number of grants awarded, adjusted to 2017 dollars. For those years between 1987 and 2016 where data was available about both the *total annual grant dollars awarded* and the *total number of grants awarded*, an average grant size was discernible.

Because early years are characterized by large numbers of grants whereas later years have few total grants, there is more deviation from year to year in later years.



Average grant size was analyzed for all years where the total value of grant money awarded and the total number of grants awarded were both known. It is shown here with all values adjusted to 2017 dollars. There is more deviation in recent years due to far fewer grants being awarded, and there is a significant outlier in 2015 when a single large grant was awarded.

Number of Grants Dropped in 2003

In 2003, significant structural program changes to governance and administration occurred which may have, with other factors such as the 2002 Winter Olympics, dampened the number of applicants to the grant.

First, the governing body was restructured: the Historic District Commission was dissolved due to perceptions of overreaching authority, and replaced by the Historic Preservation Board. Second, the grant ceased to be administered as an annual competitive process and became a year-round application.

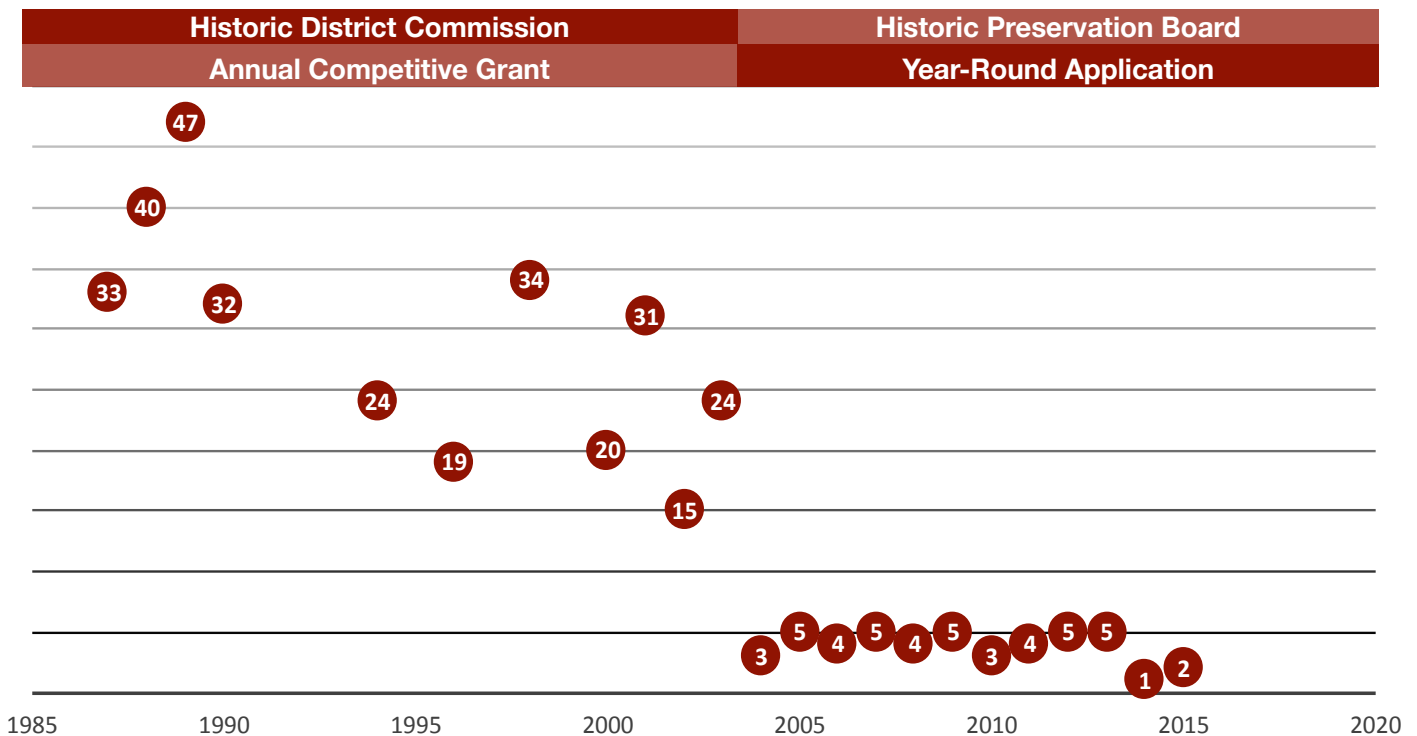
After 2003, it appears the grant became less visible to the community. The pre-2003 program had, by virtue of the nature of a competitive award, driven a community information and news cycle. Informational meetings would take place leading

up to the deadline; detailed human interest stories would take place about projects and results from the last year's awards; and the newspaper would publicize the list of winning properties along with some analysis such as which streets garnered the most investment. All of these touchpoints provided fertile ground for community dialogue and preservation awareness.

Historically, the grant has leveraged significant private investment in hundreds of properties within the historic districts, and through regular coverage in the newspaper, it has raised the public consciousness about the value of the community's history, resulting in a growing sense of common purpose and commitment to invest. The grant has raised the perceived appeal of historic districts and their desirability for additional private investments, including business, tourism, and programming investments.

The Historic District Commission administered an annual competitive grant program until 2003. Thereafter, the Historic Preservation Board and City of Park City have supported year-round applications.

TOTAL NUMBER OF GRANTS AWARDED ANNUALLY



The number of grants awarded annually dropped in 2003 and remained low. Also in 2003, which is also the year that two significant changes in grant administration occurred: the restructuring of the governing board and the shift from an annual competitive cycle to year-round applications.



Engagement

STAKEHOLDER ENGAGEMENT

Interviews with Program Users

Assessment of Grant Program Through User Experience Interviews

A selected group of users were contacted and interviewed about their direct experience with the program.

One of the most useful sources of information for any study is community engagement. For this study, valuable insights were drawn from stakeholder interview subjects, “goals workshop” participants, and technical advisors. A summary of engagement outcomes follows.

STAKEHOLDER INTERVIEWS

Eleven stakeholders were contacted for interviews about the Historic District Grant program, resulting in 7 interviews being conducted over two weeks in March 2017. Interview subjects represented differing expert or firsthand perspectives on the program, and included grant recipients, an architect, representatives of stakeholder organizations such as the Chamber of Commerce, the Park City Historical Society & Museum, and the oversight body, the Historic Preservation Board.

Interview Questions

Interviewees were asked the following seven questions:

1. What is your personal experience with the Historic District Grant program?
2. Do you and your peers have a generally held perspective on the Historic District Grant program? If you were to take the temperature of peers on preservation matters, and specifically grants to properties for restoration, what would the general feeling be? Is it your opinion that the general view of you and your peers is shared by most people?
3. Have you experienced a process with the Historic Preservation Board? What are your thoughts about the role of the HPB?
4. What do you think is necessary for the City to understand in crafting revisions to the Historic District Grant program? What's most important and successful about the program and its goals, and what may need another look?
5. What criteria do you think are most important to include in evaluating the eligibility of an applicant?
6. Are there any difficulties to be aware of? Are there any ways that you feel the program has been mis-used in the past?
7. Can you share a success story about the grant?

SUMMARY OF STAKEHOLDER OBSERVATIONS

In answering each of the questions posed, common themes were touched on among interviewees. Themes included an assessment of the program's value, comments on the process, and ways that the program could be improved. A summary of "interview takeaways" on these broad themes follows.

Perceived Value of the Historic District Grant Program

- The program is valued by those that have used it – however, most people don't really know very much about the program.
- On the commercial side, property owners are one step removed from the issue. Business owners have a stake in the character of Main Street, but they are renting – the property owners are one step removed.
- Preservation is a commonly held value, but issues like affordability and transportation are potentially more pressing topics today.

Success of the Historic District Grant Program

- It was very successful 20 years ago when it supported local people trying to invest in the community and build their own equity as residents. Created a sense of personal pride and investment.
- It is still useful, but due to rising construction costs, it's not as much of a carrot as it used to be.
- It is still useful, but due to rising home values and changing demographics (rising numbers of millionaire second home owners in Old Town), the grant is not serving the purpose it once did.
- It contributes to historic character, which is very important to people. Historic home tours and historic home dinners are very popular.
- Preservation contributes to sustained stable property values and economic value for tourism.
- One inadvertent negative outcome of the improved historic district is that locals get pushed out due to high property values and nightly rentals.

Ease and Value of Participating in the Program

- Homeowner interviewees who had participated directly in the program thought it was worth it, and stated that it was not an unreasonable process to go through for their project.
- It was observed that many property owners of historic properties would view the grant amount as inconsequential, and could take it or leave it.
- Many people either don't know about the program or don't bother to apply because of the sense that it will be a lot of work.
- Professionals who had some history with the program cautioned about avoiding leaving room for subjective decision-making by governing entities.
- It is perceived as a benefit to homeowners that grants are awarded as reimbursement at the end of the process, since there are often unanticipated costs along the way.

SUMMARY OF STAKEHOLDER RECOMMENDED IMPROVEMENTS

Interviewees provided detailed recommendations about program goals, grant award amount, criteria/eligibility, and administration. Their detailed comments follow.

Definition of Goals

- Restate the goals of the program in a way that's relevant to today. There is a perception that the people who own historic properties are well off and don't need grant assistance.
- The original goal was to support Park City residents and to restore homes in need of work that otherwise would not be restored. There is general agreement among interviewees that this dynamic has changed along with the demographics and property values in Old Town.
- Enhance and sustain Old Town in a way that contributes to the city's economy, increasing tourism and economic value.
- Ensure that Old Town retains its character by preserving historic structures, and offering interpretive opportunities.
- Focus the dollars on incentivizing higher levels of quality than are required by minimum compliance, for instance, incentivizing premium wood windows rather than standard, by making windows a grant eligible improvement.
- Using the defined goals, make a clear framework for decision-making by City staff, the HPB, and users.
- Clearly stated goals and criteria should be defined to manage homeowner expectations and avoid the perception of subjective decision-making.
- A point system should be developed.
- Staff and commissioners should be trained.

Size of Grant

- There is a common perception that the grants are small and inconsequential to historic property owners. There was consideration of making grant awards larger, reflecting today's real costs and home values.
- Typical grant amounts currently available will not get any project over the "but for" hurdle. Most people doing these projects today are not going to be swayed by a \$10,000 grant. One respondent suggested that \$40-\$50,000 would be a meaningful grant level.
- The grant is valued by homeowners doing smaller projects like roof work, or those doing the work themselves who are less impacted by rising costs of construction.
- It was suggested that a case could be made for increased public investment by measuring the amount of private investment that has been spurred by public dollars.
- There was consideration of making the grant "smarter" to be more of an incentive to achieving specific "above-minimum requirements outcomes."
- Doing things above minimum requirements costs more for homeowners, and having an incentive to do so would drive higher quality outcomes.

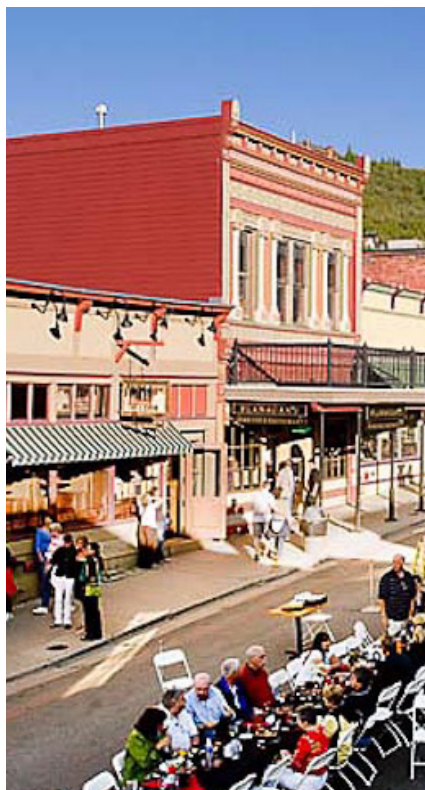
Criteria

- There is a general sense among interviewees that awarding grants to those who do not need public assistance to make their renovation feasible is not ideal, but there is little consensus about how to address the issue.
- Some interviewees felt that although there may be a perception issue, the grant is not a social program and the real goal is to save and improve historic stock – so who owns the property is a secondary issue that should not drive criteria.
- Other interviewees felt differently, and discussed the possibility of means testing as criteria for eligibility. Some observed that the grant is simply a non-issue in the calculus of a second home buyer who is planning a million-dollar renovation, so perhaps trying to “tune” the grant based on this factor isn’t going to be impactful.



Eligibility

- The City could identify homes that remain to be restored, assess the kind of work they need, and seek to understand why owners are choosing not to do the work. This may help to define criteria, and to design the grant to assist.
- Staff seek clear criteria for eligible types of work. Should the focus be on work that contributes to saving a building like foundation, structural, or roofing? Or the opposite: work that incentivizes above-minimum standard details, like windows and trim? Should tear-downs that are reconstructed be eligible?
- Should the grant privilege primary over secondary owners? Or focus on property restoration, with no preference for characteristics of ownership? It was observed that a lot of locals are moving out of Old Town, and that the community has changed in ways that the grant will not reverse.



Administration

- Interviewees encourage the City to make sure resources are available year-round.
- Include as much staff-level decision-making about eligibility and so on as possible to avoid uncertainty going in to the Historic Preservation Board process.
- Establish clear, specific language defining what decisions need to be made by the HPB (and conversely, what is not the purview of the HPB, including design), and establish an objective path to making decisions.
- Provide training to HPB members on their specific authorities, and on the Park City Historic District Guidelines that they are to apply to their decisions; also, ensure that there is common understanding by Board members of the fact that the National Park Service guidelines are different, more stringent, and not required.

Park City residents with direct experience of the grant program were interviewed and provided detailed feedback.

STAFF ENGAGEMENT

Technical Advisory Meetings

Issues Identification with Staff and Technical Experts

Two technical advisory meetings were held with staff, with one focused on funding and one focused on administration. Expert staff were engaged with detailed questions that emerged out of research and stakeholder engagement. Staff contributed their insights and observations about the grant program.

The following issues, which should inform the design of the next iteration of the Historic District Grant Program, were identified.

ISSUE 1: Funding Sources and Dynamics

The grant funding source has shifted from capital to operating dollars, so rollover is no longer an option. Budgets are on a one-year cycle, and unexpended funds cannot be retained for use in the next budget year. This presents a challenge because the time between the grant being awarded and the funds being dispersed is more than one year. The result is uncertainty and risk with regard to how many grants are outstanding at any given time, and when payments will come due.

Because the program allocation is a set amount, which does not change from year to year based on, for instance, projected distributions; and because no rollover is possible; and because funds are not pooled but split into three buckets tied to specific geographies; and because a single grant can be a fairly substantial chunk of allocated funds for an eligible area; it is hypothetically possible that all funds could be expended in one area very early in a given year, with other grants coming due and no resources to pay them. This uncertainty is currently being managed by staff, but additional steps could be considered to mitigate the risk. Factors to consider in administering the grant include:

- The grant funding source is operations, not capital
- There is no rollover
- The period between award and distribution is likely 2 years
- Grant sizes are growing
- The total program allocation is currently split between three buckets

It is additionally relevant to note that the Main Street RDA will expire in four years. Staff is aware of this and will work with policymakers on an extension. They are already anticipating what needs to be done to anticipate and manage grants that will be coming due during a period of potential uncertainty.

ISSUE 2: Alignment with City Goals

The mission and principles guiding the grant should be aligned with city goals and values. For instance: How could the grant encourage consideration of affordability? Could assistance with the cost of renovation help some owners to preserve naturally occurring affordable housing by mitigating the need for debt service on loans that could drive rents up?

Projects with the potential or intention to contribute to city goals through enhanced outcomes could be identified in the following ways:

- at Design Review;
- through a checklist on the application; and,
- with a scoring system that rewards required elements as well as including the opportunity to earn bonus points for “bid enhancement”

ISSUE 3: Competitive Grant Cycle

Staff and technical advisors endorsed the notion of a regular schedule of application deadlines throughout the year that would introduce merits and competition to the selection. Multiple deadlines per year would be necessary considering the fluidity of project starts.

A regular cycle of deadlines and decisions would have multiple benefits. (1) It would be easier for staff to administer; (2) it would lead to applications competing on the merits; (3) applicants in competition would be more incentivized to be responsive to City goals by identifying and delivering enhanced outcomes; (4) it would be newsworthy and therefore give the city an opportunity to communicate on a regular basis about program goals and successes. This kind of communication can build a sense of community through greater awareness of the town's historic places and assets.

ISSUE 4: Grant Administration

Staff expressed concern that current eligibility requirements may not provide sufficiently specific tools to ensure that grant dollars are not inadvertently subsidizing projects that don't need assistance or would happen anyway as a matter of course with existing regulations. Staff and policymakers want to ensure that funds are used wisely, in a targeted fashion, to implement City goals. This will require a more robust framework governing eligibility and requirements.

Options that were suggested to ensure successful administration of funds include the creation of specific criteria that lead to more targeted grants, potential means testing, scoring for enhancements, and even adopting the practice of promoting and implementing an "investment target" for each grant cycle.

Technical advisory meetings informed the study and recommendations. City staff identified issues and provided insight into grant funding and administration.



Park City staff provided technical, budgetary, and administrative insights.

LEADERSHIP ENGAGEMENT

Elected Officials & Historic Preservation Board

Mission, Values and Goals Workshop with Leadership

An engagement workshop was held with the Mayor, City Council, and Historic Preservation Board, which oversees the grant program. Leadership was engaged with questions intended to shape the mission and values for the future of the grant program.

On November 16, 2017, Park City planning staff and their consultant conducted an engagement workshop with the Historic Preservation Board and Mayor at the Council's regular meeting. After a presentation summarizing the grant's history, takeaways from stakeholder outreach, and draft recommendations for the next iteration of the grant program, the Board and Mayor participated in an interactive discussion focused on three topics: Mission and Values; Outcomes; and, Principles and Criteria for the grant. The meeting was noticed, and was open to the public, and the presentation and engagement exercise were recorded.

Participants' comments were noted by scribes on large notepads. Also, participants filled out and submitted worksheets, which were scanned and saved. The following fill-in-the-blank statements were the basis of discussion.

Engagement Statements

Participants discussed Mission, Values, Outcomes, and Principles/Criteria for the grant. They considered these fill-in-the-blank statements:

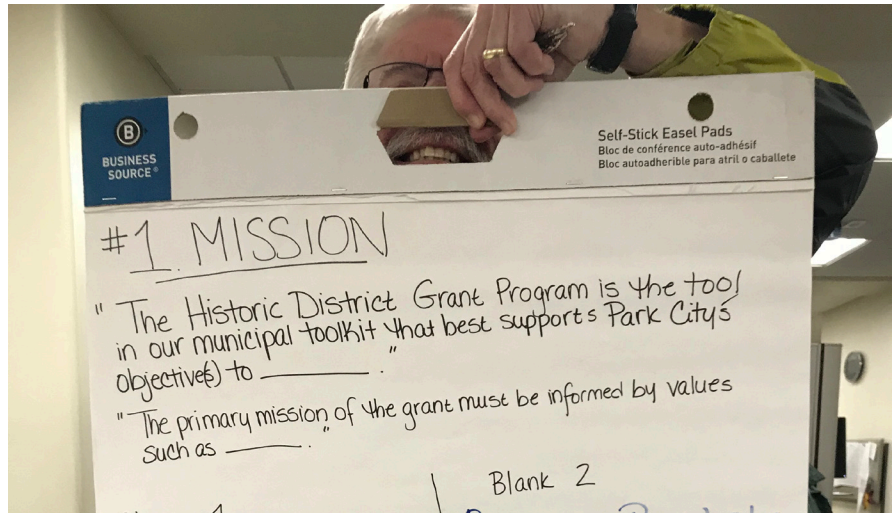
- "The Historic District Grant program is the tool in our municipal toolkit that best supports Park City's objective(s) to ____." (Mission & Values)
- "The primary mission of the grant must be informed by values such as ____." (Mission & Values)
- "The primary outcome of the grant should be ____." (Outcomes)
- "Pursuing enhanced outcomes for the Historic District Grant program does/does not make sense because ____." (Outcomes)
- "This grant could help Park City meet these additional goals: ____." (Outcomes)
- "Determinations for applicant eligibility should include consideration of ____." (Principles & Criteria)
- "The best way to make sure that we are targeting investment in areas consistent with our mission is to apply criteria such as ____." (Principles & Criteria)

Elected and Board leadership participated in an interactive working session focused on the mission, values, and desired outcomes for the grant program.



Engagement of leadership occurred in a regular Historic District Preservation meeting in Council Chambers. It was a noticed public meeting.

Workshop participants were given prompting statements to spur discussion about mission, values, and criteria for the next iteration of the grant program.



Park City Historic Preservation Board members and elected leadership participated in a facilitated discussion focused on mission, values, principles and criteria for the future of the grant program. Participants provided observations rooted in current policy focus areas and adopted City goals and objectives.

High Level Takeaways from Leadership Engagement

- The **mission** of the grant program should be to tell Park City's story, promote community knowledge and engagement, and make a meaningful difference.
- The **values** that should inform the next iteration of this grant program include our commitment to an affordable, complete community, responsible and impactful stewardship of public dollars, and an authentic sense of place.
- The most important **outcomes** of the grant are (1) to make the story of Park City visible and present, through all the town's periods of significance; and (2) to make a proactive and positive difference in the lives of our residents and businesses. Ideally, the grant should be applied to projects or outcomes that may not happen but for the investment.
- In addition to primary outcomes, the grant should seek to reward applications with the potential for achieving **enhanced outcomes**, including those that build community identity by contributing to a greater awareness of history; contribute to affordability and social equity; and support a quality Main Street.
- Applicant **criteria** should include a preference for full-time residents of Park City. The grant should also consider ways to target investment through project criteria supporting authentic mass, form and scale; and above minimum compliance in material selection and details.

Detailed Comments from Leadership Engagement: **MISSION >>****The grant should contribute to telling the story of Park City.**

- Preserve historic character, neighborhood character, and historic building stock.
- Save historic structures from neglect
- Tell the story of buildings, and the people who lived in them.
- Build knowledge in the community about the town and its history.

Promote community knowledge and engagement.

- Get the community involved and engaged through greater awareness.
- Don't just regulate. Encourage qualitative outcomes.
- Instead of focusing on regulation and minimum compliance, focus on encouraging better restoration.

Use public dollars responsibly. Make a difference.

- Define how and where the grant can make a difference.
- The City has changed since the grant was introduced in the 80s. This grant level is not a difference-maker to investor-owners. Residents for whom it is significant are fewer now.
- Where can this grant play a role in today's environment?
 - o Public buildings
 - o Distressed properties
 - o Roof repairs and smaller repairs
 - o Large remodels
 - o Historic Mine structures

Detailed Comments from Leadership Engagement: **VALUES >>****We want a complete community, with permanent residents, locally owned businesses, and affordability.**

- We want residents permanently living in these houses.
- Support local people; they are the ones who own and operate authentic local businesses.
- Support residents who want to preserve their family homes.
- Support residents who want to stay in town.

We want to target the grant dollars where they can make a difference.

- *Impact Investing:* The grant should make a difference in large project feasibility, even if it's just one project per year (impact investing rather than "spreading peanut butter"). Make sure we can respond to those big opportunities.
- *Incentivize Better Outcomes:* Inspire more authentic restoration by incentivizing recipients to exceed minimum standards for windows, corner boards, roof details, scale, and materials.

We want the physical environment of our community to tell our story, and to feel authentic.

- The grant should support telling our story, and should take an interest in mining structures, as well as family and community history.
- The grant should contribute to our community's authenticity.

In the discussion of outcomes, leadership focused on two key objectives:

(1) To make the story of Park City visible and present, through all the town's periods of significance.

(2) To make a proactive and positive difference in the lives of our residents and businesses.

Detailed Comments from Leadership Engagement: **OUTCOMES >>**

We want to make our community's story visible.

- Contribute to the story of Park City with restoration that reflects the town's unique story.
- Reveal the Mining legacy: We can tell a 150-year history, unlike many mountain resort towns. That's a differentiating feature.
- Tell the whole story; ensure we're revealing all of the periods of significance
- Enhance Main Street.

We want our investment to matter.

- Don't throw money at something that doesn't move the needle.
- We can make a difference on mining legacy.
- We can make a difference with targeted big investment.
- We can move the needle on details and quality exceeding minimum standards..

The grant should fully support our values.

- Outcomes should fully support the values identified through discussion and outlined above.

We want to take care of our community and be proactive.

- Owners of distressed homes should be made aware of the opportunity for assistance (homes needing new roofs, structural work, stairs, and so on). Social equity and residents in need should be a consideration.
- Commercial buildings and businesses that contribute to telling Park City's story should be proactively approached. Support businesses and properties (for instance on Main Street) through facade improvement grants to assist with visual narrative.

Build a sense of community by expanding historical awareness and recognizing good people doing good things.

- Create awareness of town, district, neighborhood, and street narrative and history.
- Recognize and acknowledge people doing great things. People take a lot of pride in their homes - make sure we're telling their stories (newspaper, awards and recognition) and celebrating the work they're doing to contribute to the town.

Contribute to affordability and equity, and be inclusive.

- Find ways for the grant to contribute to social equity.
- Ensure that the grant contributes to preservation being understood as an activity that is not just for the wealthy - it should be inclusive.

Leadership seeks to keep the grant true to its core mission of preservation, while making it responsive to new City goals and priorities.

"We need to tell Park City's story."

"We need to take care of our community."

"We shouldn't throw money at something that doesn't move the needle."



PHOTO COURTESY OF PARK CITY MUSEUM & HISTORICAL SOCIETY

Unlike many destination communities, Park City has an engaging history that stretches back hundreds of years. The community's history as a silver mining town is an important part of the town's, and its residents, identity.

Detailed Comments from Leadership Engagement: **PRINCIPLES & CRITERIA>>**

Applicant eligibility criteria should support our goals and values.

- Ownership type. Participants all agreed that preference should be given to full-time residents.
- There was discussion but not affirmation of applying means testing to ensure that grant dollars are awarded to applicants in need of assistance.

We should target our investment.

- Our public investment should contribute to the authenticity of mass, form, and scale.
- We should seek above minimum compliance in material selection, details and form.

We should use the grant for its core purpose.

- Consensus about supporting the core mission of restoration and preservation, and "telling Park City's story," was strong.
- There was not consensus about using the grant program to influence trends having little to do with preservation, such as nightly rentals.



Observations

Summary of Observations from Analysis and Engagement

A number of high level observations were derived from a review of the grant's history (as documented in news archives), trends discernible in an analysis of City and County data, and themes identified through outreach and engagement with staff and stakeholders.

1) The primary objective of the grant is the restoration of historic property.

The grant should focus first and foremost on what it was designed for: restoration of historic properties; but because there is a strong desire for all public dollars spent to contribute to adopted City Council Priorities and Goals, the application process could incorporate other values through the use of "bid enhancement goals.

- a) Preserve the stock
- b) Support permanent residents
- c) Support transient residents
- d) Consider other enhancement goals

2) The grant program is a public investment that should continue.

The grant is perceived as valuable by those who have participated in the program, and should continue to be made available. However:

3) Public awareness of the grant should be expanded.

There is very low awareness of the grant compared to what is evidenced in the early years; note that the grant became much less visible (both as a news item and in terms of the number of awards given) after the restructuring in 2003 when the HDC was disbanded. Strategies such as hosting public information sessions, soliciting news coverage to report on metrics or highlight subject properties and owners, and giving awards, could be re-introduced.

4) Year-round applications & awards are desirable.

The grant shifted from being a once-per-year application and award program to being open to applications year-round in 2003. Consensus is that it should continue to be available year-round.

5) The buying power of grant dollars has not diminished over time.

The buying power of the maximum residential award today exceeds the buying power of the maximum residential award in the first decade of the grant's life, calling into question the prevailing assumption that more funds are needed per grantee to make the grant relevant.

6) The grant can be designed to encourage better-than-minimum compliance outcomes.

The grant is not perceived to meet the "but for" test for most renovations today. It will not be a significant factor for homeowners in deciding whether a renovation happens or doesn't happen, but depending on the design of the program, it could influence the standards by which certain design and construction decisions in the renovation are made (such as choosing details and finishes that are higher quality than minimum standards require).



The community values its visual character, and seeks to tell a story about identity and history through preservation.

7) Applicants desire clarity on fundamentals.

There is a perceived need for more clarity during the process, especially on these matters:

- a)** Available Funding at Any Given Time
- b)** Detailed Criteria for Approval by the HPB

8) Training and education will enhance outcomes.

Education and training could enhance the success of the program and its outcomes; consider the following:

- a)** Train Historic Preservation Board members on the Board's authorities, and on the proper policy standards to apply in making decision to approve or not approve a project.

b) Train contractors and building professionals in policies and practices pertinent to historic preservation, and provide certification with regular renewals.

c) Educate the public about the value of historic properties, and contextualize historic properties in the story of the City.

d) Assuming the City introduces a preferred vendor or vendor training program, inform applicants about the City's trained vendor list.



Recommendations

The Historic District Grant program has contributed substantially to the character and vitality of Park City. With thoughtful refinement, it will continue to do so.

Much has changed since the origin of the grant program in the early 1980s, including residency and tourism dynamics, historic resource conditions, population growth, development, and economic conditions. These changes, along with resulting administrative and implementation challenges identified by staff and stakeholders, led to the review and reconsideration of the grant program. This study, and the recommendations herein, are the outcome of that review.

Policymakers, staff, stakeholders, and the Historic Preservation Board have contributed time, talent, and expertise to this assessment of the current program, and their input has shaped objectives for the future program. Qualitative research and quantitative data analysis laid a foundation of knowledge about existing conditions, and along with engagement outcomes, informed the resulting recommendations.

The recommendations that follow are presented as a roadmap for Park City staff and leadership to refine what has historically been a very successful grant program, and to bring it up to date in accordance with current conditions, values, and opportunities for impact.

1. Adopt a Historic District Grant program mission statement that reflects contemporary conditions, values, and opportunities for impact.

1.1. Adopt a mission statement and identify values to guide grant investments.

1.1.1. Draft a mission statement based on adopted City goals and objectives, and the values and engagement outcomes that emerged from this study.

1.2. Establish primary and enhanced target outcomes.

1.2.1. Define primary outcomes that the grant should measurably impact, including preservation of neighborhood character, preservation of historic stock, achieving higher than minimum standard outcomes, and telling Park City's story through the physical environment.

1.2.2. Define supplemental or enhanced outcomes that the grant could incentivize, such as affordability, public realm enhancement, resident retention, or assisting residents in need.

1.2.3. Review and revise the list of eligible improvements.

1.2.4. Ensure desired outcomes are consistent with eligible uses of funds.

1.3. Establish goals and topics for regular reporting.

1.3.1. Define reporting objectives based on the outcomes from Recommendations 1.1 and 1.2.

1.3.2. Establish metrics for tracking and reporting outcomes, and apply them to Recommendation 5.

1.3.3. Establish a regular annual cycle of reporting. Audiences for regular reporting include the Historic Preservation Board, Mayor and City Council, and the general public.

2. Create Historic District Grant program guidelines that enable grant administrators to responsibly steward impactful public investment.

2.1. Update grant eligibility requirements according to defined mission and target outcomes.

2.1.1. *Projects*. Review existing Project type eligibility, and refine according to the updated program mission and goals.

2.1.1.1. Ensure that grant dollars are not subsidizing outcomes that would happen anyway under existing regulations.

2.1.1.2. Define a target list of investment priorities where the grant can make a difference, and review it annually to keep it current. Consider public projects, historic mine structures, distressed properties, roof replacements, large remodels, and incentivizing above-minimum-standard outcomes (form, materials, details).

2.1.2. *Applicants*. Review existing Applicant eligibility requirements, and refine according to the updated program mission and goals.

2.1.2.1. Ensure that grant dollars are not subsidizing applicants who don't need public assistance.

2.1.2.2. Build in preferred status for permanent residents.

2.1.2.3. Build in preferred status for locally owned and operated commercial properties.

2.2. Make the grant competitive.

2.2.1. Create a cycle of multiple application deadlines per year.

2.2.2. Create a clear and transparent scoring system.

2.2.2.1. Define the program's "core requirements" and craft a scoring system based on it. Consider the program mission outlined in the

goals workshop with leadership, including the desire to preserve historic character, save historic structures from neglect, promote community knowledge and engagement, achieve better restoration outcomes, and invest public dollars in ways that make a difference (“move the needle”).

2.2.2.2. Define desired “enhanced outcomes” and craft a system of bonus points based on it. Consider the values that emerged out of the goals workshop with leadership, including the objectives for complete community, equity, and affordability.

2.3. Use administrative discretion to achieve the greatest program impact in each cycle.

2.3.1. Give grant administrators discretion to select a single large project or many smaller projects in a cycle, depending on their assessment of how the grant will be most impactful.

2.3.2. Give grant administrators discretion to accept applications of all types, or to define themes for each grant cycle according to perceived need or opportunity.

3. Create an application manual to make the process informative and easy for everyone.

3.1. The manual should include a program description and guidelines.

3.2. The manual should provide information about the application process, including an overview of grant awards available, application deadlines, a process map, criteria for decision-making, and required forms and submittals.

3.3. The manual should refer applicants to the City’s list of vendors who have completed the training program.

3.4. The manual should direct applicants to supplemental resources for those who wish to learn more about preservation, including links to guiding regulations, training and education opportunities, and Park City interpretive experiences.

3.5. The manual should provide information about program history and successes.

4. Define program funding sources and levels.

4.1. Work with City and Board leadership to right-size the grant commitment.

4.1.1. Review the current capacity of the grant in total and by source; and make a determination of whether to raise, reduce, or maintain the current level of funds in light of outcomes from Recommendation 1.1 and 1.2.

4.2. Mitigate constraints on funding sources.

4.2.1. Review the sustainability of funding sources (each RDA, General Fund) and take steps to ensure that needed capacity is maintained for out-year commitments.

4.2.2. Identify constraints resulting from the distribution of the total grant dollars by source, and consider how to mitigate for areas of need and opportunity that may be challenged as a result.

4.3. Ensure that there is clear and transparent definition of funding sources and constraints available to the public.

5. Build a database of grant supported projects for management and reporting purposes.

5.1. Create a database of projects to track them from the time a grant is awarded to the time the grant is paid out.

5.2. Apply metrics defined in Recommendation 1.3 into a program database, so that the performance and contribution of projects supported by the grant program can be measured.

5.3. Use the database to mitigate the management challenges inherent in the current disconnect between the fixed level of non-rollover funding sources (operations, not capital dollars) and the multi-year activities that the grant dollars fund, by incorporating projections over time.

5.3.1. Create a rolling 3- year schedule of projected grant payouts, including: project address, grant amount, estimated date of payout projected (year 0, 1, and 2), and project grant funding source (identify which pool dollars will come from).

5.3.2. Keep records of actuals for each project, including the amount and date of actual payout, and contribution to primary outcomes, consistent with Recommendation 1.2.1.

5.3.3. Record project contributions to enhanced outcomes, consistent with Recommendation 1.2.2.

5.4. Include data about the funding source for each project.

5.4.1. Identify the source and amount of funds committed to each project.

5.4.2. Use the database to project future years' available funds for each source based on grant commitments. For each application deadline, issue a report on the current (application) year plus the next two to three years. Because the grant is comprised of multiple pools of funding, each with unique constraints; and because grant commitments from a prior year

may come due and reduce available funds in a given area at a given time depending on how project timelines converge; there has been difficulty in defining “available funds” at any given time.

5.4.3. Ensure that staff consider projected available funds by pool when they define target outcomes for the upcoming grant cycle, in keeping with Recommendation 2.3.

6. Introduce and sustain training and education to enhance preservation outcomes.

6.1. Create and administer a training program on policies and practices in historic construction, through which contractors and building professionals can be granted “preferred vendor” status by the City; assume regular renewals.

6.2. Create a City “preferred vendor” list of historic contractors. Make this list available to applicants, and incentivize them to utilize the services of trained professionals.

6.3. Continue on-boarding training for Historic Preservation Board members on the Board’s authorities.

6.4. Create a publicly available brochure, the HPB Policy & Decision-Making Guide, outlining the Board’s authorities, criteria, and timeline for decision-making.

6.5. Provide, or coordinate, community education about the impacts of historic preservation (cultural, economic, & environmental), policies & standards, and criteria for decision-making. Topics could range from practical learning about regulatory frameworks to local history.

7. Establish a communications strategy to raise awareness, build community knowledge and engagement, and tell Park City’s story.

7.1. Establish a website with program information and resources.

7.1.1. Communicate program information (outcomes of Recommendation 1), and include downloadable program guidelines and application manual (outcomes of Recommendations 2 and 3)

7.1.2. Feature target themes and objectives for the upcoming funding round (as envisioned in Recommendation 2.3)

7.1.3. Feature program highlights: news coverage, photographs, resident or project spotlights (see Recommendation 7.3), goals and opportunities, and interest pieces about town history.

7.1.4. Provide links to supplemental resources including national standards, relevant Park City policies and zoning, community education

opportunities (Recommendation 6.5), preferred vendor information (Recommendation 6.1), and the HPB Policy & Decision-Making Guide (outcome of Recommendation 6.4).

7.1.5. If feasible, create a tool for people to simply type in their address and receive preliminary feedback about their property's eligibility and upcoming deadlines.

7.2. Create opportunities for news coverage.

7.2.1. Issue news releases about upcoming application deadlines and funding round themes, regular reporting, project successes, grant history, and so on.

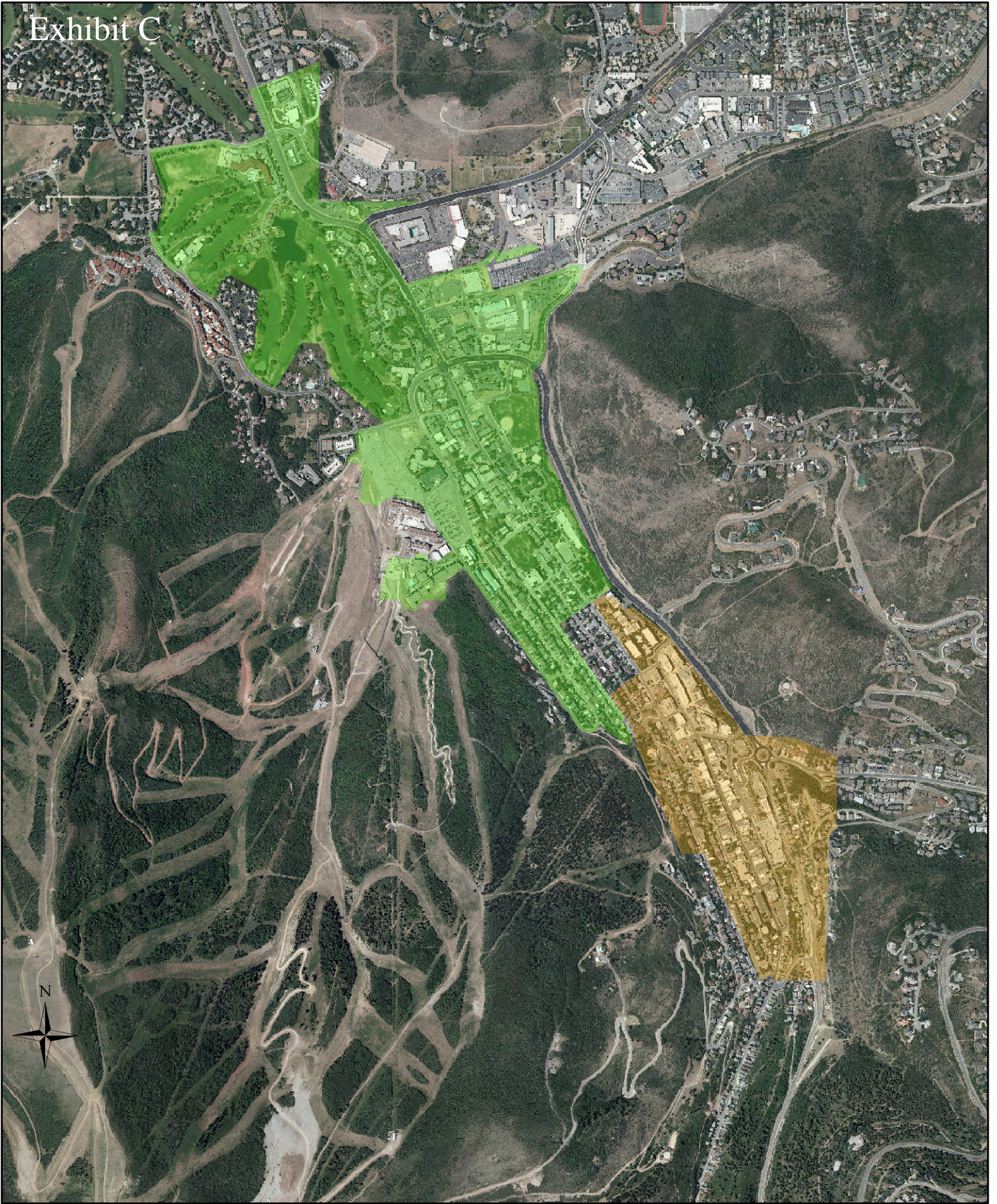
7.2.2. Alert news and media about upcoming decisions that will be on the agenda for Board and Council meetings.

7.3. Recognize projects and people who have made significant contributions through use of the grant.

7.3.1. Coordinate with preservation organizations on awards or honors for outstanding contributions to historic preservation and interpretation.



7.3.2. Recognize projects that have achieved enhanced outcomes.

Exhibit C



0 0.25 0.5 Miles

Legend

-  Main Street RDA
-  Lower Park Ave RDA

Historic Preservation Board Staff Report



Subject: External Siding Materials for Buildings
in Residential Historic Districts
Author: Elissa Martin, Planning Project Manager
Date: March 4, 2026
Type of Item: Work Session

Recommendation

(I) Review the draft Master List of Materials and Finishes and (II) provide feedback to the Materials Advisory Committee.

Background

The Historic Preservation Board (HPB) conducted a work session on December 3, 2025 to establish the Materials Advisory Committee comprised of design professionals, the City’s on-call historic preservation consultant, a historic preservation team planner, and two HPB members ([Packet](#), Item 6.B; [Minutes](#), p. 2). The Materials Advisory Committee is tasked with selecting siding materials and finishes that meet baseline criteria for durability, sustainability, and compatibility with Park City’s residential Historic Districts.

Land Management Code (LMC) [§ 15-13-2](#) and [§ 15-13-8](#) allow new residential infill in the Historic Districts to be constructed with alternative or non-Historic siding materials that are included on the Master List of Non-Historic Materials and Finishes on file with the Planning Department (“Master List”).

Work Session

(I) Review the draft Master List of Materials and Finishes compiled by the Materials Advisory Committee and provide feedback.

The Materials Advisory Committee met on December 16, 2025, January 14, 2026, and February 10, 2026 to devise a framework for evaluating new siding products that meet the performance measures outlined in LMC [§ 15-13-2](#) and [§ 15-13-8 Universal Regulations](#), which state that new, alternative or non-historic materials are evaluated by the following characteristics:

- *Longevity (50-year lifespan),*
- *Energy performance,*
- *Durability in this climate,*
- *Fire Resistance,*
- *Environmental benefit and impact (high recycled content, locally sourced, life cycle impact, or cradle to grave impact),*
- *Compatibility with the character of the Historic District.*

Alternatives to traditional wood siding include an array of various types of metal, laminate veneer composites, and organic or inorganic composite products. Organic composites are comprised of natural materials such as wood fibers, rice hulls, and resins for binding. Inorganic composite materials are comprised of an inorganic mineral core and polymer resins with an acrylic cap.

Materials that can be considered for inclusion on the Master List of Materials are limited by LMC [§ 15-5-5 Architectural Design Guidelines](#), which prohibits the following:

1. Thick shake shingles;
2. Ceramic tiles;
3. Slump bloc, weeping mortar;
4. Plastic or vinyl siding;
5. Used brick;
6. Synthetic stone products such as simulated stone or brick, cultured stone or brick, pre-cast stone or concrete imbedded with stone fragments;
7. Lava rock, clinkers;
8. Asphalt siding;
9. Plywood siding;
10. Aluminum siding;
11. Vinyl, or other similar material derived from petroleum;

Over the last few months, the Advisory Committee narrowed down specific performance measures to evaluate various alternative and non-historic siding materials.

Compatibility includes characteristics related to the aesthetics of a material and whether the material is appropriate in the Historic District. This category includes an evaluation of whether a material imitates natural wood, either in image or texture or both. LMC Chapter 15-13 requires that alternative materials be applied to reflect Historic Structure materials, as outlined below.

- Historic compatibility related to scale and character:
 - o Synthetic materials may not diminish the historic character, must appear similar in appearance and profile to historic siding, and be applied as traditional materials were historically; it is not appropriate to introduce artificial patterns.¹
 - o Exterior elements must be of human scale and compatible with neighboring Historic Structures and reflect the character of the Historic District.²
- Historic compatibility related to aesthetics:
 - o Materials must be compatible in scale, proportion, texture, finish, and color to Historic Structure materials.

¹ LMC [Section 15-13-8\(B\)\(4\)](#)

² LMC [Section 15-13-8\(A\)](#)

- Primary siding material shall appear similar to those on Historic Structures in the streetscape or character area.

The draft Master List of Materials requires extra scrutiny of a siding product that imitates natural wood to ensure that the image quality and/or texture reflects the texture, finish, and color of Historic wood siding.

Durability characteristics are critical to a product’s inclusion on the Master List; it does not matter if a material is compatible and has quality aesthetics and even sustainability traits if its lifespan is short and the quality diminishes too quickly. The following durability characteristics were identified by the Advisory Committee as important in evaluating new siding products:

- Warranty period (lifespan)
- Water absorption
- UV exposure/image fade
- Freeze/thaw resistance
- Corrosion (salt exposure)
- Impact resistance
- Fire resistance rating

Sustainability characteristics can be found for some products in the form of a product declaration or label, such as the “Declare” label, which is “a nutrition label for building products . . .designed to help specifiers quickly identify products that meet their project requirements.”³ Another common product disclosure is the Environmental Product Declaration (EPD), which is a “document that provides comparable, objective, and third-party verified information about the environmental performance of products . . .”⁴

Sustainability criteria judge a siding product on its recycled content as well as its impact on the environment during the manufacturing process and impact at end-of-life. These characteristics are weighed differently for different product types. For example: a product type that rates high in compatibility and durability may not need to rate as high in the sustainability category.

- Recycled Content
- Impact on environment during manufacture process
- Impact of disposal/ end of life
- Energy Performance (can be tricky with all variables of assembly – insulation, installation, etc.)

See Exhibit A for the Draft list of materials.

See Exhibit B for examples alternative siding products

³ <https://living-future.org/declare/basics/>

⁴ <https://www.environdec.com/home>

(II) Timeline.

December 16, January 14, and February 10, 2026: Advisory Committee Meetings to develop the draft Master List of Materials

March 4, 2026: Check-in with HPB during a work session to receive feedback on the draft list.

April 4, 2026: Present the final Master List of Materials to the HPB for adoption.

January 2027: Review and update the Master List as needed

- With the rapid pace of new siding materials being developed, the Master List of Non-Historic Materials and Finishes should be periodically reviewed and updated.
- This review is also an opportunity to ‘de-list’ a material if it does not retain its quality and compatibility over time.

Department Review

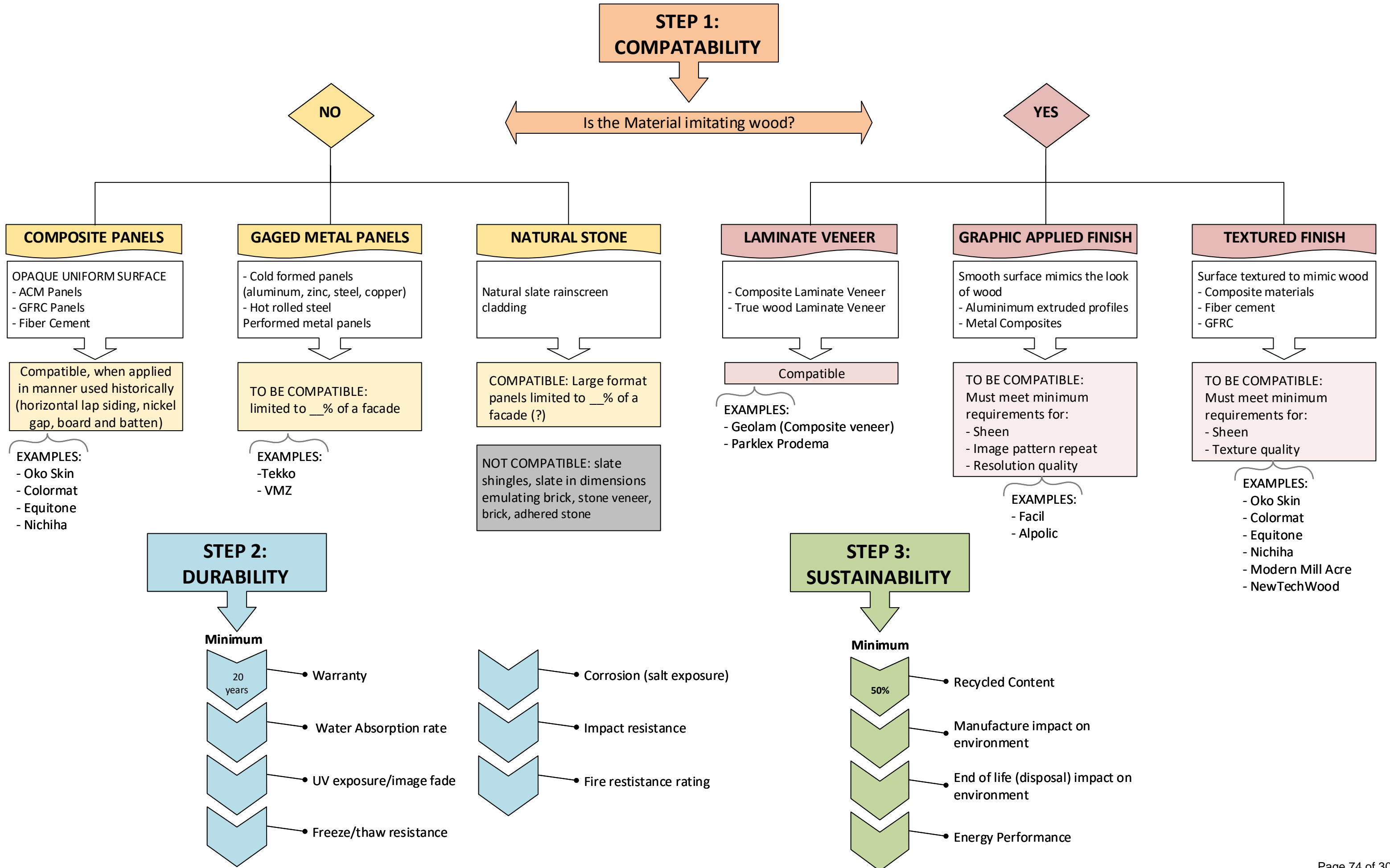
The Planning Department, Executive Department, and City Attorney’s Office reviewed this report.

Exhibit

A: Draft Master List of Materials and Finishes

B: Example Materials

MASTER LIST OF MATERIALS FOR NEW RESIDENTIAL INFILL IN THE HISTORIC DISTRICTS



COMPOSITE WOOD SIDING



FIBER CEMENT

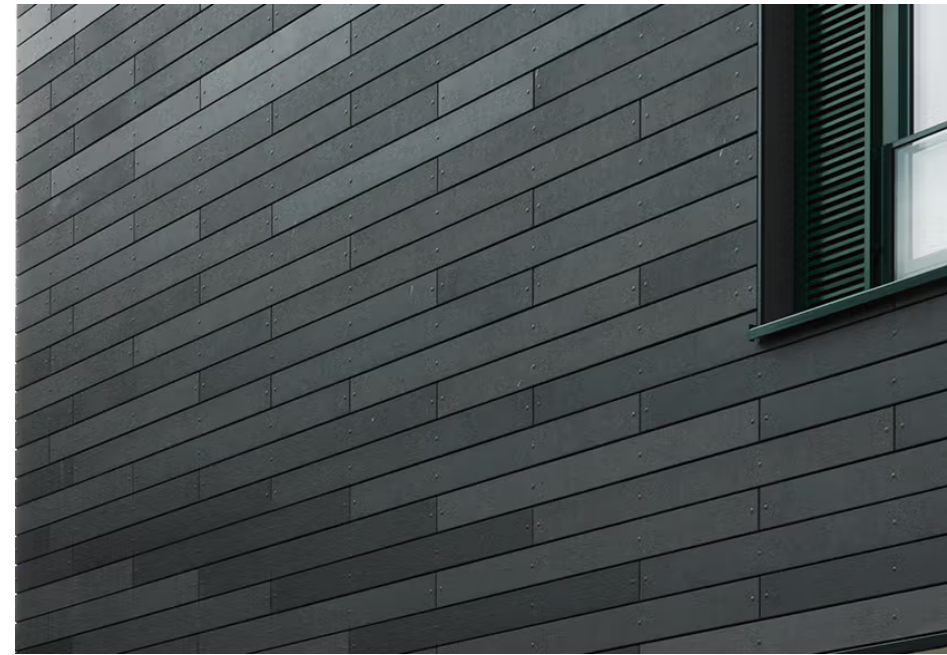
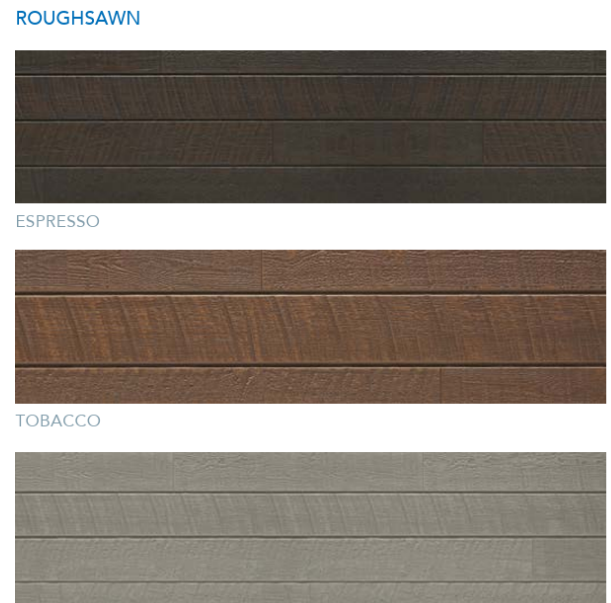
GLASS FIBER REINFORCED CONCRETE (GFRC)



Rieder
öko skin

EQUITONE [linea]

EQUITONE [tectiva]



EXTRUDED ALUMINUM / LAMINATE VENEER



Geolam
Architectural Eco-Technology



Aluminum core clad in composite wood veneer



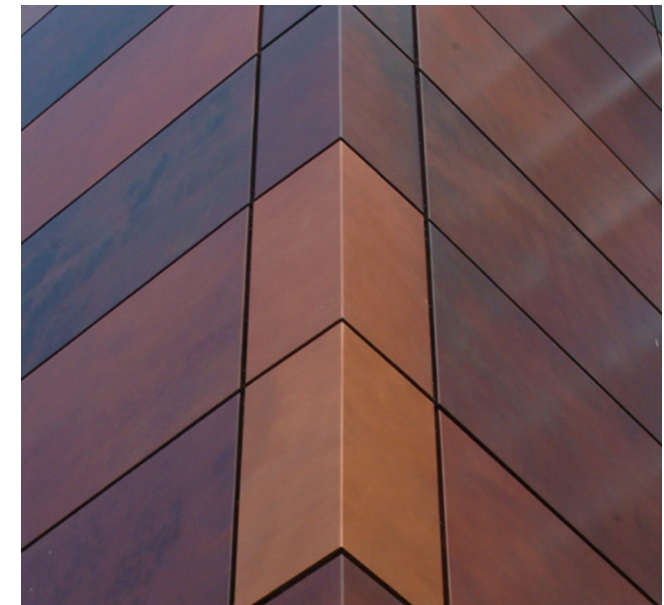
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façades

Extruded aluminum profile clad in laminate veneer

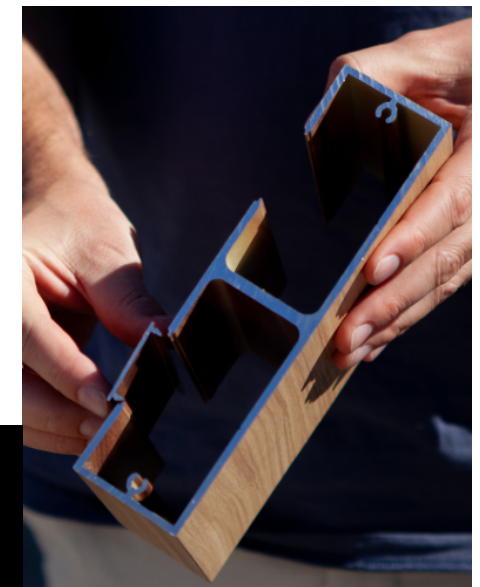
METAL COMPOSITE MATERIAL (MCM) PANELS



ALPOLICTM



KNOTWOODTM



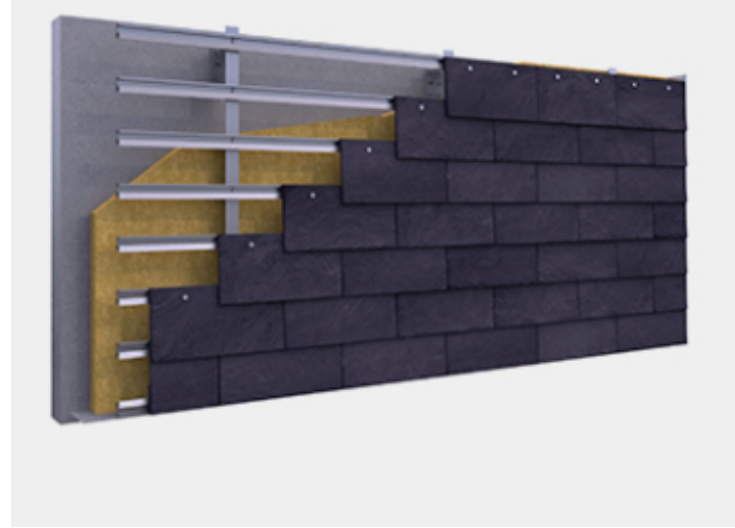
fácil
façades

NOT COMPATIBLE WITH HISTORIC DISTRICT

NATURAL SLATE RAINSCREEN CLADDING



BRICK, STONE VENEER, ADHERED STONE, STACKED STONE



Historic Preservation Board Staff Report



Subject: 1060 Woodside Avenue
Landmark Historic Structure
Application: PL-25-06673
Author: Meredith Covey, Planner II
Date: March 4, 2026
Type of Item: Work Session

Recommendation

Conduct a work session on the Applicant’s proposal to relocate the Landmark Historic Structure at 1060 Woodside Avenue and provide input on:

- The appropriate era for the Landmark Historic Structure restoration.
- Whether more information is needed to determine if the Landmark Historic Structure meets the requirements for Relocation.

Description

Applicant: Rudd and Corrine Davis

Location: 1060 Woodside Avenue
A Landmark Historic Site

Zoning District: Historic Residential – 1 Zoning District

Adjacent Land Uses: Residential

Reason for Review: The Historic Preservation Board reviews requests for Relocation of Landmark Historic Structures pursuant to LMC [§ 15-11-12.5](#).

HPB Historic Preservation Board
HR-1 Historic Residential – 1
LMC Land Management Code

Terms that are capitalized as proper nouns throughout this staff report are defined in LMC [§ 15-15-1](#).

Background

1060 Woodside Avenue is a Landmark Historic Site on the City’s Historic Sites Inventory, constructed circa 1929 during the Mature Mining Era, and is in the HR-1 Zoning District.¹ The property is a corner lot adjacent to Woodside Avenue and 11th Street.

¹ LMC [§ 15-11-10](#)



Figure 1: 1060 Woodside Avenue, photo from Google Maps.



Figure 2: 1060 Woodside Avenue highlighted in red; the HR-1 Zoning District in light blue.

On October 22, 2025, the Planning Commission reviewed and approved the 1060 Woodside Avenue Plat Amendment to create a 5,662.8-square-foot Lot for the Landmark Historic Site, which is 75 feet in width, and 75 feet in depth ([Staff Report; Minutes](#), p. 23).²

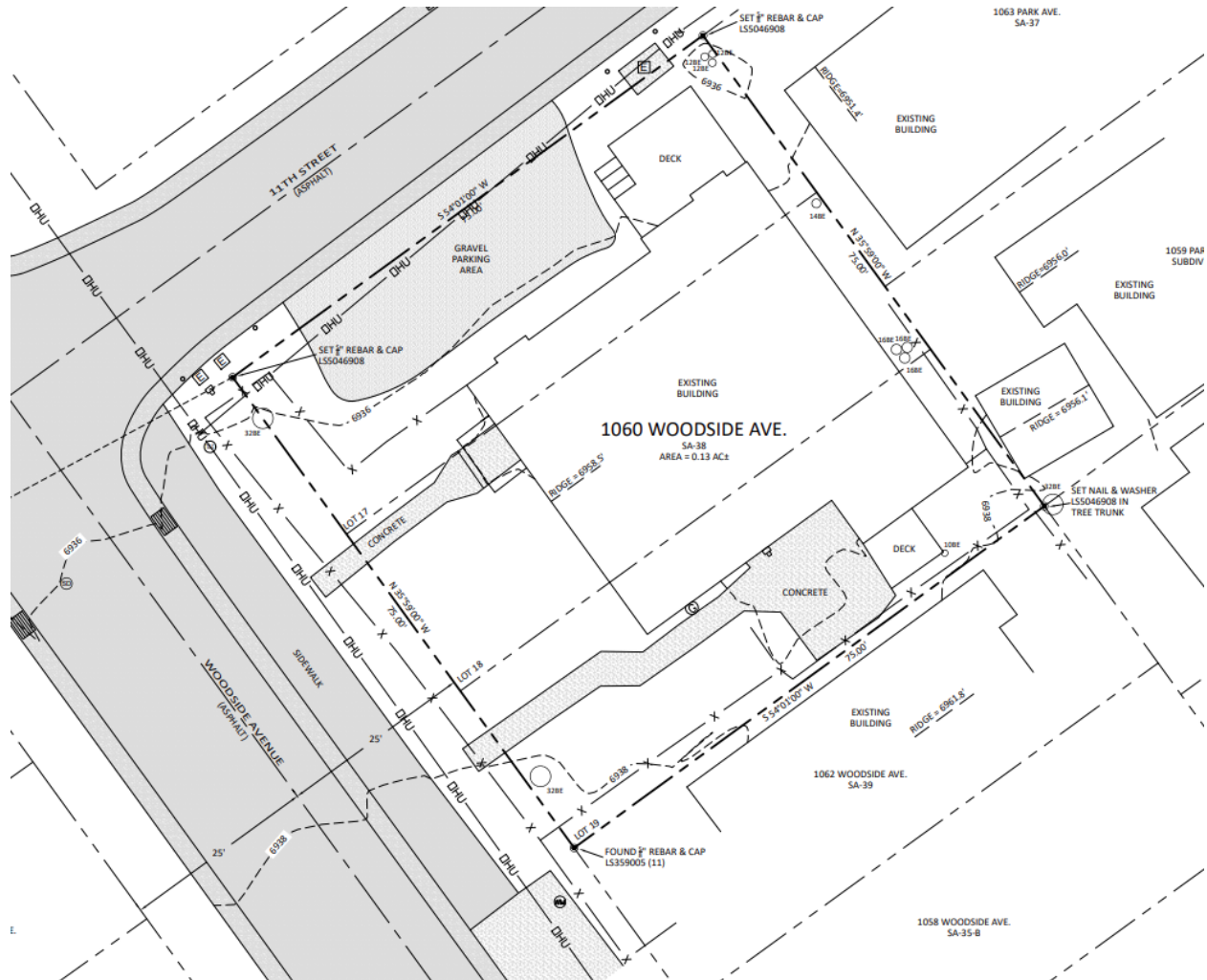
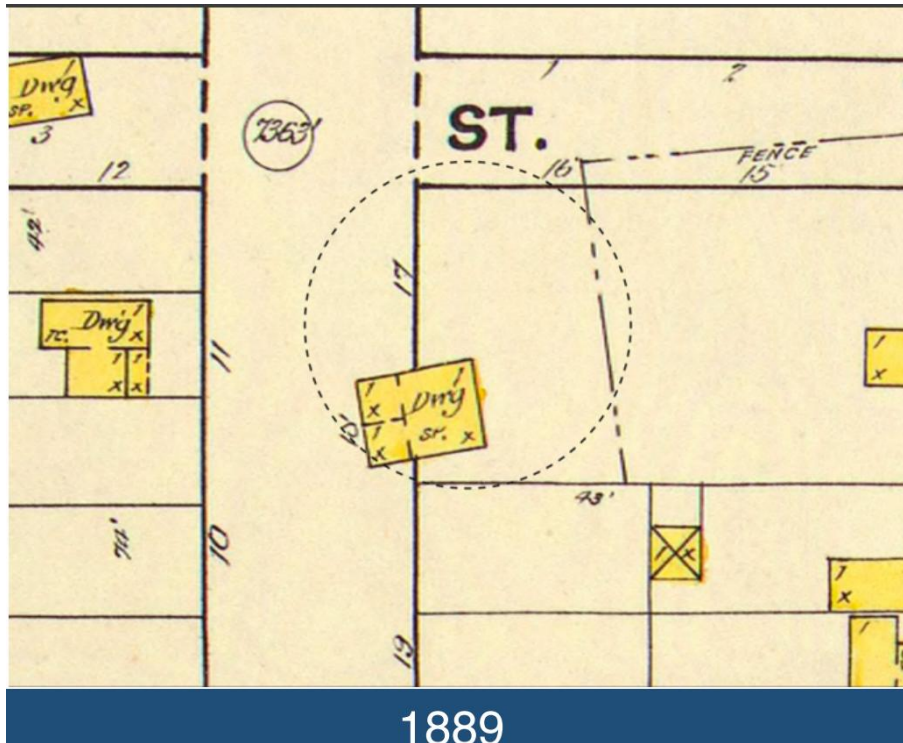


Figure 3: Existing Conditions Survey provided by the Applicant.

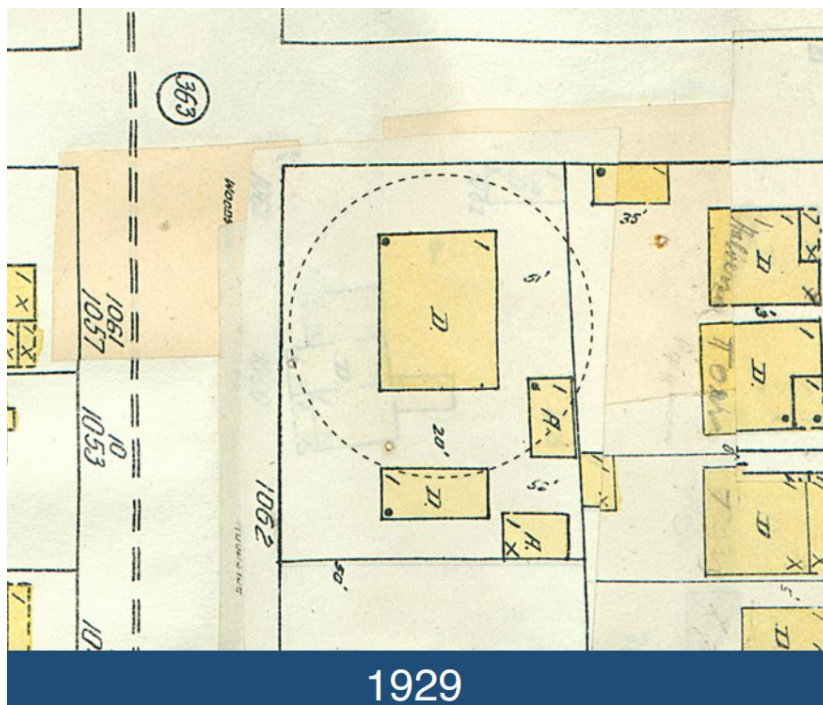
There was previously another home on the Lot that encroached onto Woodside Avenue, constructed sometime before 1889, shown on Sanborn Maps.

² The plat is in the redline process in preparation for recordation with Summit County.



1889
 Figure 4: 1889 Sanborn Map, from Historic Sites Form.

The previous Structure was removed before 1929. The 1929 Sanborn Maps show a new larger Structure built further back on the Lot.



1929
 Figure 5: 1929 Sanborn Map, from Historic Sites Form.

Tax forms from 1949 list the age of the Structure as 20 years old. Based on the available information, construction of the Landmark Historic Structure began in 1928 and was completed in 1929.

Age <u>20</u> Yrs. by	Est. Owner <input checked="" type="checkbox"/>	REPRODUCTION VALUE	\$ <u>3975</u>
	Tenant <input checked="" type="checkbox"/>	Depr. <u>1-2-3-4-5-6</u> <u>33/67</u>	% \$
	Neighbors <input checked="" type="checkbox"/>	Reproduction Val. Minus Depr.	\$ <u>2663</u>
	Records <input checked="" type="checkbox"/>		
Remodeled	Est. Cost	Remodeling Inc.	% \$
Garage—S <u>8</u> C <u>2</u>	Depr. <u>2%</u> <u>3%</u>	Obsolescence	\$
Cars <u>1</u>	Walls <u>Wood & Stucco</u>	Out Bldgs.	\$ <u>(comp)</u>
Roof <u>Shg.</u>	Size <u>18 x 18</u> Age <u>18</u>		\$
Floor <u>Dirt</u>	Cost <u>234/64</u>	Depreciated Value Garage	\$ <u>150</u>
Remarks	Total Building Value		\$ <u>2813</u>
Appraised <u>10/1949</u> By <u>C.A.O. & A.J.</u>			

Figure 6: 1949 tax card.

The 1968 tax cards also confirm construction of the Structure was completed in 1929.

Year Built <u>1929</u>	Avg. 1.	Replacement Cost	<u>8344</u>
	Age 2.	Obsolescence	
Inf. by <u>(Owner - Tenant - Neighbor - Record - Est.)</u>		Adj. Bld. Value	
		Conv. Factor	<u>x.47</u>
Replacement Cost—1940 Base			
Depreciation Column <u>1</u> 2 3 4 5 6			
1940 Base Cost, Less Depreciation			
Total Value from reverse side	<u>Garage</u>		<u>160</u>
Total Building Value			\$
Appraised ① <u>10-22</u>	19 <u>68</u>	By <u>1581</u>	<u>DEC 2 1968</u>
Appraised ②	19	By	<u>1328</u>

Figure 7: 1969 tax card

The 2008 Historic Site Form states the home reflects “[a] late 1920s residence, representing a later construction but illustrating how builders maintained a basic utilitarian form for mining town construction, and a compatibility in style” (Exhibit B).

The Applicant submitted a site plan showing their analysis of the dates of construction for the existing Structure (Exhibit D). According to the Applicant, the home was originally built in 1889-1910, then relocated to its current position in 1929, and an expansion constructed at that time with another addition built between 1970 and 1972.

For a third-party evaluation, on February 13, 2026, the City's Historic Preservation Consultant, Stantec, visited the site and conducted an analysis of the materials to determine the dates of construction. Stantec found the building was constructed around 1928 as a rectangular-plan one-story single-family dwelling, that around 1970 an addition was added to the rear, and at this time the upper story was likely finished for living space (Exhibit I).

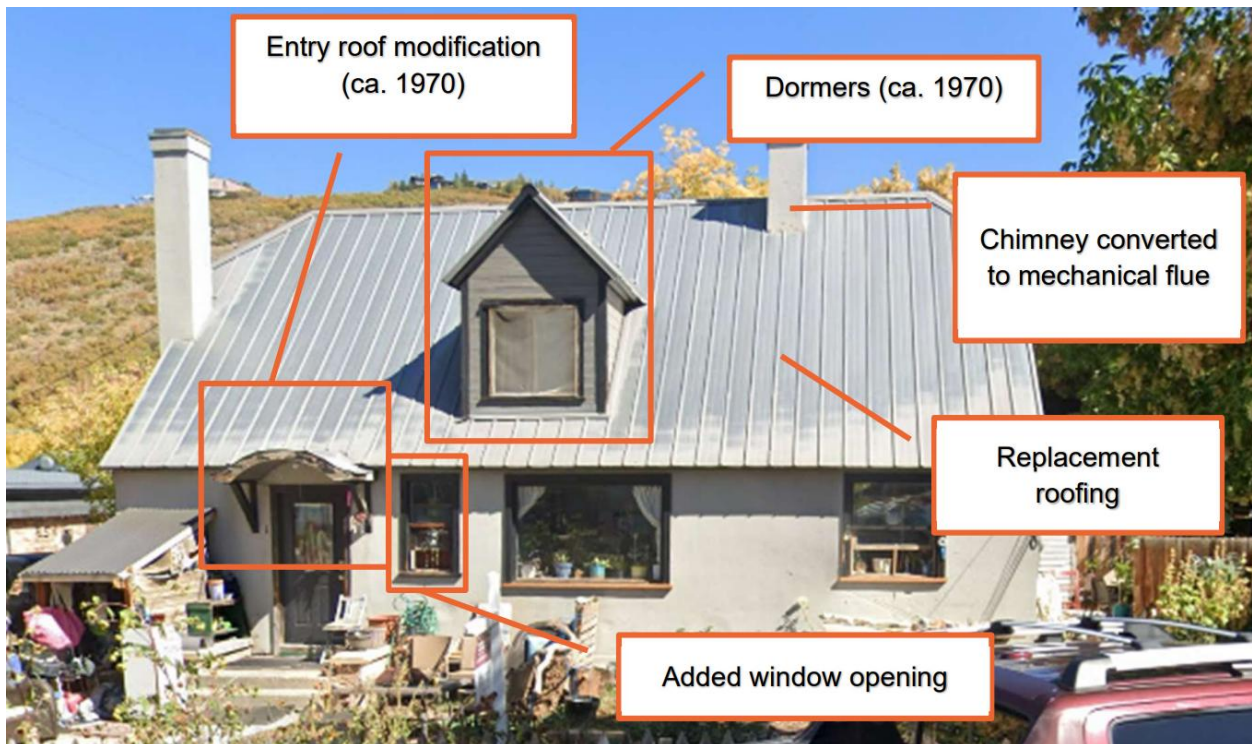


Figure 8: Building modification analysis on the primary façade, provided by Stantec.



Figure 9: Building modification analysis on the secondary façade, provided by Stantec.

While the Applicant and Stantec agree the addition was constructed in the early 1970s, they disagree on whether the original Structure was relocated and expanded or constructed anew in 1929.

Additionally, the site is unique in that the Landmark Historic Structure is set back approximately 24 feet from Woodside Avenue. There are nine Landmark and thirteen Significant Historic Structures on Woodside Avenue between 10th and 12th streets. Planning Staff analyzed the approximate setback from the property line for each Structure using on file existing condition surveys and the Summit County Parcel viewer. The analysis is available in Exhibit H.

As the Applicant rehabilitates the Structure, the site constraints limit where any addition may be located. LMC [§ 15-13-2\(B\)\(4\)\(a\)](#) outlines the regulations for additions, including the following:

- Additions should only be considered when it is demonstrated the new use of the building cannot be accommodated by solely altering interior spaces.
- Additions shall be considered only on non-character defining facades, usually tertiary and occasionally secondary facades.
- Additions must be visually subordinate to Historic Structures when viewed from the right-of-way.
A clear transitional element between the old and new should be designed and constructed.

Due to the unique features of this site and non-compliance of the 1970s addition, staff requests HPB input on whether the addition contributes to the Historic Site and may be

maintained. Also, as the Applicant prepares their final plans for HPB consideration, they seek input on their request to relocate the Structure prior to a public hearing. Relocation would allow them to shift the Historic Structure closer to Woodside Avenue to create space for a tertiary façade addition in compliance with today's code requirements, while creating the possibility of a potential transitional element.

Analysis

(I) The 1970s addition is over 50 years old and Carl Winters owned the site when the addition was constructed. Is the 1970s addition significant to the era/period of restoration and does preservation of the addition retain the Landmark Historic Integrity of the Site in terms of location, design, setting, materials, workmanship, feeling, and association?

The 1970s addition was not built in compliance with the code in effect at the time and does not qualify for Setback exceptions unless the addition is determined to be historic.

Based on Stantec's analysis, the addition to the 1929 Structure is estimated to have been constructed in 1970. At that time, the Structure was within the R-1 Zoning District (Exhibit J) and the Rear Setback was 10 feet (Exhibit K). The addition was not constructed in compliance with the code in effect at that time and is only set back 4 feet 11 inches from the rear property line. The Side Setback at the time for corner Lots that faced the street was 10 feet. The addition was located 16 feet and 5 inches from the side property line and complied with the Side Setback regulations at that time (Exhibit K).³

Additionally, while the 1970s addition was integrated into the 1929 Structure, today's LMC [§ 15-13-2\(B\)\(4\)\(b\)](#) requires a transitional element between a Historic Structure and an addition. The transitional element cannot be more than 2/3 the width of the elevation to which it is connected and must be set in from the Historic Structure a minimum of two feet if not visible from right-of-way, or five feet if visible. The depth of the transitional element must be a minimum of 1/3 the length of the least wide historic elevation of the impacted historic elevation. As a result, the 1970s addition does not meet today's transitional element requirement.

LMC [§ 15-15-1](#) defines a Non-Complying Structure as one that legally existed before its current zoning designation and because of subsequent zoning changes does not conform to the current code. LMC [§ 15-9-6](#) allows Non-Complying Structures to be repaired, maintained, altered, or enlarged provided that no new non-compliance is increased or created.

While compliant with Side Setback and addition to Historic Structure regulations at the time, the 1970s addition was not constructed in compliance with the Rear Setback

³ Today's LMC [§ 15-2.2-3](#) requires a 10-foot Rear Setback for Lots up to 75 feet in depth and a 10-foot Front Setback along Woodside Avenue. Because the site is a Corner Lot, the north facing Lot line along 11th Street must meet a five-foot Setback. Between the Setback along 11th Street and the Side Setback along the southern portion of the Lot, the total must be 18 feet for a Lot up to 75 feet in width.

required in the LMC in effect at the time, was not legally existing, and therefore does not meet the Non-Complying Structure definition.

However, LMC [§ 15-2.2-4](#) carves out exceptions for Landmark Historic Sites that do not comply with Setbacks. Additionally, LMC [§ 15-13-2\(B\)\(4\)](#) regulates additions to Historic Structures and states that additions that are significant to the era/period of restoration may be maintained and preserved.

LMC [§ 15-11-10\(A\)\(1\)](#) lays out the requirements for a Building, either attached or detached, to be designated to the Historic Sites Inventory as a Landmark Site. The 1970s addition could be deemed historic should the HPB find it contributes to the historic character of the Site. The Building must meet all the criteria listed below:

- a. It is at least fifty (50) years old or if the Site is of exceptional importance to the community; and
- b. It retains its Historic Integrity in terms of location, design, setting, materials, workmanship, feeling and association as defined by the National Park Service for the National Register of Historic Places; and
- c. It is significant in local, regional or national history, architecture, engineering or culture associated with at least one (1) of the following:
 1. An era that has made a significant contribution to the broad patterns of our history; or
 2. The lives of Persons significant in the history of the community, state, region, or nation; or
 3. The distinctive characteristics of type, period, or method of construction or the work of a notable architect or master craftsman.

The relevant criteria are outlined below with staff analysis:

(a) The addition is at least 50 years old.

The Historic Site Form indicates this Landmark Historic Site is significant to the Mature Mining Era (1894-1930). The addition was constructed in 1970 and is at least 50 years old but extends beyond the Mining Decline & Emergence of Recreation Industry Era (1931-1962).

(b) With the 1970s addition, does the Landmark Historic Site retain its Historic Integrity in terms of location, design, setting, materials, workmanship, feeling and association as defined by the National Park Service for the National Register of Historic Places?

LMC [§ 15-15-1](#) defines “Historic Integrity” as follows:

The ability of a Site to retain its identity and, therefore, convey its Significance in the history of Park City. Within the concept of Historic Integrity, Park City Municipal Corporation recognizes seven (7) aspects or qualities as defined by the National Park

Service, that in various combinations define integrity. They are as follows:

1. **Location.** The place where the Historic Site was constructed or the Historical event took place.
2. **Design.** The combination of physical elements that create the form, plan, space, Structure, and style of a Site. Design includes such considerations as the structural system, massing, arrangement of spaces, pattern of fenestration, textures and colors of surface materials, type, amount and style of ornamental detailing, and arrangement and type of plantings in the designed landscape.
3. **Setting.** The physical environment, either natural or manmade, of a Historic Site, including vegetation, topographic features, manmade features (paths, fences, walls) and the relationship between Structures and other features or open space.
4. **Materials.** The physical elements that were combined or deposited during a particular period of time in a particular pattern or configuration to form a Historic Site.
5. **Workmanship.** The physical evidence of the crafts of a particular culture or people during any given period of history, including methods of construction, plain or decorative finishes, painting, carving, joinery, tooling, and turning.
6. **Feeling.** A Site's expression of the aesthetic of Historic sense of a particular period of time. Feeling results from the presence of physical features that, taken together, convey the Property's Historic character.
7. **Association.** The direct link between an important Historic era or Person and a Historic Site. A Site retains association if it is in the place where the activity occurred and is sufficiently intact to convey that relationship to an observer.

The HPB may find a direct link between an important person and the site, outlined below, which contributes to the other six factors.

(c) Is the 1970s addition significant in local, regional or national history, architecture, engineering or culture associated with at least one (1) of the following:

1. **An era that has made a significant contribution to the broad patterns of our history; or**
2. **The lies of Persons significant in the history of the community, state, region, or nation; or**
3. **The distinctive characteristics of type, period, or method of construction or the work of a notable architect or master craftsman?**

The construction materials of the addition are associated with the 1970s as the addition is clad in Exterior Insulation and Finishing Systems (EIFS) which was heavily used in the 1970s due to the energy crisis at the time.

Carl and Ruby Winters owned the home from 1939 to 1973. Carl Winters was a well-known individual in Park City's history. He was a school superintendent and played an important role in education in the community. When Park City High School was converted into a middle school it was named after him. The rear addition was constructed under the ownership of Carl Winters.



Figure 10: Superintendent of Park City Schools Carl Winters. Photo Credit: Park City Historical Society & Museum, Pop Jenks Collection.

Is more information needed to determine whether the 1970s addition contributes to the site's Historic Integrity?

Please provide input to the Applicant on whether the HPB may consider the 1970s addition historic.

(II) Even if the 1970s addition is determined to be Historic, it cannot be enlarged unless the new construction meets today's Setbacks. The Applicant requests the Historic Preservation Board consider relocating the Structure to create flexibility for an addition.

Please review Exhibit C, the Applicant's justification for relocation of the Historic Structure. In summary, the Applicant requests the HPB consider approving the relocation of the Structure because they find:

- The existing conditions present hazards.
- There is radon gas on the site.
- The foundation is failing and requires replacement, necessitating lifting.⁴
- The home has a deeper setback than others on the streetscape.
- Non-historic stucco will be corrected.
- [Utah Advisory Opinion 104](#)⁵ means the HPB must approve relocation because of

⁴ The Applicant concludes that lifting the structure will require it be placed back in compliance with setbacks. However, LMC [§ 15-2.2-4](#) specifically grants Historic Structures an exception from Setbacks if lifted and returned to its existing location.

⁵ [This advisory opinion](#) was issued in 2010 when different LMC regulations were in effect regarding relocation of Historic Structures. A property owner owned a Historic Site and the adjacent property that the Historic Site encroached on. The property owner then sold the adjacent site to another property owner with an assurance that the Historic Structure could be relocated to remove the encroachment from the property that had been sold. At that time, the LMC authorized staff to approve relocation of Historic Structures. Staff denied the request. The property owner appealed to the HPB. The HPB approved the relocation. Five individuals who owned property near the site appealed to the Board of Adjustment. The Board of Adjustment overturned the HPB approval and denied the property owner's request. The property owner then filed an advisory opinion request with the Utah Property Rights Ombudsman, claiming ex parte communications between board members and the neighbors opposed and argued he should have

present hazards, and the Applicant finds that they clearly satisfy the requirements of LMC [§ 15-11-13\(A\)\(2\)\(b\)](#).

LMC [§ 15-11-13](#) requires HPB approval to relocate a Landmark Historic Structure and the HPB must find all of the following conditions are met:

- a. A licensed structural engineer has certified that the Historic Building(s) and/or Structure(s) can successfully be relocated and the applicant has demonstrated that a professional building mover will move the building and protect it while being stored; and
- b. The proposed relocation will not have a detrimental effect on the structural soundness of the building or structure.

The Applicant submitted a report from a Senior Engineer with Applied Technical Services based in Marietta, Georgia dated December 15, 2025, which opines that “the existing home will need to be lifted, braced, and shored to complete the proposed construction” (Exhibit E). The Senior Engineer concludes “the home will need to be shifted up to 9’-0” from its’ [sic] original position and placed on a new foundation.” However, he does not explain why it must be relocated. He concludes that “with proper engineering, inspection, bracing, excavation, and shoring, the existing structure can be lifted to construct the necessary elements below.”

Additionally, under the LMC, one of the following must be met:

- a. the relocation will abate demolition; or
- b. the Planning Director and Chief Building Official find that the relocation will abate a hazardous condition at the present setting and enhance the preservation of the structure.

The Landmark Historic Structure is not proposed to be demolished. On February 13, 2026, the Chief Building Official conducted a site visit at 1060 Woodside Avenue and determined the existing structure is set at least 5 feet from the property line and is compliant with the International Residential Code (IRC) Section 302.1. The relocation of the structure is not necessary to abate the fire hazard as the existing Structure is greater than or equal to 5 feet from the rear property line. Additionally, the Chief Building Official determined that radon could be remediated with the Structure in the present location and that relocation was not necessary to abate the hazard.

The Chief Building Official and Planning Director find that relocation is not necessary to abate a hazardous condition at the present setting. If the HPB agrees with the Applicant that the relocation abates a hazard, the remaining question is whether relocation enhances the preservation of the structure.

been granted permission to move the Historic Structure. However, this advisory opinion is not relevant to the current application; [the LMC was amended in 2015](#) to grant the HPB authority—not staff—to determine relocation of structures with updated criteria for review.

Is more information is needed to determine whether the Landmark Historic Structure meets the requirements for relocation?

Department Review

The Planning Department, Executive Department, and City Attorney's Office reviewed this report.

Exhibits

- A: Historic Site Form
- B: 2008 Historic Site Form
- C: Applicant Request for Relocation
- D: Applicant Analysis of Date of Construction
- E: Structural Engineer Report
- F: Proposed Plans
- G: Applicant Narrative
- H: Woodside Avenue Historic Structure Setback Analysis
- I: Stantec Site Analysis
- J: 1968 Zoning Map
- K: 1968 R-1 Zoning District Regulations



HISTORIC SITES INVENTORY
HISTORIC SITE FORM
 PARK CITY MUNICIPAL CORPORATION



IDENTIFICATION

Property Name (if any): Carl Winters House

Address: 1060 Woodside Avenue

Date of Construction: c. 1928

City, County: Park City, Summit County, Utah

Architect/Builder: Unknown

Tax Number: SA-38

Current Owner: 1060 Woodside LLC

Legal Description (include acreage): LOTS 17,18 & 19 BLK 4 SNYDERS ADDITION TO PARK CITY RWD-179
 GQC-192 M44-675 M112-814 M257-395 530-01 1775-1966; 0.13 AC

STATUS / USE

Original Use: Single dwelling

Current Use: Single dwelling

Property Type:

National Register of Historic Places:

Evaluation:

Building

Eligible

Landmark Site

Structure

Ineligible

Significant Site

Site

Listed, Date:

Not Historic

DOCUMENTATION

Photographs:

Research Sources:

Tax Photos

Sanborn Maps

City/ County Histories

Newspapers

Prints

Tax Card

Personal Interviews

Other:

Historic

Census Records

Park City Museum

DESCRIPTION

Architectural Style: **Other residential type / vernacular style**

No. Stories: **1.5**

Number of Associated Structures: Accessory building(s). # **0** Structure(s). # **0**

Condition: Good Fair Poor Uninhabitable/Ruin

Location: Original location Moved (Date: , original location:)

Materials: (Describe the visible materials)

Exterior Walls: **Stucco and wood siding**

Foundation: **Concrete**

Roof: **Clipped gable from sheathed with standing seam metal material**

Windows/Doors: **Casement, double-hung sash type, and side sliders**

Additions: Major Minor None

Alterations: Major Minor None

Essential Historic Form: Retains Does Not Retain

NARRATIVE DESCRIPTION OF PROPERTY

(Briefly describe the property and its setting. Include a verbal description of the location; a general description of the property including the overall shape, number of stories, architectural style, materials, shape of roof; identify and describe any associated structures; identify any known exterior additions and/or alterations.)

The house at 1060 Woodside does not closely align with any of the common house types built during the historic Park City mining era, though it was built during that time period. It has not undergone significant modifications. A shed additions sits to the rear and is roofed with standing seam metal. A small dormer sits on the front side of the roof. The walls are primarily clad with stucco, though a small section at the rear and the dormer have wood siding. A wide one-over-one double hung sash window is on the far right of the primary façade along with a large casement window in the middle under the dormer and a small one-over-one double hung sash window right of the door. The dormer itself has a sliding window. The door sits on the left half of the primary façade and has a small arched hood. The door itself is a wood frame and panel door with an upper light. The foundation is concrete which has been painted to be the same color as the stucco. The

dormer is a newer addition added sometime after the tax photo. A clipped gable front extended up past the eave line above the door but was removed, also sometime after the tax photo. Although the form remains legible, the cumulative formal and material changes have diminished its historic value.

SIGNIFICANCE

Historic Era:

- Settlement & Mining Boom Era (1868-1893)
- Mature Mining Era (1894-1930)
- Mining Decline & Emergence of Recreation Industry (1931-1962)

Narrative Statement of Significance:

(Briefly describe those characteristics by which this property may be considered historically significant.)

There was a house that existed on this property prior to the current house. It was likely owned by the Park City Townsite Corporation and possibly used to house workers. It was not occupied during either the 1910 or 1920 censuses. The first individuals to own the property were George and Abbie Potter, who purchased it in 1925.

There is little information on the Potters activities during the time they owned this house, it is possible they may not have lived in Park City at all for that period, but they were residents of the city during the 1930's. At that time George worked as a miner, and was trapped by a cave-in for thirty hours before being rescued.

The next owners of the house were Harry and Ethel Moore who purchased it in 1927. They lived at the house with their three daughters. Harry was an electrical engineer who worked at a mine, and Ethel was very involved with the Order of the Eastern Star in the town. They owned the house until 1937, when it was sold to Bartley McDonough.

Bartley McDonough was a lawyer, and it is unknown if he actually owned this property, or was just in possession of the title as part of his duties. He had moved to Oregon by the time of the 1940 census, and the house had been sold to Carl Winters by 1939.

Carl and Ruby Winters owned the house from 1939 until 1973, and lived there at least during the 1940 census. Carl Winters was the superintendent of a school, and when the Park City High School was converted to a middle school, it was named after him. He is noted as being one of the great educators in Park City, and was honored at the time of his retirement. The house has changed hands several times, and is currently owned by 1060 Woodside LLC.

REFERENCES

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- National Register of Historic Places. Park City Main Street Historic District. Park City, Utah, National Register #79002511.
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- Ringholz, Raye Carleson and Bea Kummer. Walking Through Historic Park City. Self-published, 1984.
- Thompson, George A., and Fraser Buck. Treasure Mountain Home: Park City Revisited. Salt Lake City: Dream Garden Press, 1993.

PHOTOGRAPHS

(Provide several clear historical and current photos of the property.)



Photo 1: 1060 Woodside Avenue. West elevation. 2020

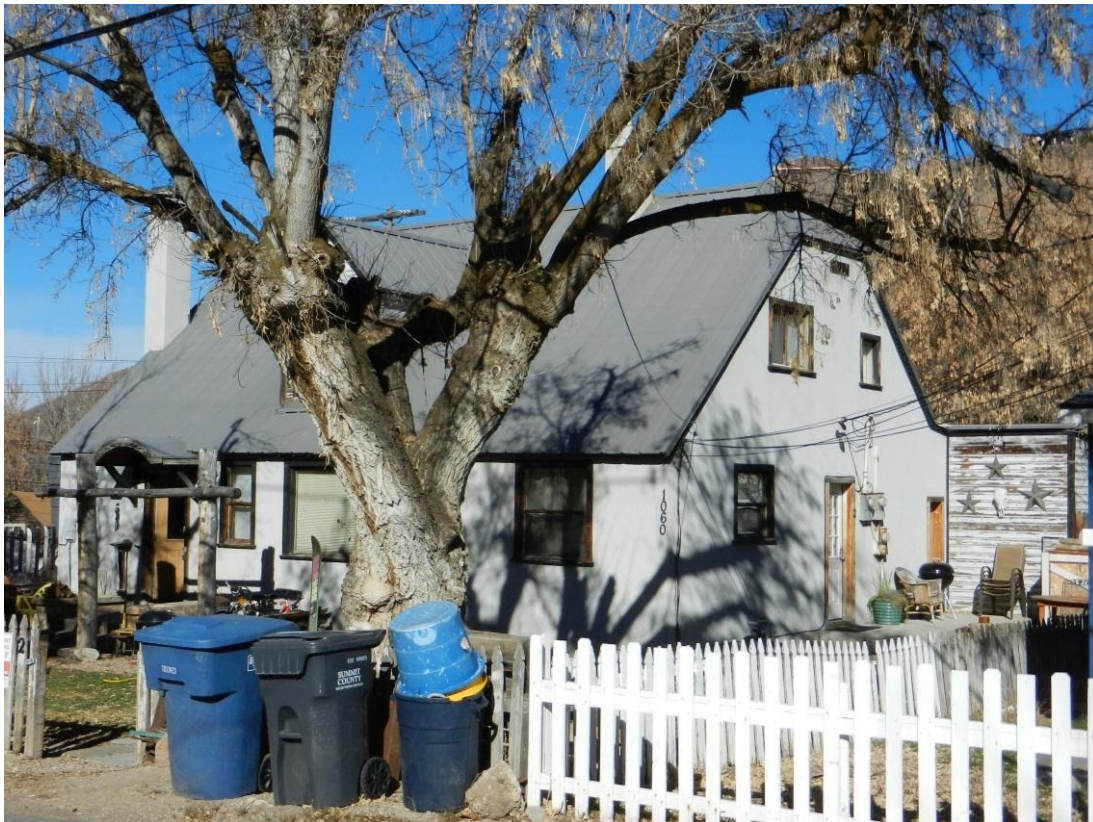


Photo 2: 1060 Woodside Avenue. Southwest oblique. November 2013



Photo 3: 1060 Woodside Avenue. West elevation. November 2013



Photo 4: 1060 Woodside Avenue. Northwest oblique. November 2013



Photo 5: 1060 Woodside Avenue. West elevation. 2006



Photo 6: 1060 Woodside Avenue. in 1995



Photo 7: 1060 Woodside Avenue. c. 1941 (Tax Photos, Summit County)

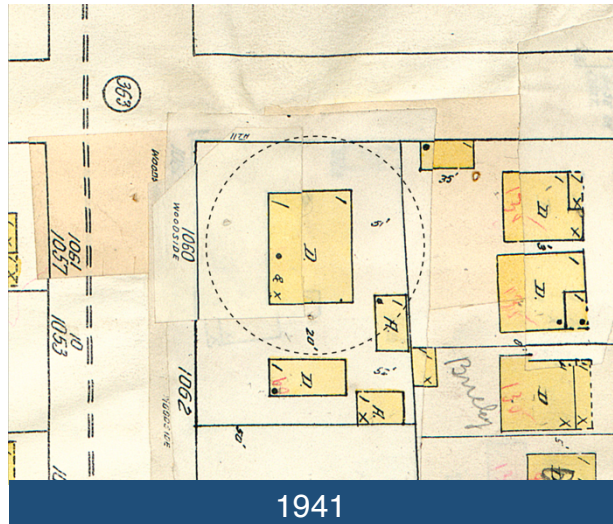
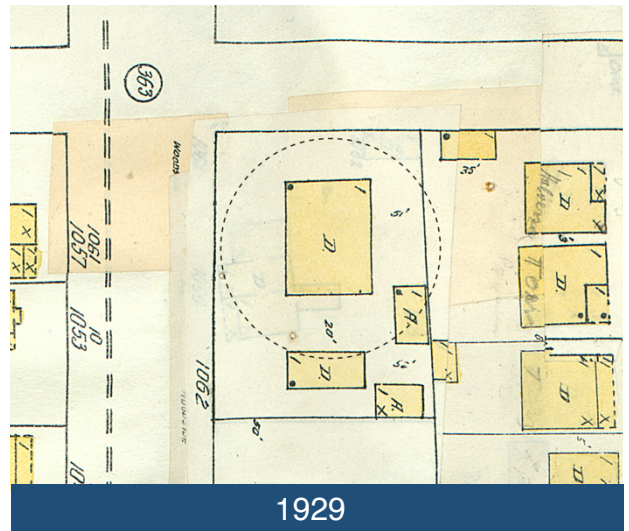
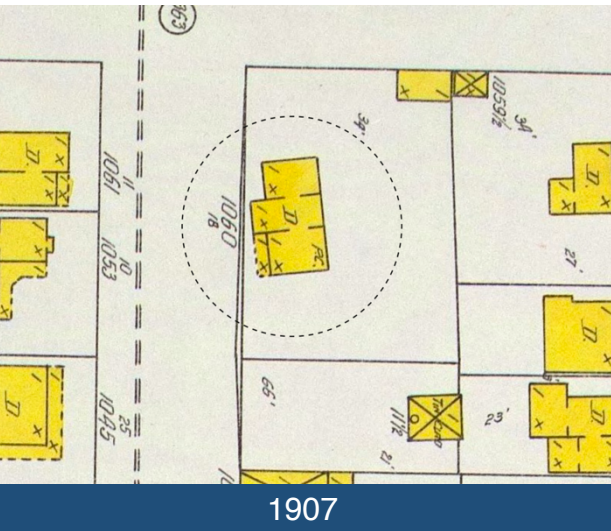
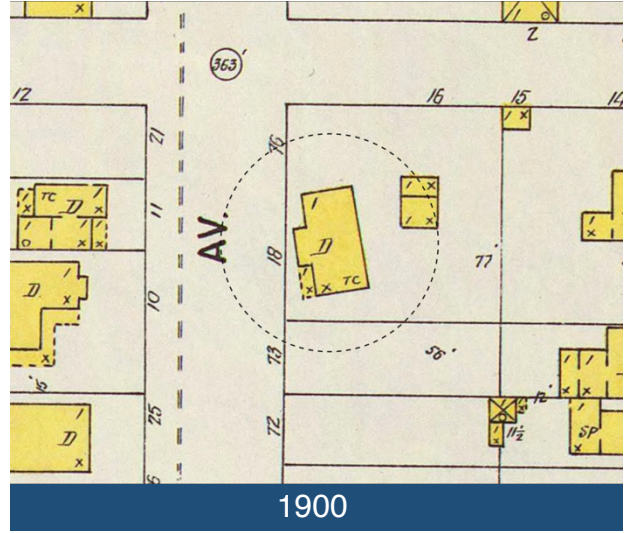
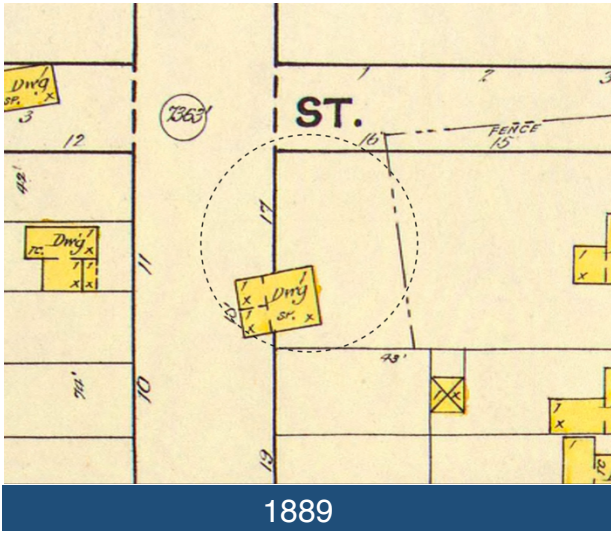
MAPS

(Provide several clear historical and current maps indicating the location of the property in relation to streets or other widely recognized features.)



Figure 1: Aerial view showing the location of 1060 Woodside Avenue. (ESRI 2020)

Sanborn Maps



TITLE SEARCH FORM

[Obtain information from title abstract books at County Recorder's Office]

Address: 1060 Woodside Avenue

City: Park City, UT

Current Owner: 1060 Woodside LLC

Address: (see historic site form for address)

Tax Number: SA-38

Legal Description (include acreage): SA BK4 L17, L18, L19 (see historic site form for complete legal description)

TRANSACTION DATES	GRANTOR (SELLER)	GRANTEE (BUYER)	TYPE OF TRANSACTION	DOLLAR AMOUNT	COMMENTS
11/14/1883	Geo. G. Snyder	David C. McLaughlin	W		[L-11, 14-32]
7/14/1925	District Court	W.J. Robinson (Adm.)	Decree		[17-20]
8/26/1925	William J. Robinson	George J. & Abbie Potter	W.D.		"17, 18, 19" [rest of form]
8/26/1925	George J. & Abbie Potter	State Bank of Park City	Mtg.		
11/23/1927	George J. Potter, et ux	Ethel Harvey Moore	W.D.		
8/4/1928	Harry A. Moore et ux	St. Bank Park City, Ut.	Mtg.		
10/16/1937	Ethel Harvey Moore	Bartley G. McDonough	W.D.		
9/27/1939	Bartley G. McDonough, et ux	Carl Winter, et ux	W.D.		
1/16/1973	Carl & Ruby Winters	Jan V.T. & Kathyann B. Wilking	W.D.		
5/5/1978	Jan V.T. & Kathyann B. Wilking	Stephen & Elizabeth Schirf	Sp. W.D.		
8/1/1989	S. & E. Schirf, et al	David R. Dassing	W.D.		
3/9/2006	David R. Dassing	1060 Woodside LLC	W.D.		

Researcher: John Ewanowski, CRSA Architecture

Date: 1/8/2015

Carl Winters Greatly Honored at Farewell Tribute Saturday

One of the finest public gatherings in the form of a tribute to an honored Park City citizen, was the one held Saturday night at the Park City High School, honoring Superintendent Carl Winters.

Many former Park City residents, friends of Mr. and Mrs. Winters were in attendance, as were a large number of ladies and gentlemen in the teaching profession throughout the state, who came to wish Carl a happy and rewarding retirement.

He received a number of very fine gifts from his associates and teaching staff, also the Park City Board of Education, in recognition of his 39 years of outstanding service to his beloved profession of teaching school.

Family Group Present

Mrs. Clyde Fritch, daughter Beth, and her five young sons drove down from Rock Springs, Wyo., to attend this important event; Mr. and Mrs. Russell

Horan and son of Orem, and Mrs. Berniece Hendrickson and daughters of Park City, completed the happy family group.

Clyde Fritch was unable to attend, being a patient in a Rock Springs hospital, having met with a serious accident while flying a helicopter in Wyoming.

The Fritch family were house-guests of their grandparents, Mr. and Mrs. Johnny Fritch in Park City. The Horans were guests of Carl and Ruby Winters.

Carl Winters will be the guest of honor at the Park City High School Alumni banquet, May 29, and thus Park City is showing her appreciation of a good job well done by Superintendent of Public Instruction, Carl Winters.

Farewell Program

The following program was rendered:

Invocation—Bishop David Loer-
tscher.

Welcome — Principal Charles

(Continued on Page Eight).

Park Record, 5/27/1965

HISTORIC SITE FORM - HISTORIC SITES INVENTORY

PARK CITY MUNICIPAL CORPORATION (10-08)

1 IDENTIFICATION

Name of Property:

Address: 1060 Woodside Avenue

AKA:

City, County: Park City, Summit County, Utah

Tax Number: SA-38

Current Owner Name:

Parent Parcel(s):

Current Owner Address:

Legal Description (include acreage): 0.13 acres; 0S 16 T 2S R 4E LOTS 17, 18 & 19 BLK 4 SNYDERS ADDITION.

2 STATUS/USE

Property Category

- building(s), main
- building(s), attached
- building(s), detached
- building(s), public
- building(s), accessory
- structure(s)

Evaluation*

- Landmark Site
- Significant Site
- Not Historic

Reconstruction

- Date:
- Permit #:
- Full Partial

Use

Original Use: Residential
Current Use: Residential

*National Register of Historic Places: ineligible eligible
 listed (date:)

3 DOCUMENTATION

Photos: Dates

- tax photo:
- prints:
- historic: c.

Drawings and Plans

- measured floor plans
- site sketch map
- Historic American Bldg. Survey
- original plans:
- other:

Research Sources (check all sources consulted, whether useful or not)

- abstract of title
- tax card
- original building permit
- sewer permit
- Sanborn Maps
- obituary index
- city directories/gazetteers
- census records
- biographical encyclopedias
- newspapers
- city/county histories
- personal interviews
- Utah Hist. Research Center
- USHS Preservation Files
- USHS Architects File
- LDS Family History Library
- Park City Hist. Soc/Museum
- university library(ies):
- other:

Bibliographical References (books, articles, interviews, etc.) Attach copies of all research notes and materials.

Blaes, Dina & Beatrice Lufkin. "Final Report." Park City Historic Building Inventory. Salt Lake City: 2007.

Carter, Thomas and Goss, Peter. *Utah's Historic Architecture, 1847-1940: a Guide*. Salt Lake City, Utah:

University of Utah Graduate School of Architecture and Utah State Historical Society, 1991.

McAlester, Virginia and Lee. *A Field Guide to American Houses*. New York: Alfred A. Knopf, 1998.

Roberts, Allen. "Final Report." Park City Reconnaissance Level Survey. Salt Lake City: 1995.

Roper, Roger & Deborah Randall. "Residences of Mining Boom Era, Park City - Thematic Nomination." National Register of Historic Places Inventory, Nomination Form. 1984.

4 ARCHITECTURAL DESCRIPTION & INTEGRITY

Building Type and/or Style: Other Residential Type / Vernacular style

No. Stories: 1 ½

Additions: none minor major (describe below) Alterations: none minor major (describe below)

Number of associated outbuildings and/or structures: accessory building(s), # _____; structure(s), # _____.

General Condition of Exterior Materials:

Researcher/Organization: Dina Blaes/Park City Municipal Corporation

Date: November, 08

- Good (Well maintained with no serious problems apparent.)
- Fair (Some problems are apparent. Describe the problems.): Peeling paint on dormer, windows and addition.
- Poor (Major problems are apparent and constitute an imminent threat. Describe the problems.):
- Uninhabitable/Ruin

Materials (The physical elements that were combined or deposited during a particular period of time in a particular pattern or configuration. Describe the materials.):

Site: Paved parking area north of house.

Foundation: Assumed to be concrete.

Walls: Stucco and some wood siding

Roof: Clipped gable from sheathed with standing seam metal material.

Windows: Casement, double-hung sash type, and side sliders.

Essential Historical Form: Retains Does Not Retain, due to:

Location: Original Location Moved (date _____) Original Location:

Design (The combination of physical elements that create the form, plan, space, structure, and style. Describe additions and/or alterations from the original design, including dates--known or estimated--when alterations were made): The 1 ½-story stucco house has been altered, but not significantly. A clipped gable wall dormer centered over the main entrance has been removed (date unknown), but the arched hood supported by brackets above the door remains. A gable dormer with a single window was added to the main roof and it appears that some of the windows have been replaced. The casement window south of the entry door replaces a ribbon of three narrow windows of equal width (visible in the tax photo). The entry stoop has been replaced by a deck. And the side yard was replaced by a paved parking area. Also, a small addition was constructed in the back of the house as noted in the tax cards. An addition to the rear on the north side is seen, but is not noted in any of the tax cards which indicates it was constructed after 1968. The changes do not affect the site's historic character.

Setting (The physical environment--natural or manmade--of a historic site. Describe the setting and how it has changed over time.): The setting is largely unchanged from what is seen in the tax photo. The tax cards note a 2-car garage on the site, but its existence could not be verified.

Workmanship (The physical evidence of the crafts of a particular culture or people during a given period in history. Describe the distinctive elements.): The physical evidence from the period that defines this as a typical Park City mining era house are the simple methods of construction, the plan type, the simple roof form, the informal landscaping, the restrained ornamentation, and the plain finishes.

Feeling (Describe the property's historic character.): The physical elements of the site, in combination, convey a sense of life in a western mining town of the late nineteenth and early twentieth centuries.

Association (Describe the link between the important historic era or person and the property.): The property was constructed during the mining era (1869-1930) and retains its historic integrity. The Park City Historical Society and Museum also note that this home was once owned and occupied by Carl Winter, an important figure in Park City's history.

5 SIGNIFICANCE

Architect: Not Known Known: (source:)

Date of Construction: c. 1928

Builder: Not Known Known: (source:)

The site must represent an important part of the history or architecture of the community. A site need only be significant under one of the three areas listed below:

1. Historic Era:

- Settlement & Mining Boom Era (1868-1893)
- Mature Mining Era (1894-1930)
- Mining Decline & Emergence of Recreation Industry (1931-1962)

Park City was the center of one of the top three metal mining districts in the state during Utah's mining boom period of the late nineteenth and early twentieth centuries, and it is one of only two major metal mining communities that have survived to the present. Park City's houses are the largest and best-preserved group of residential buildings in a metal mining town in Utah. As such, they provide the most complete documentation of the residential character of mining towns of that period, including their settlement patterns, building materials, construction techniques, and socio-economic make-up. The residences also represent the state's largest collection of nineteenth and early twentieth century frame houses. They contribute to our understanding of a significant aspect of Park City's economic growth and architectural development as a mining community.¹

2. **Persons** (Describe how the site is associated with the lives of persons who were of historic importance to the community or those who were significant in the history of the state, region, or nation):

3. **Architecture** (Describe how the site exemplifies noteworthy methods of construction, materials or craftsmanship used during the historic period or is the work of a master craftsman or notable architect):

6 PHOTOS

Digital color photographs are on file with the Planning Department, Park City Municipal Corp.

Photo No. 1: West elevation. Camera facing east, 2006

Photo No. 2: North elevation. Camera facing south, 2006.

Photo No. 3: West elevation. Camera facing east, 1995.

Photo No. 4: Northwest oblique. Camera facing southeast, tax photo.

¹ From "Residences of Mining Boom Era, Park City - Thematic Nomination" written by Roger Roper, 1984.

**SERIAL NO.
RE-APPRAISAL CARD (1940 APPR. BASE)**

Owner's Name _____
 Owner's Address _____
 Location _____
 Kind of Building Res Street No. _____
 Schedule 1 Class 5-A Type 1-2-3-4 Cost \$ _____ X %

Stories	Dimensions	Cu. Ft.	Sq. Ft.	Actual Factor	Totals
1	x x		1131	\$ -	\$ 3959
	x x			\$	\$
	x x			\$	\$

No. of Rooms 4-Bath Condition Good

Description of Building	Add	Deduct
Foundation—Stone <input checked="" type="checkbox"/> Conc. <input checked="" type="checkbox"/> None <input checked="" type="checkbox"/>	-	-
Ext. Walls <u>Stucco On Wood</u>		
Insulated—Floors _____ Walls _____ Cigs. _____		
Roof—Type <u>Clp Gab.</u> Mat. <u>Shg</u>		
Dormers—Small _____ Med. _____ Lg. _____		
Bays—Small _____ Med. _____ Lg. _____		
Porches—Front _____ <u>24'</u> @ <u>1.50</u> _____	36	
Rear _____ @ _____		
Cellar—Basmt' $\frac{1}{4}$ $\frac{1}{2}$ $\frac{3}{4}$ full-floor <u>Brid</u>		242
Basement Apts.—Rooms Fin. _____		
Attic Rooms _____ Fin. _____ Unfin. _____		
Plumbing—{ Class <u>2</u> Tub <u>1</u> Trays _____ Basin _____ Sink _____ Toilet _____ Urns _____ Ftns. _____ Shr. _____ Dishwasher _____ Garbage Disp. _____	60	
Heat—Stove <u>H. A.</u> <input checked="" type="checkbox"/> Steam <u>S.</u> <input checked="" type="checkbox"/> Blr. _____ Oil _____ Gas _____ Coal _____	440	
Air Conditioned _____ Incinerators _____		
Radiant—Pipeless _____		
Finish—{ Hd. Wd. _____ Floors—{ Hd. Wd. _____ Fir. <input checked="" type="checkbox"/> _____ Fir. <input checked="" type="checkbox"/> _____ Conc. _____		
Cabinets _____ Mantels _____		
Tile—{ Walls _____ Wainscot. _____ Floors _____		
Lighting—Lamp _____ Drops <input checked="" type="checkbox"/> Fix. <input checked="" type="checkbox"/>		
<u>Calatex Lined</u> <u>4 @ 20.00</u>		80
<u>Used Material</u>		198
Total Additions and Deductions	536	570
Net Additions or Deductions	-570	+ 16

Age 20 Yrs. by { Est. Owner
 Tenant
 Neighbors
 Records } **REPRODUCTION VALUE** \$ 3975
 Depr. 1-2-3-4-5-6 23/67 % \$ _____
 Reproduction Val. Minus Depr. \$ 2663

Remodeled _____ Est. Cost _____ Remodeling Inc. _____ % \$ _____
 Garage—S 8 C 2 Depr. (2%) 3% _____ Obsolescence _____ \$ _____
 Cars 1 Walls Wood & Stucco Out Bldgs. _____ \$ (Camp)
 Roof Shg. Size 18 x 18 Age 18 _____ \$ _____
 Floor Dirt Cost 234/64 Depreciated Value Garage _____ \$ 150

Remarks _____ **Total Building Value** \$ 2813

Appraised 10/1949 By CAO & A.J.

Serial No. SA 38

CB

Location Block 4 SA All Lots 17-18+19

Kind of Bldg. 5 St. No. 1067 Woodside Ave

Class 5 Type 1 2 3 4. Cost \$ 2878 X — %

Stories	Dimensions	Cu. Ft.	Sq. Ft.	Factor	Totals
<u>1</u>	x x		<u>1131</u>		\$ <u>2878</u>
	x x				
	x x				

Gar.—Carport x Flr. — Walls — Cl. —

Description of Buildings		Additions
Foundation—Stone <u>—</u> Conc. <u>—</u> None <u>✓</u>		
Ext. Walls <u>Stucco on Frame</u>		
Insulation—Floors <u>—</u> Walls <u>—</u> Clgs. <u>—</u>		
Roof Type <u>Cl. Gable</u> Mtl. <u>—</u>		
Dormers—Small <u>—</u> Med. <u>—</u> Large <u>—</u>		
Bays—Small <u>—</u> Med. <u>—</u> Large <u>—</u>		
Porches—Front <u>4x6</u> <u>24</u> @ <u>125</u>		<u>30</u>
Rear <u>—</u> @ <u>—</u>		
Porch <u>—</u> @ <u>—</u>		
Metal Awnings <u>—</u> Mtl. Rail <u>—</u>		
Basement Entr. <u>—</u> @ <u>—</u>		
Planters <u>—</u> @ <u>—</u>		
Cellar-Bsmt. — $\frac{1}{4}$ $\frac{1}{2}$ $\frac{3}{4}$ Full <u>—</u> Floor <u>—</u>		<u>000</u>
Bsmt. Apt. <u>—</u> Rooms Fin. <u>—</u> Unfin. <u>—</u>		
Attic Rooms Fin. <u>—</u> Unfin. <u>—</u>		
Plumbing	Class <u>2</u> Tub <u>1</u> Trays <u>—</u>	<u>410</u>
	Basin <u>1</u> Sink <u>1</u> Toilet <u>1</u>	
	Wtr. Sfr. <u>—</u> Shr. St. <u>—</u> O.T. <u>—</u>	
	Dishwasher <u>—</u> Garbage Disp. <u>—</u>	
Built-in-Appliances <u>—</u>		
Heat—Stove <u>—</u> H.A. <u>✓</u> Steam <u>—</u> Stkr. <u>—</u> Blr. <u>—</u>		<u>341</u>
Oil <u>—</u> Gas <u>—</u> Coal <u>✓</u> Pipeless <u>—</u> Radiant <u>—</u>		<u>212</u>
Air Cond. <u>—</u>		
Finish—Fir <u>✓</u> Hd. Wd. <u>—</u>		
Floor—Fir <u>✓</u> Hd. Wd. <u>—</u> Other <u>—</u>		<u>140</u>
Cabinets <u>1</u> Mantels <u>—</u>		
Tile—Walls <u>—</u> Wainseot <u>—</u> Floors <u>—</u>		
Storm Sash—Wood D. <u>—</u> S. <u>—</u> ; Metal D. <u>—</u> S. <u>—</u>		
		<u>1223</u>

Total Additions		<u>1223</u>
Year Built <u>—</u> Avg. Age <u>29</u>	Current Value	\$ <u>4101</u>
Inf. by { Owner - Tenant - Neighbor - Record - Est.	Commission Adj.	%
	Bldg. Value	
	Depr. Col. 1 2 3 4 5 6 <u>58</u>	%
Remodel Year <u>—</u> Est.-Cost <u>—</u>	Current Value Minus Depr.	\$ <u>2379</u>
Garage—Class <u>2</u> Depr. 2% 3% <u>—</u> Carport—Factor <u>—</u>		
Cars <u>1</u> Floor <u>Dirt</u> Walls <u>Stucco</u> Roof <u>TP</u> Doors <u>1</u>		
Size— <u>76</u> x <u>18</u> Age <u>1931</u> Cost <u>266</u> x <u>30</u> %		
Other <u>12 x 22</u>		<u>580</u>
Total Building Value		\$ <u>2878</u>

Appraised 4-29-58 19 58 By —

SA 38
Serial Number

OF
Card Number

Owners Name Park City
 Location Park City
 Kind of Bldg. Res St. No. 1060 Woodside Ave
 Class 5 Type 1 2 3 4. Cost \$ 6503 X 100%

Stories	Dimensions	Sq. Ft.	Factor	Totals	Totals
1	x x	1131	525	\$ 6503	\$
	x x				
	x x				

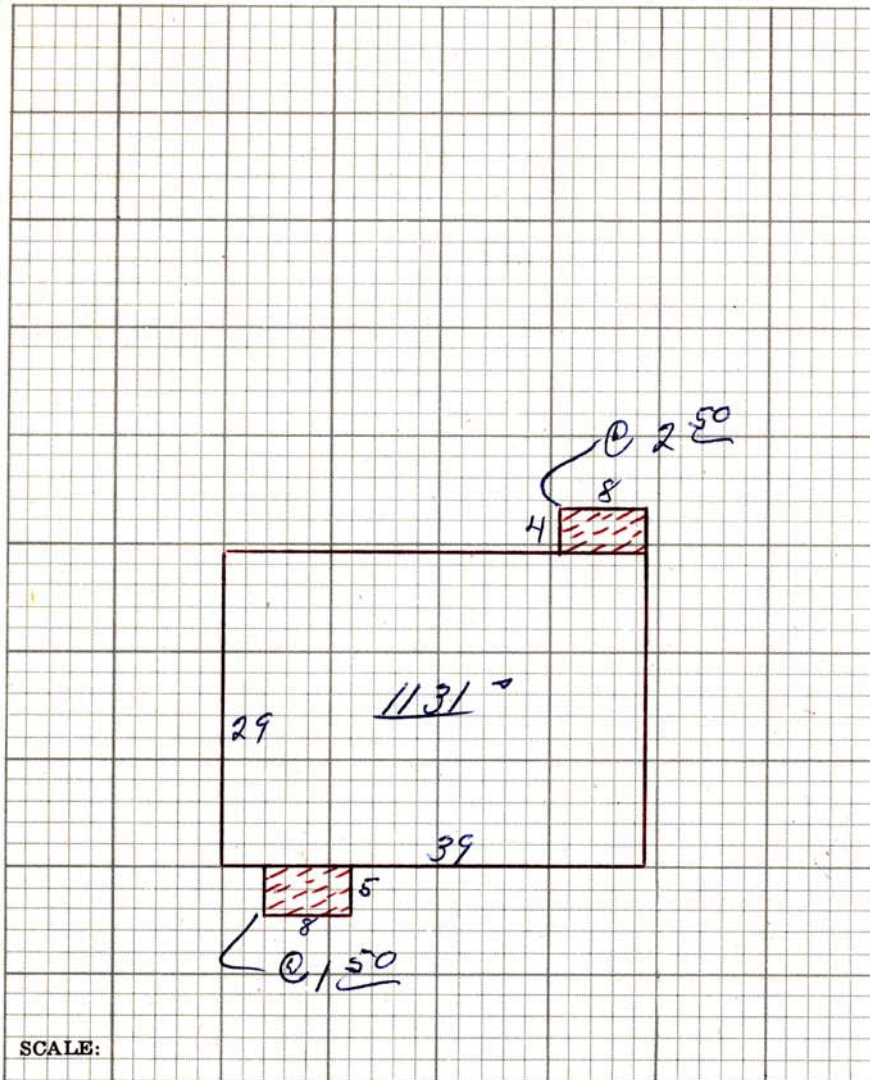
Att. Gar. — C.P. — x — Flr. — Walls — Cl. —

Description of Buildings	Additions	Additions
Foundation—Stone _____ Conc. _____ Sills <input checked="" type="checkbox"/>		
Ext. Walls <u>Stuccoed Frame</u>		
Roof Type <u>gable</u> Mtl. <u>Shg</u>		
Dormers—Small _____ Med. _____ Large _____		
Bays—Small _____ Med _____ Large _____		
Porches—Front _____	<u>40° @ 150</u>	<u>60</u>
Rear _____	<u>32° @ 250</u>	<u>80</u>
Porch _____	@	
Planters _____	@	
Ext. Base. Entry _____	@	
Cellar-Bsmt. — 1/4 1/3 1/2 2/3 3/4 Full _____ Floor <u>Flr</u>	<u>60</u>	
Bsmt. Gar. _____		
Basement-Apt. _____ Rms. _____ Fin. Rms. _____		
Attic Rooms Fin. _____ Unfin. _____		
Plumbing {	Class <u>2</u> Tub. <u>1</u> Trays _____	<u>650</u>
	Basin <u>1</u> Sink <u>1</u> Toilet <u>1</u>	
	Wtr. Sfr. _____ Shr. St. _____ O.T. _____	
	Dishwasher _____ Garbage Disp. _____	
Heat—Stove _____ H.A. _____ FA <input checked="" type="checkbox"/> HW _____ Stkr _____ Elec. _____	<u>571</u>	
Oil _____ Gas <input checked="" type="checkbox"/> Coal _____ Pipeless _____ Radiant _____		
Air Cond. — Full _____ Zone _____		
Finish—Fir. _____ Hd. Wd. _____ Panel _____		
Floor—Fir. _____ Hd. Wd _____ Other _____		
Cabinets <input checked="" type="checkbox"/> Mantels. <u>1</u>	<u>390</u>	
Tile—Walls _____ Wainscot _____ Floors _____		
Storm Sash—Wood D. _____ S. _____; Metal D. <u>1</u> S. _____	<u>30</u>	
Awnings — Metal _____ Fiberglass _____		

Reappd 11/20/79
 61/20/79
 2279

Total Additions		<u>1841</u>
Year Built <u>1929</u>	Avg. 1.	Replacement Cost <u>8344</u>
	Age 2.	Obsolescence
Inf. by <u>Owner - Tenant -</u> <u>Neighbor - Record - Est.</u>		Adj. Bld. Value
		Conv. Factor <u>x.47</u>
Replacement Cost—1940 Base		
Depreciation Column <u>1</u> 2 3 4 5 6		
1940 Base Cost, Less Depreciation		
Total Value from reverse side <u>Garage</u>	<u>160</u>	
Total Building Value		\$

Appraised ① 10-22 1968 By 1581
 Appraised ② _____ 19 _____ By _____



RESIDENTIAL OUT BUILDINGS	Age	Size	Area	Factor	Cost	Conv. Fac.	Adj. Cost	Depr. Value
X		x				.47		
		x				.47		
		x				.47		
		x				.47		
		x				.47		
		x				.47		

Garage — Class 2 Depr. 2% 6%
 Cars — Floor DIRT Walls FR Roof RR Doors _____
 Size 12 x 22 Age 1931 Cost 532 x 47%
 1940 Base Cost _____ x 30 % Depr. _____

160

Total _____

REMARKS _____



3A 38

S-24

Utah State Historical Society Historic Preservation Research Office Structure/Site Information Form

IDENTIFICATION	Street Address:	1060 Woodside Avenue, Park City	Plat SA Bl. 4 Lot 17-19
	Name of Structure:		T. R. S.
	Present Owner:	[REDACTED]	UTM:
	Owner Address:	[REDACTED]	Tax #: SA-38
AGE/CONDITION/USE	Original Owner:	unknown	Construction Date: ca. 1929 Demolition Date:
	Original Use:	residential	
	Present Use:		Occupants:
	<input checked="" type="checkbox"/> Single-Family <input type="checkbox"/> Multi-Family <input type="checkbox"/> Public <input type="checkbox"/> Commercial <input type="checkbox"/> Park <input type="checkbox"/> Industrial <input type="checkbox"/> Agricultural <input type="checkbox"/> Vacant <input type="checkbox"/> Religious <input type="checkbox"/> Other		
STATUS	Building Condition:		Integrity:
	<input type="checkbox"/> Excellent <input checked="" type="checkbox"/> Good <input type="checkbox"/> Deteriorated <input type="checkbox"/> Site <input type="checkbox"/> Ruins		<input type="checkbox"/> Unaltered <input checked="" type="checkbox"/> Minor Alterations <input type="checkbox"/> Major Alterations
	Preliminary Evaluation:		Final Register Status:
	<input type="checkbox"/> Significant <input checked="" type="checkbox"/> Contributory <input type="checkbox"/> Not Contributory <input type="checkbox"/> Intrusion		<input type="checkbox"/> National Landmark <input type="checkbox"/> National Register <input type="checkbox"/> State Register <input type="checkbox"/> District <input type="checkbox"/> Multi-Resource <input type="checkbox"/> Thematic
DOCUMENTATION	4 Photography:		
	Date of Slides: June 1978		Date of Photographs:
	Views: Front <input checked="" type="checkbox"/> Side <input type="checkbox"/> Rear <input type="checkbox"/> Other <input type="checkbox"/>		Views: Front <input type="checkbox"/> Side <input type="checkbox"/> Rear <input type="checkbox"/> Other <input type="checkbox"/>
	Research Sources:		
<input type="checkbox"/> Abstract of Title <input checked="" type="checkbox"/> Plat Records <input checked="" type="checkbox"/> Plat Map <input checked="" type="checkbox"/> Tax Card & Photo <input type="checkbox"/> Building Permit <input type="checkbox"/> Sewer Permit <input checked="" type="checkbox"/> Sanborn Maps <input type="checkbox"/> City Directories <input type="checkbox"/> Biographical Encyclopedias <input checked="" type="checkbox"/> Obituary Index <input type="checkbox"/> County & City Histories <input type="checkbox"/> Personal Interviews <input type="checkbox"/> Newspapers <input checked="" type="checkbox"/> Utah State Historical Society Library <input type="checkbox"/> LDS Church Archives <input type="checkbox"/> LDS Genealogical Society <input checked="" type="checkbox"/> U of U Library <input type="checkbox"/> BYU Library <input type="checkbox"/> USU Library <input type="checkbox"/> SLC Library <input type="checkbox"/> Other			

Bibliographical References (books, articles, records, interviews, old photographs and maps, etc.):

Summit County records.
Sanborn Maps, Park City, Utah, 1889, 1900, 1907.

Architect/Builder: unknown

Building Materials: wood Building Type/Style: Residential

Description of physical appearance & significant architectural features:
 (Include additions, alterations, ancillary structures, and landscaping if applicable)

One-story frame dwelling, gable roof, and apparent stucco exterior. The front entry, located on the northwest corner, is covered by a clipped gable type of overhang.

Statement of Historical Significance:

- | | | | |
|---|---|--|---|
| <input type="checkbox"/> Aboriginal Americans | <input type="checkbox"/> Communication | <input type="checkbox"/> Military | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Conservation | <input checked="" type="checkbox"/> Mining | <input type="checkbox"/> Science |
| <input type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Minority Groups | <input type="checkbox"/> Socio-Humanitarian |
| <input type="checkbox"/> The Arts | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Political | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Commerce | <input type="checkbox"/> Industry | <input type="checkbox"/> Recreation | |

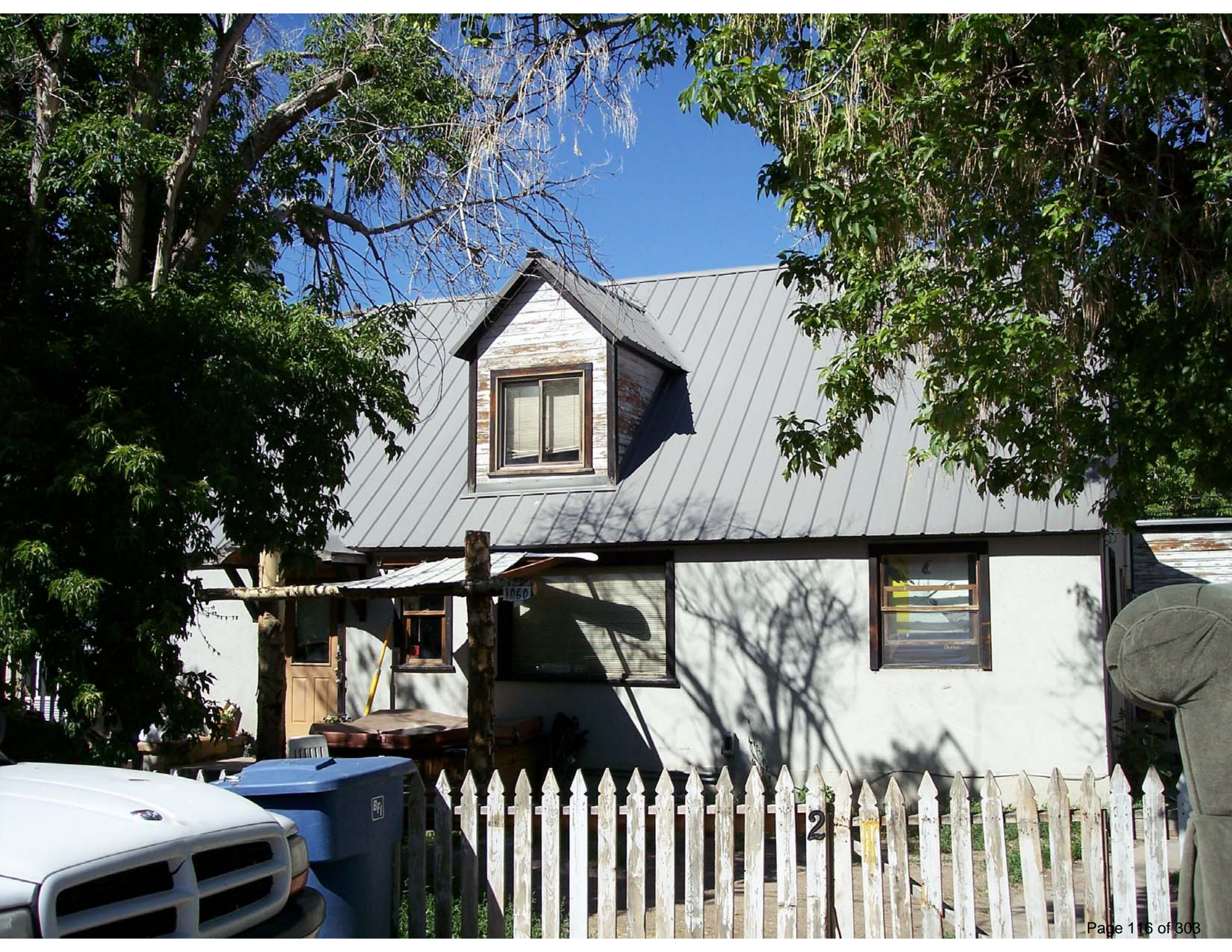
A late 1920s residence, representing a later construction, but illustrating how builders maintained a basic utilitarian form for mining town construction, and a compatibility in style.

Abstract record as follows: Up to 1920s property primarily belonging to Summit County. In 1925 to Wm. J. Robinson; George J. Potter, 1925, who mortgaged land to the State Bank of Park City in 1925 and in 1926. In 1927 sold to Ethel Harvey Moore, who in 1928 also mortgaged to the State Bank of Park City. Involved in tax sale activity during the 1930s; then to Bartley G. McDonough, 1937; Carl Winters, 1939; eventually to Jan Wilking.

No apparent information available on owners.







1060 Woodside Avenue

Landmark Historic Structure — Narrative & Justification for Relocation on Existing Site

Request to Relocate the Structure Approximately 9 Feet West

Introduction

This narrative is submitted in support of relocating the **Landmark-designated historic structure at 1060 Woodside Avenue approximately nine (9) feet west** on its existing parcel. The structure’s present location is approximately 10’ - 15’ deeper within the lot than its historic relationship. It is also extremely close to the adjacent home to the east, and positioned over a dirt-floor basement containing radon—creates **multiple hazardous conditions** in the present setting as defined under **LMC §15-11-13(A)(2)(b) and diminishes the home’s historic contextual relationship to Woodside Avenue** where for the homes on this street the average setback is 13.2’.

Relocating the structure will **abate multiple hazardous conditions**, restore the historically appropriate street relationship documented in Sanborn Maps, preserve the Landmark structure and its existing non-historic addition, and allow installation of a new sealed foundation system necessary for long-term preservation.

Under the plain language of **LMC §15-11-13(A)(2)(b)** and as confirmed by the Utah Property Rights Ombudsman in **Advisory Opinion 104**, these findings fully satisfy the criteria required for HPB approval of a Landmark relocation on its existing site.

1. Historic Background and Sanborn Map Analysis

Historic Sanborn Fire Insurance Maps (See page 9 of Historic Site Inventory) show that the structure originally sat **significantly farther west**, close to the Woodside Avenue right-of-way. The structure’s current position—approximately 10–15 feet deeper than its historic relationship—does not reflect the mining-era pattern of setbacks along this streetscape.

Because the original Sanborn position now lies partially within the modern public right-of-way, it is **not physically feasible** to return the structure to its precise historic location. The proposed

relocation moves the home **as close as possible to its original contextual relationship**, while fully complying with current setbacks and protecting the public right-of-way.

This approach parallels multiple precedents, including **1455 Woodside**, in which HPB approved similar relocation to strengthen historic interpretation without reinstating an exact original footprint.

2. Existing Conditions and Present Hazards

2.1. Hazardous Building-to-Building Clearance (< 6 Feet)

Although the eastern wall of the structure sits approximately **5.00 feet** from the property line, the **actual distance between the two wood-framed dwellings is less than six feet**. (See exhibit B) Under modern fire-safety principles adopted through the International Fire Code and International Residential Code, **building-to-building separation**, not merely property-line setbacks, governs fire exposure risk, firefighter access, and safe egress.

Separation distances under six feet significantly increase radiant heat transfer potential, restrict firefighter movement, and constitute an unsafe condition requiring correction. Accordingly, this <6-foot separation qualifies as a **present hazardous condition** under **LMC §15-11-13(A)(2)(b)**.

Relocating the structure approximately nine feet west eliminates this hazard entirely. **This condition alone is sufficient to satisfy the hazardous-condition requirement for Landmark relocation approval.**

2.2. Radon Gas Intrusion

Radon as a Hazard Requiring Mitigation.

Testing has confirmed the presence of radon gas intruding into the dirt-floor basement below the Landmark structure. (See Exhibit E) Radon is classified by the EPA, CDC, Surgeon General, and Utah DEQ as a Class A carcinogen and a major cause of lung cancer. Its presence within a residence constitutes a hazardous condition under LMC §15-11-13(A)(2)(b).

Relocating the structure enables complete removal of the dirt-floor basement and installation of a sealed, radon-resistant foundation system—the only durable and EPA-accepted mitigation method under ASTM E2121. Radon thus represents an independent hazardous condition that relocation directly abates.

2.3. Foundation Failure and Required Replacement Necessitating Lifting (Triggering Modern Setback Compliance) (See Exhibit E)

Foundation Failure Necessitating Lifting

The current foundation is structurally obsolete and failing: a dirt-floor basement with non-engineered materials that fail to meet modern structural or geotechnical standards. Complete foundation replacement is required.

A full foundation replacement **cannot be performed in place**. The structure must be **lifted** for safe demolition, soil preparation, and construction sequencing.

Once the structure is lifted, re-founded, or moved, it must comply with all current building and zoning standards under **IRC §R102.7** as adopted by Park City.

Modern Setback Compliance Triggered (See Exhibit B)

Because the structure must be lifted to replace the deteriorated foundation and install a sealed radon-resistant system, the building is treated as “moved” under IRC §R102.7 and LMC Chapter 15. The International Residential Code as adopted by Park City, IRC §R102.7 further provides that once a structure is lifted, re-founded, or otherwise “moved,” it must comply with all current building and zoning standards, including modern setback requirements. In other words, lifting extinguishes all nonconforming (grandfathered) setbacks.

As a result, the structure cannot be returned to its current nonconforming location once the foundation is replaced. The foundation replacement mandates relocation to a code-compliant position—which specifically, the proposed location, approximately nine feet west, will satisfy and relocate the building within the required setbacks (15’ front, 15’ rear, 5’ side).

This requirement exists independently of the hazardous-conditioning analysis and demonstrates that relocation is not only appropriate but legally unavoidable.

2.4. Non-Historic Deep Setback

The home on 1060 Woodside has a 24’ front set back. This is much deeper than the average homes along this streetscape that have an average of 13.2’ front setback. The current location of the home disrupts the consistent pattern of mining-era setbacks along Woodside Avenue. (See Exhibit C and Exhibit D)

2.5. Exterior Material Alterations

The presence of non-historic stucco and incompatible exterior materials will be corrected through surface-level restoration to restore appropriate mining-era material character using lap siding of a style and design in compliance with the historic era in this rehabilitation.

3. Proposed Preservation and Relocation Plan

3.1. Relocate the Full Structure Nine Feet West

The Landmark structure and its non-historic addition will be relocated as a single mass to a position that:

- Eliminates hazardous <6-foot clearance,
- Abates radon infiltration through foundation replacement,
- Meets modern setback requirements,
and
- Restores the historically appropriate streetscape relationship.

3.2. Retain Existing Massing

No massing changes are proposed to the historic part of the home. Preservation work is limited to materials and foundation improvements.

3.3. Restore Historically Appropriate Materials

Non-historic stucco will be removed and historically appropriate siding and trim restored. Typically homes in this neighborhood are wood siding.

3.4. Install a Modern, Sealed Foundation

Provides radon abatement, structural safety, and long-term preservation.

4. Compliance with LMC §15-11-13(A)

4.1. Structural Criteria (A)(1)

A structural engineer will certify safe relocation, as in past approved cases (1455 Woodside, 1002.5 Norfolk, 176 Main).

4.2. Hazard Abatement Requirement (A)(2)(b)

Two independent hazardous conditions exist:

- <6 ft building separation
- Radon intrusion through dirt-floor basement

Additionally, because foundation replacement requires lifting the structure and extinguishing its grandfathered setbacks under IRC §R102.7, it **cannot** be returned to its existing location. Relocation to a compliant position is mandatory once hazards are corrected.

Relocation enables correction of both hazards, while preserving both the Landmark structure and the existing non-historic addition.

4.3. Utah Advisory Opinion 104 (Interpreting §15-11-13)

Advisory Opinion 104 held that:

- Park City must apply §15-11-13 **according to its plain language**;
- No additional criteria beyond those in the ordinance may be imposed;
- Land-use ordinances must be **strictly construed in favor of the property owner**;
- HPB may not deny relocation based on hypothetical alternative mitigation methods or subjective preferences.

Applying AO 104 here:

- A hazardous condition is present (two independent hazards).
- Relocation enhances preservation.
- HPB cannot require alternative radon mitigation or side-yard solutions not specified in the ordinance.
- Relocation must be evaluated solely under §15-11-13(A)(2)(b), which is clearly satisfied.

5. Supporting Precedent

Multiple Park City cases confirm HPB consistently approves relocation where preservation and hazard abatement align.

:

- **1455 Woodside Avenue** — Relocation approved to restore historic context and preserve structure.
 - **1002.5 Norfolk Avenue** — Landmark structure moved for safety and structural reasons.
 - **Daly Avenue Garage** — Historic accessory structure relocated to resolve site hazards.
 - **1323 Woodside to 1353 Park** — Historic structure moved under the same ordinance, consistent with AO 104's interpretation.
-

6. Streetscape and Historic Integrity Benefits

Relocation will:

- Restore the historic setback pattern;
 - Reinforce Woodside Avenue's mining-era rhythm;
 - Place the Landmark in a contextually appropriate, historically documented relationship to the street;
 - Improve block-level coherence;
 - Enhance interpretability of the structure within its historic setting.
-

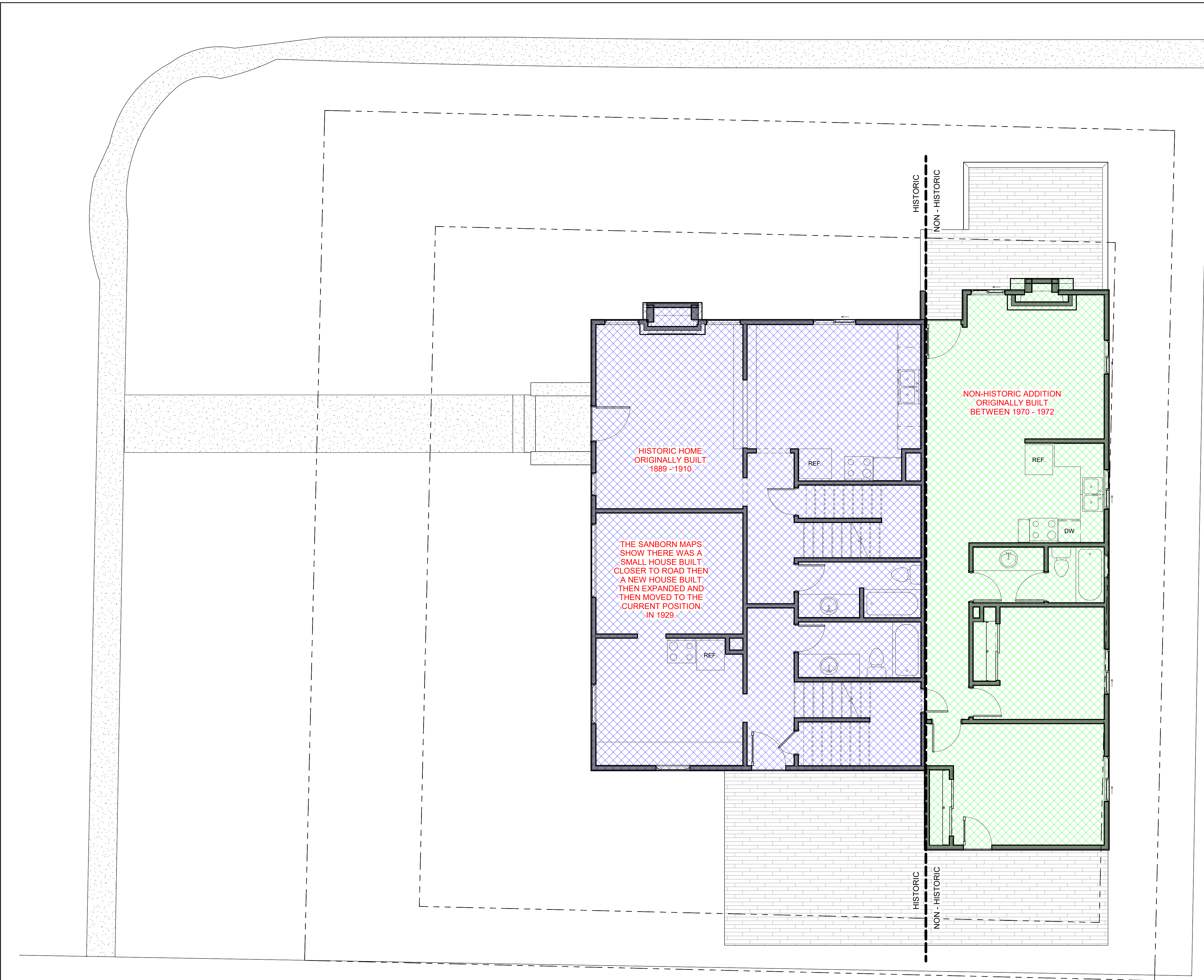
Conclusion

Relocating the Landmark structure at 1060 Woodside Avenue:

- **Directly satisfies the plain-language requirements of LMC §15-11-13(A)(2)(b)**
- **Abates two independent hazardous conditions** (fire separation and radon)
- **Enhances preservation through a new sealed foundation system**
- **Restores historically appropriate spatial context**
- **Preserves the Landmark and the existing addition**
- **Aligns with Advisory Opinion 104 obligations**
- **Fits squarely within Park City precedent**

Critically, because foundation replacement necessitates lifting the structure, the building **loses its grandfathered setback status** and **cannot** legally return to its current nonconforming location. The proposed nine-foot westward placement is not only appropriate—it is the only **code-compliant** location once hazards are corrected.

Approval is warranted and fully supported by law, code, precedent, and the City’s preservation objectives.



① Main Level - Historic Study
1/4" = 1'-0"

THE HOUSE DRAWINGS AND SPECIFICATIONS AND THE SEALS, LEGENDS, ARRANGEMENTS REPRESENTED THEREIN ARE AND SHALL REMAIN THE PROPERTY OF VAN SICKLE DESIGN & DRAFTING. NO PART OF THESE DRAWINGS OR SPECIFICATIONS SHALL BE REPRODUCED, COPIED, REPRODUCED, OR USED IN CONNECTION WITH ANY OTHER WORK OR PROJECT WITHOUT THE WRITTEN PERMISSION OF VAN SICKLE DESIGN & DRAFTING. ANY SUCH REPRODUCTION OR USE WITHOUT THE WRITTEN PERMISSION OF VAN SICKLE DESIGN & DRAFTING SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO VAN SICKLE DESIGN & DRAFTING. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

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Revision Schedule	
Revision Number	Revision Date

Davis Residence
SA SK4, Lots 17, 18, 19
1060 Woodside Ave
Park City, UT 84060

Historic -
Non-Historic
Study
SCALE:
1/4" = 1'-0"

DATE
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APPLIED TECHNICAL SERVICES

www.atslab.com

December 15, 2025

Park City Planning Commission

Re: 1060 Woodside Ave, Park City, Utah

To Whom It May Concern:

Our client, Bill Van Sickle, has engaged our team on the remodel/addition project at the above location. Due to the nature of the existing structure and the proposed construction, the existing home will need to be lifted, braced, and shored to complete the proposed construction. Additionally, the home will need to be shifted up to 9'-0" from its' original position and placed on a new foundation.

Having completed other work like this on homes of similar condition, ATS is confident that with proper engineering, inspection, bracing, excavation, and shoring (designed at a future date) the existing structure will be able to be lifted to construct the necessary elements below.

If we can assist you further in any way, please feel free to contact us at (801) 836-2320.

Sincerely,

Joel Whitmer, P.E.
Senior Engineer
Applied Technical Services

Davis Residence

SA BK4, Lots 17,18, 19
1060 Woodside Ave
Park City, Utah 84060

Sheet List				
Sheet Number	Sheet Name	Current Revision	Current Revision Description	Current Revision Date
A1.01	Cover Sheet			
A1.02	General Notes			
A1.03	Area Calculation Plan			
A1.04	Site & Grading Plan			
A1.05	Site Details			
A1.06	Landscape Plan			
A2.01a	Lower Level Plan - Moved			
A2.01b	Lower Level Plan - Same Spot			
A2.02	Main Level Plan - Existing			
A2.03a	Main Level Plan - Moved			
A2.03b	Main Level Plan - Same Spot			
A2.04	Upper Level Plan - Existing			
A2.05a	Upper Level Plan - Moved			
A2.05b	Upper Level Plan - Same Spot			
A2.08	Roof Plan - Existing			
A2.08a	Roof Plan - Moved			
A2.08b	Roof Plan - Same Spot			
A2.10	Schedules			
A3.01	Isometric Elevations			
A3.02	Exterior Elevations			
A3.03	Exterior Elevations			
A3.04	Exterior Elevations			
A3.05	Exterior Elevations			
A3.06	Exterior Elevations			
A3.07	Exterior Elevation			
A4.01	Building Sections			
A4.02	Building Sections			
A4.03	Building Sections			
A4.06	Typical Details			
A4.07	Code Compliance Details			
A5.01	Lower Level Ceiling Plan			
A5.02	Main Level Ceiling Plan			
A5.03	Upper Level Ceiling Plan			
A6.01	Interior Elevations			
A6.02	Interior Elevations			
E1.01	Lower Level Electrical Plan			
E1.02	Main Level Electrical Plan			
E1.03	Upper Level Electrical Plan			
M1.01	Gas Piping Diagram			
S1.01	Isometric Foundation			
S1.02	Foundation Plan			
S2.01	Isometric Framing			
S2.02	Main Level Framing			
S2.03	Upper Level Framing			
S2.04	Roof Framing			
S3.01	Lower Level Shearplan			
S3.02	Main Level Shearplan			
S3.03	Upper Level Shearplan			
SD1	Structural Details			
SD2	Structural Details			
SD3	Structural Details			
SGN	Structural General Notes			
SS	Structural Schedules and Notes			

ENERGY VALUE ANALYSIS	
ROOF	R-42
2x6 WALLS	R-24
2x4 WALLS	R-13
FOUNDATION @SLAB ON GRADE	R-13
FLOORS	R-19
WINDOWS	U.28
DOORS	U.28

CODE ANALYSIS	
CONSTRUCTION TYPE	VB
OCCUPANCY	R-3
2015 IBC (International Building Code)	
2015 IRC (International Residential Code)	
2015 IPC (International Plumbing Code)	
2015 IMC (International Mechanical Code)	
2015 IECC (International Energy Conservation Code)	
2014 NEC (National Electrical Code)	

Designed By Bill Van Sickle Van Sickle Design & Drafting 4383 Forestdale Road #205	Contruccion Documents Bill Van Sickle Van Sickle Design & Drafting	Structural	General Contractor
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COUNTY PLANNING NOTES:

- THE FOLLOWING TWO ITEMS ARE REQUIRED AFTER THE PERMIT HAS BEEN ISSUED, AFTER THE FOUNDATION HAS BEEN POURED AND PRIOR TO A SHEARWALL/4-WAY INSPECTION.
 - A CERTIFICATE OF SURVEY TO VERIFY THE AS-BUILT LOCATION.
 - CERTIFICATE OF ELEVATION: THE ELEVATIONS OF THE TOP OF FOUNDATION WALLS OF AT LEAST THE FOUR (4) MAJOR CORNERS OR ROOF RIDGES TO VERIFY THE HEIGHT.

COUNTY BUILDING NOTES:

- RETAINING WALLS OVER 4' TALL OR SUPPORTING SURCHARGE REQUIRE A SEPERATE PERMIT.
- SWIMMING POOLS, SPAS, SOLAR, GEO THERMAL HEATING SYSTEMS, PHOTO VOLTAIC, AND WIND GENERATED SYSTEMS REQUIRE A SEPERATE PERMIT.
- SEPERATE PLANS, SPECIFICATIONS AND APPLICATIONS ARE TO BE SUBMITTED AND REVIEWED FOR APPROVAL PRIOR TO ISSUE OF THESE PERMITS.

PLAN NOTES:

- RADON MITIGATION PLAN AF103.6 IN CRAWL SPACE OR UNDER SLAB ON GRADE PRESSURIZATION SYSTEM (PASSIVE) RADON PIPING IN CRAWL SPACE AT BOTTOM OF FOOTING LEVEL PLASTIC WITH 12" OVERLAP ON PLASTIC JOINTS. VERTICAL TERMINATION OF RADON PIPE THRU THE MECHANICAL ROOM THRU THE ROOF.
- ELECTRICAL OUTLET FOR IN-LINE POWER VENTED IN MECHANICAL ROOM
- THREE BLACKFLOW PREVENTERS WILL BE INSTALLED.
- R-1 RESIDENTIAL ZONE

THE ABOVE DRAWINGS AND SPECIFICATIONS ARE THE SOLE PROPERTY OF VAN SICKLE DESIGN & DRAFTING. ANY REVISIONS OR CHANGES TO THESE DRAWINGS SHALL BE MADE BY VAN SICKLE DESIGN & DRAFTING. ANY REVISIONS OR CHANGES TO THESE DRAWINGS SHALL BE MADE BY VAN SICKLE DESIGN & DRAFTING. ANY REVISIONS OR CHANGES TO THESE DRAWINGS SHALL BE MADE BY VAN SICKLE DESIGN & DRAFTING.

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SA SK4, Lots 17,18,19
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Cover Sheet

SCALE:
1/4" = 1'-0"

DATE
2/4/2026

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A. GENERAL

- ALL WORK IS TO BE PERFORMED IN COMPLIANCE WITH THE 2015 IRC AND ALL FEDERAL, STATE, AND LOCAL CODES. SECURE ALL REQUIRED PERMITS AND APPROVALS PRIOR TO ANY CONSTRUCTION. THE PROJECT MANAGER, SUPERINTENDENT, AND ALL SUBCONTRACTORS ARE TO EXAMINE AND VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS BOTH ON THE PLANS AND IN THE FIELD.
- NO WOOD SHALL BE CLOSE THAN 8" TO EARTH UNLESS SEPERATED BY CONCRETE AT LEAST 3" IN THICKNESS WITH IMPERVIOUS MEMBRANE INSTALLED BETWEEN EARTH AND CONCRETE. THIS INCLUDES DECKS AND SIDING
- TUBS AND SHOWERS WITH TILED AREAS REQUIRE A PORTLAND CEMENT APPLICATION FIBERED CEMENT OR GLASS MAT GYPSUM BACKER, GREEN BOARD NO LONGER REQUIRED. TYP.

B. EXCAVATION, BACKFILL AND GRADING

- ALL EXCAVATION FOR FOOTINGS SHALL BE TO NATURAL, UNDISTURBED SOIL.
- ALL FOOTINGS SHALL BE IN PLACE ON UNDISTURBED EARTH AND BELOW FROST LINE (40" MINIMUM)
- R401.3 FINISH GRADING SHALL BE DONE SO AS TO PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS. MIN OF 6" IN FIRST 10'-0".

C. WINDOWS & DOORS

- R303.1 HABITABLE ROOMS WITHIN A DWELLING UNIT SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED FENESTRATION WITH AN AREA NOT LESS THAN 8% OF THE FLOOR AREA OF SUCH ROOMS.
- R303.1 HABITABLE ROOMS WITHIN A DWELLING UNIT SHALL BE PROVIDED WITH NATURAL VENTILATION BY MEANS OF OPERABLE GLAZED FENESTRATION WITH AN AREA NOT LESS THAN 4% OF THE FLOOR AREA OF SUCH ROOMS.
- TOPS OF WINDOWS SHALL BE A MINIMUM OF 6'-8" ABOVE FINISHED FLOOR, UNLESS NOTED OTHERWISE. THE BOTTOM OF WINDOWS AT COUNTERTOPS SHALL BE 44" ABOVE FINISHED FLOOR.
- R310.2.1 MIN. CLEAR EGRESS OPENING OF 5.7 SQ FT HEIGHT OF 24" AND WIDTH OF 20"
- ALL FENESTRATION GLAZING WITHIN 24" OF EITHER SIDE OF EXTERIOR DOORS SHALL BE TEMPERED (SAFETY GLAZED).
- R310.2.2 ALL FENESTRATION GLAZING IN ROOMS USED FOR SLEEPING SHALL HAVE SILLS NO MORE THAN 44" ABOVE FINISHED FLOOR
- PROVIDE 9" FLASHING, COUNTER FLASHING AND APPROVED CAULKING AT ALL EXTERIOR GLAZED FENESTRATION. WINDOWS MUST BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
- TEMPERED GLASS SHALL BE USED IF LOCATED WITHIN 24" OF DOOR, PERPENDICULAR TO THE PLANE OF THE DOOR, LARGER THAN 9 SQ FT, BOTTOM IS LESS THAN 18" FROM THE FLOOR, LOCATED IN RAILING OR GUARDRAILS, WHERE BOTTOM EDGE IS LESS THAN 36" ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE

D. VENTILATION

- VENTILATION SHALL BE PROVIDED TO ALL CRAWL SPACES BY MEANS OF SCREENED VENTS PLACED SO AS TO PROVIDE CROSS VENTILATION.
- CRAWL SPACES MUST HAVE ONE SQUARE FOOT OF VENTILATION FOR EVERY 150 SQUARE FEET OF FLOOR AREA, WITH ONE VENT WITHIN 3 FEET OF EACH CORNER OF BUILDING.
- ATTICS TO BE VENTILATED ACCORDING TO THE REQUIREMENTS OF SECTION R806.2 OF THE 2015 IRC.

E. FIRE PROTECTION AND WARMING

- R302.6 PROVIDE ONE LAYER OF 5/8" TYPE "X" GYP BOARD ON ALL WALLS AND CEILING OF THE GARAGE COMMON TO LIVING AREAS, WALLS SUPPORTING UPPER FLOOR AND ANY EXPOSED BEAMS AND POSTS.
- R302.7 ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE THE WALL UNDER THE STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYP BOARD.
- R302.5.1 DOORS LEADING FROM GARAGE INTO LIVING AREA SHALL BE SOLID WOOD, SOLID OR HONEYCOMB CORE STEEL DOOR NOT LESS THAN 1 3/8" THICK OR HAVING A FIRE RATING PROTECTION OF NOT LESS THAN 20 MINUTES WHEN TESTED.
- R302.5.1 MUST HAVE TWO SELF CLOSING HINGES ON 20 MINUTE RATED DOORS
- SMOKE AND CARBON MONOXIDE DETECTORS ARE REQUIRED TO MEET LOCAL CODES. WIRE IN SERIES WITH BATTERY BACKUP ON DEDICATED BREAKER
- NO WOOD BURNING FIREPLACES ALLOWED EXCEPT IN PROMONTORY DEVELOPMENT.
- R302.11 IN COMBUSTIBLE CONSTRUCTION, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF BOTH VERTICAL AND HORIZONTAL CONCEALED DRAFT OPENINGS AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES AND BETWEEN A TOP STORY AND THE ROOF SPACE.

F. RAILINGS

- HANDRAILS ARE REQUIRED AT ALL STAIRWAYS HAVING FOUR OR MORE RISERS.
- PROVIDE 1 1/4" TO 2 5/8" HANDRAILS 34" TO 38" IN HEIGHT THAT RUN CONTINUOUS AND HAVE RETURNING ENDS TO WALL, NEWEL POST, OR SAFETY TERMINAL. OR 12" PAST LAST TREAD
- HANDRAILS DEEPER THAN 2 5/8" SHALL HAVE A FINGER GROOVE 3/4" x 1/4" DEEP ROUTED THE ENTIRE LENGTH OF AT LEAST ONE SIDE OF HANDRAIL.
- MINIMUM 36" HIGH GUARDRAILS ARE REQUIRED AT ALL LANDINGS, DECKS OR FLOOR LEVELS THAT ARE MORE THAN 30" OFFSET IN HEIGHT. R311.7.5.1

G. WINDOW WELLS

- WINDOW WELLS SERVING REQUIRED EGRESS WINDOWS SHALL HAVE DIMENSIONS IN KEEPING WITH THE MINIMUM REQUIRED FOR WINDOWS.
- R310.2.3 36" HORIZONTAL CLEARANCE FROM FOUNDATION TO FRONT OF WINDOW WELL
- R310.2.3.1 44" MAXIMUM DEPTH (OR PROVIDE STEPS OR LADDER RUNGS)
- R310.2.3.2 WINDOW WELLS SHALL HAVE DRAINAGE CONNECTED TO THE BUILDINGS FOUNDATION DRAIN.
- 36" VERTICAL CLEARANCE REQUIRED FROM ANY PROJECTION IN HORIZONTAL CLEARANCE AS STATED ABOVE (i.e. BAY WINDOWS OR CANTILEVERS)
- R310.4 GRATINGS OR GUARDRAILS PROTECTING WINDOW WELLS SHALL BE EASILY REMOVABLE OR BE DESIGNED SO AS NOT TO HINDER EGRESS.
- WINDOW WELLS SHALL HAVE A NET CLEAR OPENING OF 9 SQUARE FEET MINIMUM.

H. STAIRS

- R311.7.1 MIN WIDTH OF 36" WITH MAX HANDRAIL PROJECTION OF 4 1/2" ON EITHER SIDE OF THE STAIRWAY
- R311.7.2 MINIMUM HEADROOM = 6'-8" FINISH FROM NOSING LINE AND MINIMUM FINISH WIDTH = 36"
- R311.7.3 MAX RISE OF STAIRWAY BETWEEN LEVELS AND LANDINGS IS 14"
- R311.7.5.1 RISE = 7 3/4" AND MINIMUM TREAD DEPTH = 10" (11" TREAD REQUIRED IN THE ABSENCE OF NOSING.)
- EVERY STAIRWAY LANDING SHALL HAVE A DIMENSION MEASURED IN THE DIRECTION OF TRAVEL, AT LEAST EQUAL TO THE STAIRWAY WIDTH.
- A DOOR MAY OPEN AT THE TOP OF THE STEP OF AN INTERIOR FLIGHT OF STAIRS PROVIDED THE DOOR DOES NOT SWING OVER THE TOP STEP, AND PROVIDED THE TOP STEP IS NO MORE THAN 8" LOWER THAN FLOOR LEVEL.
- (3) 1 1/4" x 11 7/8" LVL / LSL STRINGERS REQUIRED AT ALL STAIRWAYS.
- R302.7 MIN OF 1/2" GYPSUM WALL BOARD ON ALL EXCESSIBLE WALLS AND UNDERSIDE OF STAIRS

I. WEATHER PROTECTION

- INSTALL (1) LAYER OF GRADE "D" (15LB) FELT UNDER ASPHALT ROOF SHINGLES.
- ANY ROOF PITCHES BETWEEN 2:12 AND 4:12 WILL RECEIVE A DOUBLE LAYER OF GRADE "D" (15LB) FELT UNDERLAYMENT
- INSTALL (1) LAYER OF GRADE "D" (15LB) FELT UNDER ALUMINUM SIDING.
- INSTALL (1) LAYER OF GRADE "D" (15LB) FELT UNDER BRICK VENEER.
- INSTALL (2) LAYERS OF GRADE "D" (15LB) FELT UNDER EXTERIOR INSULATING FINISH SYSTEMS (EFIS / STUCCO). OVERLAP ALL SEAMS
- INSTALL (1) LAYERS OF NO. 40 COATED ROOFING OR COATED GLASS BASE FROM THE ROOF EAVES TO A LINE 24" INSIDE THE EXTERIOR WALL LINE WITH ALL LAPS CEMENTED TOGETHER
- INSTALL (1) LAYER OF NO. 40 COATED ROOFING OR COATED GLASS BASE AT ALL ROOF VALLEY CONDITIONS.
- PROVIDE METAL FLASHING OR EQUAL AT ALL FOUNDATIONS, (OR BRICK AND EFIS TRANSITIONS) WHERE WATER FROM WEATHER BARRIER COULD HAVE ENTERED DWELLING.
- PROVIDE METAL FLASHING OR 15LB FELT BETWEEN WOOD SHEATHING AND CONCRETE PORCHES, LANDINGS, STEPS, AND STAIRS.
- PROVIDE 9" FLASHING, COUNTER FLASHING, AND APPROVED CAULKING AT ALL EXTERIOR WINDOWS AND DOORS. WINDOWS AND DOORS MUST BE INSTALLED AS PER MANUFACTURER.

J. PLUMBING

- ALL WORK TO BE IN ACCORDANCE WITH THE 2015 IRC
- WATER HEATERS SHALL BE STRAPPED AT THE UPPER ONE THIRD AND LOWER ONE THIRD, WITH THE LOWER STRAP NOT CLOSER THAN 4" ABOVE ANY CONTROLS TO WALLS WITHIN 12"
- TOILETS SHALL BE 1.6 GALLON FLUSH TYPE. SHOWER HEADS SHALL BE 2.5 GPM TYPE.
- PROVIDE PRESSURE REGULATOR AND SHUT OFF VALVE.
- INTERIOR WASTE AND VENT LINES SHALL BE ABS.
- FREEZLESS BACKFLOW PREVENTION HOSE BIBS WITH INTERIOR LOCATED ACCESSIBLE SHUT OFF VALVES REQUIRED.
- PLUMBING VENTS SHALL BE AT LEAST 6' ABOVE OR 10' AWAY FROM ALL OUTSIDE AIR INTAKE OPENINGS.
- NO SLIP JOINT PLUMBING CONNECTIONS ALLOWED IN CONCEALED AREAS.
- INDIVIDUALLY INSULATE ALL PLUMBING, WATER, AND DRAIN LINES IN AREAS SUBJECT TO FREEZING.
- INSTALL EXPANSION TANK FOR WATER HEATER. INSULATE HOT WATER LINES IN UNFINISHED AREAS WITH 1/2" FOAM. HEAT / CHECK VALVES REQUIRED AT WATER HEATER INLET AND OUTLET.
- PROVIDE ANTI SCALD VALVES ON ALL SHOWER AND TUB INSTALLATIONS.
- BATHROOMS DIVIDED INTO SEPERATE WATER FIXTURE AREAS REQUIRE INDIVIDUAL VENTING FOR EACH AREA.
- ALL VENTING THROUGH ROOF SHALL BE A MIN OF 3" DIA PIPE.
- MIN BATHROOM CLEARANCES FOR FIXTURES AS PER IRC 2015 R307.1

K. MASONRY

- MASONRY VENEER ABOVE OPENINGS SHALL BE SUPPORTED PER 2015 IRC.
- FLASHING SHALL BE LOCATED BENEATH THE FIRST COARSE OF MASONRY ABOVE FINISHED GRADE LEVEL ABOVE THE FOUNDATION WALL AND AT ALL OTHER POINTS OF SUPPORT.
- WEEP HOLES SHALL BE PROVIDED IN THE OUTSIDE WYTHE OF MASONRY WALLS AT A MAXIMUM SPACING OF 33" O.C. WEEP HOLES SHALL NOT BE LESS THAN 3/16" DIAMETER. WEEP HOLES SHALL BE LOCATED IMMEDIATELY ABOVE THE FLASHING.

L. MECHANICAL

- ALL WORK TO BE IN COMPLIANCE WITH 2015 IRC & IFGC
- MAXIMUM LENGTH OF DRYER EXHAUST DUCT SHALL BE 25'. MAXIMUM LENGTH SHALL BE REDUCE 2.5' FOR EACH 45 DEGREE BEND AND 5' FOR EACH 90 DEGREE BEND.
- REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION OF ALL MECHANICAL FIXTURES.
- DESIGN SHALL BE CONSIDERED UNUSUALLY TIGHT CONSTRUCTION IN ALL COMBUSTION AIR TO ROOMS OR SPACES CONTAINING FUEL BURNING APPLIANCES SHALL BE OBTAINED FROM THE OUTDOORS OR FROM SPACES FREELY COMMUNICATING WITH THE OUTDOORS.
- VENTS SHALL TERMINATE NOT LESS THAN 4' BELOW OR 4' HORIZONTALLY AND AT LEAST 1' ABOVE A DOOR, OPERABLE WINDOW, OR A GRAVITY AIR INLET INTO A BUILDING.
- FLUE VENTS AND EXHAUST FAN VENTS SHALL BE NOT LESS THAN 3' FROM AN OUTSIDE AIR INLET LOCATED WITHIN 10' AND AT LEAST 4' FROM A PROPERTY LINE.
- NO CLOTH TYPE DUCT TAPE ALLOWED. METAL OR FOIL TAPE MUST BE USED.
- ALL JOINTS TRANSVERSE AND LONGITUDINAL SEAMS AND CONNECTIONS MUST BE PROPERLY SEALED WITH TAPE OR MASTIC.
- GAS LINES SHALL NOT PASS THROUGH OR PENETRATE ANY DUCT OR PLENUM.
- A GAS LINE SEDIMENT TRAP SHALL BE INSTALLED DOWN STREAM OF THE EQUIPMENT (FURNACE AND WATER HEATER) SHUT OFF VALVE AS CLOSE TO THE INLET OF THE EQUIPMENT AS PRACTICAL.
- ALL GAS LINE PIPING MATERIAL SHALL BE STEEL OR WROUGHT IRON (SCHEDULE 40 MINIMUM) AND SHALL BE ASME COMPLIANT.
- SOFT WATER TO BE PROVIDED TO ALL FIXTURES EXCEPT KITCHEN SINK COLD AND EXTERIOR HOSE BIBS
- GAS PIPING SHALL NOT BE INSTALLED IN OR THROUGH A DUCTED SUPPLY, RETURN, EXHAUST, CLOTHES CHUTE, CHIMNEY, DUMB WAITER OR ELEVATOR SHAFT
- GAS PIPING SHALL NOT PENETRATE BUILDING FOUNDATION WALLS AT ANY POINT BELOW GRADE.
- GAS PIPING INSTALLED UNDERGROUND BENEATH BUILDINGS IS PROHIBITED EXCEPT WHERE THE PIPING IS ENCASED IN A CONDUIT. SUCH CONDUIT SHALL EXTEND NOT LESS THAN 4" OUTSIDE THE BUILDING, SHALL BE VENTED ABOVE GRADE TO THE EXTERIOR.
- AIR LEAKAGE AS AMENDED TO COMPLY WITH N102.4.1.2 (BLOWER DOOR TEST)
- DUCT TESTING WILL BE REQUIRED WHERE AIR HANDLERS OR MORE THAN 25% OF THE DUCT WORK IS OUTSIDE THE THERMAL ENVELOPE.

M. STRUCTURAL

- MIN OF 3000 PSI CONCRETE IS TO BE USED ON THIS JOB.
- ALL DIMENSIONS ON FLOOR PLANS ARE TO ROUGH FRAMING. 2x4 WALLS CALCULATED TO BE 3 1/2" WIDE. 2X6 WALLS CALCULATED TO BE 5 1/2" WIDE.
- BUILT UP BEAMS OF 2x MEMBERS SHALL BE SPIKED TOGETHER WITH NOT LESS THAN 16d NAILS AT 16" O.C. ON ALL EDGES. ALTERNATE WITH BOTH SIDES
- ALL STRUCTURAL SHEATHING SHALL BE APA RATED AND SHALL NOT EXCEED MAXIMUM SPAN RATING. FLOOR SHEATHING SHALL BE T & G GAP WAFER BOARD SHEATHING. GLUED AND SCREWED TO TOP FLANGE OF JOIST
- TRUSSES SHALL BE ENGINEERED AND CONSTRUCTED BY MANUFACTURER AND GUARANTEED TO WITHSTAND LOADS AS REQUIRED BY LOCAL CODES. PROVIDE CALCULATION AT TIME OF TRUSS SUBMITTAL.
- ALL BI-PASS DOORS SHALL BE FRAMED 1" SMALLER IN WIDTH THAN THE DOOR. EXAMPLE: A 4'-0" SLIDER SHALL HAVE A 47" R.O. FURTHER MORE BI-FOLD DOORS SHALL BE FRAMED D1 WIDER THAN DOOR AND 82" IN HEIGHT. (VERSES 83" IN HEIGHT FOR A BI-PASS DOOR)
- ALL BEARING AND NON BEARING FRAMING SHALL BE AT 16" O.C. U.N.O.
- FRAMING TO INCLUDE ALL FUR DOWNS, PLANT SHELVES, AND CEILING JOINTS AS PER PLAN.
- INSTALL 3 STUDS AT CORNERS FOR NAILING
- WHERE NOT NOTED OTHERWISE CONNECT ALL WOOD TO CONCRETE, WOOD TO STEEL, AND WOOD TO WOOD, EXCEPT STUD TO PLATE OR TJI TO PLATE WITH METAL CONNECTORS WITH SIMPSON TIE OR EQUAL.
- ALL MULTIPLE PLATES AND LEDGERS SHALL BE NAILED TOGETHER WITH 16d NAILS AT 8" O.C. NO MORE THAN TWO SILL PLATES CONNECTED TO THE FOUNDATION WITH "J" BOLTS THROUGH BOTH MEMBERS ARE ALLOWED WITHOUT ENGINEERING. MULTIPLE MEMBER LEDGERS ARE NOT ALLOWED WITHOUT ENGINEERING SHOWING THE FASTENING IS ADEQUATE.
- BLOCK ALL HORIZONTAL EDGES OF PLYWOOD WALL SHEATHING WITH 2" NOMINAL BLOCKING. BLOCK ALL EDGES OF PLYWOOD ON FLOORS AND ROOFS AS DETAILED.
- ALL LEDGER BOLTS SHALL HAVE PLATE WASHERS WITH A MIN DIAMETER EQUAL TO 3 TIMES THE BOLT DIAMETER UNLESS SHOWN OTHERWISE IN DETAILS.
- MINIMUM NAILING SHALL BE AS PER TABLE 602.3(1) OF THE 2015 IRC.
- FASTENERS SUCH AS STAPLES CAN ONLY BE SUBBED FOR NAILS AT A RATE EQUAL TO LOAD VALUES PROVIDED BY ICBO APPROVAL. HOWEVER ALL FLOOR SHEATHING MUST BE FASTENED WITH CONTINUOUS GLUE BEAD AND RING SHANK NAILS (NO SUBSTITUTION PERMITTED)
- PROVIDE HOLD DOWNS AT SHEAR WALLS AS INDICATED ON THE STRUCTURAL PLANS.
- WOOD BEAMS CONSISTING OF TWO OR MORE PIECES SHALL HAVE THE PIECES SECURELY BOLTED OR NAILED TOGETHER TO PREVENT SEPARATION AND INSURE MUTUAL LOAD SHARING. EACH INTERCONNECTED PIECE SHALL BE CONTINUOUS BETWEEN SUPPORTS, AND SUPPORTS SHALL HAVE THE SAME WIDTH AS THE COMPOSITE BEAM.
- SHELVES IN WALK IN CLOSETS TO BE 16" IN DEPTH. SHELVES IN OTHER CLOSETS TO BE 12". IN CLOSETS WITH DOUBLE SHELVES, UPPER SHELF TO BE AT 84" AND LOWER SHELF TO BE AT 42". IN CLOSETS WITH SINGLE SHELVES, SHELF SHALL BE SET AT 72" ABOVE FINISHED FLOOR.
- STUD WALLS OVER 10' HEIGHT SHALL BE FIRE BLOCKED PER SECTION 602.8 OF THE 2015 IRC
- ALL WOOD IN CONTACT WITH CONCRETE OR WITHIN 6" OF FINISHED GRADE SHALL BE PRESSURE TREATED OR REDWOOD, OR ANY EXPOSED WOOD WITH BE PRESSURE TREATED OR WEATHER RESISTIVE TREATED TYPICAL.

N. ELECTRICAL

- ALL ELECTRICAL WORK SHALL COMPLY TO 2015 IRC AND 2017 NEC
- R315.2.1 CARBON MONOXIDE DETECTORS SHALL BE SUPPLIED IN ROOMS WHERE THERE ARE FUEL FIRED APPLIANCES AND AT ROOMS WITH DIRECT CONNECTIONS WITH GARAGE
- R315.3 CARBON MONOXIDE DETECTORS SHALL BE INSTALLED OUTSIDE A SLEEPING AREA IN THE IMMEDIATE VICINITY.
- R315.4 CARBON MONOXIDE / SMOKE DETECTOR COMBINATIONS SHALL BE ALLOWED IN LUE OF SMOKE DETECTORS
- R315.5 CARBON MONOXIDE DETECTORS SHALL BE HARD WIRED AND HAVE A BATTERY BACK UP
- SMOKE DETECTORS SHALL BE INSTALLED IN SLEEPING ROOMS WITHOUT A FUEL FIRED APPLIANCE.
- SMOKE DETECTORS SHALL BE HARD WIRED AND HAVE A BATTERY BACK UP.
- BATHROOM RECEPTACLE OUTLETS SHALL BE SUPPLIED BY DEDICATED 20 AMP BRANCH CIRCUIT WITH NO OTHER OUTLETS.
- INCANDESCENT CLOSET LIGHTING SHALL BE 18 MINIMUM FROM COMBUSTIBLES MEASURE HORIZONTALLY. 6" HORIZONTALLY IS PERMITTED FOR FLUSH FIXTURES AND FLORESCENT FIXTURES.
- GROUND FAULT CIRCUIT PROTECTION REQUIRED FOR ALL 110V, SINGLE PHASE 15 AND 20 AMP RECEPTALS IN BATHROOMS, GARAGES AND OUTDOORS WHERE THERE IS A DIRECT GRADE LEVEL ACCESS TO DWELLINGS AND POWER POLES. GFIC OLSO REQUIRED FOR ALL COUNTER TOP LEVEL KITCHEN RECEPTALS. GARAGE OUTLETS MUST BE A MIN OF 18" ABOVE FLOOR.
- ALL INCANDESCENT LIGHTING FIXTURES RECESSED INTO INSULATED AREAS SHALL BE APPROVED FOR ZERO CLEARANCE INSULATION COVER (I.C.) PER THE 2015 MANDATORY ENERGY REQUIREMENTS.
- CONDUIT FOR METER BASED SERVICE ENTRANCE SHALL BE ANCHORED TO FOUNDATION WITH UNISTRUT AND CONDUIT CLAMPS (POWDER ACTUATED FASTENERS ARE NOT PERMITTED)
- OUTLETS SHALL BE SPACE ACCORDING TO PREVAILING CODES AS A MINIMUM REQUIREMENT. ACTUAL OUTLET LOCATION MAY VARY FROM PLAN.
- METALLIC WATER SERVICE OR A CONCRETE ENCASED ELECTRODE (UFER GROUND) AVAILABLE FOR USE AS A GROUNDING ELECTRODE FOR THE HOUSE WHICH MEETS THE REQUIREMENTS OF THE 2015 IRC SHALL BE REQUIRED. UFERGROUND SHALL BE REQUIRED WHEN SOIL CONDITIONS AND GROUND WATER CONTENT DO NOT PROVIDE ADEQUATE GROUNDING RESISTANCE (VERIFY UFER REQUIREMENT WITH LOCAL CODES AND ORDINANCES).
- PLASTIC ELECTRICAL BOXES IN GARAGE FIRE WALLS TO BE 2HR LISTED.
- ALL BEDROOM CIRCUITS SHALL BE ARC FAULT PROTECTED (AFCI)
- INCLUDE ONE CARBON MONOXIDE DETECTOR PER LEVEL WIRE IN SERIES WITH SMOKE ALARMS AND PROVIDE A BATTERY BACK-UP
- LOCATE EXTERIOR 110V SERVICE OUTLET WITHIN 25' OF AC UNIT.

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Revision Schedule	
Revision Number	Revision Date

Davis Residence
SA SK4, Lots 17, 18, 19
1060 Woodside Ave
Park City, UT 84060

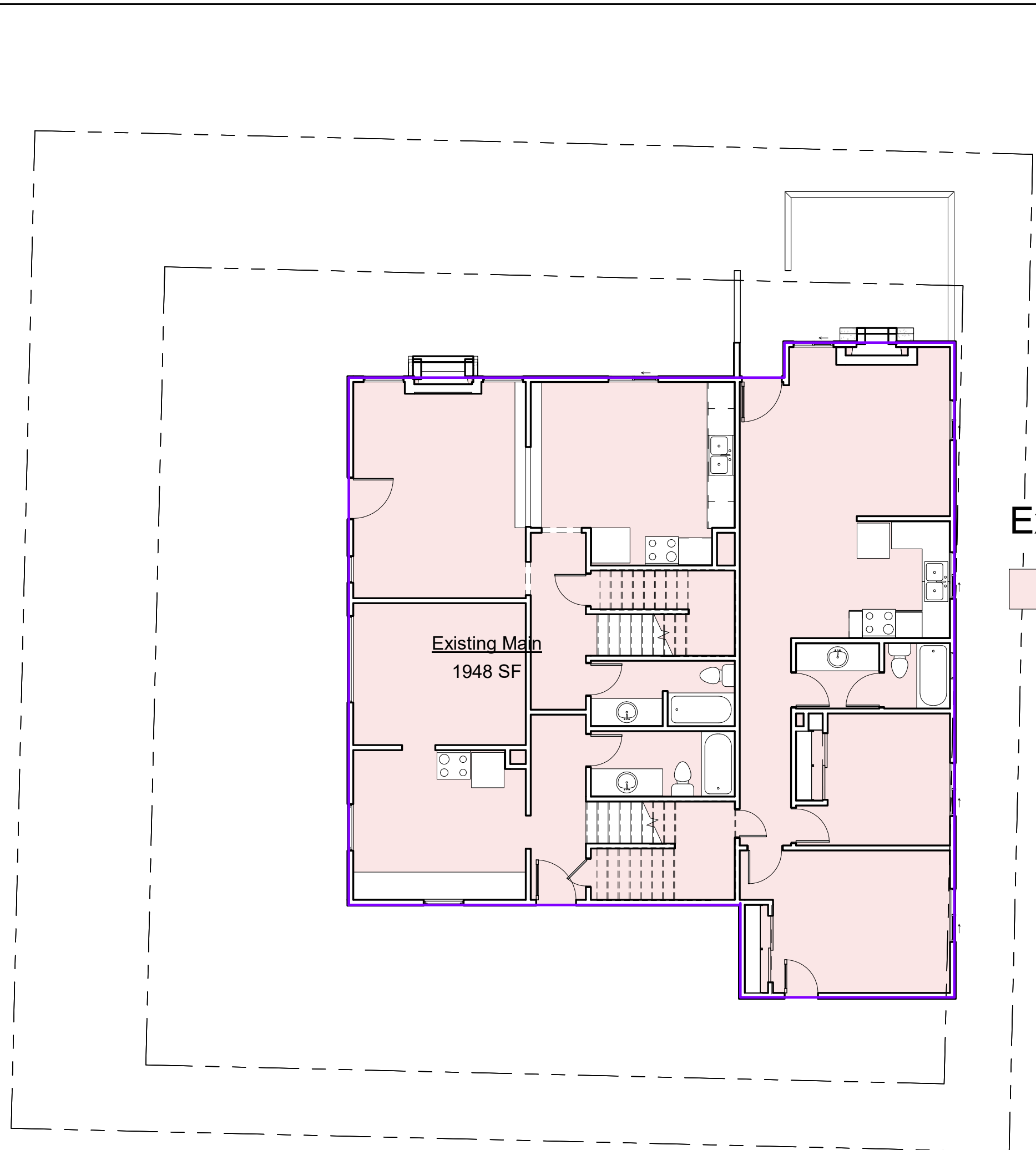
General Notes
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DATE
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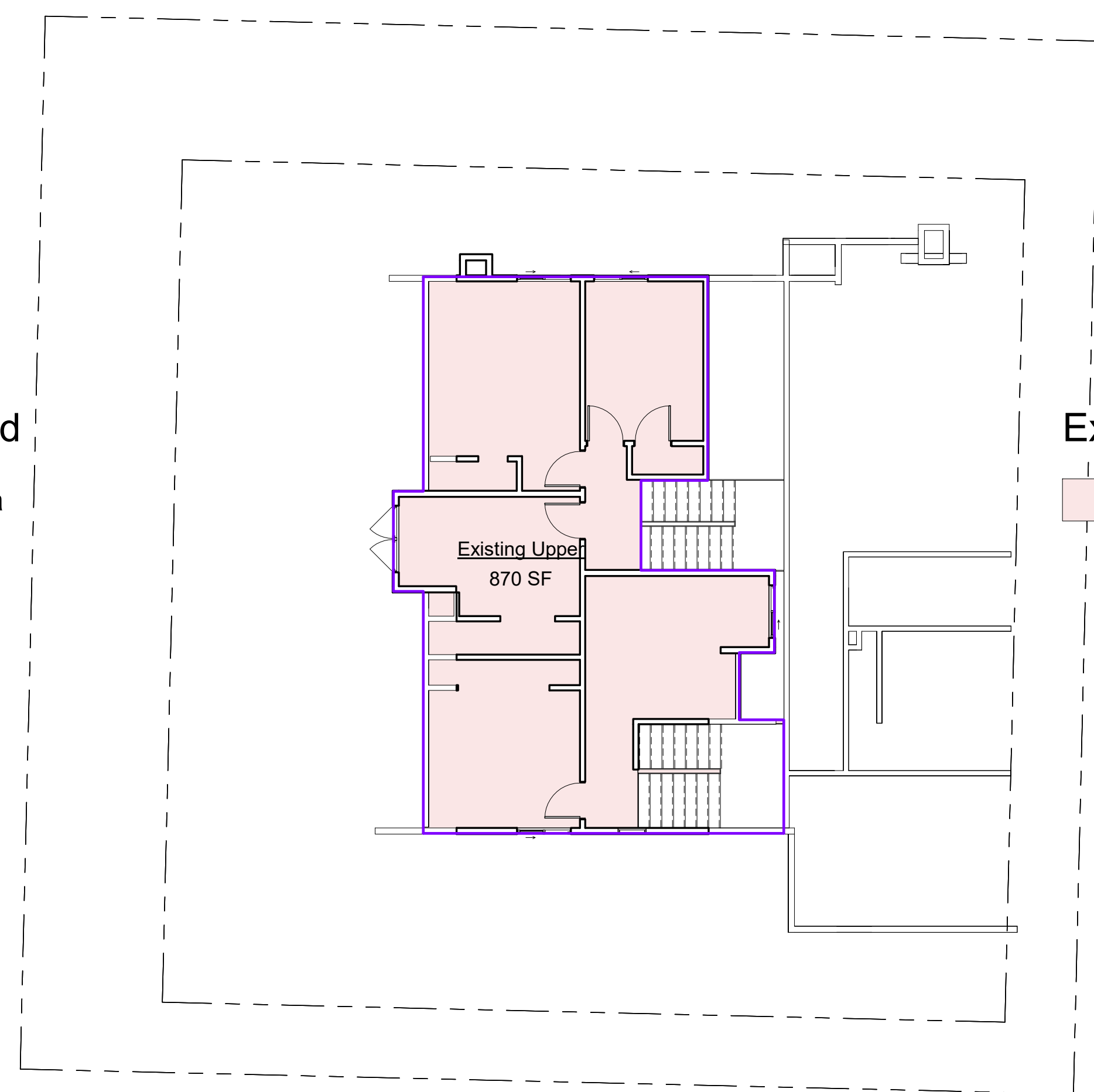
ABBREVIATION LEGEND					
#	NUMBER	CABINET	PNTD	PAINTED	
@	AT	F.F.	PROT	PROTECTION	
¢	CENTER LINE	FIN.	PSF	POUNDS PER SQUARE FOOT	
∅	DIAMETER	FT.		FOOTING	PSI
±	ANGLE	FTG.		GAUGE	QTY
±	PLUS OR MINUS	GA.		GALVANIZE	RAD
A.B.	ANCHOR BOLT	GALV.		GND.	REINFC
ABV.	ABOVE	GND.		GYP. BD	REINFC
A/C	AIR CONDITIONING	BOARD		REQUIRED	RM
ADJ.	ADJACENT	HDW.		HARDWARE	R.O.
A.F.F.	ABOVE FINISH FLOOR	HORIZ.		HORIZONTAL	SCHED
ALUM.	ALUMINUM	HR.		HEIGHT	SHWR
APPROX.	APPROXIMATE	HT		HEATING VENTILATING	SHT
A.S.T.M.	AMERICAN SOCIETY FOR TESTING MATERIALS	HVAC		AIR CONDITIONING	SIM
BD.	BOARD	HYD		HYDRANT	SPEC
BITUM.	BITUMINOUS	HYD		INSIDE DIAMETER	STD
BLDG.	BUILDING	I.D.		INSIDE FACE	STIFF
B.M.	BENCH MARK	I.F.		INCHES	STR
B.O.	BOTTOM OF	IN		INFORMATION	SUPER
BOT.	BOTTOM	INFO		INSULATION	SUSP
B.P.	BASE PLATE	INSUL		INTERIOR	THRU
BRG.	BEARING	INT		LAVATORY	TOA
BTWN.	BETWEEN	LAV		MAINTENANCE	TOF
CLG.	CEILING	MANUF		MANUFACTURER	TOF
CLR.	CLEAR	MAX.		MAXIMUM	TOW
CMU.	CONCRETE MASONRY UNIT	MAT		MATERIAL	TOS
COL.	COLUMN	MECH		MECHANICAL	TBC
CONC.	CONCRETE	MFR		MANUFACTURERE	TYP.
CONT.	CONTINUOUS	MIN		MINIMUM	U.N.O.
CONST.	CONSTRUCTION	MISC		MISCELLANEOUS	
COORD.	COORDINATE	M.O.		MASONRY OPENING	VERT
C.T.J.	CONTRACTION JOINT	MTL		METAL	w/o
DBL.	DOUBLE	NIC		NOT IN CONTRACT	w/o
DEPT.	DEPARTMENT	NTS		NOT TO SCALE	w/d
DETL.	DETAIL	O.C.		ON CENTER	w/d
DIA.	DIAMETER	O.D.		OUTSIDE DIAMETER	WWF
DTL.	DETAIL	O.F.		OUTSIDE FACE	
DWGS.	DRAWINGS	O.H.		OVER HEAD	
EA.	EACH FACE	OHD		OVER HEAD DOOR	
EJ.	EXPANSION JOINT	OPP.		OPPOSITE	
ELEV.	ELEVATION	PART		PARTITION	
EQ.	EQUAL	PCF		POUNDS PER CUBIC FOOT	
E.S.	EACH SIDE	PERP		PERPENDICULAR	
E.W.	EACH WAY	PLATE		PLATE	
EXIST.	EXISTING	PL		POUNDS PER LINEAR FOOT	
EXP.	EXPANSION	PNTD		PAINTED	
EXT.	EXTERIOR	PROT		PROTECTION	
F.D.	FLOOR DRAIN	PSF		POUNDS PER SQUARE FOOT	
FND.	FOUNDATION	PSI		POUNDS PER SQUARE INCH	
F.E.	FIRE EXTINGUISHER	QTY		QUANTITY	
F.E.C.	FIRE EXTINGUISHER				

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Existing Area Legend
 Building Common Area

④ Main Level
 1/8" = 1'-0"



Existing Area Legend
 Building Common Area

⑤ Upper Level
 1/8" = 1'-0"

Square Footage - Living		
Number	Name	Area
A1	Upper Level	597 SF
A2	Guest Master	488 SF
A3	Main Level	1773 SF
A4	Lower Living	1562 SF
		4420 SF

Square Footage - Non Living		
Number	Name	Area
B1	Garage	377 SF
B2	Mech.	42 SF
		419 SF

Square Footage - Exterior		
Number	Name	Area
C1	Main Deck	481 SF
C2	Porch	100 SF
		581 SF

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Revision Schedule	
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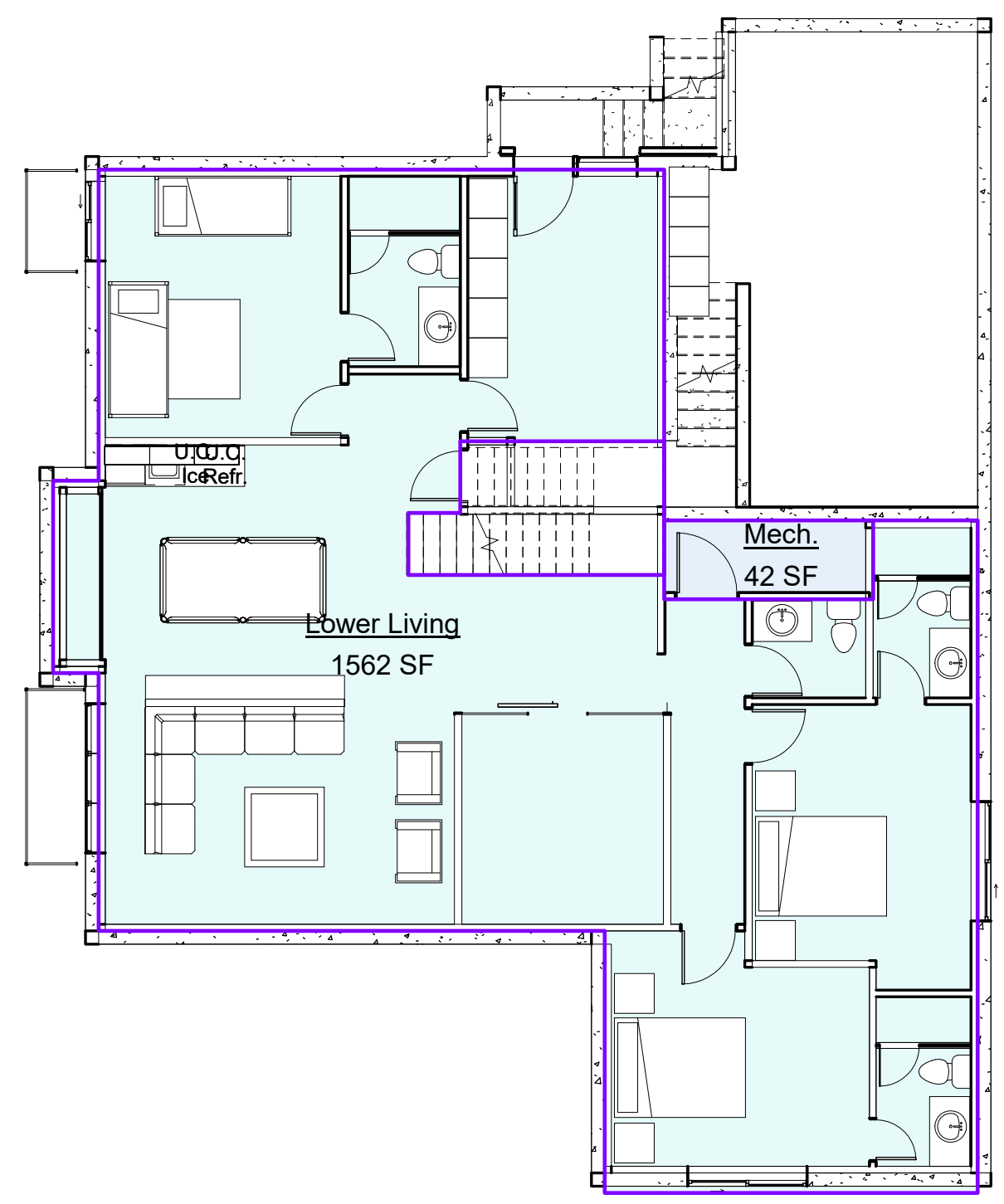
Davis Residence
 SA SK4, Lots 17, 18, 19
 1060 Woodside Ave
 Park City, UT 84060

Area Calculation Plan
 SCALE:
 1/8" = 1'-0"

DATE
 2/4/2026

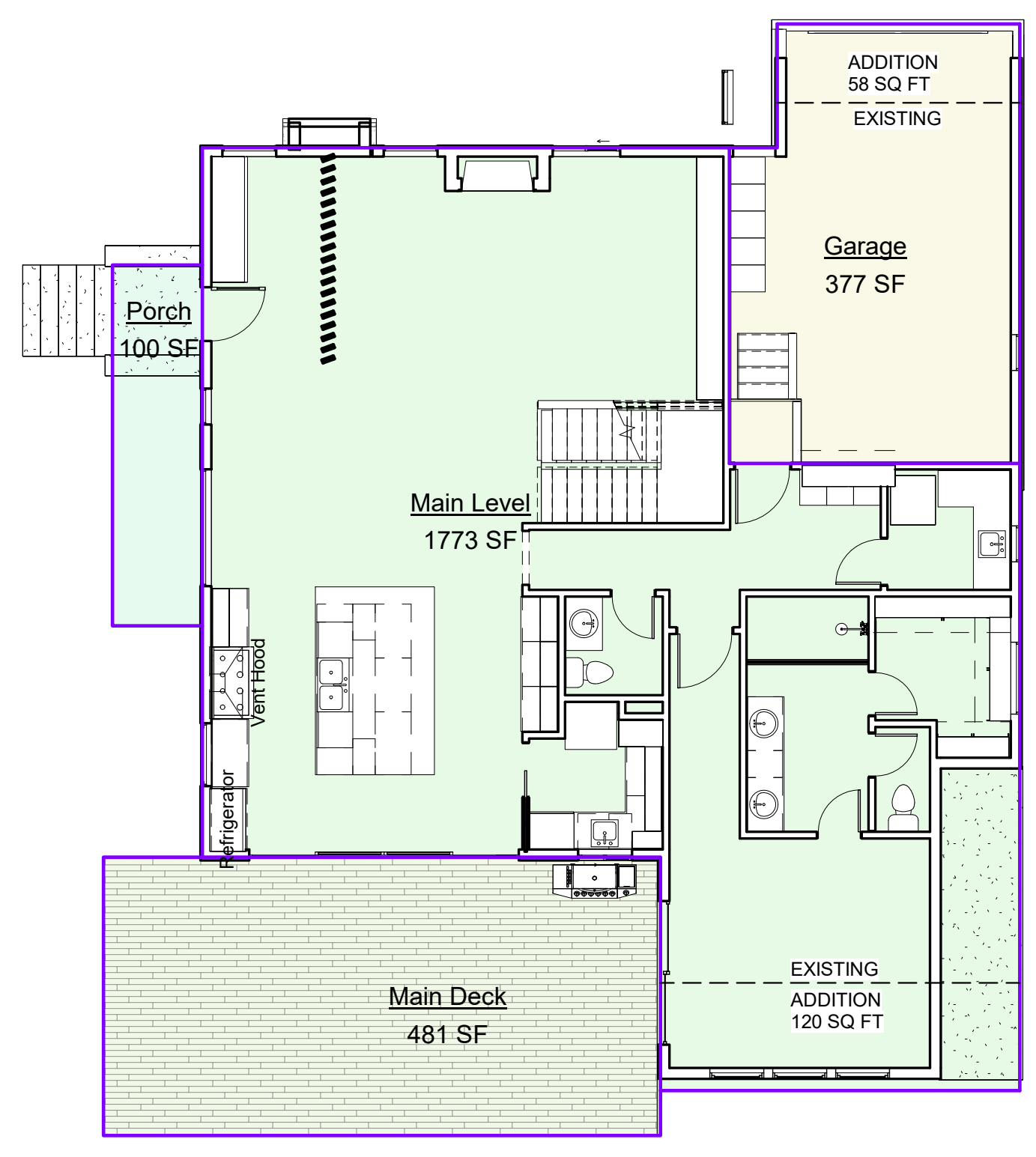
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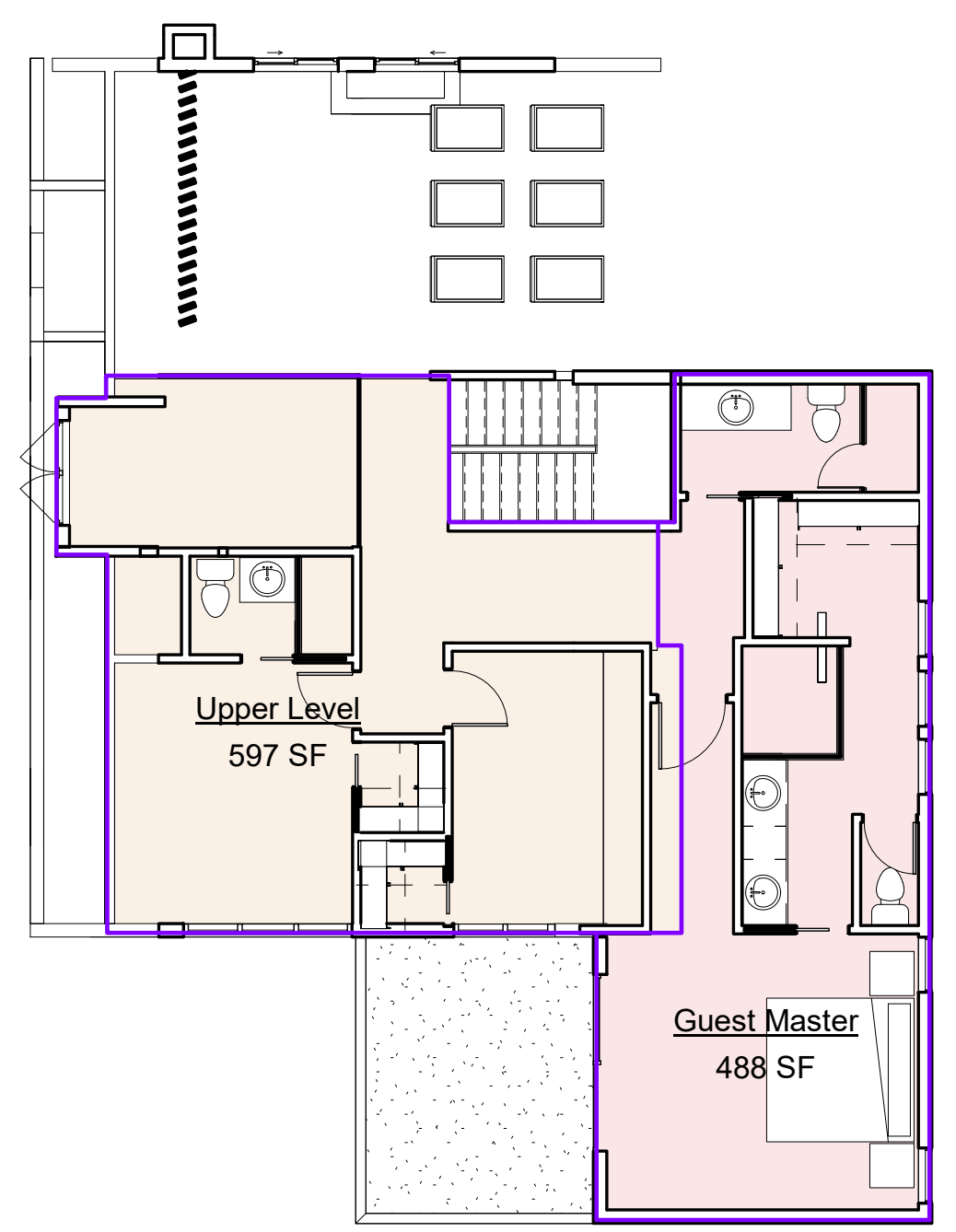
Building Area Legend
 Lower Living
 Mech.

① Lower Level
 1/8" = 1'-0"



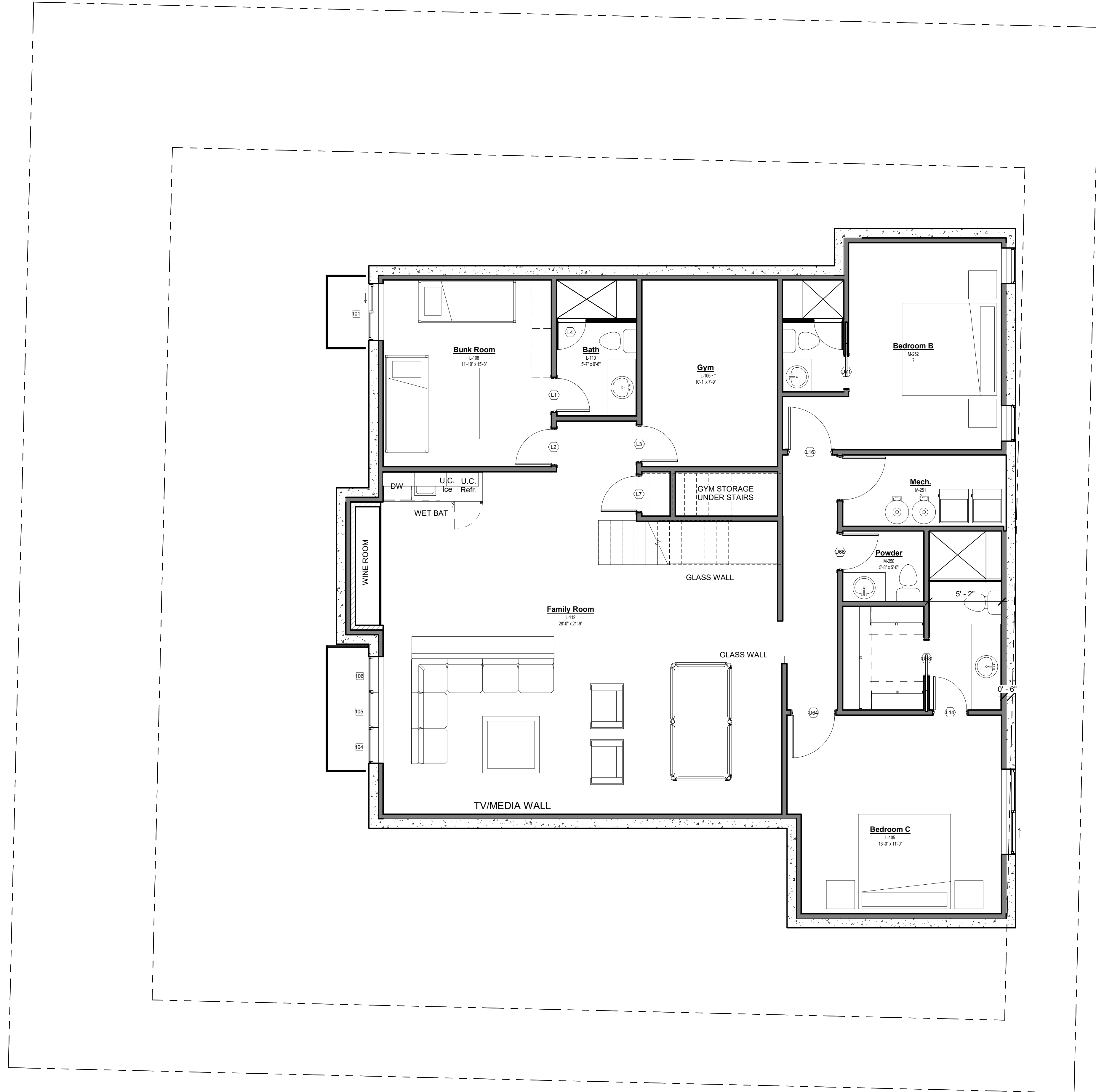
Building Area Legend
 Garage
 Main Deck
 Main Level
 Porch

② Main Level
 1/8" = 1'-0"



Building Area Legend
 Guest Master
 Upper Level

③ Upper Level
 1/8" = 1'-0"



1 Lower Level - Opt D
1/4" = 1'-0"

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WRITTEN INDICATIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER ALL OTHERS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE SHALL NOT BE RESPONSIBLE FOR ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. ALL SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL PRIOR TO PROCEEDING WITH ANY WORK.

BY BUILDING THESE PLANS THE CONTRACTOR UNDERSTANDS THAT THESE PLANS ARE FOR INFORMATION ONLY AND NOT FOR CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY VARIATIONS OR ERRORS AND WILL NOTIFY THIS OFFICE OF ANY SUCH VARIATIONS OR ERRORS.

BY ACCEPTING THESE PLANS THE CONTRACTOR OR SERVICES SHOWN IN THESE DRAWINGS SHALL BE RESPONSIBLE FOR THE USER'S USE OF THESE PLANS AND ALL PRESENT AND FUTURE PERSONS OR PARTIES DIRECTLY OR INDIRECTLY AFFECTED BY THE USER'S USE OF THESE PLANS. THE USER AND EMPLOYEES AND PRINCIPALS TO THE USER OF THE ORIGINAL USER SHALL BE RESPONSIBLE FOR THE USER'S USE OF THESE PLANS.

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Revision Schedule	
Revision Number	Revision Date

Davis Residence
SA SK4, Lots 17, 18, 19
1060 Woodside Ave
Park City, UT 84060

Lower Level
Plan - Same Spot
SCALE:
1/4" = 1'-0"

DATE
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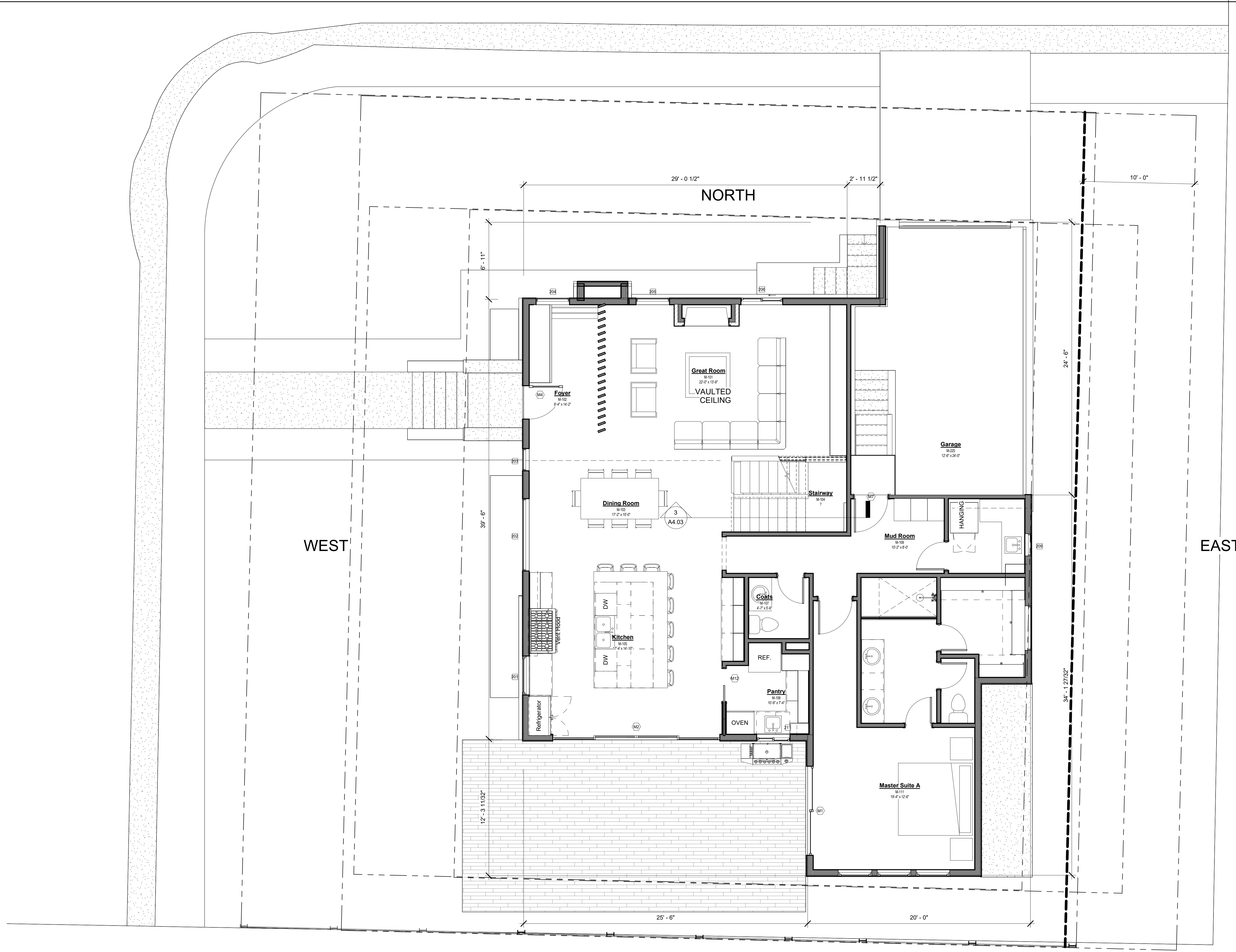
Davis Residence
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 1060 Woodside Ave
 Park City, UT 84060

Main Level Plan
 - Moved
 SCALE:
 1/4" = 1'-0"

DATE
 2/4/2026

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1 Main Level - Opt A
 1/4" = 1'-0"

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Revision Schedule	
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Davis Residence
 SA SK4, Lots 17, 18, 19
 1060 Woodside Ave
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Main Level Plan
 - Same Spot
 SCALE:
 1/4" = 1'-0"

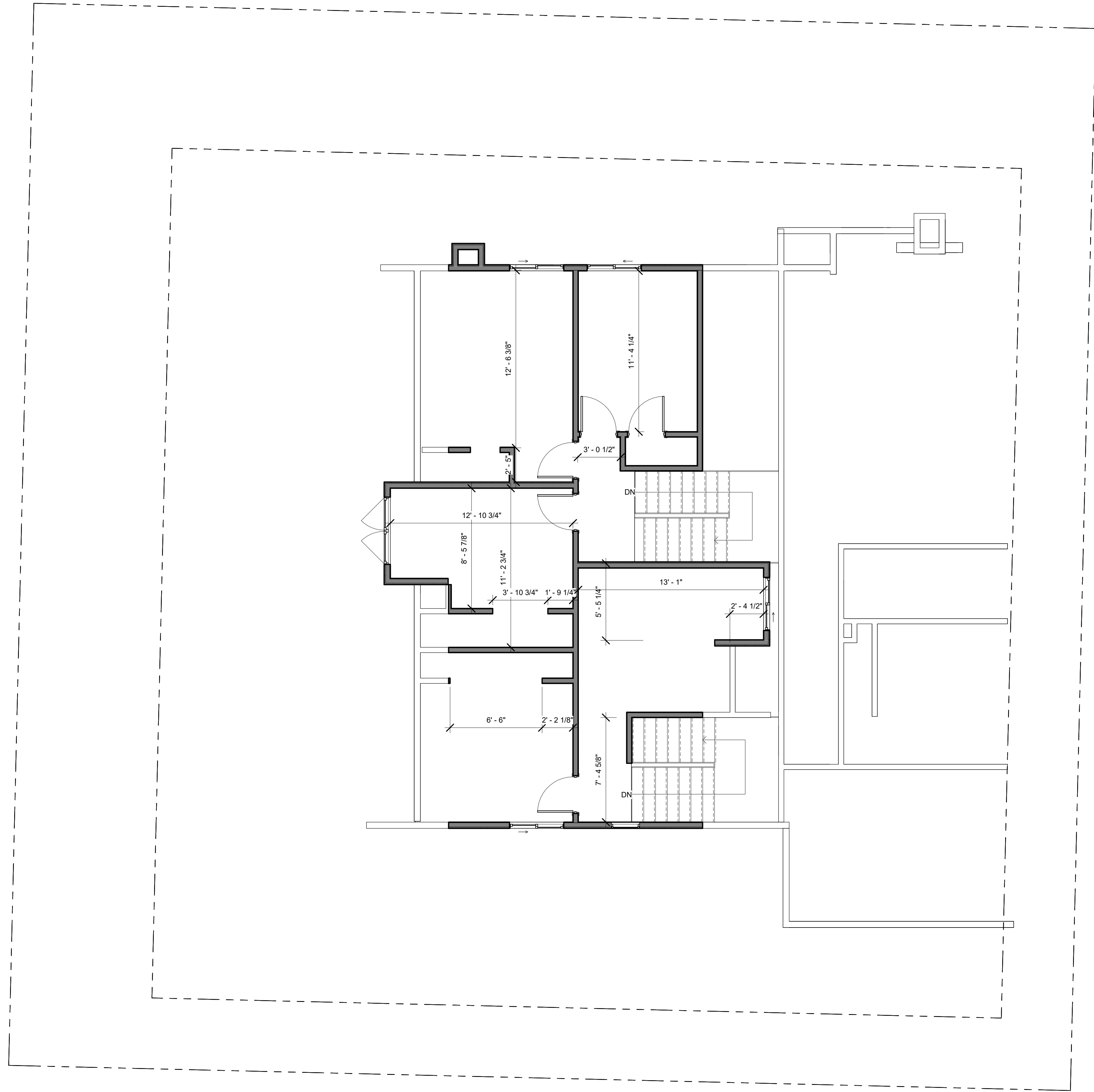
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① Main Level - Opt D
 1/4" = 1'-0"



① Upper Level
1/4" = 1'-0"

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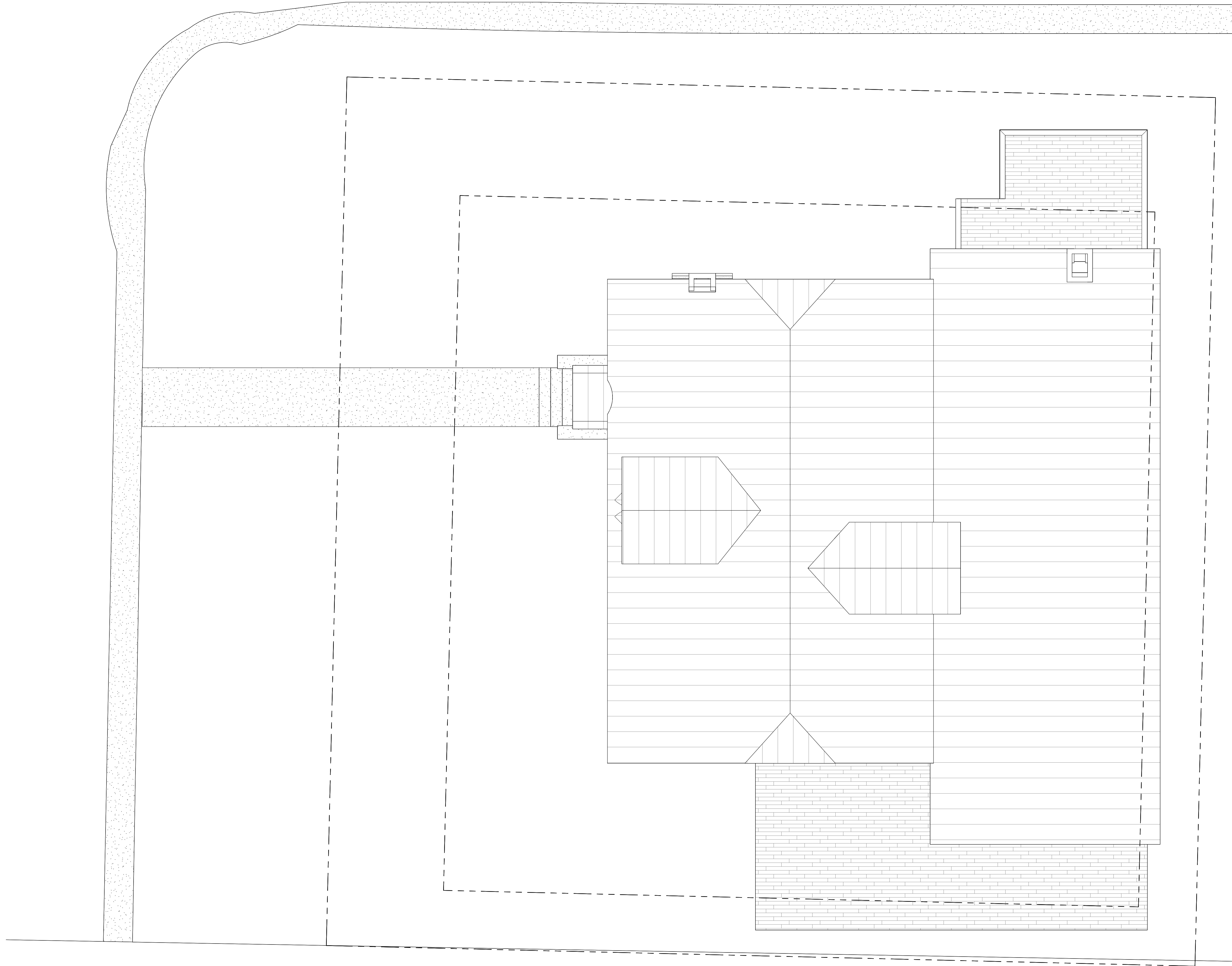
Upper Level
Plan - Existing

SCALE:
1/4" = 1'-0"

DATE
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① Roof Plan
1/4" = 1'-0"

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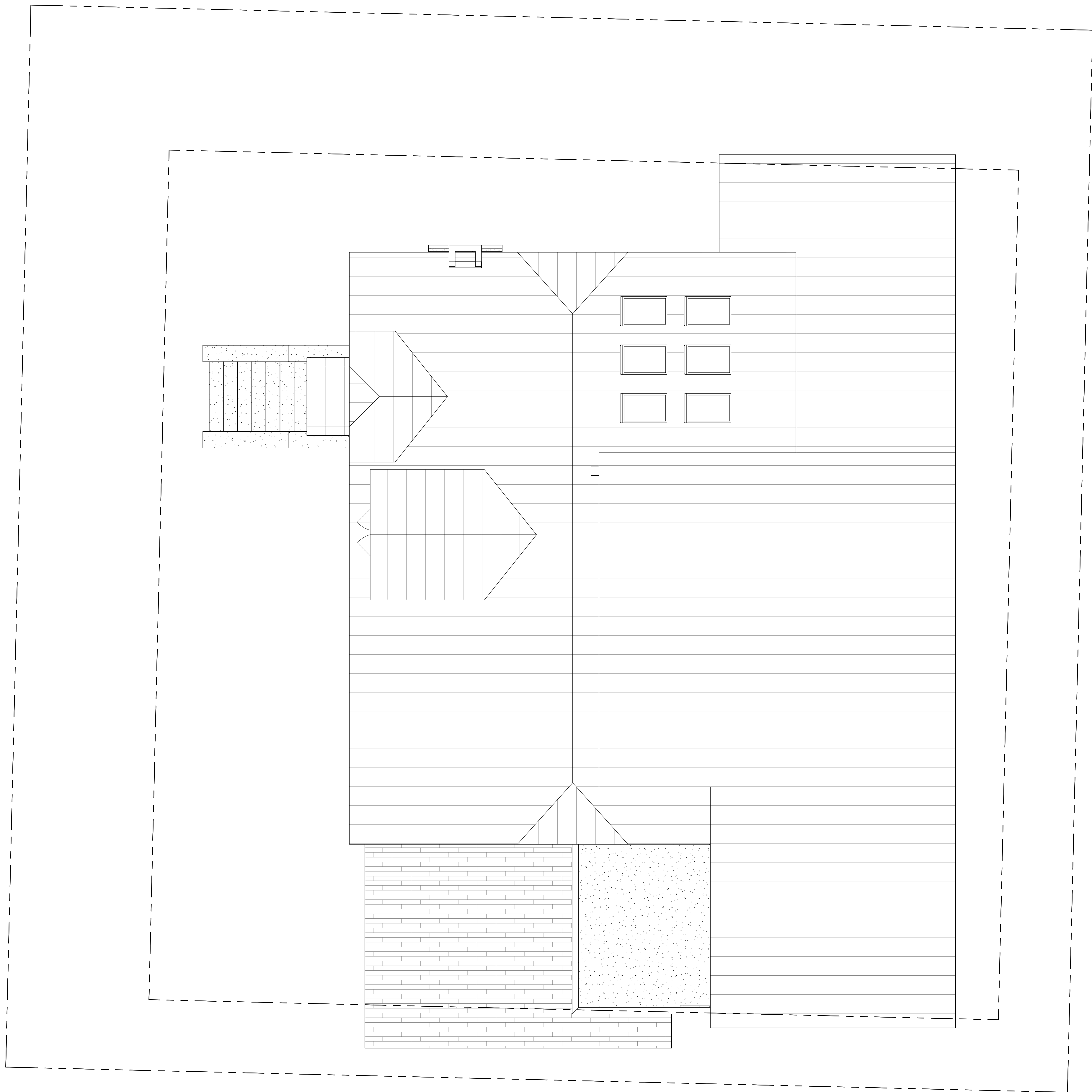
Davis Residence
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Park City, UT 84060

Roof Plan - Existing
SCALE:
1/4" = 1'-0"

DATE
2/4/2026

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① Roof Plan - Proposed
1/4" = 1'-0"

THE ABOVE DRAWINGS AND SPECIFICATIONS ARE THE SOLE DESIGN ARRANGEMENTS REPRESENTED THEREIN AND SHALL REMAIN THE PROPERTY OF VAN SICKLE DESIGN & DRAFTING. NO PART OF THESE DRAWINGS OR SPECIFICATIONS SHALL BE REPRODUCED, COPIED, EITHER IN WHOLE OR IN PART, OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF VAN SICKLE DESIGN & DRAFTING. ANY SUCH REPRODUCTION OR USE WITHOUT THE WRITTEN PERMISSION OF VAN SICKLE DESIGN & DRAFTING SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO VAN SICKLE DESIGN & DRAFTING. THE USER AGREES TO HOLD VAN SICKLE DESIGN & DRAFTING HARMLESS FROM AND AGAINST ALL SUCH CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, THAT MAY BE ASSERTED AGAINST OR INCURRED BY VAN SICKLE DESIGN & DRAFTING AS A RESULT OF SUCH REPRODUCTION OR USE.

BY ACCEPTING THESE PLANS, THE CONTRACTOR UNDERSTANDS THAT THESE PLANS ARE PRELIMINARY AND SUBJECT TO CHANGE WITHOUT NOTICE. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE SHALL NOT BE RESPONSIBLE FOR ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. ALL SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL PRIOR TO PROCEEDING WITH CONSTRUCTION.

BY BUILDING THESE PLANS, THE CONTRACTOR UNDERSTANDS THAT THESE PLANS ARE PRELIMINARY AND SUBJECT TO CHANGE WITHOUT NOTICE. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE SHALL NOT BE RESPONSIBLE FOR ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. ALL SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL PRIOR TO PROCEEDING WITH CONSTRUCTION.

BY ACCEPTING THESE PLANS, THE CONTRACTOR UNDERSTANDS THAT THESE PLANS ARE PRELIMINARY AND SUBJECT TO CHANGE WITHOUT NOTICE. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE SHALL NOT BE RESPONSIBLE FOR ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. ALL SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL PRIOR TO PROCEEDING WITH CONSTRUCTION.

VAN SICKLE
DESIGN & DRAFTING

786 DIVISION STREET, SUITE 102
PARK CITY, UTAH 84098
www.vansickledesignanddrafting.com

Revision Schedule	
Revision Number	Revision Date

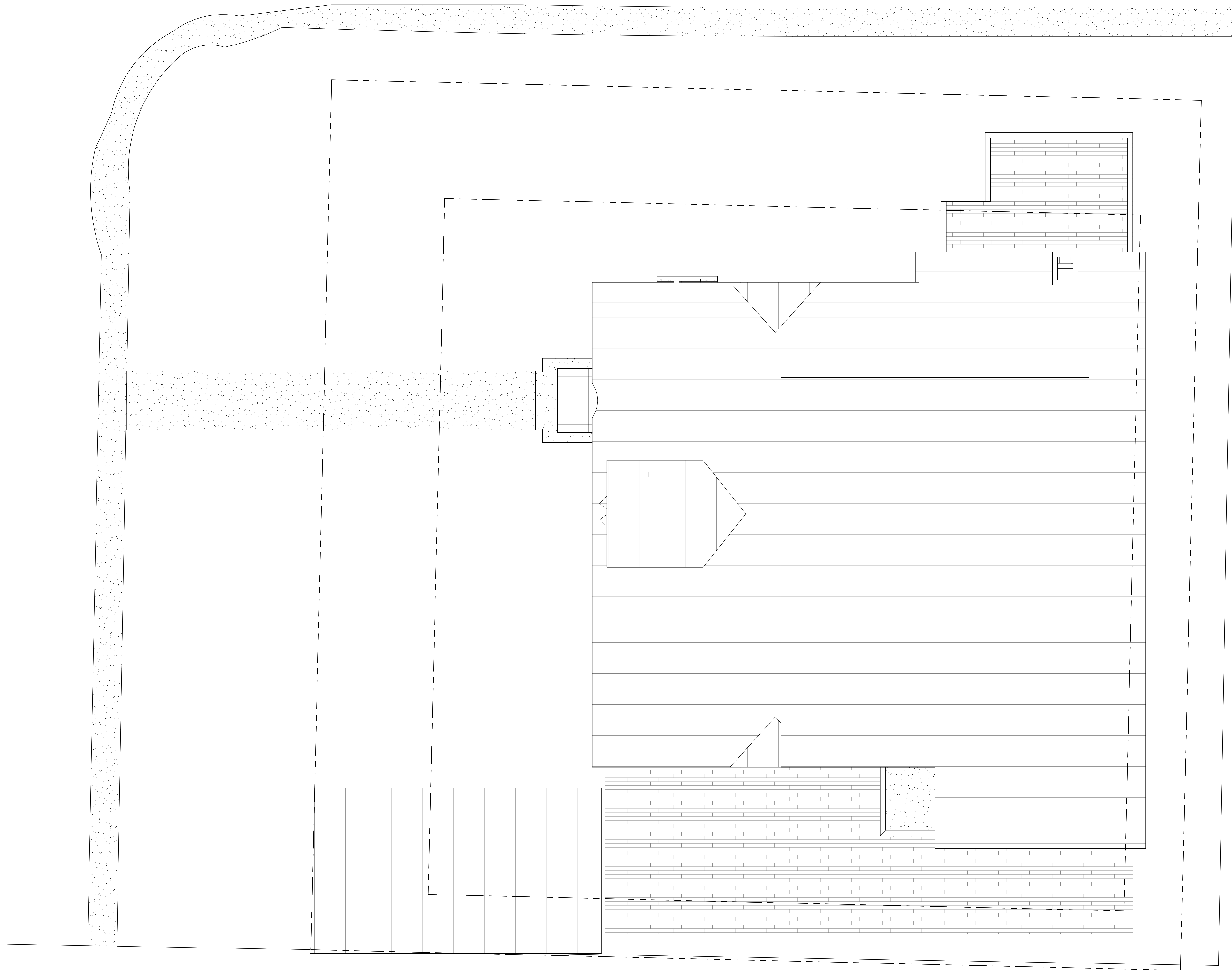
Davis Residence
SA SK4, Lots 17, 18, 19
1060 Woodside Ave
Park City, UT 84060

Roof Plan - Moved
SCALE:
1/4" = 1'-0"

DATE
2/4/2026

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1 Roof Plan - Same Spot
1/4" = 1'-0"

THE HOUSE DRAWINGS AND SPECIFICATIONS AND THE ROAD/CEILING ARRANGEMENTS REPRESENTED THEREIN ARE AND SHALL REMAIN THE PROPERTY OF VAN SICKLE DESIGN & DRAFTING. NO PART OF THESE DRAWINGS OR SPECIFICATIONS SHALL BE REPRODUCED, COPIED, REPRODUCED, OR USED IN CONNECTION WITH ANY OTHER PROJECT OR PROJECTS WITHOUT THE WRITTEN CONSENT OF VAN SICKLE DESIGN & DRAFTING. ANY OTHER PERSON FOR ANY PURPOSE OTHER THAN THE PROJECTS FOR WHICH THEY HAVE BEEN PREPARED AND DELIVERED WITHOUT THE CONSENT OF VAN SICKLE DESIGN & DRAFTING SHALL BE DEEMED TO BE IN VIOLATION OF THESE DRAWINGS. CONSTRUCTIVE CONCLUSIVE EVIDENCE OF THESE DRAWINGS SHALL BE THE ORIGINAL DRAWINGS. WRITTEN CHANGES TO THESE DRAWINGS SHALL HAVE PRECEDENCE OVER ANY CHANGES MADE TO THESE DRAWINGS BY ANY OTHER MEANS. ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL VERIFY THE ACCURACY OF ALL DIMENSIONS FROM THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. BY BUILDING THESE PLANS THE CONTRACTOR UNDERSTANDS THAT THESE PLANS DO NOT CONSTITUTE A GUARANTEE OF ANY KIND AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY OMISSIONS OR ERRORS AND WILL NOTIFY THIS OFFICE OF ANY SUCH OMISSIONS OR ERRORS AS SOON AS THEY ARE DISCOVERED. VAN SICKLE DESIGN & DRAFTING SHALL NOT BE RESPONSIBLE FOR ANY OMISSIONS OR ERRORS MADE BY THE CONTRACTOR. BY ACCEPTING THESE PLANS THE CONTRACTOR AGREE TO BE BOUND BY THE TERMS AND CONDITIONS OF THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. VAN SICKLE DESIGN & DRAFTING SHALL NOT BE RESPONSIBLE FOR ANY OMISSIONS OR ERRORS MADE BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. VAN SICKLE DESIGN & DRAFTING SHALL NOT BE RESPONSIBLE FOR ANY OMISSIONS OR ERRORS MADE BY THE CONTRACTOR.

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Revision Schedule	
Revision Number	Revision Date

Davis Residence
SA SK4, Lots 17, 18, 19
1060 Woodside Ave
Park City, UT 84060

Roof Plan - Same Spot
SCALE:
1/4" = 1'-0"

DATE
2/4/2026

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Room Finish Schedule							
Room Number	Room Name	Finish					Comments
		Floor	Base	Wall	Ceiling	Ceiling Height	

Door Schedule				
Door Number	Width	Height	Family	Finish
				Comments
66	3' - 0"	6' - 8"	Single-Glass 1 no trim	
67	2' - 6"	6' - 8"	Single-Glass 1 no trim	
68	5' - 0"	6' - 8"	Sliding-Closet	
69	2' - 6"	6' - 8"	Door-Interior-Single-5_Panel_Vert-Wood	
70	2' - 6"	6' - 8"	Door-Interior-Single-5_Panel_Vert-Wood	
72	5' - 0"	6' - 8"	Sliding-Closet	
73	2' - 6"	6' - 8"	Door-Interior-Single-5_Panel_Vert-Wood	
74	2' - 6"	6' - 8"	Door-Interior-Single-5_Panel_Vert-Wood	
75	3' - 0"	6' - 8"	Door-Interior-Single-5_Panel_Vert-Wood	
76	2' - 4"	6' - 8"	Door-Interior-Single-5_Panel_Vert-Wood	
77	2' - 4"	6' - 8"	Door-Interior-Single-5_Panel_Vert-Wood	
79	2' - 4"	6' - 8"	Door-Interior-Single-5_Panel_Vert-Wood	
80	3' - 0"	6' - 8"	Single-Glass 1 no trim	
81	2' - 0"	6' - 8"	Door-Interior-Single-5_Panel_Vert-Wood	
82	2' - 0"	6' - 8"	Door-Interior-Single-5_Panel_Vert-Wood	
83	2' - 6"	6' - 8"	Door-Interior-Single-5_Panel_Vert-Wood	
84	2' - 6"	6' - 8"	Door-Interior-Single-5_Panel_Vert-Wood	
87	2' - 6"	6' - 8"	Door-Interior-Single-5_Panel_Vert-Wood	
89	2' - 6"	6' - 8"	Door-Interior-Single-5_Panel_Vert-Wood	
90	2' - 6"	6' - 8"	Door-Interior-Single-5_Panel_Vert-Wood	

Window Schedule						
Mark	Rough Opening		Sill Height	Type	Tempered	Comments
	Width	Height				
118	3' - 0"	4' - 0"	2' - 8"	Window-Sliding-Double		
119	3' - 0"	4' - 0"	2' - 8"	Window-Sliding-Double		
120	3' - 6"	3' - 0"	3' - 8"	Window-Sliding-Double		
121	2' - 0"	1' - 0"	5' - 8"	Window-Fixed		
122	4' - 0"	4' - 0"	2' - 8"	Window-Sliding-Double		
123	4' - 0"	4' - 0"	2' - 8"	Window-Sliding-Double		
124	3' - 0"	3' - 0"	3' - 8"	Window-Fixed		
125	3' - 0"	3' - 0"	3' - 8"	Window-Fixed		
126	3' - 9"	3' - 3"	3' - 5"	Window-Sliding-Double		
127	2' - 0"	4' - 0"	2' - 8"	Window-Fixed		
128	3' - 6"	4' - 0"	2' - 8"	Window-Double-Hung		
129	6' - 6"	4' - 0"	2' - 8"	Window-Fixed		
130	3' - 0"	3' - 0"	3' - 8"	Window-Double-Hung		
131	3' - 10"	2' - 9"	3' - 11"	Window-Sliding-Double		
132	3' - 10"	2' - 9"	3' - 11"	Window-Sliding-Double		
134	2' - 0"	2' - 3"	4' - 5"	Window-Fixed		
135	3' - 10"	2' - 9"	3' - 11"	Window-Sliding-Double		
136	3' - 9"	5' - 0"	2' - 8"	Window-Sliding-Double		
320	4' - 9"	6' - 0"	1' - 3"	Window-Casement-Double		

THE ABOVE DIMENSIONS AND SPECIFICATIONS ARE THE BASIC DESIGN ARRANGEMENTS REPRESENTED THEREIN AND SHALL REMAIN THE PROPERTY OF VAN SICKLE DESIGN & DRAFTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS ON THE JOB AND FOR NOTIFYING THE ARCHITECT IMMEDIATELY IN WRITING OF ANY DISCREPANCIES OR OMISSIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. ALL SHOP DETAILS MUST BE APPROVED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR UNDERSTANDS THAT THESE DIMENSIONS AND SPECIFICATIONS ARE FOR INFORMATION ONLY AND SHALL BE SUBJECT TO ANY CHANGES OR CORRECTIONS AND WILL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY SUCH CHANGES OR CORRECTIONS. BY ACCEPTING THESE DRAWINGS AND SERVICES PROVIDED BY VAN SICKLE DESIGN & DRAFTING, THE CLIENT HEREBY AGREES TO HOLD VAN SICKLE DESIGN & DRAFTING HARMLESS FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, THAT MAY BE ASSERTED AGAINST OR INCURRED BY VAN SICKLE DESIGN & DRAFTING IN CONNECTION WITH THE PERFORMANCE OF THESE SERVICES. THE CLIENT'S ACCEPTANCE OF THESE DRAWINGS AND SERVICES SHALL BE DEEMED AN ACCEPTANCE OF THE ABOVE DIMENSIONS AND SPECIFICATIONS AND SHALL BE DEEMED AN ACCEPTANCE OF THE TERMS AND CONDITIONS OF THIS AGREEMENT. VAN SICKLE DESIGN & DRAFTING SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THESE DRAWINGS OR SERVICES CAUSED BY THE CLIENT'S FAILURE TO PROVIDE ACCURATE INFORMATION OR FOR ANY CHANGES OR CORRECTIONS MADE TO THESE DRAWINGS OR SERVICES AFTER THE DATE OF ISSUANCE OF THESE DRAWINGS OR SERVICES.



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Revision Schedule	
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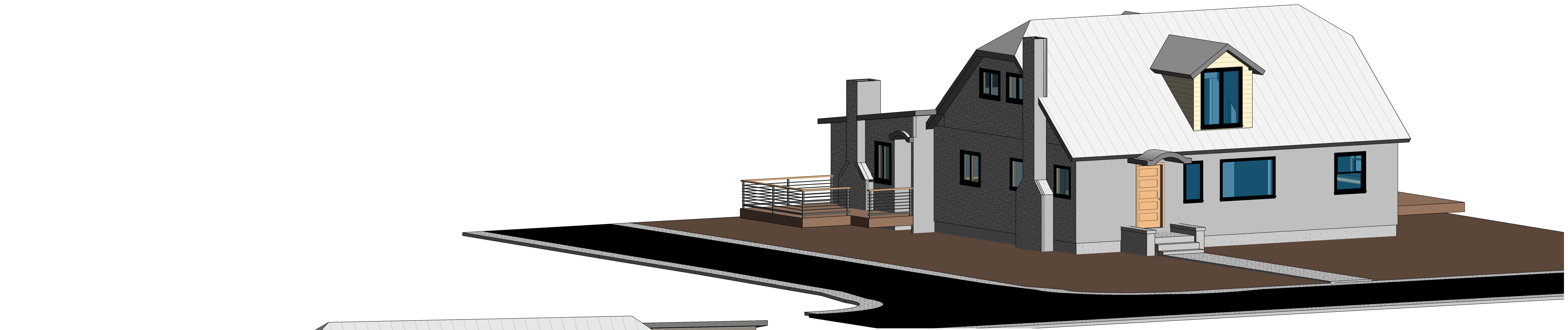
Davis Residence
SA SK4, Lots 17, 18, 19
1060 Woodside Ave
Park City, UT 84060

Schedules
SCALE:

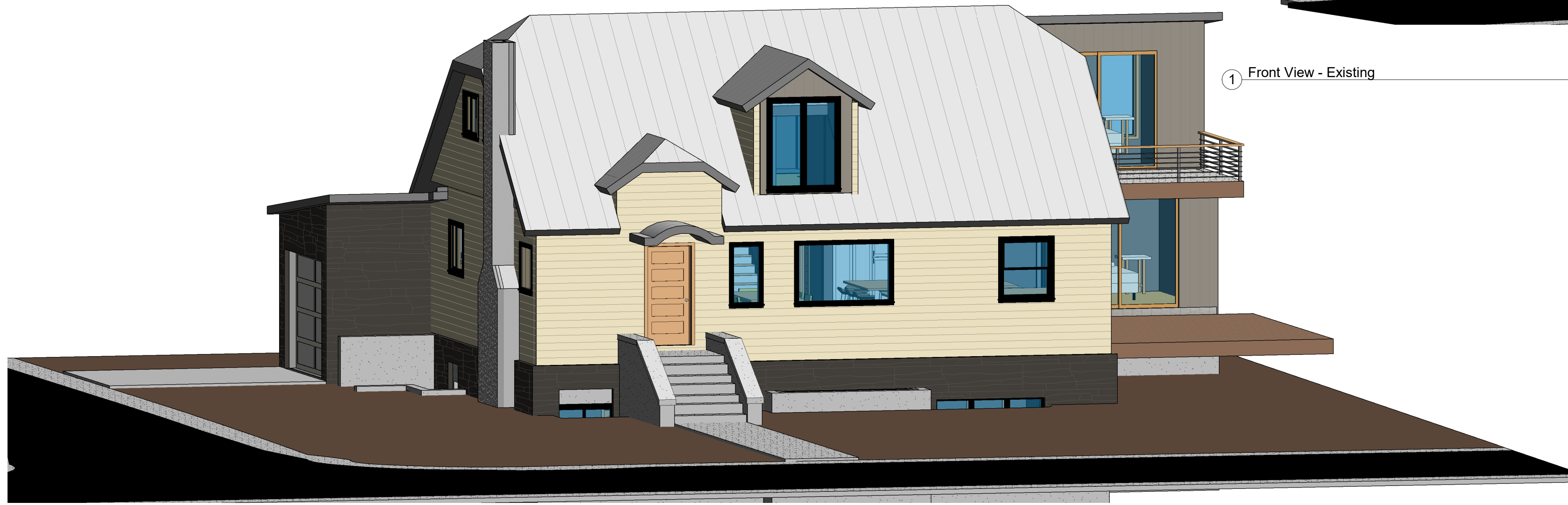
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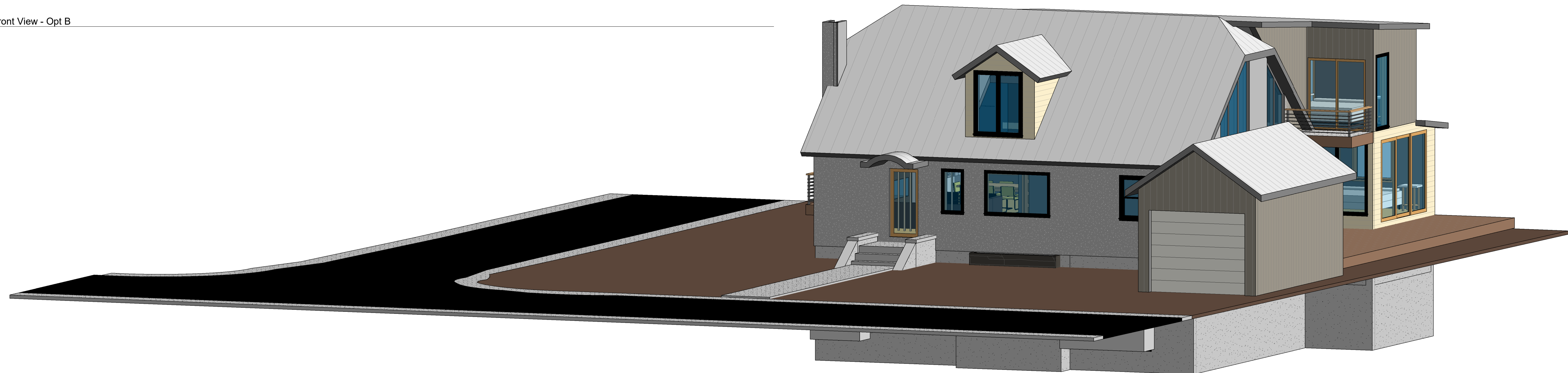
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① Front View - Existing



③ Front View - Opt B



② Front View - Opt A

THESE DRAWINGS AND SPECIFICATIONS ARE THE SOLE PROPERTY OF VAN SICKLE DESIGN & DRAFTING. ANY REUSE, REPRODUCTION, OR MODIFICATION OF THESE DRAWINGS WITHOUT THE WRITTEN CONSENT OF VAN SICKLE DESIGN & DRAFTING IS STRICTLY PROHIBITED. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED TO VAN SICKLE DESIGN & DRAFTING. VAN SICKLE DESIGN & DRAFTING SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THESE DRAWINGS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED TO VAN SICKLE DESIGN & DRAFTING. VAN SICKLE DESIGN & DRAFTING SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THESE DRAWINGS.

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Revision Number	Revision Date

Davis Residence
SA SK4, Lots 17, 18, 19
1060 Woodside Ave
Park City, UT 84060

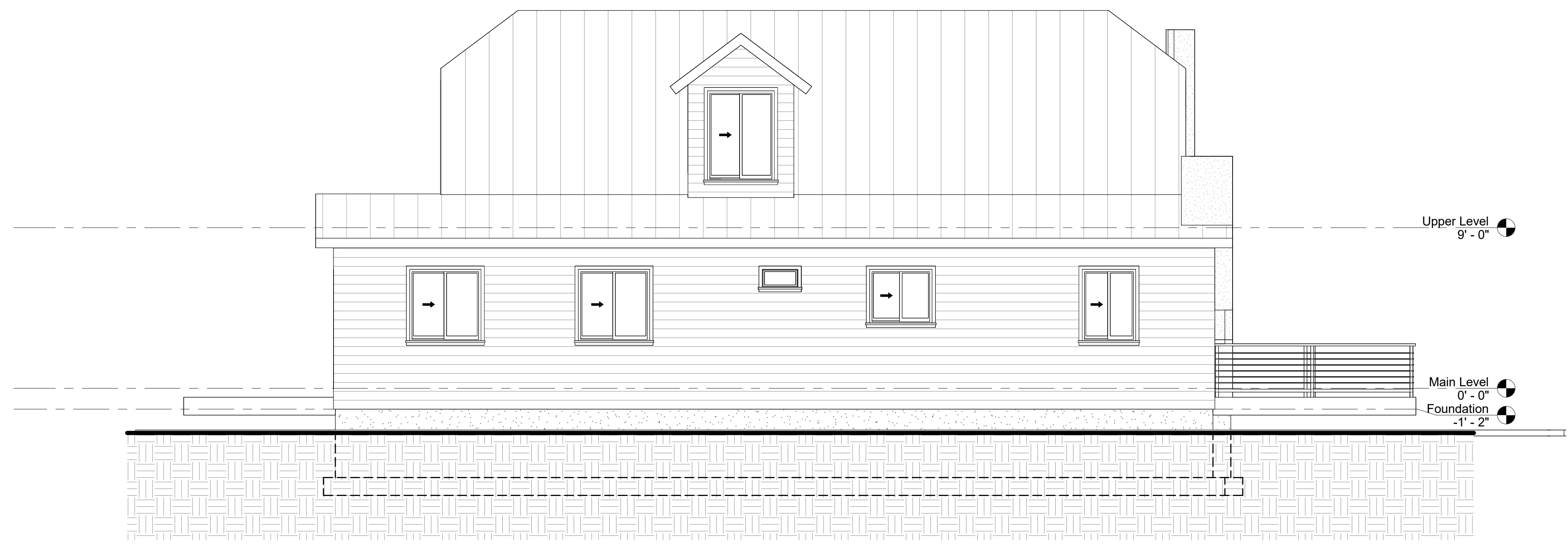
Isometric Elevations
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DATE
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THE USER, DRAWING AND SPECIFICATIONS ARE THE SOLE PROPERTY OF VAN SICKLE DESIGN & DRAFTING. ANY REPRODUCTION OR USE OF THESE DRAWINGS WITHOUT THE WRITTEN PERMISSION OF VAN SICKLE DESIGN & DRAFTING IS STRICTLY PROHIBITED. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.



① Exterior Elevation - East - Existing
1/4" = 1'-0"



② Exterior Elevation - North - Existing
1/4" = 1'-0"

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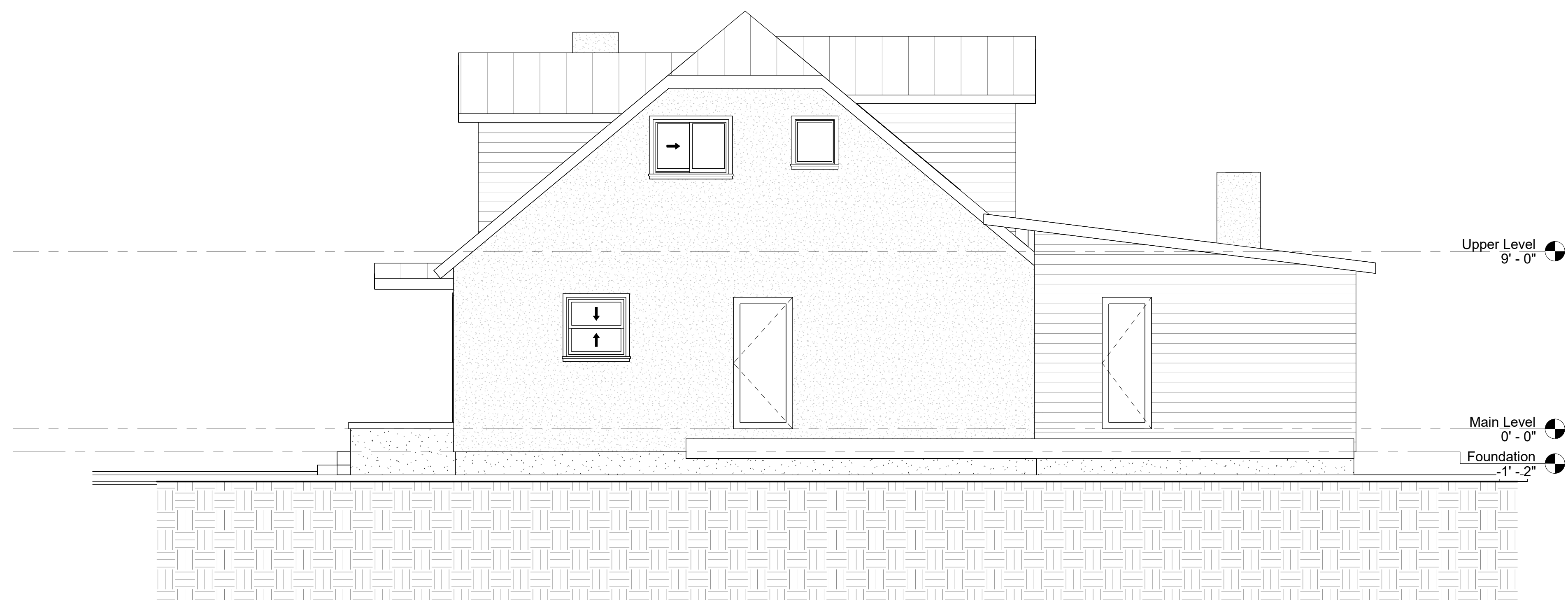
Davis Residence
SA SK4, Lots 17, 18, 19
1060 Woodside Ave
Park City, UT 84060

Exterior Elevations
SCALE:
1/4" = 1'-0"

DATE
2/4/2026

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① Exterior Elevation - South - Existing
1/4" = 1'-0"



② Exterior Elevation - West - Existing
1/4" = 1'-0"

THE USER, CONTRACTOR AND SPECIFICATIONS AND THE QUALITY OF THE WORKMANSHIP REPRESENTED THEREIN ARE AND SHALL REMAIN THE RESPONSIBILITY OF THE USER. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND FOR ANY OTHER PERSONS FOR ANY PURPOSE OTHER THAN THE PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DELIVERED WITHOUT THE CONSENT OF B.S. VAN SICKLE, INC. VISUAL CONTACT WITH THESE DRAWINGS CONSTITUTE CONCLUSIVE EVIDENCE OF THESE.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE SHALL NOT BE RESPONSIBLE FOR ANY DIMENSIONS FROM THE DIMENSIONS SHOWN BY THESE DRAWINGS. ALL SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL PRIOR TO PROCEEDING WITH.

BY BUILDING THESE PLANS THE CONTRACTOR UNDERSTANDS THAT THESE ARE GENERAL CONDITIONS IN THE FIELD AND NOT HEREIN THIS OFFICE IS NOT RESPONSIBLE FOR ANY OMISSIONS OR ERRORS AND WILL NOTIFY THIS OFFICE OF ERRORS AND OMISSIONS.

BY ACCEPTING THESE PLANS THE CONTRACTOR USES OR SERVICES SHOWN IN THESE DRAWINGS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND FOR ANY OTHER PERSONS FOR ANY PURPOSE OTHER THAN THE PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DELIVERED WITHOUT THE CONSENT OF B.S. VAN SICKLE, INC. VISUAL CONTACT WITH THESE DRAWINGS CONSTITUTE CONCLUSIVE EVIDENCE OF THESE.

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Revision Schedule	
Revision Number	Revision Date

Davis Residence
SA SK4, Lots 17, 18, 19
1060 Woodside Ave
Park City, UT 84060

Exterior Elevations
SCALE:
1/4" = 1'-0"

DATE
2/4/2026

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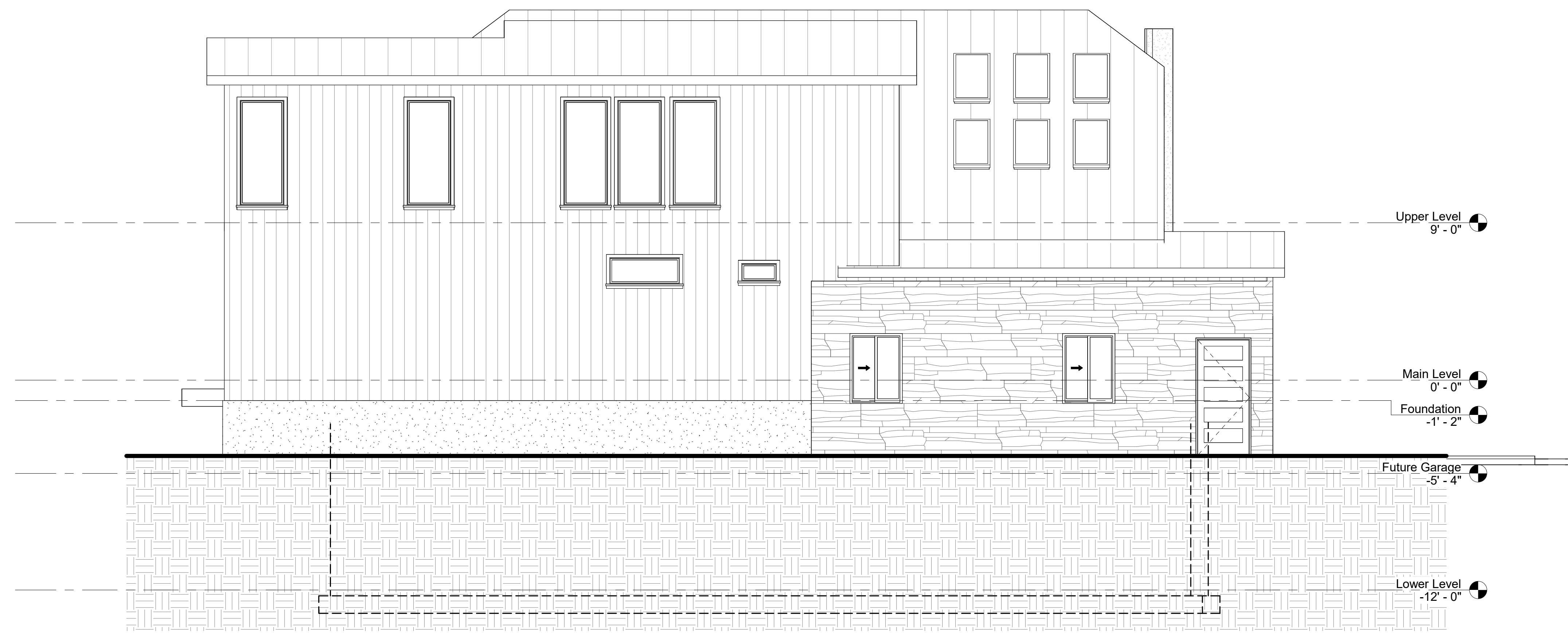
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THE USER, CONTRACTOR AND SPECIFICATIONS ARE THE SOLE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION REPRESENTED THEREIN AND SHALL BEAR THE BURDEN OF PROOF IN CONNECTION WITH ANY OTHER WORK OR PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DELIVERED WITHOUT THE CONSENT OF VAN SICKLE, INC. NO OTHER PERSON SHALL BE HELD RESPONSIBLE FOR THE CONSTRUCTION OF THESE DRAWINGS.

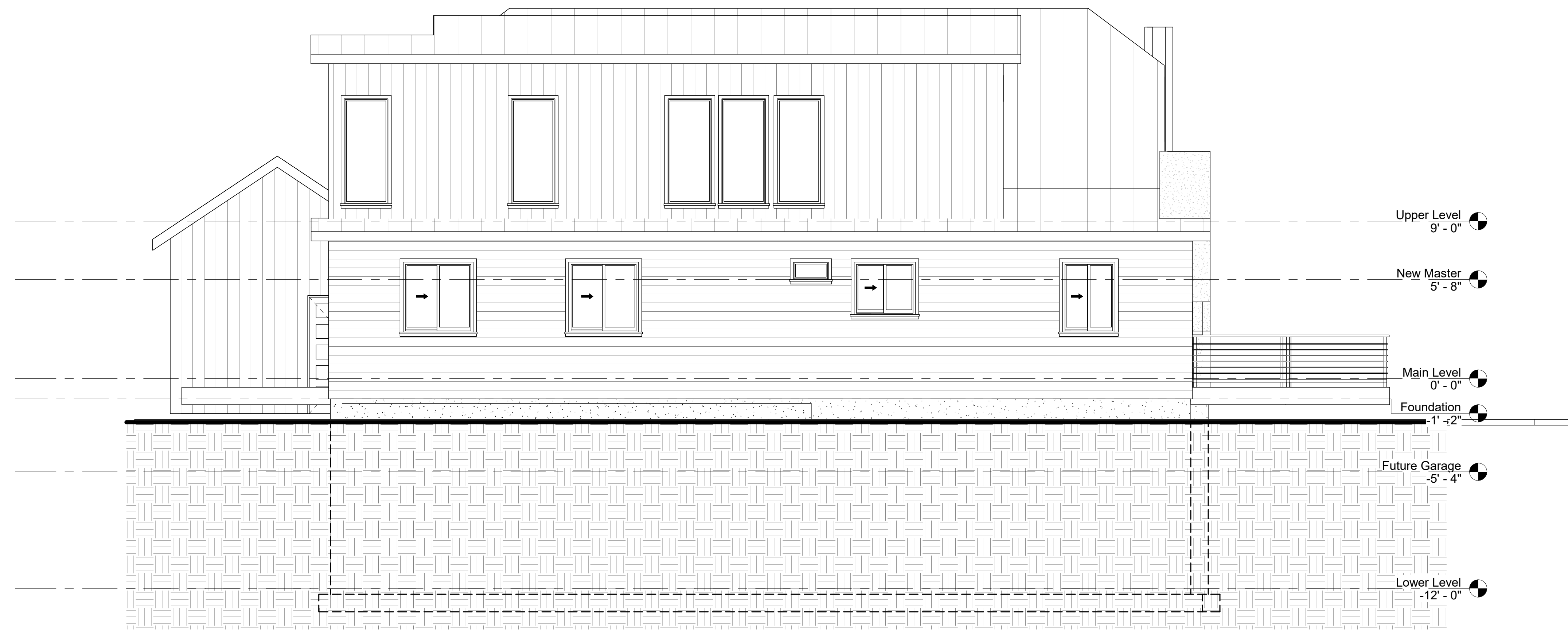
WRITTEN INDICATIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER ALL OTHER INFORMATION ON THE JOB AND THIS OFFICE SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS FROM THE DRAWINGS. ANY CHANGES TO THESE DRAWINGS SHALL BE MADE BY A WRITTEN ORDER FROM THE ARCHITECT.

BY BUILDING THESE PLANS THE CONTRACTOR UNDERSTANDS THAT THESE PLANS DO NOT CONSTITUTE A GUARANTEE OF ANY KIND AND THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY OMISSIONS OR ERRORS AND WILL NOTIFY THIS OFFICE OF ANY SUCH OMISSIONS OR ERRORS.

BY ACCEPTING THESE PLANS THE CONTRACTOR UNDERSTANDS THAT THESE PLANS DO NOT CONSTITUTE A GUARANTEE OF ANY KIND AND THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY OMISSIONS OR ERRORS AND WILL NOTIFY THIS OFFICE OF ANY SUCH OMISSIONS OR ERRORS.



① Exterior Elevation - East - Moved
1/4" = 1'-0"



② Exterior Elevation - East - Same spot
1/4" = 1'-0"

VAN SICKLE
DESIGN & DRAFTING

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PARK CITY, UTAH 84098
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Revision Schedule

Revision Number	Revision Date

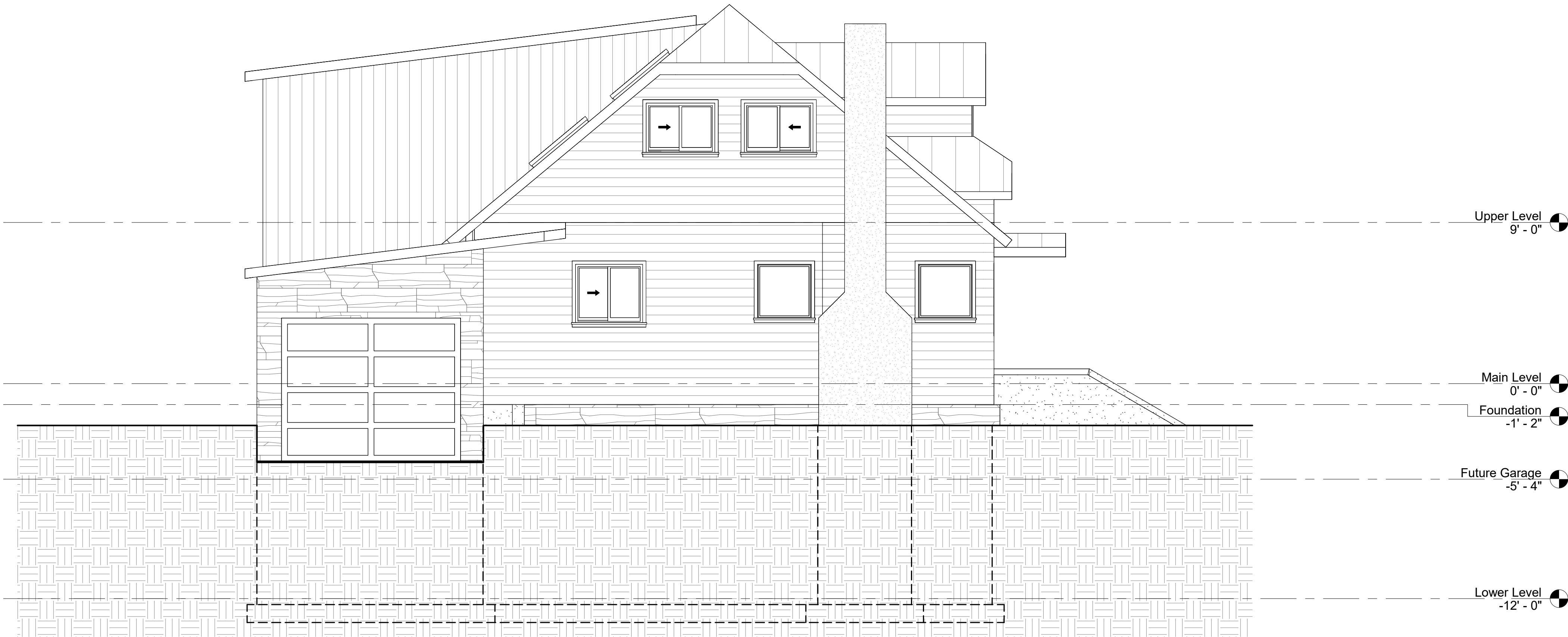
Davis Residence
SA SK4, Lots 17, 18, 19
1060 Woodside Ave
Park City, UT 84060

Exterior Elevations
SCALE:
1/4" = 1'-0"

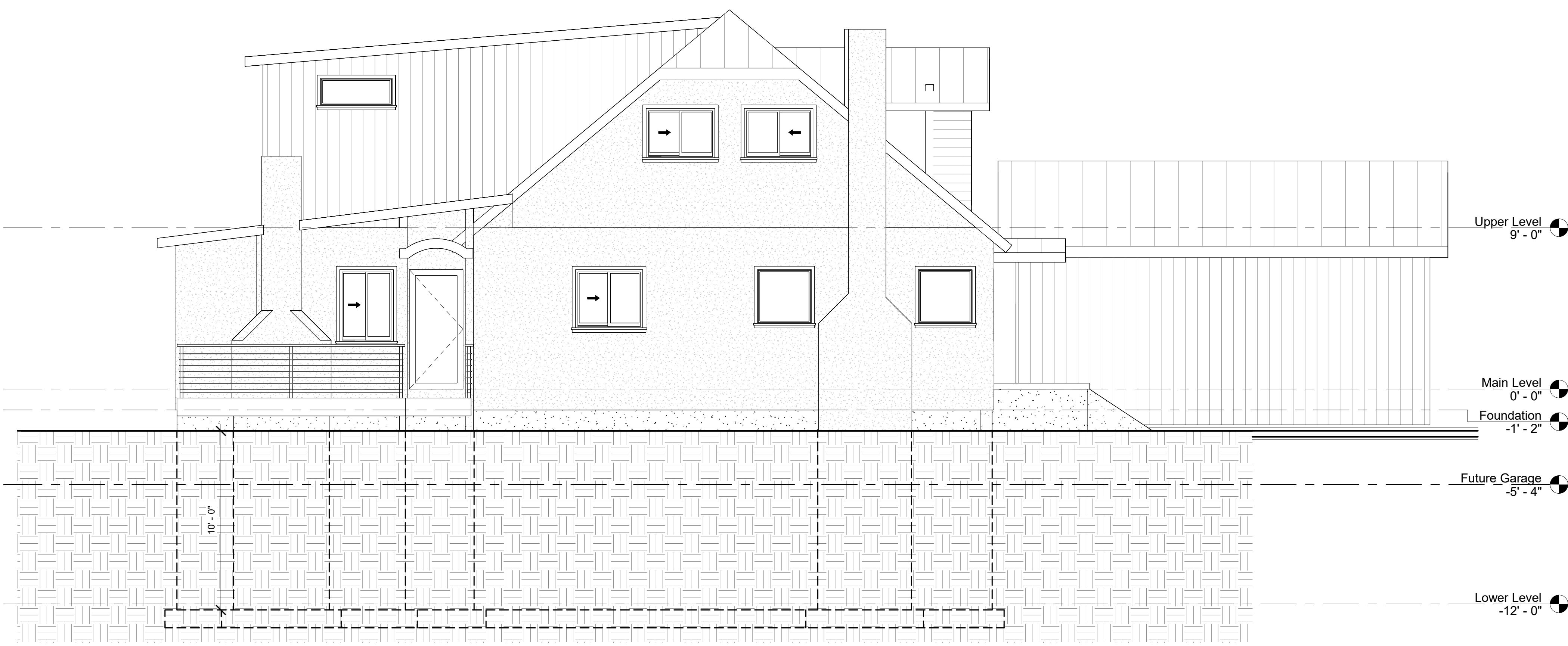
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① Exterior Elevation - North - Moved
1/4" = 1'-0"



② Exterior Elevation - North - Same Spot
1/4" = 1'-0"

THE USER, CONTRACTOR AND SPECIFICATIONS ARE THE SOLE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION REPRESENTED THEREIN AND SHALL BEAR THE BURDEN OF PROOF IN CONNECTION WITH ANY OTHER WORK OR PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DELIVERED WITHOUT THE CONSENT OF VAN SICKLE, INC. VAN SICKLE, INC. MAKES NO REPRESENTATION OR WARRANTY OF ANY KIND, EXPRESS OR IMPLIED, IN CONNECTION WITH THESE DRAWINGS OR ANY OTHER WORK OR PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DELIVERED WITHOUT THE CONSENT OF VAN SICKLE, INC.

WRITTEN INDICATIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER ANY ORAL STATEMENTS OR COMMENTS BY ANY PARTY. ALL DIMENSIONS AND CONDITIONS SHALL BE AS SHOWN UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS OF ANY WORK BEFORE THE COMMENCEMENT OF SUCH WORK. ALL WORK SHALL BE SUBJECT TO THE APPROVAL OF VAN SICKLE, INC. BEFORE PROCEEDING WITH SUCH WORK.

BY BUILDING THESE PLANS THE CONTRACTOR UNDERSTANDS THAT THESE PLANS ARE FOR INFORMATION ONLY AND ARE NOT TO BE USED FOR ANY OTHER PURPOSES OR FOR ANY OTHER PROJECTS WITHOUT THE WRITTEN CONSENT OF VAN SICKLE, INC.

BY ACCEPTING THESE PLANS THE CONTRACTOR OR SERVICES OBTAINED FROM THESE DRAWINGS, THE USER SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS OF ANY WORK BEFORE THE COMMENCEMENT OF SUCH WORK. ALL DIMENSIONS AND CONDITIONS SHALL BE AS SHOWN UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS OF ANY WORK BEFORE THE COMMENCEMENT OF SUCH WORK. ALL WORK SHALL BE SUBJECT TO THE APPROVAL OF VAN SICKLE, INC. BEFORE PROCEEDING WITH SUCH WORK.

VAN SICKLE
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786 DIVISION STREET, SUITE 102
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Revision Schedule	
Revision Number	Revision Date

Davis Residence
SA SK4, Lots 17, 18, 19
1060 Woodside Ave
Park City, UT 84060

Exterior Elevations
SCALE:
1/4" = 1'-0"

DATE
2/4/2026

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2/5/2026 3:49:49 PM



1 Exterior Elevation - West - Moved
1/4" = 1'-0"



2 Exterior Elevation - West - Same Spot
1/4" = 1'-0"

THESE DRAWINGS AND SPECIFICATIONS ARE THE SOLE PROPERTY OF VAN SICKLE DESIGN & DRAFTING. ANY REUSE, REPRODUCTION, OR ALTERATION OF THESE DRAWINGS WITHOUT THE WRITTEN PERMISSION OF VAN SICKLE DESIGN & DRAFTING IS STRICTLY PROHIBITED. THE USER OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED TO VAN SICKLE DESIGN & DRAFTING. VAN SICKLE DESIGN & DRAFTING SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THESE DRAWINGS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED TO VAN SICKLE DESIGN & DRAFTING. VAN SICKLE DESIGN & DRAFTING SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THESE DRAWINGS.

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Revision Schedule	
Revision Number	Revision Date

Davis Residence
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Park City, UT 84060

Exterior Elevations
SCALE:
1/4" = 1'-0"

DATE
2/4/2026

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THESE DRAWINGS AND SPECIFICATIONS ARE THE SOLE DESIGN ARRANGEMENTS REPRESENTED THEREIN AND SHALL REMAIN THE PROPERTY OF VAN SICKLE DESIGN & DRAFTING. NO PART OF THESE DRAWINGS OR SPECIFICATIONS SHALL BE REPRODUCED, COPIED, OR USED IN CONNECTION WITH ANY OTHER WORK OR PROJECT WITHOUT THE WRITTEN PERMISSION OF VAN SICKLE DESIGN & DRAFTING. FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE CONSENT OF VAN SICKLE DESIGN & DRAFTING. CONSTRUCTION OF THESE DRAWINGS CONSTITUTE CONCLUSIVE EVIDENCE OF THESE ARRANGEMENTS.

WRITTEN INDICATIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. ALL SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL PRIOR TO PROCEEDING WITH CONSTRUCTION.

BY BUILDING THESE PLANS THE CONTRACTOR UNDERSTANDS THAT THESE PLANS CONFORM TO THE CITY AND STATE REQUIREMENTS AND ALL APPLICABLE CODES AND WILL NOTIFY THIS OFFICE OF ANY VIOLATIONS OR CORRECTIONS THAT MAY BE REQUIRED DURING CONSTRUCTION.

BY ACCEPTING THESE PLANS THE CONTRACTOR OR SERVICES OBTAINED FROM OTHER SOURCES SHALL BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THESE DRAWINGS AND ALL PRESENT AND FUTURE PERIODS OF THESE DRAWINGS. VAN SICKLE DESIGN & DRAFTING SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THESE DRAWINGS. THE USER OF THESE DRAWINGS AGREES TO A LIMIT OF LIABILITY TO VAN SICKLE DESIGN & DRAFTING AND EMPLOYEES AND PRINCIPALS TO THE EXTENT OF THE ORIGINAL CONTRACT AGREEMENT.



1 Exterior Elevation - South - Moved
1/4" = 1'-0"



2 Exterior Elevation - South - Same Spot
1/4" = 1'-0"

VAN SICKLE
DESIGN & DRAFTING

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Revision Schedule	
Revision Number	Revision Date

Davis Residence
SA SK4, Lots 17, 18, 19
1060 Woodside Ave
Park City, UT 84060

Exterior Elevation
SCALE:
1/4" = 1'-0"

DATE
2/4/2026

SHEET
A3.07

2/5/2026 3:49:51 PM



11/28/2025

Park City Historic District
445 Marsac Avenue
Park City, UT 84060

RE: 1060 Woodside Avenue Home Movement

Historic District and Planning Department,

We are currently working on the historic home at 1060 Woodside Avenue. We formally request for consideration that we be allowed to move the home westward 9' closer to the West property line from its current position.

We have several compelling reasons for moving the home west. Please see the relocation request narrative also included in this submittal package.



Thank you,

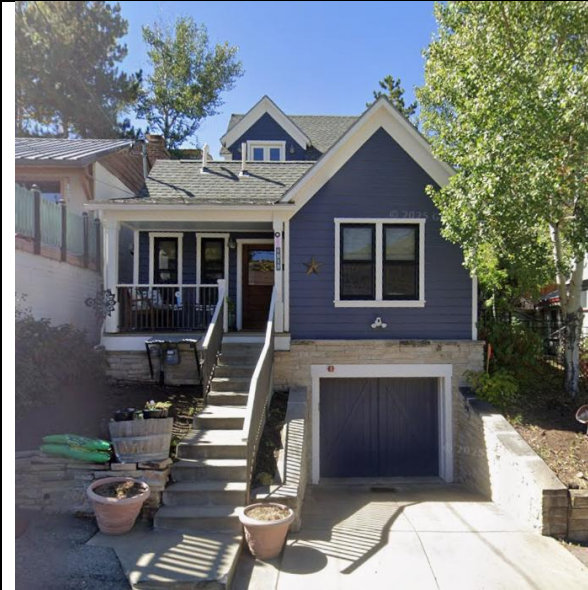
Bill Van Sickle

Van Sickle Design and Drafting, LLC



There are nine Landmark and thirteen Significant Historic Structures on Woodside Avenue between 10th and 12th streets. Planning Staff analyzed the approximate setback from the property line for each Structure using on file existing condition surveys and the Summit County Parcel viewer. Images are provided by Planning Staff using Google street view.

Address	Setback from Woodside Avenue
<p>1002 Woodside Avenue – Significant</p> 	<p>6 feet</p>
<p>1007 Woodside Avenue- Significant</p> 	<p>Garage – Encroaches across the Lot Line into the right-of-way Structure – 13 feet</p>
<p>1013 Woodside Avenue- Significant</p>	<p>9 feet</p>



1020 Woodside Avenue- Significant

12 feet



1027 Woodside Avenue- Significant

6 feet



1045 Woodside Avenue- Significant

20 feet



1053 Woodside Avenue- Significant



1062 Woodside Avenue- Significant



1103 Woodside Avenue- Significant

6 feet

13 feet

23 feet



1107 Woodside Avenue- Significant

11 feet



1120 Woodside Avenue- Significant

6 feet



1147 Woodside Avenue- Significant

13 feet



1158 Woodside Avenue- Significant

14 feet



1010 Woodside Avenue – Landmark

10 feet



1026 Woodside Avenue- Landmark

13 feet



1057 Woodside Avenue- Landmark

12 feet



1060 Woodside Avenue- Landmark

24 feet



1100 Woodside Avenue- Landmark

7 feet



1110 Woodside Avenue- Landmark

13 feet



1127 Woodside Avenue- Landmark

30 feet



1162 Woodside Avenue- Landmark

11 feet



1167 Woodside Avenue- Landmark

12 feet



To: Park City Municipal Corporation From: Izabella Z. Nuckels
Austin, Texas
Project/File: Task Order 6: 1060 Woodside Avenue Date: February 25, 2026

Reference: 1060 Woodside Avenue, Park City, Utah

Please find the scope, building analysis, and dates of the addition at 1060 Woodside Avenue (Task Order 6) below.

Scope:

The scope of Task Order 6 was to:

- Conduct a site visit in coordination with the Planning Department to evaluate the materials and construction of the Landmark Historic Structure.
- Conduct additional research as needed to support findings.
- Provide a brief written analysis of the year of construction and subsequent additions of the existing Landmark Historic Structure.

Analysis of the Building and Materials:

This building was constructed circa 1928 as a rectangular-plan one-story single-family dwelling at the southeast corner of the Woodside Avenue and 11th Street intersection. It is wood-frame construction with a partial basement and crawl space, was clad in stucco, and had a wood shingle-clad clipped side gable roof. On the west façade facing Woodside Avenue, the dwelling had a hipped roof entry with curved awning. Vents on the upper story indicate that it was not a living space (**Attachment A, Figure 1**). Around 1970, an addition was appended to the east, rear side of the building. At this time, the upper story of the original building was likely finished for living space and dormers were added to each side of the roof. Windows were added to the gable ends. The original building was converted into two living units, making it a three-unit building.

Stantec conducted a site visit of 1060 Woodside on February 13, 2026, to document the materials and the building progression (**Attachment B**). Modifications observed include (**Attachment C**):

- Removal of primary porch hipped roof (**Figure 10** and **Figure 9**)
- Rear (east) addition (**Figure 10**)
- Stucco wall cladding replaced with Exterior Insulation and Finish System (EIFS; **Figure 3**)
- Replacement roof cladding (**Figure 9**)
- Windows added to gable ends of second floor (**Figure 10**)
- Window opening added to the south of the primary door (**Figure 10** and **Figure 9**)

Reference: 1060 Woodside Avenue

- Gable-end vents removed and replaced with smaller units (**Figure 10**)
- Some replacement windows (**Figure 10**)
- Finished second floor (**Figure 4**)
- Interior finishes replaced (especially flooring and wall treatments; **Figure 4** and **Figure 5**)
- Interior staircase constructed over the original building's exterior door exit (**Figure 6**)

Other observations include:

- The exterior and addition are clad in EIFS, which was developed in the 1950s. It was not available in the United States until 1969, but it became popular during the 1970s energy crisis (**Figure 3**).
- The original flooring appears to be in a closet in the north unit of the original house (**Figure 5**).
- The floor structure was observed from the basement, and it does not appear that the building had an enclosed porch or any other additions or features enclosed other than the circa 1970 addition described below (**Figure 7**).
- The south, interior chimney is apparent in the basement and may have been associated with a kitchen stove. It is walled in on the interior and appears to now be a mechanical flue (**Figure 8**).

Dates of Modifications and Addition:

- Rear Addition:
 - A one-story rectangular-plan addition with shed roof and exterior chimney is appended to the rear (east) side of the building. Per aerial review, it was constructed between 1967 and 1978. The construction date is estimated to circa 1970. The curved awning on the addition is a different construction method from the awning on the original building but appears to mimic the form. It is not internally connected to the original house; the rear door of the original house is now a closet and is under an interior staircase (**Figure 6**).
- Transition to Multi-family Dwelling:
 - Dormers on each side of the roof gable appear to have been added circa 1970 when the rear addition was appended. It is likely that the upper half-story of the original building was finished during this renovation and that the building was subdivided into a three-unit dwelling circa 1970. The original building volume currently has two units, and the rear addition has one unit.
- Other Modifications:
 - It is likely that the building was reclad in EIFS during the 1970s, supporting the circa 1970 addition date.

In conclusion, the major modifications to the building appear to date to circa 1970. Other modifications, like the roof replacement and select window replacement, may be from later dates.

Reference: 1060 Woodside Avenue

Regards,

Stantec Consulting Services Inc.



Izabella Z. Nuckels MSHP, AIC PA
Historic Preservation Specialist

[Redacted contact information]

stantec.com

- Attachment: Attachment A: Historic Photograph
- Attachment B: Site Visit Photographs (February 2026)
- Attachment C: Building Analysis

Reference: 1060 Woodside Avenue

Attachment A: Historic Photograph



Figure 1. 1940 Tax Photo of 1066 Woodside Avenue. Vents at the upper story and lack of windows indicate that it was not a living space. Source: Park City Municipal Corporation, ILS Form.

Reference: 1060 Woodside Avenue

Attachment B: Site Visit Photographs (February 2026)



Figure 2. Modifications to the primary (west) façade include removal of the hipped roof at the entry, addition of a window opening south of the primary entrance, addition of a roof dormer, and roof cladding replacement.

Reference: 1060 Woodside Avenue



Figure 3. The exterior of the original building has been re-clad in EIFS. The addition is clad in EIFS.

Reference: 1060 Woodside Avenue



Figure 4. Interior modifications include a finished upper floor, new finishes to walls and flooring, and additional windows, including dormers and gable-end windows at the upper floor.

Reference: 1060 Woodside Avenue



Figure 5. The original flooring appears to be extant in this closet.

Reference: 1060 Woodside Avenue

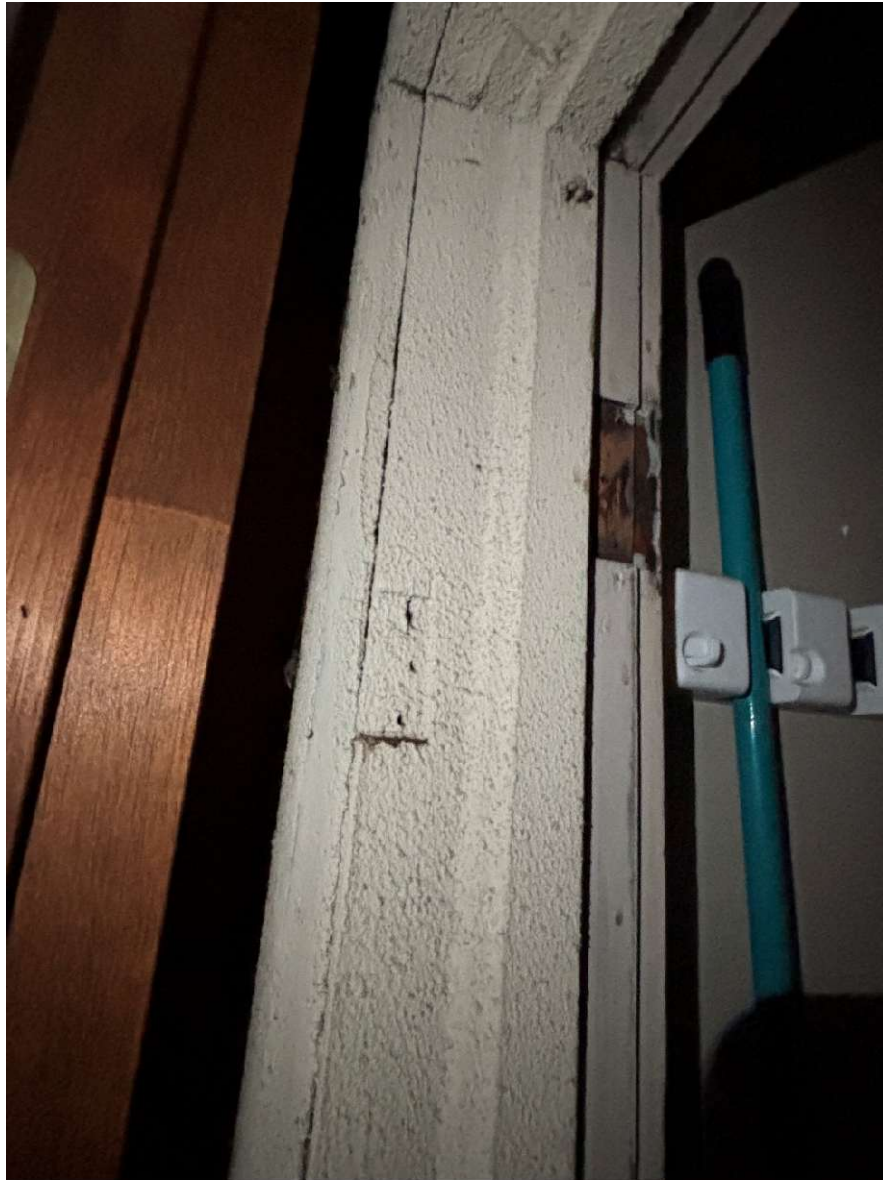


Figure 6. The original rear (east) door appears to be in a closet in the rear addition and under the new staircase in the original building.

Reference: 1060 Woodside Avenue



Figure 7. The floor and foundation structure is visible in the basement.

Reference: 1060 Woodside Avenue



Figure 8. The southernmost, interior chimney extends through the basement and may have originally connected to a stove in the kitchen. It is no longer apparent in the kitchen.

Reference: 1060 Woodside Avenue

Attachment C: Building Analysis

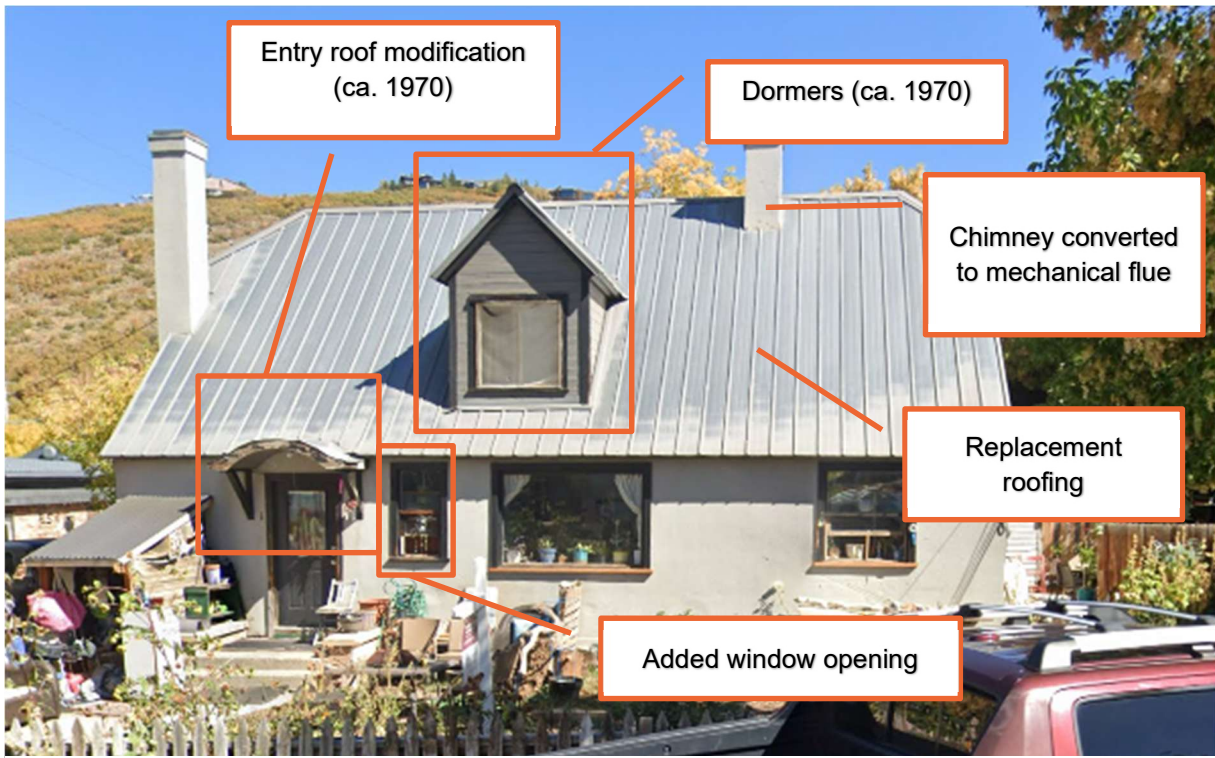


Figure 9. Building modification analysis, primary (west) façade. Source: Google StreetView 2024.

Reference: 1060 Woodside Avenue



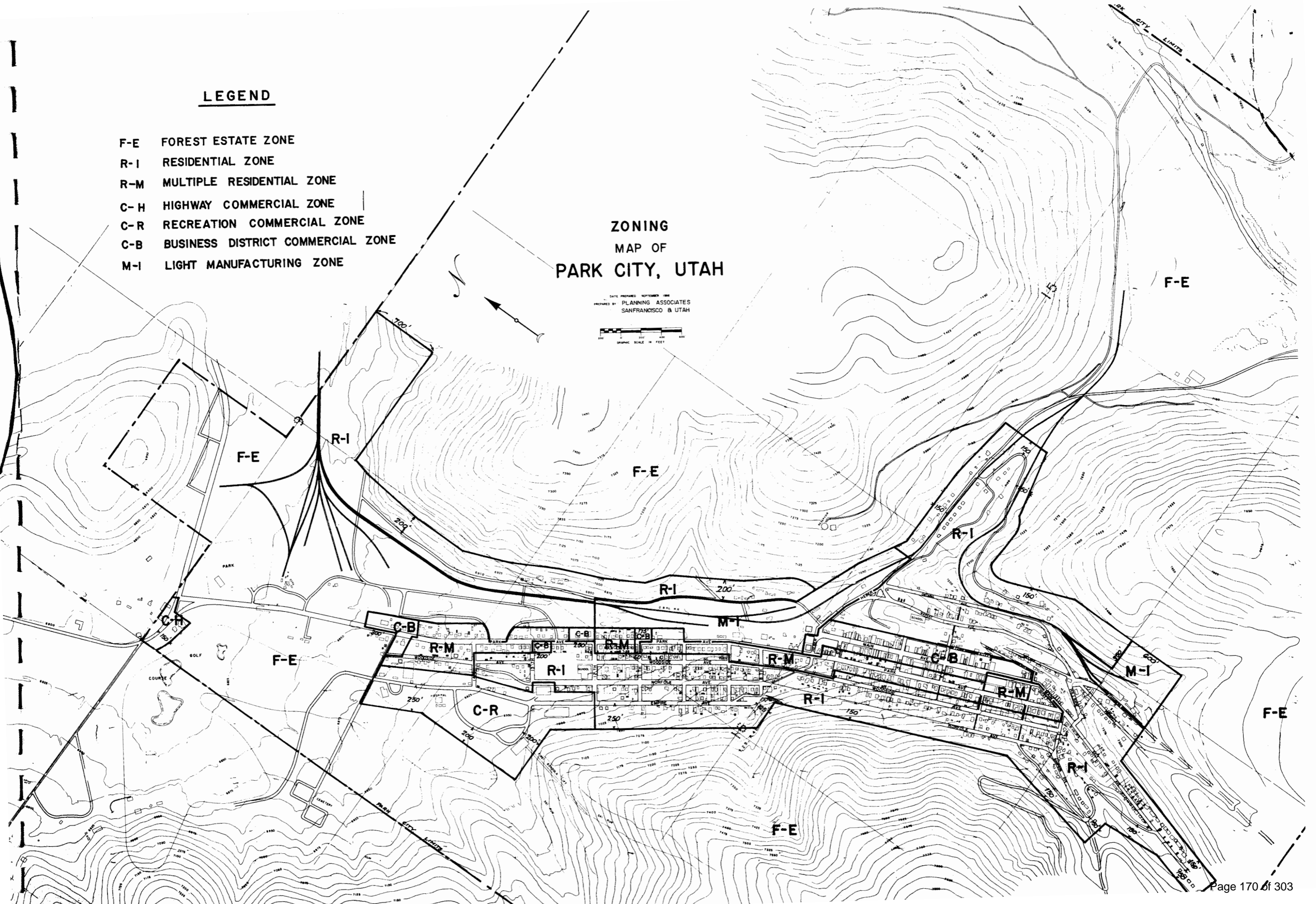
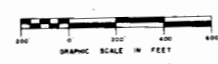
Figure 10. Building modification analysis, side (north) elevation. Source: Google StreetView 2024.

LEGEND

- F-E FOREST ESTATE ZONE
- R-I RESIDENTIAL ZONE
- R-M MULTIPLE RESIDENTIAL ZONE
- C-H HIGHWAY COMMERCIAL ZONE
- C-R RECREATION COMMERCIAL ZONE
- C-B BUSINESS DISTRICT COMMERCIAL ZONE
- M-I LIGHT MANUFACTURING ZONE

**ZONING
MAP OF
PARK CITY, UTAH**

DATE PREPARED SEPTEMBER 1966
PREPARED BY PLANNING ASSOCIATES
SAN FRANCISCO & UTAH



67-9-7. REAR YARD REGULATIONS.

The minimum depth of the rear yard for all main buildings shall be twenty (20) feet, and for all accessory buildings one (1) foot except on corner lots which rear on the side of another lot, accessory buildings shall not be located closer than six (6) feet.

67-9-8. HEIGHT REGULATIONS.

No building shall be erected to a height greater than two and one-half (2-1/2) stories or thirty-five (35) feet and no dwelling shall be erected to a height of less than one (1) story.

CHAPTER 10. RESIDENTIAL ZONE R-1

67-10-1. PERMITTED USES.

- (1) Agriculture.
- (2) Single-family dwelling.
- (3) Two-family dwelling.
- (4) Accessory buildings and uses customarily incidental to the main use.
- (5) Signs, identification, name plate, property, public information, temporary.

67-10-2. CONDITIONAL USES.

- (1) Animal and fowl grazing, pasturing or housing.
- (2) Cemetery.
- (3) Child nursery.
- (4) Golf Course.
- (5) Home occupation.
- (6) Planned unit development meeting the provisions of Chapter 17 of this Ordinance.
- (7) Private recreational grounds and facilities.
- (8) Private educational institutions.
- (9) Public and semi-public buildings and uses.
- (10) Temporary buildings and uses incidental to construction work.

67-10-3. AREA REGULATIONS.

The minimum lot area shall be three thousand (3,000) square feet.

67-10-4. WIDTH REGULATIONS.

The minimum width of any lot shall be thirty-seven and one-half (37-1/2) feet, at a distance of twenty (20) feet back from the front lot line.

67-10-5. SIDE YARD REGULATIONS.

- (1) The minimum side yard for any dwelling or other building shall be

five (5) feet except that a side yard shall not be required where dwelling structures are designed with a common wall on that side lot line.

(2) The minimum side yard for a private garage or other accessory building located at least six (6) feet on the rear of the main building, shall be one (1) foot.

(3) On corner lots, the side yard which faces on a street for both main and accessory buildings shall not be less than ten (10) feet.

67-10-6. FRONT YARD REGULATIONS.

The minimum depth of the front yard for all buildings shall be twenty (20) feet, or the average of the existing buildings where more than fifty (50) percent of the frontage on the block is developed.

67-10-7. REAR YARD REGULATIONS.

The minimum depth of the rear yard for all main buildings shall be ten (10) feet, and for accessory buildings one (1) foot except on corner lots which rear upon the side yard of another lot, accessory buildings shall not be located closer than five (5) feet to such side yard.

67-10-8. HEIGHT REGULATIONS.

No building shall be erected to a height greater than two and one-half (2-1/2) stories or thirty-five (35) feet and no dwelling shall be erected to a height of less than one (1) story.

CHAPTER 11. MULTIPLE RESIDENTIAL ZONE R-M

67-11-1. PERMITTED USES.

- (1) Agriculture.
- (2) One, two, three and four-family dwellings.
- (3) Accessory buildings and uses customarily incidental to a main use.
- (4) Signs, identification, name plate, property, public information, temporary.

67-11-2. CONDITIONAL USES.

- (1) Boarding house.
- (2) Cemetery.
- (3) Clinic, medical or dental.
- (4) Child nursery.
- (5) Club and lodge of a private and non-profit character.
- (6) Golf course.
- (7) Group dwellings.
- (8) Home occupation.

Historic Preservation Board Staff Report



Subject: 1304 Park Avenue Fence
Author: Meredith Covey, Planner II
Date: March 4, 2026
Type of Item: Recommendation to City Council

Recommendation

Consider prior work session discussions and provide a recommendation for City Council consideration regarding the location of a Fence in City Right-of-Way at 1304 Park Avenue (pending further review and a broader policy recommendation regarding fences generally).

Summary

The Historic Preservation Board conducted two work sessions regarding Fence location, material, and style in the residential Historic Districts. There is still work to do. As we continue to evaluate updates to Fence regulations and requirements in the Historic Districts, to assist the City Council in their determination regarding the Fence installation at 1304 Park Avenue in the Right-of-Way, staff requests a formal recommendation.¹

In the meantime, staff will continue to evaluate the locations of Fences and snow removal in residential Historic Districts for future work sessions, conduct public engagement for input, and coordinate with Engineering and Public Works in preparation for a future work session with the Historic Preservation Board, anticipated to be scheduled in June.

Background

On November 18, 2025, the City Council reviewed a property owner's request to install a Fence within the Right-of-Way at 1304 Park Avenue, a Landmark Historic Site. Prior to the rehabilitation of the Historic Structure, a wood picket Fence was maintained.

¹ [December 3, 2025 Staff Report; Audio](#) and [January 7, 2026 Staff Report; Audio](#)



Figure 1: 1304 Park Ave wood picket fence, Google Maps

The Fence proposed to replace the wood picket Fence is a four-foot-tall painted solid cedar Fence. The solid wood impedes visibility of the front yard and Historic Site. Additionally, because of a need to provide for snow storage and that the previous and proposed fence are within the City's right-of-way, Engineering requested the Fence be installed 4-feet from the sidewalk and closer to the Historic Structure than the previous fence. This location does not currently align with other adjacent Fences in the Right-of-Way. The installed fence is shown below.



Figure 3: 1304 Park Ave, painted cedar fence



Figure 4: 1304 Park Ave, painted cedar fence

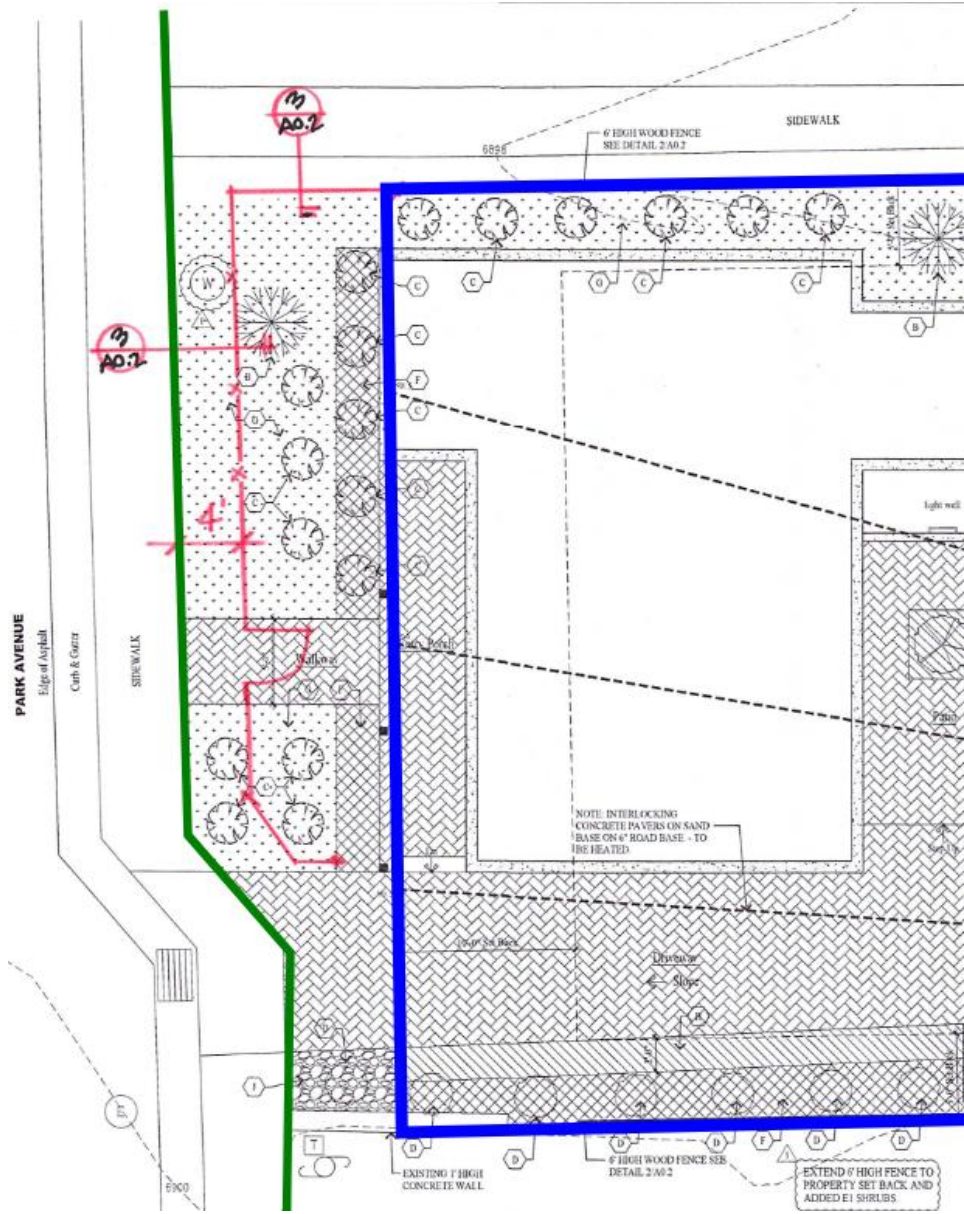


Figure 5: 1304 Park Avenue, the proposed fence is shown in red and is drawn by the Applicant. Staff has highlighted the property line in blue and the back of the sidewalk in green.

The property line at 1304 Park Avenue is 12 feet behind the sidewalk. The proposed Fence encroaches into the Right-of-Way by approximately 8 feet 10 inches. This provides 4-feet between the sidewalk and the fence to provide space in the right-of-way to store snow. The Engineering and Public Works Departments are supportive of the Fence being setback from the sidewalk to mitigate snow storage concerns.

The Engineering Department would require that the proposed Fence not cover or obstruct access to the water meter for the City. This would require that the Fence jog around, or start on the south side of the meter should the HPB recommend a 4 foot, or no setback from the sidewalk.

The HPB could recommend that the Applicant set the Fence back 5 feet from the edge of the sidewalk to avoid a jog in the fence, or recommend no Fence be constructed.

Analysis

(I) The Land Management Code regulates the locations of Fences within an Applicant's property.

The location, height, and design of Fences are reviewed under both the Historic District Design Regulations and the applicable Zoning District standards. In the Historic Residential – Medium Density (HRM)² Zoning District, Fences no more than four feet in height are permitted in the Front Setback and Fences no more than six feet in height are permitted in the Side and Rear Setbacks. On Corner Lots, Fences more than three feet in height are prohibited within twenty-five feet of the intersection, at back of curb. No obstruction may be placed exceeding two feet in height within the Site Distance Triangle, a triangular area within 25 feet at the intersection of two streets.

For potential exceptions to the Setback height limitations, Fences may be approved through an Administrative Permit to address site-specific considerations (like a substantial change in grade between two properties, steep slopes, etc.) outlined in LMC [§ 15-4-2 Fences and Retaining Walls](#).

However, the proposed Fence at 1304 Park Avenue is not governed by LMC Setbacks because it is proposed to be installed within Right-of-Way. As a result, the City Council requests Historic Preservation Board input on the appropriate location of the Fence in consideration of compatibility with the Historic District.

(II) Historically, Fences in the Front Yard were located adjacent to the sidewalk. Currently Fences vary in distance from the sidewalk.

² LMC [§ 15-2.4-3](#)



Figure 6: 1940s tax photo, courtesy of the Park City Museum



Figure 7: 1940s tax photo, courtesy of the Park City Museum



Figure 8: 1940s tax photo, courtesy of the Park City Museum

Figures 1 – 3 indicate Fences in the Front Yard were typically installed adjacent to the sidewalk.

Currently Fences at residential Sites on Park Avenue vary in their distance from the sidewalk, as shown in Figures 4 – 6.



Figure 9: Fence in the vicinity of 1304 Park, provided by planning staff

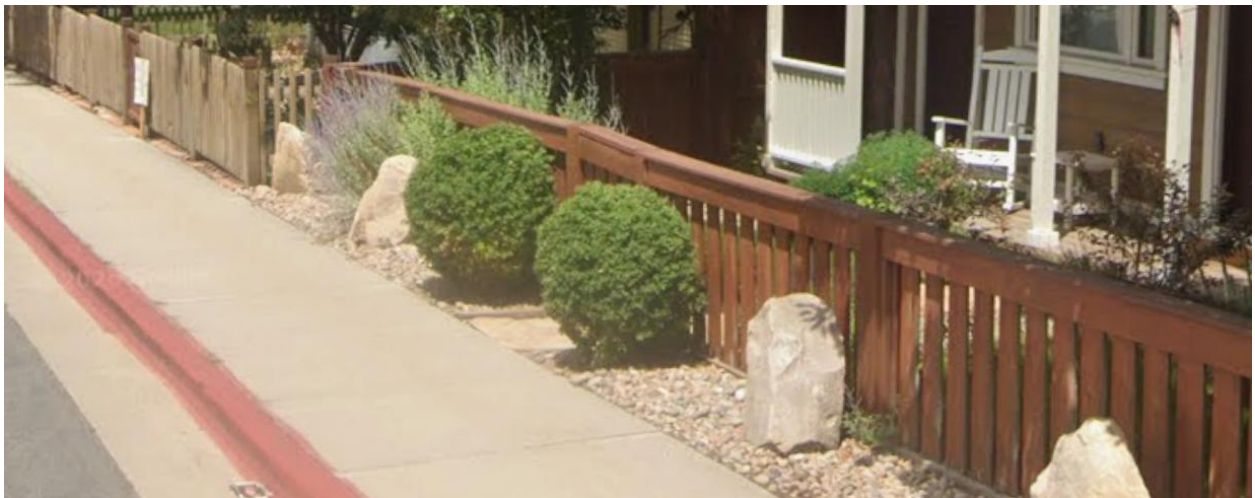


Figure 10: Fence in the vicinity of 1304 Park, provided by Planning staff



Figure 11: Fence in the vicinity of 1304 Park, provided by Planning staff

Fences are both offset from the sidewalk by a couple feet or directly adjacent to the sidewalk. It is not uncommon to have no Fence in the Front Yard on Park Avenue. Based on Planning staff review, the Fences do not follow a continuous line or pattern on the Street.



Figure 12: 2011 Streetscape at 1304 Park Avenue. The previous Fence was off-set from the sidewalk and not in line with adjacent Fences. Provided by Staff.



Figure 13: Depiction of the varied right-of-way and fence lines on Park Ave. Provided by Staff.

Additionally, the relationship of property lines and right-of-way to the sidewalk or edge of street varies on Park Avenue. In Figure 13, the blue line depicts the City-owned right-of-way. The dark red depicts existing fences along Park. The bright red depicts the proposed fence location at 1304 Park Ave.

(III) Encroachment Agreements and Snow Storage in Historic Districts.

Snow storage easements for roads, sidewalks, and pathways may be required as part of a plat review; many Old Town residential lots include a ten-foot-wide snow storage easement adjacent to public Right-of-Way.³ Snow storage easements prohibit construction of Fences in these areas, meaning new Fences, or Fences on Historic Sites that are removed and later reconstructed, must be set back at least ten feet to clear the snow storage easement area.

The Engineering and Public Works Departments provided the following information for Encroachment Agreements and snow storage:

“Park City’s Rights-of-Way are complicated. In many locations, the Right-of-Way extends significantly behind the sidewalk or gutter and well into what people perceive as their property; on Park Ave., this boundary between Public and Private property is at some people’s front doors. This means that, while typically, these homes have had fences, landscaping and perceived ownership over their front yard areas, this property is actually City owned, but this does allow us more regulatory opportunities. As a City, we have a responsibility to balance property owner’s desires with City needs and we look to ensure that such modifications do not compromise public safety, access, or the intended use of the space. As such, when a property owner requests to install something within this City right-of-way, they must receive formal approval from City Council (or for some types of encroachments, City Council has delegated authority to the City Engineer) for these installations. When reconstruction occurs, and we are asked to review the proposed encroachment requests, we look to balance the past

³ LMC [§ 15-7.3-4\(F\)](#) and [15-7.3-8\(A\)\(1\)](#)

uses, historic context, as well as seeking to improve upon existing conditions rather than simply replicate them. This approach allows for the property owner to continue enjoying the benefits they have previously enjoyed, while ensuring the enhancements better serve public needs, such as improved safety, accessibility, or snow management.

For example, along Park Avenue, fences, though located within the right-of-way, contribute to the historic and aesthetic character of the street. While the Engineering Department, in representing the City, has generally been willing to accept these fences as part of the neighborhood fabric, we also aim to incorporate practical improvements. One of these such improvements is a 4-foot snow storage buffer adjacent to the sidewalk. This buffer provides a designated area for snow displaced from sidewalks and streets, helping to maintain clear pedestrian pathways and reduce maintenance challenges during winter months. Without designated snow storage areas along our roadways, snow needs to be hauled to designated snow storage areas on the limits of town at significant expense.

This is being brought before HPB due to a specific project that led to the need for a wider policy discussion. 1304 Park Ave had a fence in their front yard for decades. During their addition and remodel, they removed the fence and requested encroachment permission to replace the fence upon completion of the project. Fences are not one of the encroachments that the Engineering Department has approval authority over, so this request went before Council. Council, seeing the fence was out of alignment with the other fences along Park and was of a different aesthetic design, wanted more direction from HPB about an overall policy for fences along Park Ave. before making a decision on this individual fence.”

(IV) The Applicant will be required to obtain HDDR approval for the design of the Fence.

The Applicant submitted a Modification Application (PL-25-06779) to the Planning Department to update the Fence proposal. The Planning Department will review the proposed Fence to ensure it is compliant with the material and design regulations for Historic Residential Sites.⁴ The Fence will be required to:

- Reflect the style of the building to which fencing is associated when viewable from the primary public right-of-way.
- Reflect traditional designs and patterns.
- Not be solid and reflect the traditional solid-to-void ratio of Fences in Historic Districts. The spacing between the pickets shall be ½ the width of the boards.
- Reflect the pedestrian size and scale of Park Avenue.

Historic Preservation Board Recommendation

What does the Historic Preservation Board find is the appropriate location for the Fence at 1304 Park Avenue?

⁴ LMC [§ 15-13-8\(B\)\(1\)\(e\)](#)

The Board may recommend:

- The City Council allow the Fence to be located 4 feet behind the sidewalk as proposed to account for snow storage concerns.
- The City Council require the Applicant to locate the Fence approximately 5-feet behind the curb to follow a straight line.
- The City Council require the Applicant locate the Fence directly behind the sidewalk to mirror the location of Historic Fences.
- The City Council disallow the construction of a Fence within the Right-of-Way

The City Council will review the requested encroachment, the Historic Preservation Board's recommendation, and take Final Action.

Department Review

The Planning Department, Executive Department, and City Attorney's Office reviewed this report.

Historic Preservation Board Staff Report



Subject: 322 Main Street, Red Banjo Pizza
Application: PL-24-06265
Authors: Elissa Martin, Planning Project Manager
Lillian Zollinger, Planner III
Date: March 4, 2026
Type of Item: Material Deconstruction

Recommendation

- (I) Review the Material Deconstruction for 322 Main Street to:
- Remove the historic roof form to accommodate a rooftop addition.
 - Remove approximately 320 square feet of the historic siding and the brick chimney on the tertiary wall to accommodate a rear addition.
 - Excavate 1-foot 6.5 inches deeper for upgrades to the foundation.
 - Consider removal of portions of the second-story historic material on the front façade to install windows.
- (II) Conduct a public hearing.
- (III) Consider approving the Material Deconstruction based on the Findings of Fact, Conclusions of Law, and Conditions of Approval in the draft Final Action Letter (Exhibit A).

Description

Applicant: Red Banjo Real Estate, LLC
Location: 322 Main Street
Zoning District: Historic Commercial Business
Adjacent Land Uses: Commercial
Reason for Review: The Historic Preservation Board reviews and takes Final Action on Material Deconstruction in accordance with LMC [§ 15-11-12.5](#).

HDDR Historic District Design Review
HCB Historic Commercial Business
HPB Historic Preservation Board
HSI Historic Sites Inventory
LMC Land Management Code

Terms that are capitalized as proper nouns throughout this staff report are defined in LMC § [15-15-1](#).

Summary

The Applicant requests Material Deconstruction to facilitate a rooftop and rear addition and modifications to the front façade of the Structure at 322 Main Street, known as Red Banjo Pizza, a Landmark Historic Structure on Park City’s Historic Sites Inventory¹

¹ LMC [§ 15-11-10\(D\)\(2\)\(f\)](#)

fronting Main Street. The rear of the site is a vacant parcel along Swede Alley.



Figure 1: Image from Google Earth showing the property viewed from Main Street



SITE LOOKING TOWARDS BUILDING



SITE LOOKING TOWARDS SWEDE ALLEY

Figure 2: Photos from Applicant's submittal showing the property viewed from Swede Alley

Background

According to the 2016 Historic Site Form, "the original building on the site of 322 Main housed Tim O'Keeffe's cigar shop and J.R. Funk's barbershop, but it was destroyed in the 1898 Fire" and the existing building was constructed c. 1900 during the Mature

Mining Era (1894 – 1930). The evolution of commercial businesses in the building since it was reconstructed c. 1900 are described:

The 1900 Sanborn map shows a saloon and confectionary in the building. The north half (confectionary) was vacant by 1907, while the saloon was still in the building. Joseph Sullivan owned the building from 1920 until 1945, and the two halves were combined into one business, a pool hall, by 1929. Mike Sofianides ran a tavern in the building starting in 1945. . . Sofianides died on May 28, 1970 in a Salt Lake City nursing home, leaving his property at 322 Main to his nephew Albert Mitchell.²

. . . By the time of Sofianides's death, Pete and Mary Lou Toly were running the Red Banjo out of the building, which opened on May 24, 1962. Initially, the business was run as a bar but became a pizza parlor in the late 1960s. The Tolys bought the building from Mitchell in 1976. . . the Red Banjo has become Park City's oldest running restaurant.³

² "M. Sofianides Rites Tuesday," *Park Record*, June 4, 1970.

³ Ferguson, Dana, "Park City's Red Banjo Pizza Parlour celebrates 50 years," *The Salt Lake Tribune*, June 21, 2012.

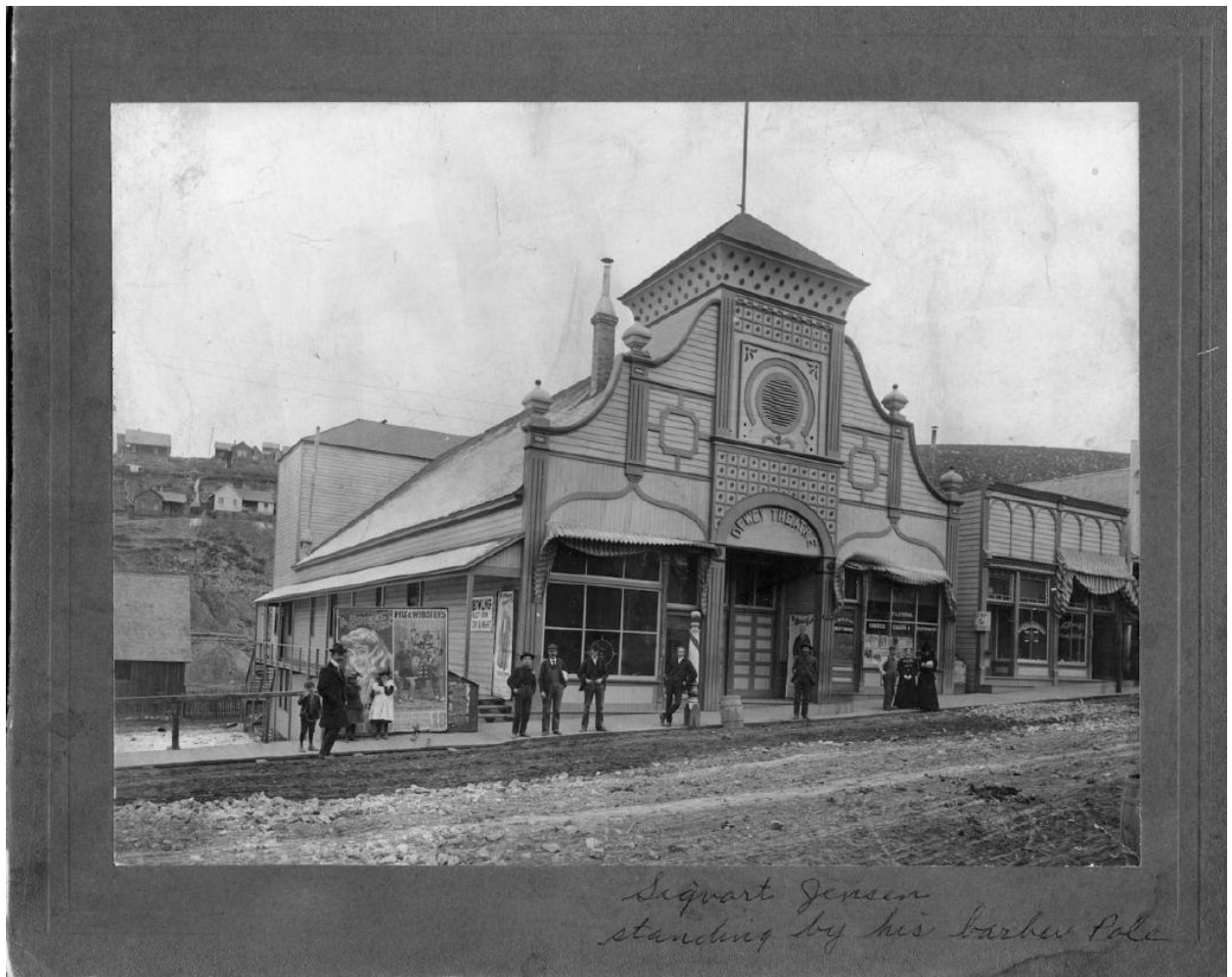


Figure 3: 1899 photo showing storefront windows with transoms and six arches on the second story.



Figure 4: Structure in the 1940s and 1950s showing modifications to the entryways, reduction of the storefront windows, and replacement of the transom windows with a horizontal span of grid glazing



Figure 5: Photo of 322 Main Street likely from the 1960s showing a transition from brick and tile to a vertical wood facade

In 1976, the second-story deck/balcony was constructed and upgrades to the primary façade were completed, including the iconic red paint and white trim seen on the current building. No door or window openings on the second level were installed at that time. In a 1976 Park Record article discussing renovations, the author described the secondary façade that contained “the giant advertisement boasting Bull Burham tobacco for 15 cents a bag. [Peter Toly] says the ad has been on the building since 1929” (Exhibit H). The remodel revealed façade features seen in the 1899 photo, including the transom windows and six arches on the upper level, although the original storefront windows are no longer present.



Figure 6: Photos of 322 Main Street featured in the October 10, 1976 Park Record article discussing the remodel

After the 1976 remodel, the site was listed on the National Register of Historic Places in 1979 as part of the *Park City Main Street Historic District* and the Historic Site Form notes it retains its historic integrity as a Landmark Historic Site.

Subsequent Planning applications include:

- 1997 re-roof
- 2003 deck upgrade for outdoor dining with addition of doorway to the balcony
- 2008 grant to install exterior windows on the rear of the building
- 2017 deck repair with new railing
- 2023 storefront window replacement

On February 10, 2026, the Board of Adjustment granted a Variance for 322 Main Street from the required HCB Zoning District 25-foot minimum Lot width for the Landmark Historic Structure and Site ([Packet](#), Item 6A; [Media](#)). On February 25, 2026, the Planning Commission approved the Red Banjo Plat Amendment creating one contiguous Lot for 322 Main Street that spans from Main Street to Swede Alley to reflect ownership and existing conditions and to resolve the encroachment of the Landmark Historic Structure onto 324 Main Street ([Packet](#), Item 6.B; [Media](#)).

Due to the unique history and changes to the features of the Landmark Historic Site over time, staff requested analysis by the Historic Preservation Consultant, Stantec. For their detailed site history and recommendations, please see Exhibit C.

Analysis

Pursuant to Land Management Code (LMC) [§ 15-11-12.5](#), the Historic Preservation Board reviews Material Deconstruction to accommodate additions, new construction, and structural upgrades. Material Deconstruction must comply with LMC [Chapter 15-13 Regulations for Historic Districts and Sites](#).

(I) The proposed Material Deconstruction of the historic roof form to accommodate a rooftop addition that is set back from the primary façade complies with the requirements of Land Management Code § 15-13-3(B)(4)(d) Rooftop Additions.



Figure 7: Applicant's streetscape submittal

According to the Applicant's Physical Conditions Report, the structure of the roof is "being held up by a system of wood trusses that transfer loads to a centerline of beams and columns (lengthwise) and exterior walls. These members look to be in good condition though inspection by visiting the attic space was not explored." The Applicant proposes to remove the roof and retain the existing beam structure as a decorative feature and "[t]he existing truss system will be incorporated as possible with roof boards removed and used decoratively in other parts of the building." The roof's non-historic TPO membrane will be removed.

LMC [§ 15-13-3\(B\)\(4\)\(d\)](#) outlines requirements for rooftop additions:

- Up to one story in height is allowed.
- They must be recessed from the primary character-defining façade to preserve the perception of the historic scale, height, and façade of the historic structure.
 - They must be recessed from the façade to a distance that is at least equal to the height of the historic façade or beyond the midpoint of the structure to ensure the rooftop addition is minimally visible from the right-of-way.

The Applicant's proposal complies. The request for Material Deconstruction is to remove the roof form to accommodate an additional story. Approximately 515 square feet will provide a 20.5-foot stepback from the primary historic façade, a distance that is equal to the 20.5-foot height of the historic façade.

(II) The proposal for Material Deconstruction of approximately 320 square feet of the historic rear wall and the brick chimney to accommodate an addition along Swede Alley complies with the requirements of Land Management Code § 15-13-3(B)(4) Additions.

There are no Setback requirements in the HCB Zoning District.⁴ As a result, whether a Swede Alley addition is connected to or adjacent to the Landmark Historic Structure, the existing side and rear façades will not be visible from rights-of-way.

According to the Applicant's Physical Conditions Report, the walls date to approximately 1900. The wall parallel to Swede Alley is "lasting and likely original covering is a wood drop novelty or dutch drop siding" and the wall parallel to Main Street "also employs drop novelty or dutch drop siding. When the building changed business operations from a bar to a pizza restaurant, a row of glass block was removed (or covered) and original siding exposed. With the restaurant switch, a deck was also added to the façade. On this façade, on both levels, faux columns were applied directly to the siding with arch projections walls on the deck level added to simulate a windowed effect. At a later date, a door was added to one of the arched areas to allow access to the deck."

Regarding protection of Historic Structures, LMC [§ 15-13-3\(B\)\(4\)\(a\)](#) outlines regulations for additions to primary commercial structures:

⁴ LMC § [15-2.6-3](#)

- They should be considered only after it has been demonstrated that the proposed use cannot be accommodated solely by altering interior spaces.
- They shall be considered with caution and only on non-character-defining facades, usually rear.
- They should be visually subordinate to historic buildings when viewed from the right-of-way.
- They shall not require significant removal of historic material.

LMC [§ 15-13-3\(B\)\(4\)\(c\)](#) states that a transitional element is not needed for commercial structures if the new addition is visually differentiated from the historic structure as viewed from the right-of-way through a shift in wall plane, a change in material or pattern, or by using other design elements. Additionally, in-line additions may be appropriate when the joint between the historic structure and new addition is not visible from the right-of-way.

The Applicant proposes leaving the secondary south and north walls as they are when the renovation occurs and upgrading the wall structures. The mural on the north façade will remain (it is inaccessible) and no new window openings on secondary facades are proposed.

LMC [§ 15-13-3\(B\)\(4\)\(e\)](#) outlines requirements for rear additions fronting Swede Alley:

- They must be reduced in scale as they reach Swede Alley to maintain the pedestrian character.
- They must be subordinate and complementary regarding public access and streetscape or character area amenities. Rear entrances shall accommodate both service activities and secondary access.
- The facades shall be simple in detail and complement the character of the building's primary entrance on Main Street.

The addition will be required to comply with LMC [§ 15-2.6-7 Swede Alley Development Criteria](#), which establishes a step down toward Swede Alley at an angle of 45 degrees to a maximum height of 24 feet at the edge of the right-of-way and the final design must be simple in detail and complementary to the Main Street facade.

The applicant proposes leaving the rear foundation wall in place and removing approximately 320 square feet of the historic siding along Swede Alley. The rear wall includes a non-historic metal door with a half lite and three non-historic windows with double pane lites and composite construction, likely installed in 2008 or thereafter when the Historic District Grant was awarded for rear window replacement.

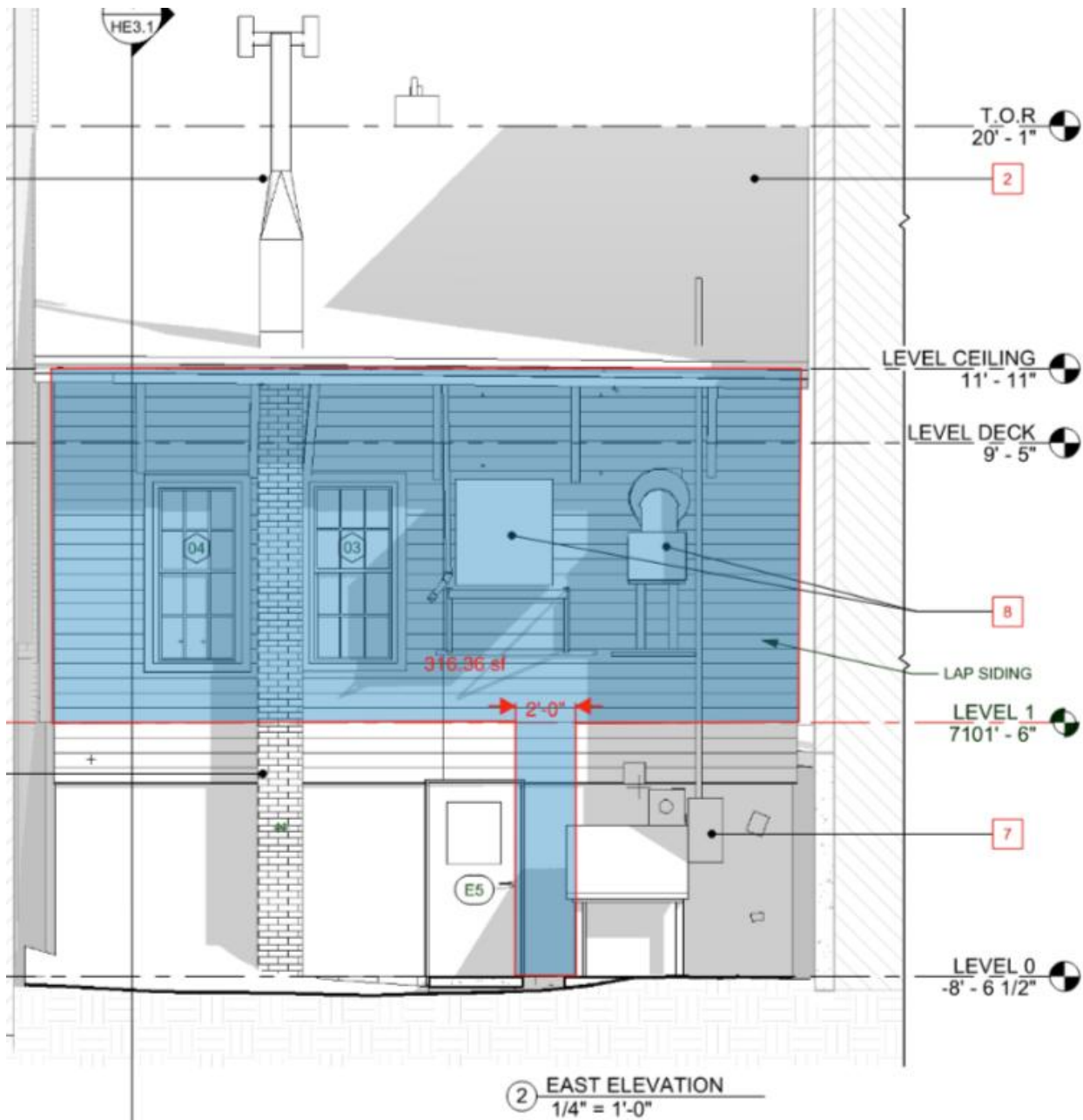


Figure 8: Portion of rear historic materials proposed to be removed.

LMC [§ 15-3-3\(B\)\(4\)\(j\)](#) states historic chimneys and their decorative features are important character-defining features of historic buildings and shall be preserved and maintained.

The Applicant’s Physical Conditions Report notes the chimney on the rear wall is not documented but is very likely historic because “[s]tandard red brick was constructed as 16” square with infill brick used to connect to the structure. One could envision it being used as part of a heating system for the building in years past.” The Applicant’s Historic Preservation Plan states that the chimney could be retained but would be absorbed into

the building and de-constructed. Rather, they propose retaining the bricks to be used decoratively in the building. The metal component on top of the existing roof will be removed. Staff finds that because this proposal meets the requirements of rear additions along Swede Alley, the Material Deconstruction of the chimney be approved.



Figure 9: Applicant's photo submittal showing the rear façade, with most materials replaced in 1976. The Applicant's Historic Preservation Plan indicates the brick of the chimney is historic but is proposed to be removed.

(III) The proposal excavate 1-foot 6.5 inches deeper and upgrade to the foundation walls complies with Land Management Code § 15-3-3(B)(2)(a) Foundations.

LMC [§ 15-13-3\(B\)\(2\)\(a\)](#) requires the historic placement, orientation, and grade of a historic building to be retained and that historic foundations not be covered with new materials. The Applicant's Physical Conditions Report notes the foundation consists of concrete masonry unit (CMU) blocks and the blocks may not be grouted for structural advantage. The Applicant proposes a separate structural system inside the existing CMU block walls and therefore complies with the LMC.



IMAGE 1



IMAGE 2



IMAGE 3

Figure 10: Applicant's photos of the foundation

LMC [§ 15-13-3\(B\)\(2\)\(a\)](#) states a basement addition shall generally not raise the historic structure more than two feet. The Applicant proposes excavating an additional 1-foot 6.5-inch deeper for the foundation upgrades and basement, but the historic structure will remain at its existing height.

(IV) The Applicant proposes rehabilitating the Landmark Historic Structure to its 1976 form with modifications to allow for second-story windows. Staff and the City's Historic Preservation Consultant support the restoration to the 1970s Recreation and Tourism Era, consistent with Land Management Code § 15-13-3, but request input on whether second-story windows may be allowed if compatible with historic windows in the District.

As noted in the Historic Site Form and consultant report, the Landmark Historic Structure has undergone significant modifications over the years:

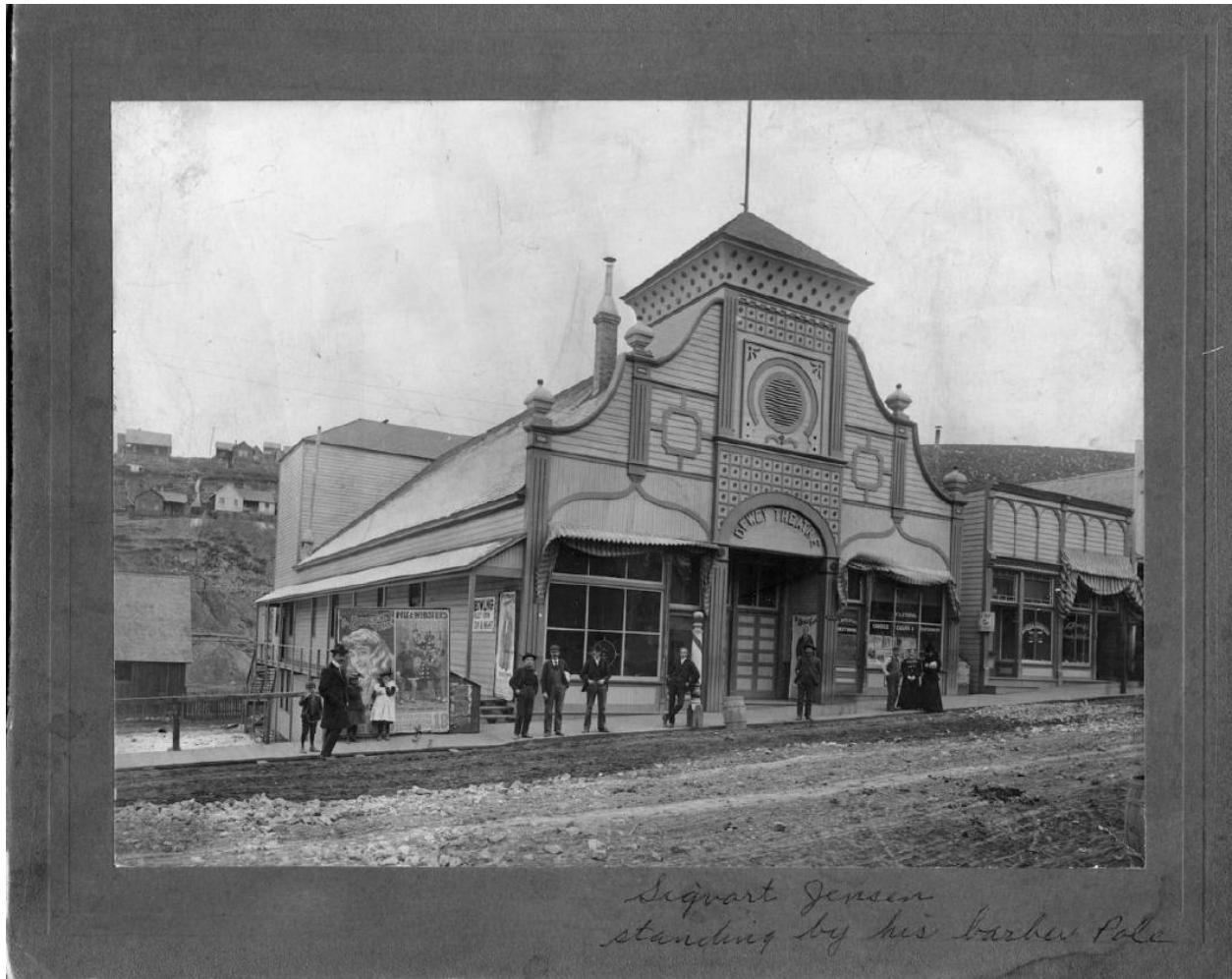


Figure 11: 1899 photo showing the facade details revealed again after 1970s renovations with expansive storefront windows with transoms



Figure 12: Structure in the 1940s and 1950s showing the storefront windows were reduced in size and the transom windows were replaced with a horizontal span of extensive glazing



Figure 13: 1960s photo with horizontal expanse of glazing removed



Figure 14: 1970s façade modifications with the 1899 arches on the second story and reduced storefront glazing. The transom windows are not replaced but a deck/balcony is added.

LMC [§ 15-13-3\(A\)\(2\)\(b\)](#) states primary façade elements such as windows shall be preserved and maintained in their original location on the façade and interior changes that affect the appearance of the primary façade shall be avoided. However, LMC [§ 15-13-3\(A\)\(2\)\(f\)](#) states that historic window openings that have been altered or lost over time be restored, but it is not appropriate to change the position, proportions, or dimensions of historic window openings. “When no physical or documentary evidence of original windows exists, replacement windows typically shall be of wood and shall complement the style of the historic structure.”

The Applicant proposes removing portions of the second-story siding on the primary façade within the existing arches to install windows. There are examples of historic commercial buildings constructed during the Mature Mining Era that have second story windows characterized by a solid to void ratio of mostly solid siding with two to one (2:1) vertically oriented window openings.



Figure 15: The Historic Salt Lake House on Main Street



Figure 16: Historic photo of Main Street facades with second level windows

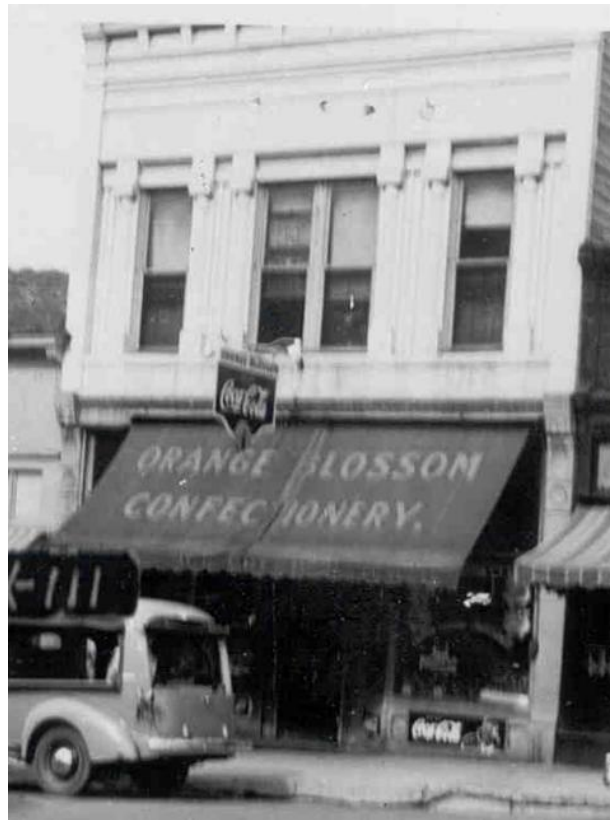


Figure 17: Examples of second story windows on Historic Main Street



Figure 18: Opera House 1891

The consultant finds the building no longer retains integrity of materials, workmanship, and design from its original appearance, and therefore, it is not significant as an 1899 commercial building in Park City. Rather, 322 Main Street retains its appearance from the 1976 renovation, completed during the City's era of recreation and tourism during the 1960s and 1970s when many mining era buildings were renovated to support increasing tourism. The consultant recommends that if the Applicant restores the Landmark Historic Structure to the Recreation and Tourism Era of the 1976 façade, no windows on the second story be added because this maintains the historic appearance established during the Recreation and Tourism Era.

While final design will be reviewed by Planning staff, staff requests whether the Historic Preservation Board finds material deconstruction of the second story may be allowed pursuant to the LMC. If so, then staff recommends Condition of Approval be added to require that the Material Deconstruction of the second story materials be limited to windows that meet the solid to void ratio of historic commercial buildings as part of the Historic District Design Review (HDDR).

To retain its Historic Integrity, the following must be considered (LMC [§ 15-15-1](#)):

HISTORIC INTEGRITY. The ability of a Site to retain its identity and, therefore, convey its Significance in the history of Park City. Within the concept of Historic Integrity, Park City Municipal Corporation recognizes seven (7) aspects or qualities as defined by the National Park Service, that in various combinations define integrity. They are as follows:

1. **Location**. The place where the Historic Site was constructed or the Historical event took place.
2. **Design**. The combination of physical elements that create the form, plan, space, Structure, and style of a Site. Design includes such considerations as the structural system, massing, arrangement of spaces, pattern of fenestration, textures and colors of surface materials, type, amount and style of ornamental detailing, and arrangement and type of plantings in the designed landscape.
3. **Setting**. The physical environment, either natural or manmade, of a Historic Site, including vegetation, topographic features, manmade features (paths, fences, walls) and the relationship between Structures and other features or open space.
4. **Materials**. The physical elements that were combined or deposited during a particular period of time in a particular pattern or configuration to form a Historic Site.
5. **Workmanship**. The physical evidence of the crafts of a particular culture or people during any given period of history, including methods of construction, plain or decorative finishes, painting, carving, joinery, tooling, and turning.
6. **Feeling**. A Site's expression of the aesthetic of Historic sense of a particular period of time. Feeling results from the presence of physical features that, taken together, convey the Property's Historic character.
7. **Association**. The direct link between an important Historic era or Person and a Historic Site. A Site retains association if it is in the place where the activity occurred and is sufficiently intact to convey that relationship to an observer.

(V) The proposed Material Deconstruction must meet the requirements of LMC § 15-11-9 Preservation Policy outlined below:

Historic Preservation Plan. The Applicant submitted a Historic Preservation Plan that details the extent of the modifications and methods of preservation of Historic Material (Exhibit E).

Financial Guarantee Required. Pursuant to LMC [§ 15-11-9](#) a Financial Guarantee is required prior to the submittal of a building permit. The Chief Building Official will determine the dollar amount for the Financial Guarantee, and the Applicant will be required to record an encumbrance agreement, or other instrument in a form acceptable to the City Attorney, with the Summit County Recorder's Office. When the work has been completed the Applicant will be responsible for contacting Park City Municipal Corporation to request a release of the encumbrance. Planning Staff will conduct an inspection to ensure compliance with the Conditions of Approval, Historic Preservation Plan, and all other required codes, standards, and ordinances. Condition of Approval 7 in the Draft Final Action Letter reflects these requirements.

The Applicant must obtain Historic District Design Review approval.

Prior to issuance of a building permit for any Material Deconstruction, Planning staff shall review the proposed plans for compliance with [Chapter 15-13 Regulations For Historic Districts and Historic Sites](#).⁵ In addition to the HPB's decision on Material Deconstruction, the Applicant will be required to obtain HDDR approval. Condition of Approval 10 requires the Applicant to obtain HDDR approval prior to submitting a building permit application.

Department Review

The Planning Department, Executive Department, and City Attorney's Office reviewed this report.

Notice

Staff published notice on the City's website and the Utah Public Notice website on February 18, 2026. Staff mailed courtesy notice to property owners within 100 feet and posted notice to the property on February 17, 2026. The *Park Record* published courtesy notice on February 18, 2026.⁶

Public Input

Staff did not receive any public input at the time this report was published.

Alternatives

The Historic Preservation Board may:

- Approve the Material Deconstruction of 322 Main Street based on to Findings of Fact, Conclusions of Law, and Conditions of Approval (Exhibit A).

⁵ LMC [§ 15-11-12.5](#)

⁶ LMC [§ 15-1-21](#)

- Deny the Material Deconstruction of rear wall and portions of the front façade of 322 Main Street and direct staff to make Findings for the denial.
- Request additional information and continue the discussion to a date certain or uncertain.

Exhibits

A: Draft Final Action Letter

B: Existing Conditions

C: Consultant Memo

D: Applicant's Narrative

E: Physical Conditions Report and Historic Preservation Plan

F: 2008 Historic Site Form

G: 2016 Historic Site Form

H: 1976 Park Record Article



Planning Department

March 4, 2026

Bryan Markkanen

CC: Red Banjo Real Estate, LLC

NOTICE OF HISTORIC PRESERVATION BOARD ACTION

Description

Address: 322 Main Street
Landmark Historic Site

Zoning District: Historic Commercial Business

Application: Material Deconstruction

Project Number: PL-24-06265

Action: APPROVED WITH CONDITIONS (See Below)

Date of Final Action: March 4, 2026

Project Summary: The Applicant proposes removing the historic roof form to accommodate a rooftop addition, removing approximately 320 square feet of the historic siding and the brick chimney on the rear wall to accommodate a rear addition, excavating 1-foot 6.5 inches deeper for upgrades to the foundation, and removing portions of the second-story historic material on the front façade to install windows.

Action Taken

On March 4, 2026, the Historic Preservation Board conducted a public hearing and approved the Material Deconstruction for 322 Main Street according to the following findings of fact, conclusions of law, and conditions of approval:

Findings of Fact

1. 322 Main Street was constructed in 1899 to replace a building previously destroyed by the 1898 Park City fire. The wood-frame, one-part commercial block building facing west to Main Street was rebuilt to house a saloon in the south half and a confectionary in the north half.



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2. An 1899 historic photograph indicates the primary façade had a decorative cornice, six evenly spaced wood arches on an upper story with no fenestration, and two symmetrical storefronts with storefront windows, inset doors, and glazed transom.
3. The façade of 322 Main Street was altered multiple times from the 1920s through the 1970s.
4. The building shifted to a single tenant by 1929 and operated as a pool hall.
5. Starting in 1945, it was operated as a tavern.
6. In the 1940s, the building façade was clad in tile at the first floor and brick veneer at the upper story. The glazed storefronts were removed and a centered double door was installed. The arches on the upper floor were covered.
7. In 1962, it became the Red Banjo first operating as a bar and then as a pizza restaurant, and the following year, was renovated.
8. It appears the 1960s renovation occurred when the building was used as the Red Banjo Saloon; the masonry and tile cladding was removed and most of the façade was covered in vertical boards. No windows are apparent on the building façade and there is an inset door.
9. In 1976, the structure was renovated and the cladding was removed, uncovering and restoring the upper floor six arches. On the ground floor, two 24-light windows were added to flank central double doors. A balcony supported by wood posts was appended to the façade. The building's dentiled cornice appears to have been retained throughout its history. The building retains its 1976 appearance.
10. According to the Intensive Level Survey, Red Banjo is the oldest continuously operating restaurant in Park City.
11. The 2019 Park City Main Street Historic District Boundary Increase National Register of Historic Places nomination includes a context for a Recreation and Tourism Era (1964-1980).
12. The 1960 Olympic games in Squaw Valley, California, led to a substantial increase in skiing and resorts across the United States.
13. In 1963, the United Park City Mines opened Treasure Mountain Resort (now Park City Mountain Resort).
14. Park City businesses shifted to cater to growing tourism and many owners began renovating their historic buildings. Concurrently, the City was embracing heritage tourism and was increasingly marketed as a historic mining town.
15. Pursuant to Land Management Code (LMC) § 15-11-12.5, the Historic Preservation Board reviews Material Deconstruction to accommodate additions,



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new construction, and structural upgrades. Material Deconstruction must comply with LMC Chapter 15-13 *Regulations for Historic Districts and Sites*.

Material Deconstruction of Historic Roof Form

16. According to the Applicant's Physical Conditions Report, the structure of the roof is "being held up by a system of wood trusses that transfer loads to a centerline of beams and columns (lengthwise) and exterior walls. These members look to be in good condition though inspection by visiting the attic space was not explored." The Applicant proposes to remove the roof and retain the existing beam structure as a decorative feature and "[t]he existing truss system will be incorporated as possible with roof boards removed and used decoratively in other parts of the building." The roof's non-historic TPO membrane will be removed.
17. LMC § 15-13-3(B)(4)(d) outlines requirements for rooftop additions:
 - a. Up to one story in height is allowed.
 - b. They must be recessed from the primary character-defining façade to preserve the perception of the historic scale, height, and façade of the historic structure.
 - i. They must be recessed from the façade to a distance that is at least equal to the height of the historic façade or beyond the midpoint of the structure to ensure the rooftop addition is minimally visible from the right-of-way.
18. The request for Material Deconstruction is to remove the roof form to accommodate an additional story. Approximately 515 square feet will provide a 20.5-foot stepback from the primary historic façade, a distance that is equal to the 20.5-foot height of the historic façade.

Material Deconstruction of Historic Rear Wall and Chimney

19. There are no Setback requirements in the HCB Zoning District. As a result, whether a Swede Alley addition is connected to or adjacent to the Landmark Historic Structure, the existing side and rear façades will not be visible from rights-of-way.
20. According to the Applicant's Physical Conditions Report, the walls date to approximately 1900. The wall parallel to Swede Alley is "lasting and likely original covering is a wood drop novelty or dutch drop siding" and the wall parallel to Main Street "also employs drop novelty or dutch drop siding. When the building changed business operations from a bar to a pizza restaurant, a row of glass block was removed (or covered) and original siding exposed. With the restaurant switch, a deck was also added to the façade. On this façade, on both levels, faux



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- columns were applied directly to the siding with arch projections walls on the deck level added to simulate a windowed effect. At a later date, a door was added to one of the arched areas to allow access to the deck.”
21. Regarding protection of Historic Structures, LMC § 15-13-3(B)(4)(a) outlines regulations for additions to primary commercial structures:
 - a. They should be considered only after it has been demonstrated that the proposed use cannot be accommodated solely by altering interior spaces.
 - b. They shall be considered with caution and only on non-character-defining facades, usually rear.
 - c. They should be visually subordinate to historic buildings when viewed from the right-of-way.
 - d. They shall not require significant removal of historic material.
 22. LMC § 15-13-3(B)(4)(c) states that a transitional element is not needed for commercial structures if the new addition is visually differentiated from the historic structure as viewed from the right-of-way through a shift in wall plane, a change in material or pattern, or by using other design elements. Additionally, in-line additions may be appropriate when the joint between the historic structure and new addition is not visible from the right-of-way.
 23. The Applicant proposes leaving the south and north walls as is when the renovation occurs and upgrading the wall structures. The mural on the north façade will remain as is (it is inaccessible) and no new window openings on secondary facades are proposed.
 24. LMC § 15-13-3(B)(4)(e) outlines requirements for rear additions fronting Swede Alley:
 - a. They must be reduced in scale as they reach Swede Alley to maintain the pedestrian character.
 - b. They must be subordinate and complementary regarding public access and streetscape or character area amenities. Rear entrances shall accommodate both service activities and secondary access.
 - c. The facades shall be simple in detail and complement the character of the building’s primary entrance on Main Street.
 25. The applicant proposes leaving the rear foundation wall in place and removing approximately 320 square feet of the historic siding along Swede Alley. The rear wall includes a non-historic metal door with a half lite and three non-historic windows with double pane lites and composite construction, likely installed in 2008 or thereafter when the Historic District Grant was awarded for rear window replacement.
 26. The addition will be required to comply with LMC § 15-2.6-7 *Swede Alley Development Criteria*, which establishes a step down toward Swede Alley at an angle of 45 degrees to a maximum height of 24 feet at the edge of the right-of-way and the final design must be simple in detail and complementary to the Main Street facade.
 27. The rear wall includes a non-historic metal door with a half lite and three non-



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historic windows with double pane lites and composite construction, likely installed in 2008 or thereafter when the Historic District Grant was awarded for rear window replacement.

28. LMC § 15-3-3(B)(4)(j) states historic chimneys and their decorative features are important character-defining features of historic buildings and shall be preserved and maintained.
29. The Applicant's Physical Conditions Report notes the chimney on the rear wall is not documented but is very likely historic because "[s]tandard red brick was constructed as 16" square with infill brick used to connect to the structure. One could envision it being used as part of a heating system for the building in years past." The Applicant's Historic Preservation Plan states that the chimney could be retained but would be absorbed into the building and de-constructed. Rather, they propose retaining the bricks to be used decoratively in the building. The metal component on top of the existing roof will be removed.
30. Because the proposal meets the requirements of rear additions along Swede Alley, the Material Deconstruction of the chimney is approved.

Material Deconstruction to Excavate an Additional 1-foot 6.5 Inches in Depth

31. LMC § 15-13-3(B)(2)(a) requires the historic placement, orientation, and grade of a historic building to be retained and that historic foundations not be covered with new materials.
32. The Applicant's Physical Conditions Report notes the foundation consists of concrete masonry unit (CMU) blocks and the blocks may not be grouted for structural advantage. The Applicant proposes a separate structural system inside the existing CMU block walls and therefore complies with the LMC.
33. LMC § 15-3-3(B)(2)(a) states a basement addition shall generally not raise the historic structure more than two feet. The Applicant proposes excavating an additional 1-foot 6.5-inch deeper for the foundation upgrades and basement, but the historic structure will remain at its existing height.

Material Deconstruction of the Upper Level Primary Façade for New Windows

34. The Landmark Historic Structure windows on the front façade have undergone significant modifications over the years.
35. LMC § 15-13-3(A)(2)(b) states primary façade elements such as windows shall be preserved and maintained in their original location on the façade and interior changes that affect the appearance of the primary façade shall be avoided. However, LMC § 15-13-3(A)(2)(f) states that historic window openings that have been altered or lost over time be restored, but it is not appropriate to change the position, proportions, or dimensions of historic window openings. "When no physical or documentary evidence of original windows exists, replacement windows typically shall be of wood and shall complement the style of the historic



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structure.”

36. The building no longer retains integrity of materials, workmanship, and design from its original appearance, and therefore, it is not significant as an 1899 commercial building in Park City. Rather, 322 Main Street retains its appearance from the 1976 renovation, completed during the City’s era of recreation and tourism during the 1960s and 1970s when many mining era buildings were renovated to support increasing tourism.
37. Any removal of historic material associated with the second story must comply with the requirements of the LMC reviewed as part of the Historic District Design Review.

Conclusions of Law

1. The Material Deconstruction complies with LMC § 15-11-12.5 *Historic Preservation Board Review for Material Deconstruction*.
2. The Material Deconstruction complies with addition regulations outlined in LMC § 15-13-3.
3. The Material Deconstruction complies with LMC Chapter 15-2.6 *Historic Commercial Business District*.

Conditions of Approval

1. Final building plans and construction details shall reflect substantial compliance with the Historic Preservation Board March 4, 2026 approval for the Material Deconstruction of 322 Main Street. Any changes, modifications, or deviations from the approved plans that have not been approved in advance by the Planning and Building Departments may result in a stop work order.
2. The applicant is responsible for notifying the Planning and Building Departments prior to making any changes to approved plans.
3. Any changes, modifications, or deviations from the approved scope of work shall be submitted in writing for review and approval/denial in accordance with the applicable standards by the Planning Director or their Designee prior to construction.
4. The Applicant shall obtain HDDR approval from the Planning Director, or their Designee, prior to submitting a building permit application.
5. The excavation shall not raise or lower the Significant Historic Structure more than two feet from its original floor elevation
6. The Historic Site shall be returned to original grade following the construction of a foundation. When the original grade cannot be achieved, generally no more than six inches of the new foundation shall be visible above Final Grade on the primary and secondary facades.



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7. The site shall be re-graded so that all water drains away from the Structure and does not enter the foundation.
8. Historic materials removed from the Structure that are salvageable or in otherwise good condition shall be used to repair/replace irreparable materials on the Site.
9. The addition's height and Floor Area Ratio shall comply with LMC 15-2.6, Historic Commercial Business Zoning District regulations.
10. The applicant shall provide the City with a Financial Guarantee, in accordance with LMC § 15-11-19, to be recorded with the Summit County Recorder's Office prior to submitting a building permit application.
11. The Material Deconstruction of the second story materials be limited to windows that meet the solid to void ratio of historic commercial buildings as part of the Historic District Design Review (HDDR).

This Final Action may be appealed pursuant to LMC [§ 15-1-18](#). If you have questions or concerns regarding this Final Action Letter, please call 435-615-5060 or email Lillian.Zollinger@parkcity.gov.

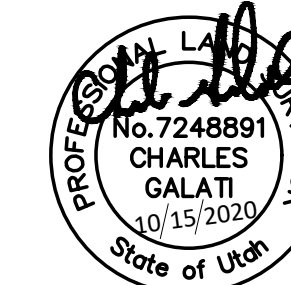
Sincerely,

Doug Stephens, Historic Preservation Board Chair

CC: Elissa Martin and Lillian Zollinger

RED BANJO PROPERTY

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 16,
TOWNSHIP 2 SOUTH, RANGE 4 EAST,
SALT LAKE BASE AND MERIDIAN
BLOCK 22 PARK CITY SURVEY &
BLOCK 69 MILLSITE RESERVATION PARK CITY SURVEY
RECORD OF SURVEY
SUMMIT COUNTY, UTAH



SURVEYOR'S CERTIFICATE

I, Charles Galati, certify that I am a Professional Land Surveyor and that I hold License No. 7248891, as prescribed by the laws of the State of Utah. I further certify that under my direct supervision a survey has been performed on the hereon described property and that to the best of my knowledge this plat is a correct representation of said survey.

LEGAL DESCRIPTION

PARCEL 1

Block 69, Lot 6, Millsite Reservation Park City Survey.

Contains 1230 sq. ft.

PARCEL 2

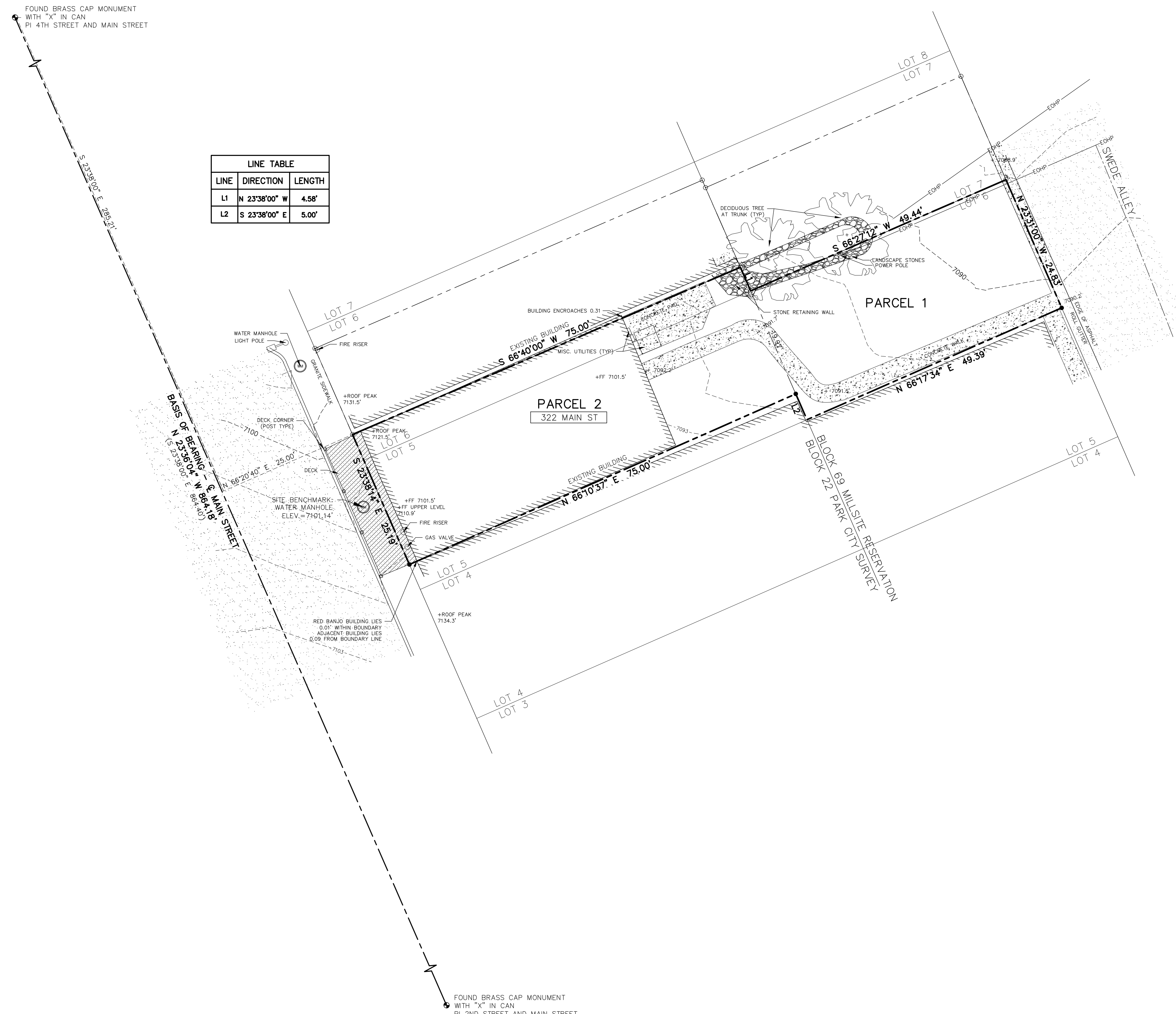
The North 20 feet of Lot 5 and the South 5 feet of Lot 6, Block 22 Park City Survey.

Contains 1865 sq. ft.

NARRATIVE/NOTES

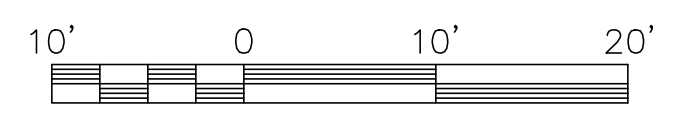
1. Basis of Bearing for this survey is between the found street monuments as shown on this plat.
2. Field work for this survey was completed October 13, 2020, and is in compliance with generally accepted industry standards for accuracy.
3. The purpose of this survey was to perform a Boundary, Existing Conditions and Topography survey for the possibility of future improvements to the property.
4. A Title Report was not provided to the surveyor and no easements were located as part of this survey. The owner of the property should be aware of any items affecting the property that may appear in a title insurance report. The surveyor found no obvious evidence of easements, encroachments or encumbrances on the property surveyed except as shown hereon.
5. County tax maps, recorded deeds, Park City Monument Control Map, Park City Survey, Millsite Reservation Park City Survey, Records of Survey s-10093 and s-0369 (all aforementioned documents on file and of record in the Summit County Recorder's Office), and physical evidence found in the field were all considered when determining the boundary as shown on this plat.
6. Site Benchmark: WATER MANHOLE, Elevation=7101.14' as shown.
7. The architect is responsible for verifying building setbacks, zoning requirements and building heights.
8. Property corners were set or found as shown.
9. Record bearings and distances, when different than measured, are shown in parenthesis. ()

LINE TABLE		
LINE	DIRECTION	LENGTH
L1	N 23°38'00" W	4.58'
L2	S 23°38'00" E	5.00'



LEGEND

- Set 5/8" rebar w/cap OR copper rivet stamped "ALLIANCE ENGINEERING" (Unless noted otherwise)
- Found Monument 5/8" rebar w/cap or copper rivet stamped "ALLIANCE ENGINEERING"
- Found Street Monument (As-Noted)



<p>(435) 649-9467 CONSULTING ENGINEERS LAND PLANNERS SURVEYORS 323 Main Street P.O. Box 2664 Park City, Utah 84060-2664</p>	STAFF: CHARLES GALATI TOM LUND TIM WILSON	EXISTING CONDITIONS & TOPOGRAPHIC MAP 322 MAIN ST, PARK CITY, UT	SHEET 1 OF 1
	DATE: 10/15/20	FOR: TANA TOLLEY JOB NO.: 1-8-20 FILE: X:\ParkCitySurvey\dwg\sr\svry2020\010820-Red Banjo\010820-ros.dwg	

BANJO EXSTG

DRIFTSTUDIO

ABBREVIATIONS

ABV	Above	MACH	Machine
AC	Acoustical material	MATL	Material
ADJ	Adjacent	MAX	Maximum
ALUM	Aluminum	MECH	Mechanical
ANOD	Anodized	MED	Medium
APPROX	Approximately	MFR	Manufacturer
ARCH	Architectural	MISC	Miscellaneous
B.O.	Bottom Of	MIN	Minimum
BLK	Black	MTL	Metal
BRK	Brick	PARTN	Partition
C / L	Center Line	PC	Precast Concrete
CJ	Control Joint	PERP	Perpendicular
CL	Center Line	PLBG	Plumbing
CL	Closet	PLST	Plaster
CLG	Ceiling	PLWD	Plywood
COL	Column	PSF	Pounds Per Square Foot
CONC	Concrete	PSI	Pounds Per Square Inch
CONST	Construction	PTD	Painted finish
CONTR	Contractor	RD	Roof Drain
CONT	Continuous	REF	Reference
DIA	Diameter	REINF	Reinforced
DIM	Dimension	REQ'D	Required
DN	Down	REV	Revision
DWG	Drawing	R.O.	Rough Opening
EA	Each	SECT	Section
EQ	Equal	SHT	Sheet
EXT	Exterior	SIM	Similar
EXIST	Existing	SPEC	Specification
EXTG	Existing	SOFT	Square Foot
FD	Floor Drain	STD	Standard
FDN	Foundation	STL	Steel
FP	Fire Proofing	STOR	Storage
GA	Gauge	STRUC.	Structural
GALV	Galvanized	S.O.G.	Slab on Grade
GC	General Contractor	T.O.	Top Of
GLB	GLU Lam Beam	TBD	To be determined
GYP BD	Gypsum Wall Board	TYP.	Typical
GYP CR	Gypsum Crete	VERT	Vertical
GRND	Ground	VEST	Vestibule
GWB	Gypsum Wall Board	W/D	Washer Dryer
HB	Hose Bib	WHT	White
HDW	Hardware	W/O	Without
HORIZ	Horizontal	WD	Wood
HSS	Hollow Steel Section	WPRF	Waterproofing
HT	Height	WVNR	Wood Veneer
IN	Inch	LAM	Laminated
INFO	Information		
INSUL	Insulation		
INT	Interior		

GENERAL NOTES:

- ALL INTERIOR WALLS & CEILINGS TO BE FINISHED WITH 1/2" SHEETROCK & PAINTED EXCEPT WHERE NOTED.
- FIREBLOCK STUD SPACES AT SOFFITS, FLOOR AND CEILING JOIST LINES, & AT ANY OTHER LOCATIONS NOT SPECIFICALLY MENTIONED ABOVE WHICH COULD AFFORD THE PASSAGE OF FLAMES.
- ALL OUTSIDE SHEATHING TO BE COVERED WITH TYVEC HOUSEWRAP OR SIMILAR WEATHER RESISTANT BARRIER.
- ALL LATHING, PLASTERING AND INSTALLATION OF GYPSUM WALL BOARD TO COMPLY WITH CHAPTER 43.
- ALL SHOWERS SHALL BE FINISHED TO A HEIGHT OF NO LESS THAN 7'0" ABOVE THE DRAIN INLET WITH NON-ABSORBENT MATERIALS.
- 5/8" TYPE 'X' SHEETROCK IS REQUIRED ON WALLS & SOFFITS UNDER ANY ENCLOSED STAIRS.
- A 4 MIL. POLYETHYLENE TO BE INSTALLED OVER INSULATION ON COLD WALL APPLICATIONS AND UNVENTED CEILINGS.
- APPLY FLASHING & COUNTER FLASHING AT ALL EXTERIOR DOORS & WINDOWS.
- ALL EXTERIOR WALLS TO HAVE A MIN. R-19 INSULATION VALUE. ALL BATHROOMS TO HAVE A FAN VENTED DIRECTLY OUTSIDE CAPABLE OF OPENINGS INTO THE BUILDING.
- NO JACUZZI MOTOR ACCESS THROUGH GROUTED TILE.
- NO GAS LOG LIGHTERS ALLOWED IN BEDROOMS. GAS FIREPLACES MUST BE APPROVED FOR BEDROOM USE.
- APPROVAL NO. FOR FIREPLACES TO BE PROVIDED AT 4-WAY INSPECTION.
- INSPECTIONS ARE REQUIRED FOR ALL STUCCO INSTALLATIONS. PROVIDE SPECS. AND INSTALLATION STANDARDS FOR ANY SYSTEM USED.
- APPROVED FIREPLACES, EQUIPMENT, AND APPLIANCES ARE REQUIRED TO BE INSTALLED AS PER INSTALLATION INSTRUCTIONS.
- TEMPERED GLASS SHALL BE PROVIDED IN FRAMELESS GLASS DOORS, GLASS WITHIN A 24" ARC OF DOORS, GLAZING 60" OR LESS ABOVE WALKING SURFACE THAT IS WITHIN 5 FEET OF STAIRS OR GLAZING WITHIN 5 FEET OF SPAS OR POOLS, FIXED GLASS PANELS, AND SIMILAR GLAZED OPENINGS SUBJECT TO HUMAN IMPACT SHALL BE TEMPERED AND IDENTIFIED BY A PERMANENT LABEL.
- EXTERIOR DECKS AND BALCONIES SHALL BE WATERPROOFED IF SEALED ON THE UNDERSIDE. DECK FRAMING SHALL SLOPE 1/4" PER FOOT.
- MASTER FIREPLACE TO BE A U.L. APPROVED FULLY ENCLOSED GAS APPLIANCE. THE LISTING FOR ALL FIREPLACES SHOWN SHALL BE PROVIDED @ MECHANICAL INSPECTION. IF THERE ARE WOOD BURNING FIREPLACES SUBMIT LISTING SHOWING EPA COMPLIANCE. PROVIDE RECOMMENDED SEISMIC ATTACHMENT AT THIS TIME.
- GAS LOGS SHALL BE PROVIDED WITH A SHUT-OFF VALVE LOCATED OUTSIDE OF THE FIREBOX AND WITHIN 4' OF THE APPLIANCE. IF LOG LIGHTERS ARE USED, FLUE MUST BE PERMANENTLY BLOCKED OPEN. ALL GAS APPLIANCES REQUIRE OUTSIDE AIR.
- OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID CORE WOOD DOORS NOT LESS THAN 1 3/8" IN THICKNESS, SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 3/8" THICK, OR 20 MINUTE FIRE-RATED DOORS.
- 1 HR FIRE WALL REQUIRED IN GARAGE. 5/8" TYPE X DRYWALL ON THE CEILING OF THE GARAGE WHERE THERE IS HABITABLE SPACE ABOVE. GYPSUM WALLBOARD APPLIED ON CEILING AND NAILED WITH 6D WALL BOARD NAILS OR SCREWED WITH 2" GRABBERS AT 7" ON CENTER WITH END JOINTS ON WALLING MEMBERS. GYPSUM WALL BOARD TO BE APPLIED ON ALL WALLS ADJACENT TO LIVING AREA.
- RETAINING WALLS, SWIMMING POOLS, SOLAR & GEO-THERMAL HEATING SYSTEMS, & PHOTOVOLTAIC & WIND GENERATING SYSTEMS REQUIRE SEPARATE PERMITS. SEPARATE PLANS, SPECS, & APPLICATIONS ARE TO BE SUBMITTED.
- NATURAL VENTILATION SHALL BE THROUGH WINDOWS, DOORS, LOUVERS OR OTHER APPROVED OPENINGS TO THE OUTDOOR AIR. THE MINIMUM OPENABLE AREA TO THE OUTDOORS SHALL BE 4% OF THE FLOOR BEING VENTILATED.

HEAD ROOM

- MIN. HEADROOM FOR BEDROOM & HABITABLE SPACES = 7'-6"
- MIN. HEADROOM FOR OTHER SPACES (HALLS, ETC.) = 7'-0"

EGRESS WINDOWS

- FINISHED SILLS MUST BE WITHIN 44" OF THE FINISHED FLOOR.
- CLEAR AREA MIN. OF 5.7 SQ. FT.
- HEIGHT MIN. NOT LESS THAN 24"
- WIDTH MIN NOT LESS THAN 20"

ELECTRICAL NOTES:

- ALL ELECTRICAL RECEPTACLES, SWITCHES, ETC. IN THE GARAGE NEED TO BE A MINIMUM OF 18" OFF OF THE FLOOR.
- SMOKE DETECTORS SHALL CONFORM TO SECTION 1210. ALL LEVELS ALL BEDROOMS, ACCESS TO ALL BEDROOMS AND IN ROOMS WITH SLOPED CEILINGS NEXT TO HALLS SERVING BEDROOMS. ALL DETECTORS SHALL BE HARD WIRED, HAVE BATTERY BACKUP, AND BE INTERCONNECTED.
- LIGHTS IN CLOSETS TO MEET N.E.C. 410-8.
- ALL RECEPTACLES WITHIN 6' OF SINKS, IN GARAGE, IN BATHS, OUTSIDE GRADE LEVEL AND IN THE UNFINISHED BASEMENTS NEED TO BE GFCI PROTECTED.
- ELECTRICAL PANELS TO COMPLY WITH N.E.C. 110-16. HAVING 30" CLEARANCE MIN. WIDTH AND 6' FLOOR TO HEAD ROOM.
- ALL BEDROOM CIRCUITS TO BE PROVIDED WITH ARC-FAULT PROTECTION.
- THERE MUST BE A GFCI PROTECTED OUTLET ADJACENT TO EACH BATHROOM SINK.
- AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED OUTDOORS AT THE FRONT AND THE BACK OF EACH DWELLING UNIT HAVING DIRECT ACCESS FROM GRADE. BUBBLE COVERS ARE REQUIRED IF OUTLETS ARE EXPOSED TO THE WEATHER.
- OUTLETS SHOULD BE SPACED SO THAT NO POINT ALONG THE WALL IS MORE THAN 6'.
- IN THE KITCHEN, A MIN OF TWO 20-AMP SMALL-APPLIANCE BRANCH CIRCUITS SHALL SERVE ALL WALL & FLOOR RECEPTACLE OUTLETS.
- KITCHEN COUNTER OUTLETS SHOULD BE SPACED SO THAT NO POINT ALONG THE WALL IS MORE THAN 2'.

- A 125 VOLT, SINGLE-PHASE, 15- OR 20-AMPERE-RATED GFCI RECEPTACLE OUTLET SHALL BE INSTALLED WITHIN 25' OF MECHANICAL EQUIPMENT AND NOT BE CONNECTED TO THE LOAD SIDE OF THE DISCONNECTING MEANS.
- ALL RECEPTACLES IN GARAGE (INCLUDING GARAGE DOOR OUTLETS) SHALL BE GFCI PROTECTED.
- ALL 15 AND 20 AMP RECEPTACLES WITHIN THE DWELLING UNITS SHALL BE TAMPER RESISTANT.
- IN THE KITCHEN, A MINIMUM OF TWO 20-AMPERE SMALL APPLIANCE BRANCH CIRCUITS SHALL SERVE ALL WALL AND FLOOR RECEPTACLE OUTLETS.
- A 125-VOLT, SINGLE PHASE, 15- OR 20-AMP RATED GFCI RECEPTACLE OUTLET SHALL BE INSTALLED WITHIN 25' OF MECHANICAL EQUIPMENT AND NOT BE CONNECTED TO THE LOAD SIDE OF THE DISCONNECTING MEANS.
- ALL ELECTRICALLY HEATED FLOORS SHALL BE GFCI PROTECTED.

MECHANICAL NOTES:

- MECHANICAL EQUIPMENT IN THE GARAGE NEEDS TO BE ELEVATED 18" OFF F.F.
- PROVIDE MINIMUM WORKING CLEARANCES AROUND ALL MECHANICAL EQUIPMENT IS MAINTAINED. SEE EQUIPMENT MANUALS FOR SUCH CLEARANCES.
- RANGE HOODS THAT ARE CAPABLE OF EXHAUSTING AIR TO THE OUTSIDE IN EXCESS OF 400 CFM REQUIRE MAKE UP AIR.
- DRYER VENT NOT TO EXCEED 35' MAX.
- GAS PIPING PLAN AND SUMMIT COUNTY GAS LINE INSTALLATION FORM SHALL BE ON SITE FOR GAS LINE AND METER INSPECTION.
- PROVIDE PAN AT WATER HEATER AT WOOD FRAMED FLOORS.

FURNACE NOTES:

- PROVIDE HIGH EFFICIENCY BOILER / RADIANT HEATING SYSTEM CAPABLE OF MAINTAINING 70 DEGREES F. 3" ABOVE FLOOR IN ALL ROOMS.
- PROVIDE COMBUSTION AIR FOR ALL GAS APPLIANCES AT A RATE OF 1/2 SQ. IN. PER 1000 BTUs. COMBUSTION AIR SHALL BE OBTAINED FROM OUTDOORS OR FROM SPACES FREELY COMMUNICATING WITH THE OUTDOORS. TWO SEPARATE COMBUSTION AIR DUCTS SHALL BE PROVIDED. ONE OF THE REQUIRED DUCTS IS TO TERMINATE IN UPPER 12" OF THE ROOM. THE OTHER IS TO TERMINATE WITHIN 12" OF THE FLOOR.
- SUBMIT LAYOUT PLANS, CALCS & SPECS FOR RADIANT HEAT SYSTEM ALONG WITH REQUIRED HEAT LOSS CALCS.

GAS NOTES:

- GAS LOGS SHALL BE PROVIDED WITH A SHUT-OFF VALVE LOCATED OUTSIDE OF THE FIREBOX AND WITHIN 6' OF THE APPLIANCE. IF LOG LIGHTERS ARE USED, FLUE MUST BE PERMANENTLY BLOCKED OPEN. ALL GAS APPLIANCES REQUIRE OUTSIDE COMBUSTION AIR.
- GAS WATER HEATER TO HAVE COMBUSTION AND EXHAUST AIR VENTED DIRECTLY OUTSIDE.
- GAS SYSTEM TO EB 42 SYSTEM.
- GAS PIPING PLAN & SUMMIT COUNTY GAS LINE INSTALL FORM SHALL BE ON SITE FOR GAS LINE AND METER INSPECTION.
- GAS PIPING SHALL NOT PENETRATE BUILDING FOUNDATION WALLS AT ANY POINT BELOW GRADE.
- PROHIBITED LOCATIONS: GAS PIPING SHALL NOT BE INSTALLED IN OR THROUGH A DUCTED SUPPLY, RETURN, EXHAUST, CLOTHES CHUTE, CHIMNEY, DUMBWATER, OR ELEVATOR SHAFT. GAS PIPING INSTALLED DOWNSTREAM OF THE POINT OF DELIVERY SHALL NOT EXTEND THROUGH ANY TOWNHOUSES UNIT OTHER THAN THE UNIT SERVED BY SUCH PIPING.
- APPLIANCES SHALL NOT BE LOCATED IN SLEEPING ROOMS, BATHROOMS, TOILET ROOMS, STORAGE ROOMS OR A SPACE THAT OPENS TO SUCH ROOMS.
- GAS PIPING INSTALLED UNDERGROUND BENEATH BUILDINGS IS PROHIBITED EXCEPT WHERE THE PIPING IS ENCASED IN A CONDUIT. SUCH CONDUIT SHALL EXTEND NOT LESS THAN 4" OUTSIDE THE BUILDING. SHALL BE VENTED ABOVE GRADE TO THE OUTDOORS AND SHALL BE INSTALLED SO AS TO PREVENT THE ENTRANCE OF WATER OR INSECTS.

FIREPLACE NOTES:

- COMBUSTIBLE MATERIAL SHALL BE NOT PLACED WITHIN 2" OF FIREPLACE, SMOKE CHAMBER OR CHIMNEY WALLS. COMBUSTIBLE MATERIAL SHALL NOT BE PLACED WITHIN 6" OF FIREPLACE OPENING. NO SUCH COMBUSTIBLE MATERIAL WITHIN 12" OF THE FIREPLACE OPENING SHALL PROJECT MORE THAN 1/8" FOR 1" CLEARANCE FROM SUCH OPENING.
- PROVIDE 30" CLEARANCE FROM RANGE TOP TO COMBUSTIBLE MATERIALS.
- I.C.C.E.S. NO. FOR FIREPLACE INSERTS, STOVE, HOT TUB HEATER, STEAM UNIT TO BE PROVIDED AT TIME OF FOURWAY INSPECTION.
- FUEL-BURNING APPLIANCE, INCLUDING FIREPLACES, ARE NOT PERMITTED TO BE INSTALLED IN SLEEPING ROOMS, BATHROOMS, OR TOILET ROOMS UNLESS THE APPLIANCES ARE DIRECT VENT APPLIANCES. IRC 62406.

PLUMBING NOTES:

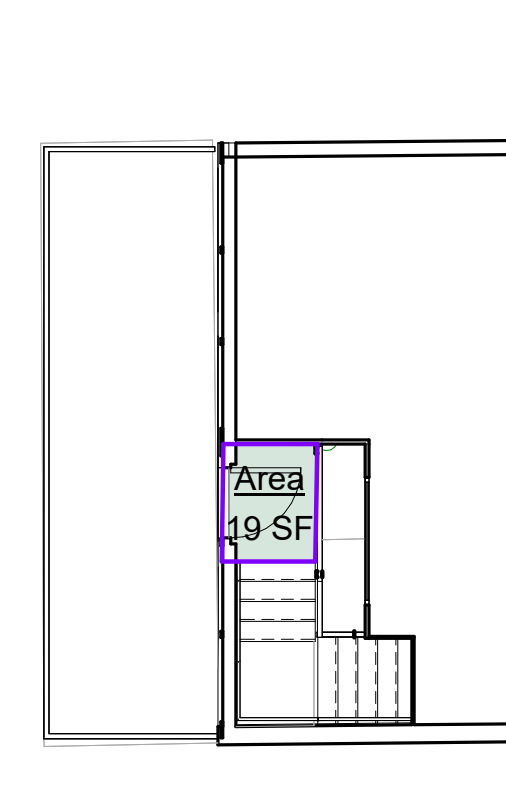
- TANK TYPE WATER CLOSETS WILL HAVE A FLOW RATE OF 1.6 GALLONS OR LESS PER FLUSH.
- SHOWER HEADS WILL HAVE LOW-FLOW FIXTURES WITH A FLOW RATE OF 2.5 GALLONS PER MINUTE OR LESS.
- ALL WHIRLPOOL JETTED TUBS WILL HAVE MOTOR ACCESS DOORS.
- HOSE BIBS TO BE FREEZE-PROOF BACK FLOW PREVENTER TYPE HOSE BIBS.
- ALL PLUMBING VENTS THROUGH ROOF TO BE A MIN. 3" PIPE.

BACK FLOW PREVENTERS:

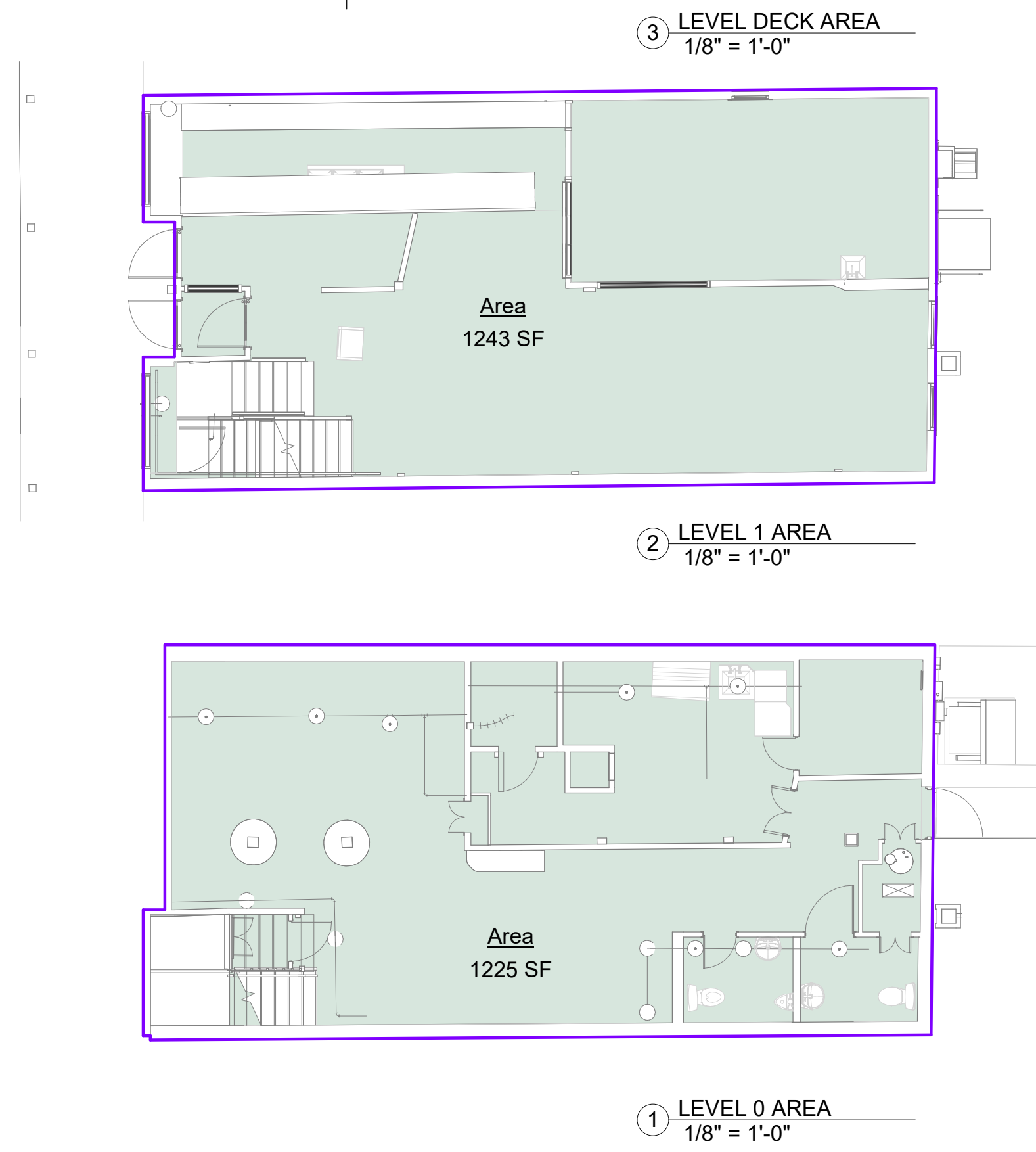
- BACK FLOW PREVENTERS TO BE INSTALLED AS FOLLOWS:
 - LAWN SPRINKLER SUPPLY LINE.
 - FIRE SPRINKLER SYSTEM.
 - RADIANT HEAT BOILER.

SPRINKLER NOTES:

- FIRE SPRINKLERS REQUIRED.
- SPRINKLER SYSTEM TO MEET MODIFIED N.F.P.A. 13-D CRITERIA.
- DESIGN TO BE APPROVED PRIOR TO INSTALLATION BY BUILDING DEPARTMENT.



Area Schedule (Gross Building)		
Level	Name	Area
LEVEL 0	Area	1225 SF
LEVEL 1	Area	1243 SF
LEVEL DECK	Area	19 SF
		2488 SF



General Notes - Site Plan

1. Refer to Sheet G-000 for General Project Notes & Architectural Notes.
2. Before Digging or Trenching, Contact 'Blue Stakes' to Locate Underground Utilities.
3. L.O.D. (Limits of Disturbance) shall be Defined by the Area Contained within all Property Lines of the Site and shall also Include Driveway and Areas of Utility Connection within Right-Of-Way. Total L.O.D. Area is Approximately 3096 SF.
4. Building is not Located within the Flood Hazard Zone as Defined by FEMA.
5. Refer to Site Survey on Sheet SV-1 for Reference Information.
6. T.O. Ridge Elevations Based Upon Laser Scanning Services and are Slightly Different from Surveyed Elevations. (See As-Built Drawings)

General Notes - Land Management Code

Notes

1. Located HC-B Zoning District
2. Refer to Area Plan Sheet GI-001 for Additional Building Square Footage Analysis.

Legal Description

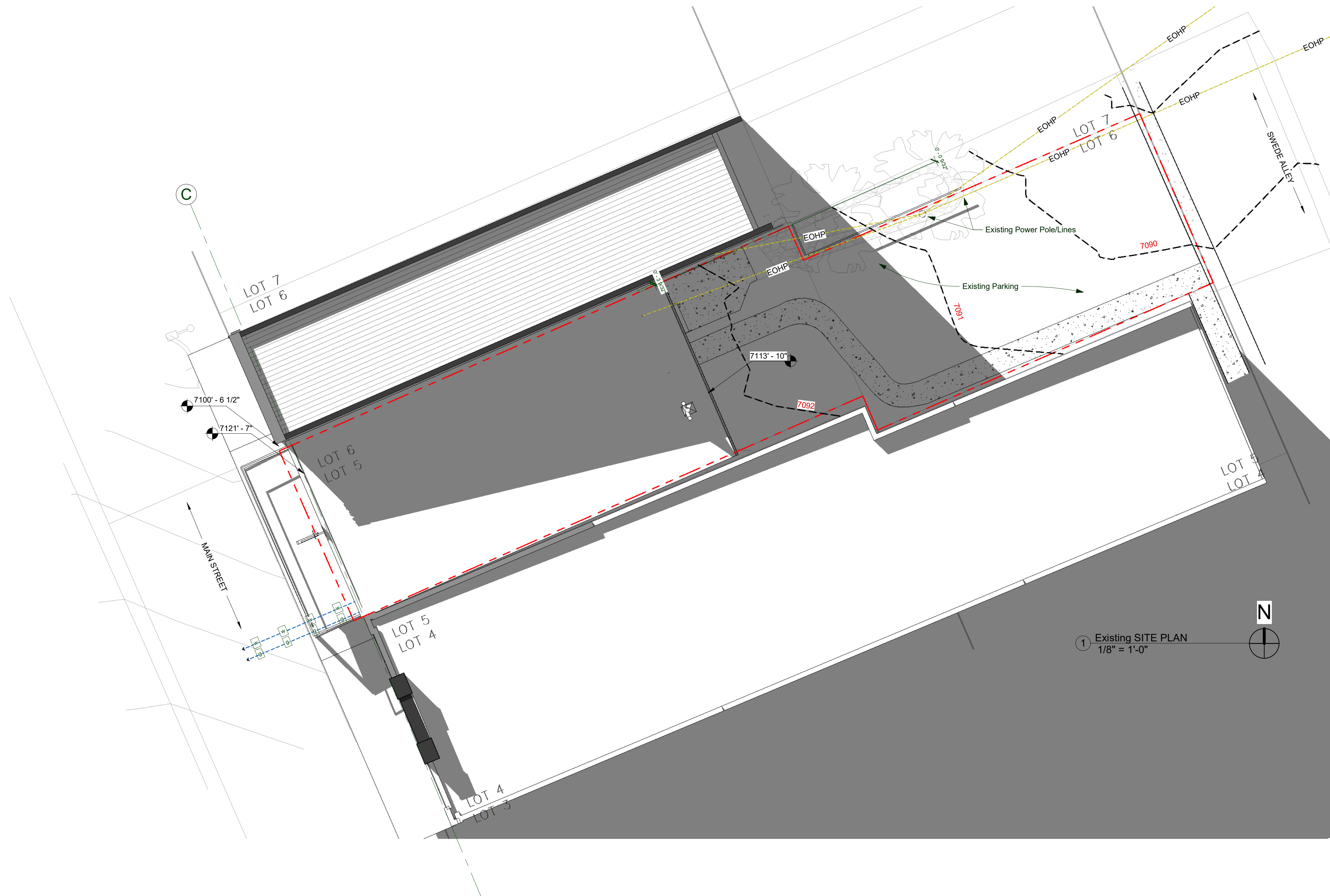
Parcel PC-262-A

Datum Reference

Architectural Elevation 100' - 0" = USGS 7101.5' Survey Dated 2020

Legends

- - - Existing Contour Line
- · · · · New Contour Line
- - - - - Water Line (approximate location)
- - - - - Sanitary Sewer Line
- - - - - Gas Line
- [EOHP] - Electric Line (overhead)
- - - Cable/ Teledata



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HEO.1
EXISTING SITE PLAN

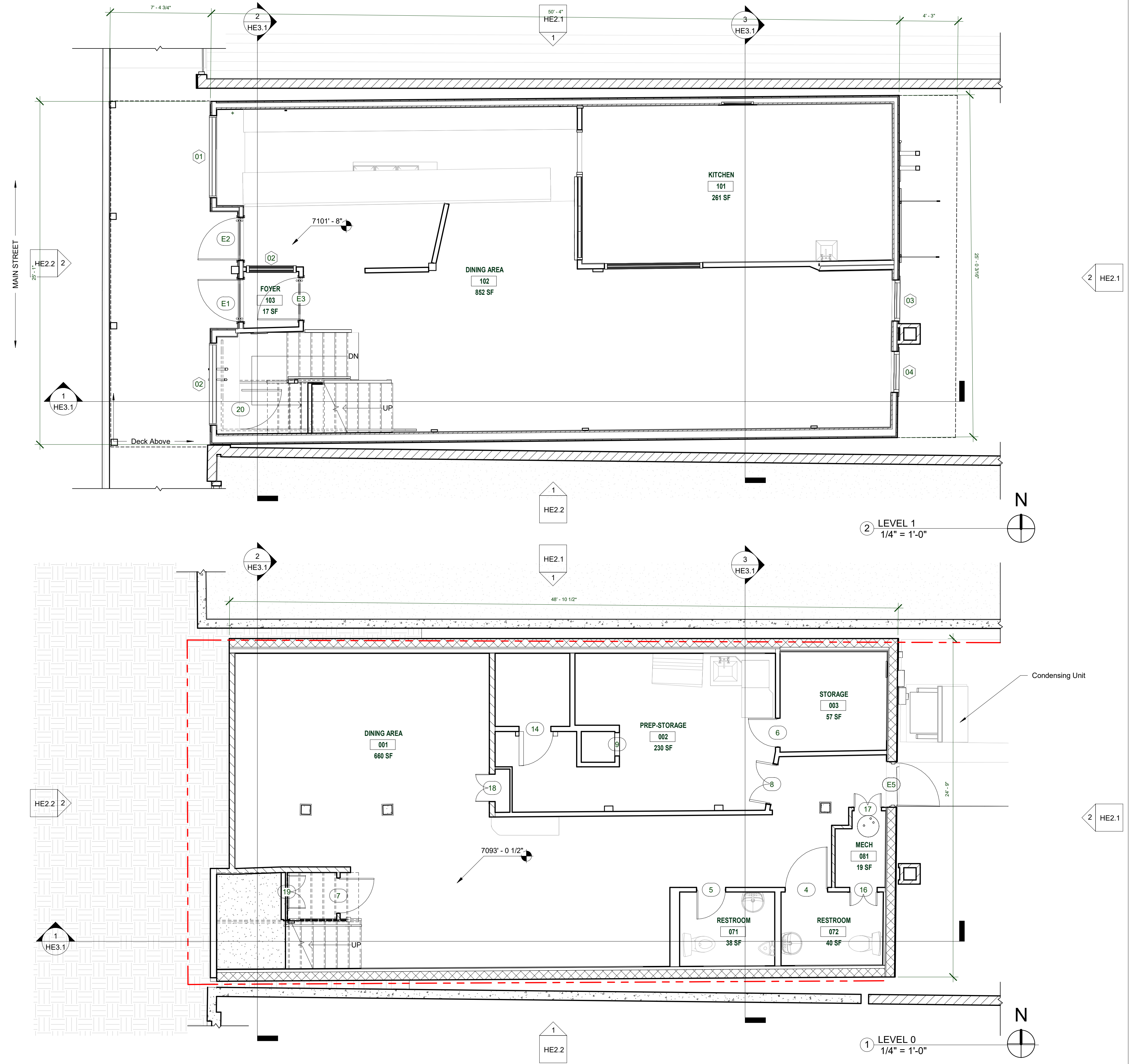
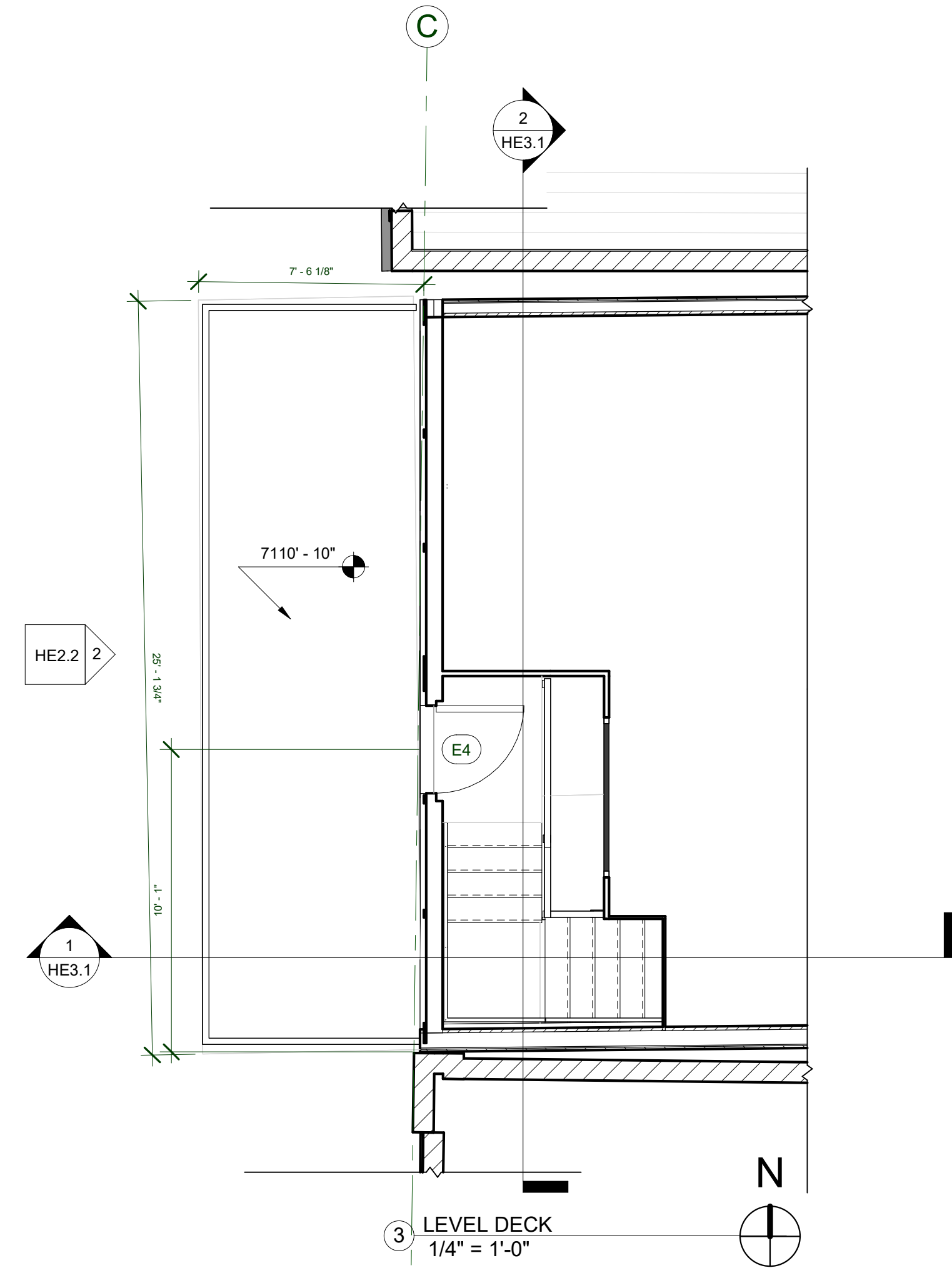
Legend

- 11 Window Tag- Refer To Window Schedule
- 101 Door Tag- Refer To Door Schedule
- Room name Room Name And Number- Refer To Room Finish Schedule
- 101 Spot Elevation Marker
- Edge Of Roof Above

General Notes - Plan

1. Refer to Sheet G-002 for Architectural Notes.
2. Wall Dimensions are to Face of Stud and Face of Concrete/CMU.

Wall Legend



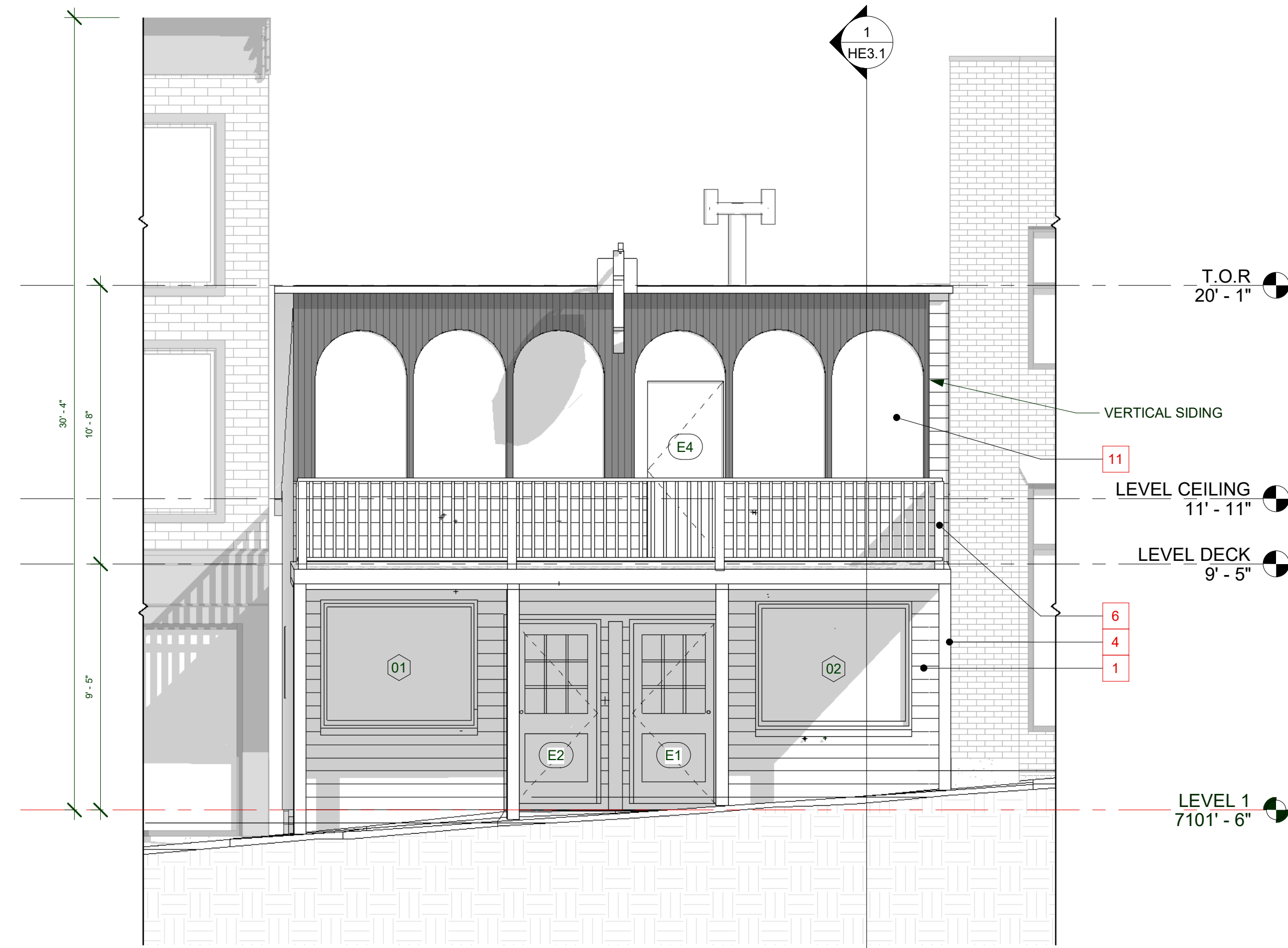
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HE1.1
 FLOOR PLANS



② WEST ELEVATION
1/4" = 1'-0"

Keynotes - Elevations

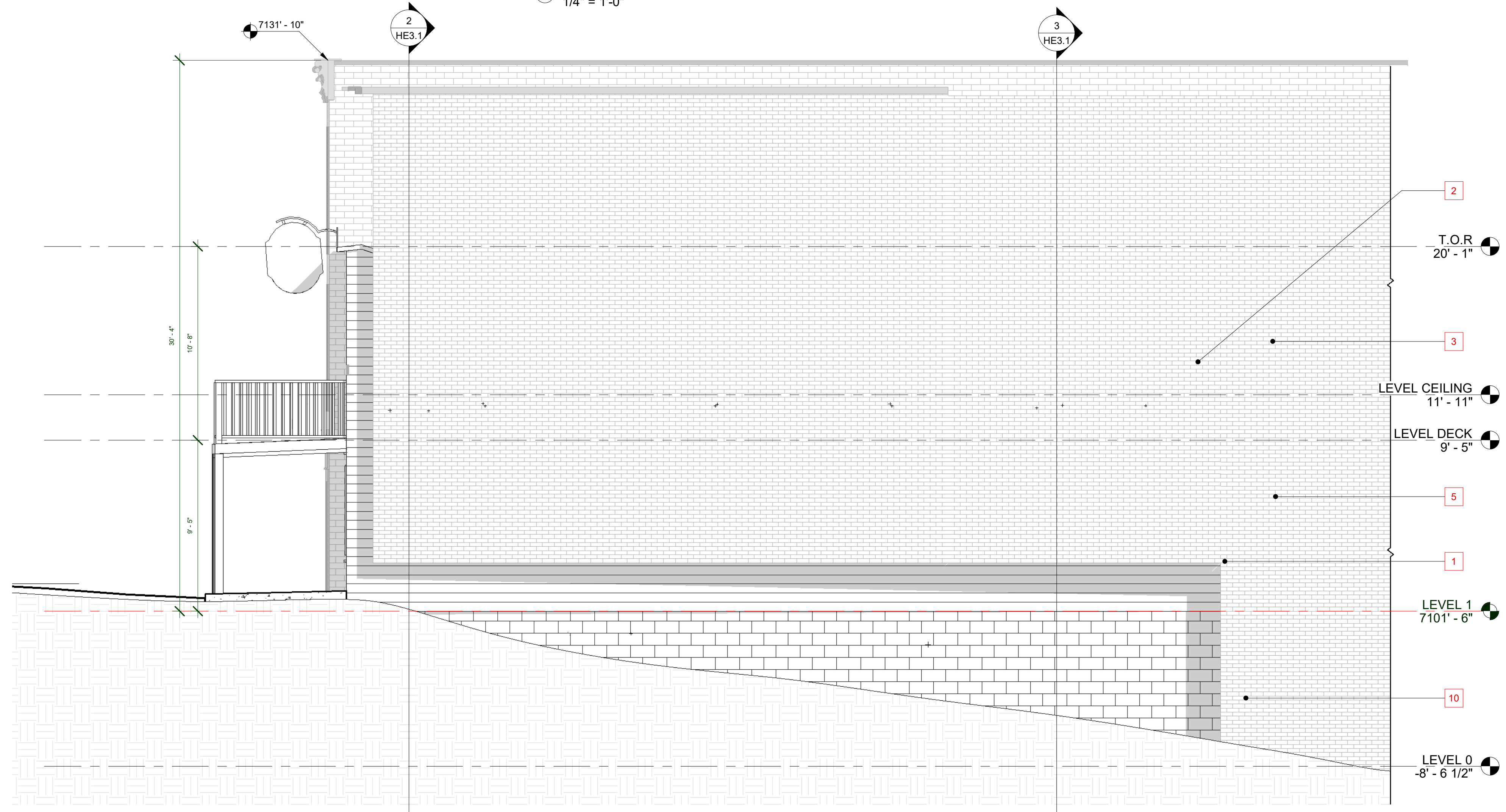
- 1 Novelty Drop or Dutch Drop Siding
- 2 TPO Membrane Roofing
- 3 Metal Chimney Stack
- 4 Wood Column
- 5 Common Brick Chimney
- 6 42" Aluminum Railing
- 7 Electrical Gear
- 8 Restaurant Venting Equipment
- 9 Establishment Sign
- 10 CMU Block Foundation
- 11 Flat Faux Window Panels

General Notes - Elevations

- 1. See Electrical for Exterior Lighting.
- 2. Height of Cupola, Mechanical Features are based off scanned elevations. Coordinate Heights with Architect.

Datum Reference

Architectural Elevation 100' - 0" = USGS 7101'-6"



① SOUTH ELEVATION
1/4" = 1'-0"

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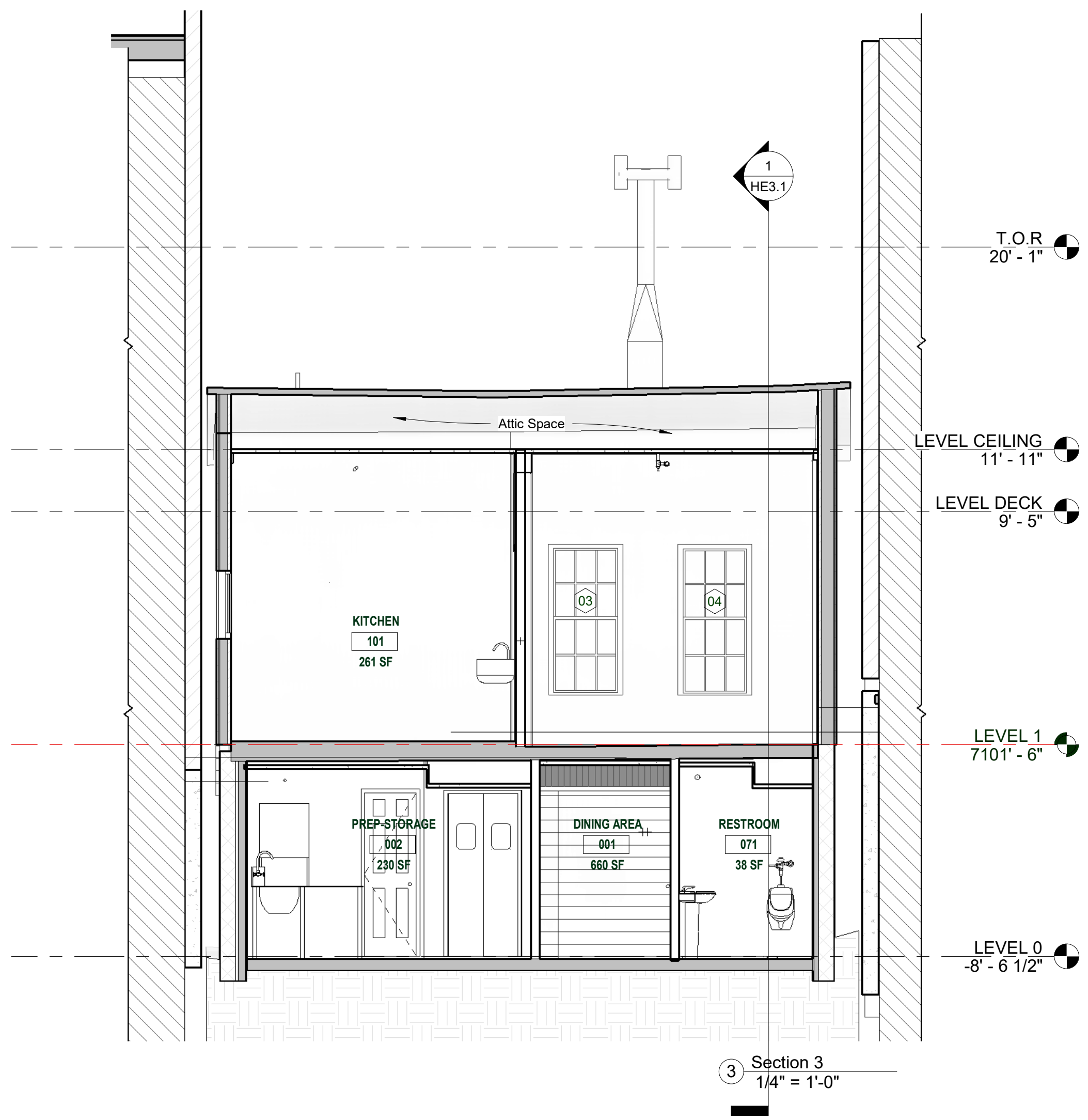
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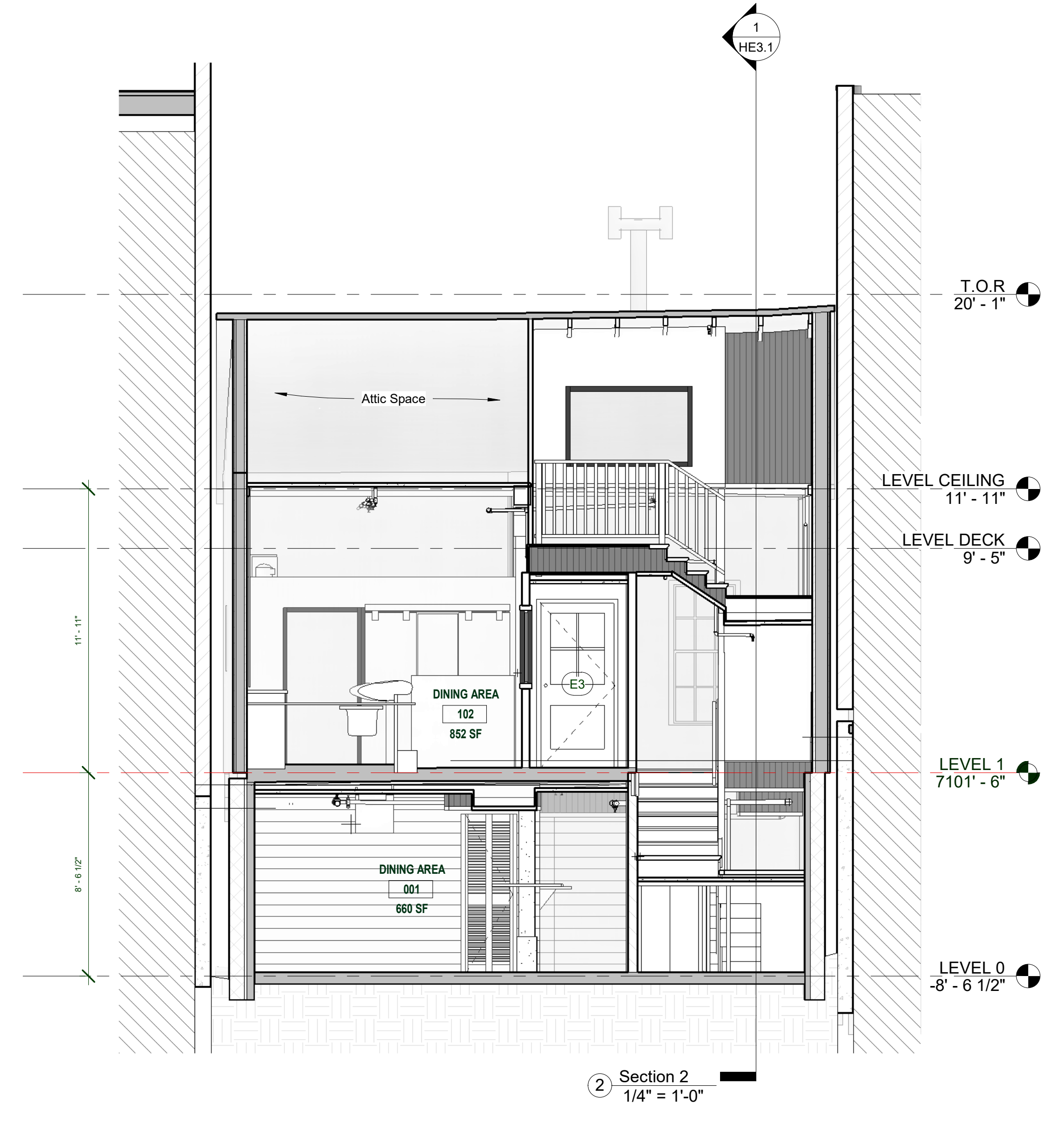
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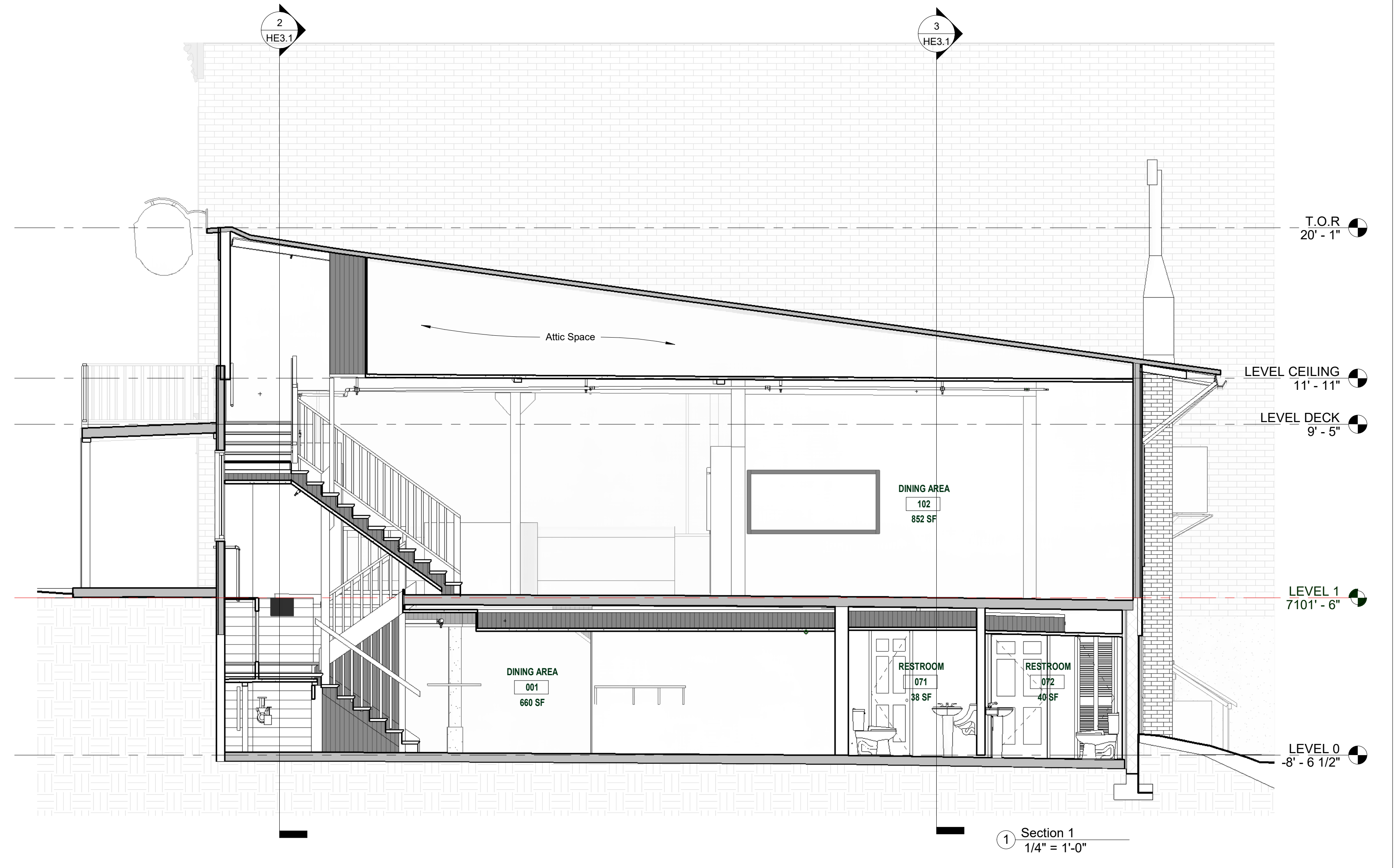
HE2.2
ELEVATIONS



3 Section 3
1/4" = 1'-0"



2 Section 2
1/4" = 1'-0"



1 Section 1
1/4" = 1'-0"



③ Rear Perspective
1 1/2" = 1'-0"



① Front Streetscape
1 1/2" = 1'-0"



Southwest Perspective



Northwest Perspective



Northeast Perspective



Southeast Perspective

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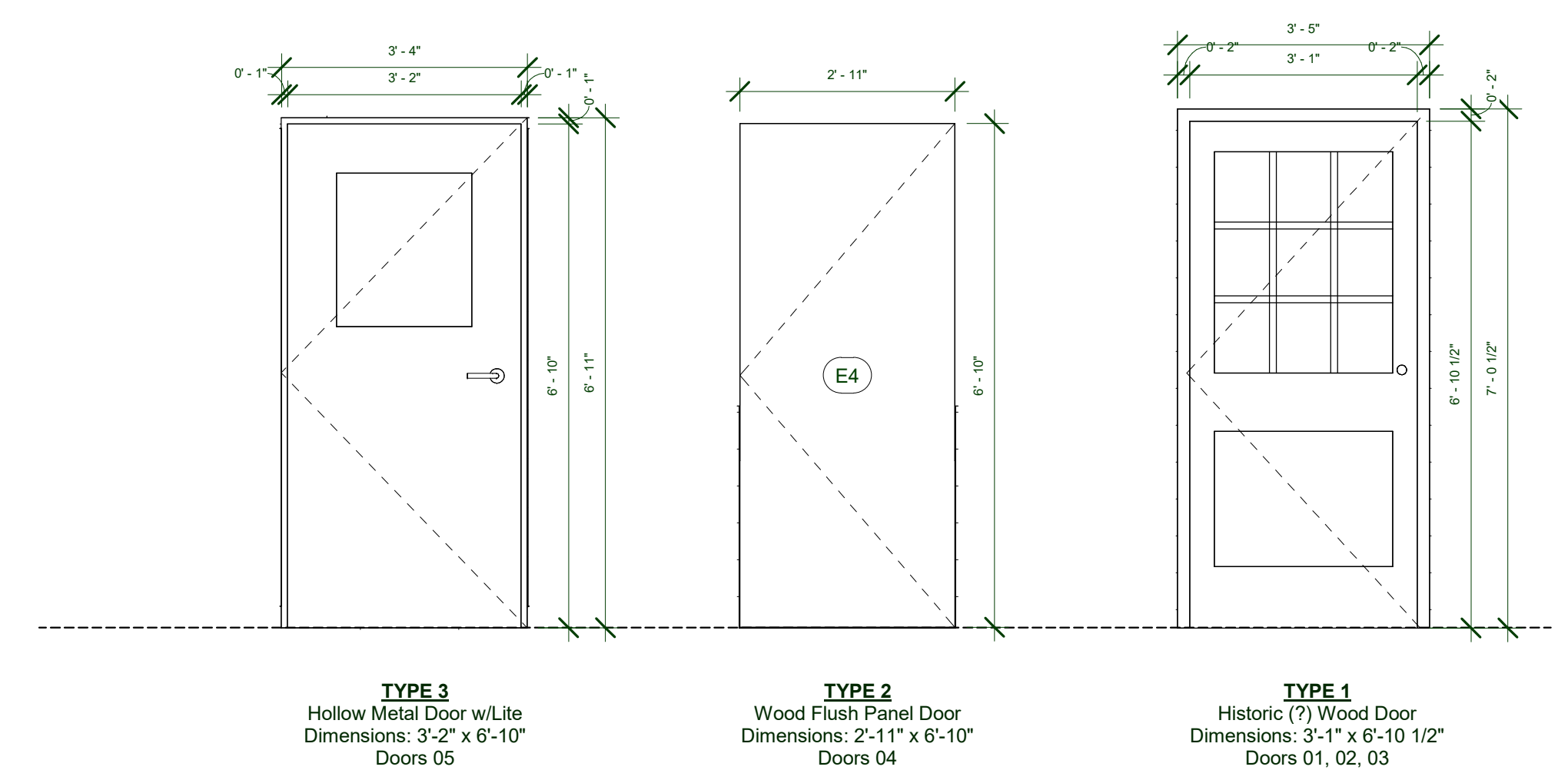
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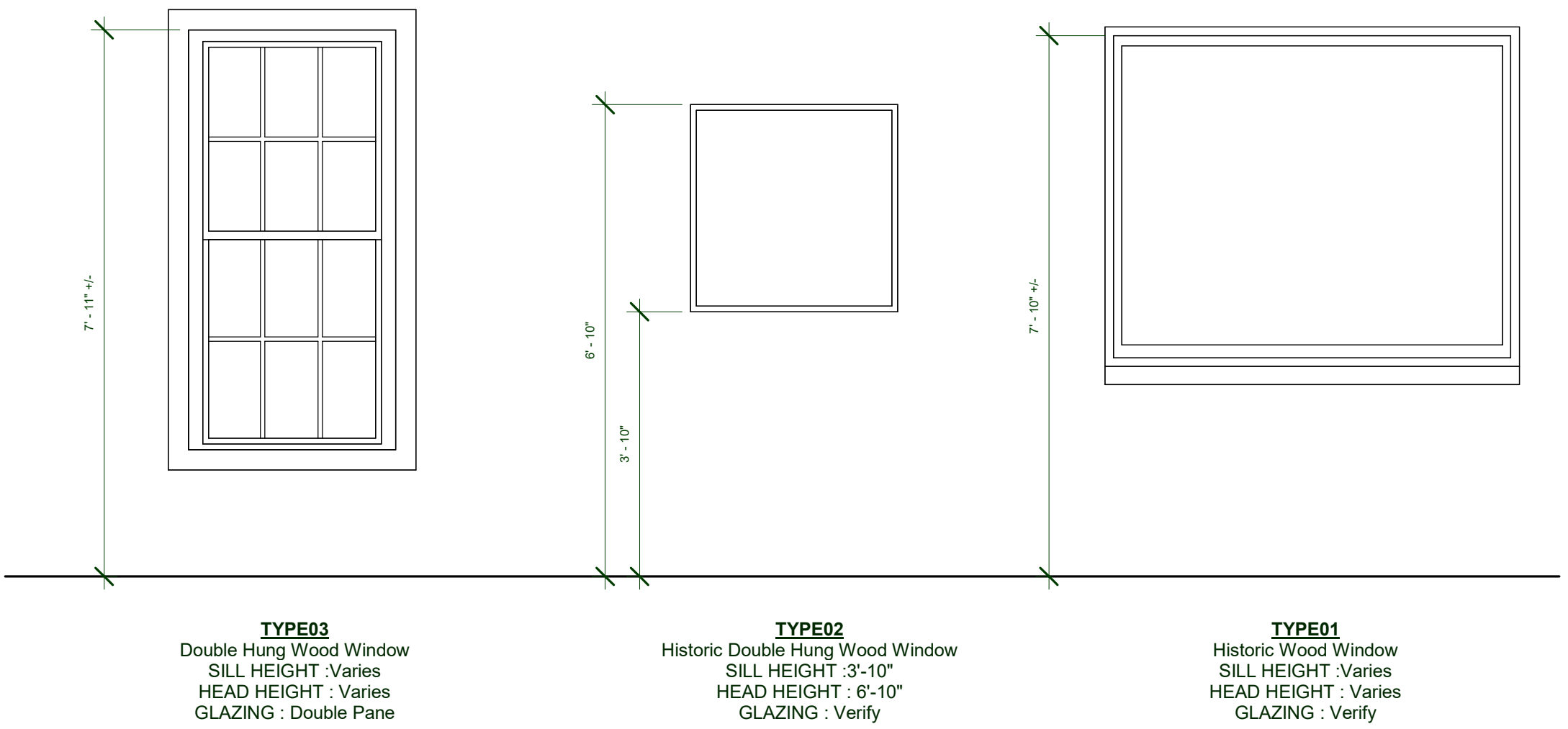
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HE3.2
STREETSCAPE

Door Schedule								
Mark	Description	Door				Frame		Remarks
		Width	Height	Material	Finish	Jamb	Head	
E1	Front Door	3' - 2"	6' - 11"	Wood	Paint	Wood	Wood	Historic
E2	Front Door	3' - 2"	6' - 11"	Wood	Paint	Wood	Wood	Historic
E3	Deck Door	3' - 2"	7' - 0"	Wood	Paint	Wood	Wood	Flat Panel - Not Historic
E4		2' - 11"	6' - 10"					
E5	Rear Door	3' - 4"	6' - 11"	Metal Panel	Paint	Metal	Metal	Not Historic



Window Schedule										
Mark	Nominal		Material	Finish	Head	Jamb	Sill	Glazing		Remarks
	Width	Height						Type		
01	6' - 0"	4' - 11"								
02	<varies>	<varies>								
03	3' - 0"	6' - 1"								
Grand total: 4										



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Reference: 322 Main Street

- Additional files and photographs provided by the Park City Municipal Corporation
- Newspapers including *Town Lift: Park City News* and *Park City Record*
- Websites for the adjacent Egyptian Theater and the Park City Museum

Analysis of Significance:

Background and Alterations

Mary McLeod constructed 322 Main Street in 1899, replacing a building previously destroyed by the 1898 Park City fire. The wood-frame, one-part commercial block building facing west to Main Street was rebuilt to house a saloon (Hallilan & Breens) in the south half and a confectionary in the north half (Park City Candy Kitchen, renamed Wilson's Candy Kitchen). An 1899 historic photograph indicates that the primary façade had a decorative cornice, six evenly spaced wood arches on an upper story with no fenestration, and two symmetrical storefronts with storefront windows, inset doors and glazed transom (**Figure 1**).

The façade of 322 Main Street was altered multiple times from the 1920s through the 1970s. The building shifted to a single tenant by 1929 and operated as a pool hall. Mike Sofianides operated a tavern out of it starting in 1945. The building façade was clad in tile at the first floor and brick veneer at the upper story. The glazed storefronts were removed, and a centered double door was installed. The arches on the upper floor were covered (**Figure 2**). Sofianides' nephew, Albert Mitchell, inherited the building in 1970. Pete and Mary Lou Toly opened the Red Banjo, first as a bar and then as a pizza restaurant, as tenants of 322 Main Street in 1962. The following year, the building was renovated. It appears that the 1960s renovation occurred when the building was used as the Red Banjo Saloon; the masonry and tile cladding was removed and most of the façade was covered in vertical board. No windows are apparent on the building façade and there is an inset door (**Figure 3** and **Figure 4**). The Tolys acquired the building in 1976 and removed the cladding. They uncovered and restored the upper floor six arches (**Figure 5**). On the ground floor, two 24-light windows were added to flank central double doors. A balcony supported by wood posts was appended to the façade (**Figure 6**). The building's dentiled cornice appears to have been retained throughout its history. The building retains its 1976 appearance. Per the ILS form, Red Banjo is the oldest continuously operating restaurant in Park City.

The 2019 Park City Main Street Historic District (Boundary Increase) NRHP nomination includes a context for a Recreation and Tourism Era (1963-1980). The 1960 Olympic games in Squaw Valley, California, led to a substantial increase in skiing and resorts across the United States. In 1963, The United Park City Mines (UPCM) opened Treasure Mountain Resort (now Park City Mountain Resort). Park City businesses shifted to cater to growing tourism and many owners began renovating their historic buildings. Concurrently, Park City was embracing heritage tourism and was increasingly marketed as a historic mining town. Park City's municipal government worked to strike a balance between supporting the needs of businesses and preserving Main Street's character. In 1976, the Land Management Code was adopted to implement historic preservation ordinances.

Analysis of Significance

322 Main Street was constructed in 1899 and dates to the mining era after the 1898 Park City fire. The original building has experienced modifications that completely modified the storefront. Although the 1899 upper floor is apparent and the building remains a commercial block building type, the ground floor has been entirely changed from its original appearance. The building no longer retains integrity of materials,

Reference: 322 Main Street

workmanship, and design from its original appearance, and therefore, it is not significant as an 1899 commercial building in Park City.

332 Main Street does retain its appearance from the 1976 renovation. This renovation was completed during Park City's era of recreation and tourism during the 1960s and 1970s when many mining era buildings were renovated to support increasing tourism. The building is significant in association with this history and retains integrity. The provisionally recommended period of significance is 1976, the year that the building was renovated.

Recommendation for Solid to Void Ratio for Glazing:

The existing 1976 façade configuration includes paired ground-floor windows flanking a central entrance and a fully solid upper façade articulated by restored arches. Maintaining this configuration preserves the established solid-to-void ratio associated with the building's period of significance. Any proposed glazing should be limited to the existing ground-floor openings and should not introduce new window openings or expand existing openings on the primary façade. This approach is consistent with LMC § 15-13-3(B)(2)(f) and maintains the historic appearance established during the Recreation and Tourism Era.

Regards,

Stantec Consulting Services Inc.



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Attachment: Attachment A: Photographs

Reference: 322 Main Street

Attachment A: Photographs



*Sigvart Jensen
standing by his barber pole*

Figure 1. In this 1899 photograph of the Egyptian theater, the original façade of 322 Main Street is visible to the right. Source: Egyptian Theater website, <https://parkcityshows.com/about/history?i=1899-dewey-theatre-nov>.

Reference: 322 Main Street



Figure 2. During the 1940s and 1950s, Mike Safianides ran the Park Tavern out of 322 Main Street. The signs were converted to windows, and the building was clad in masonry veneer and tile. Source: Town Lift: Park City News, <https://townlift.com/2022/06/red-banjo-celebrates-60-years/>.

Reference: 322 Main Street



Figure 3: Historic photo of the Red Banjo building. This is likely from the 1960s after the Red Banjo saloon opened. Provided by the Park City Municipal Corporation.

Reference: 322 Main Street



*Figure 4. Colorized historic photograph of 322 Main Street. This is likely from the 1960s after the Red Banjo saloon opened. The adjacent Silver Wheel appears to have been operated at this time.
Source: Town Lift: Park City News, <https://townlift.com/2022/06/red-banjo-celebrates-60-years/>.*

Reference: 322 Main Street



Figure 5. Renovations to 322 Main Street in 1976. Source: The Park Record, September 16, 1976.

Reference: 322 Main Street



Figure 6. 322 Main Street in the late 1970s. The "Bull" Durham sign was uncovered during the 1976 renovations. The building appears to be under construction in this photograph. Source: Park City Museum, <https://parkcityhistory.org/vanishing-bull-the-saga-of-a-celebrated-sign/>.

Reference: 322 Main Street



Figure 7: Historic photo of the Red Banjo Building c.1970s. Provided by the Park City Municipal Corporation.

October 15, 2025
 Renovation and Roof Addition of the Red Banjo - Project Description

Location

322 Main Street
 Parcel 322 Main Street (Final Plat name not Determined)

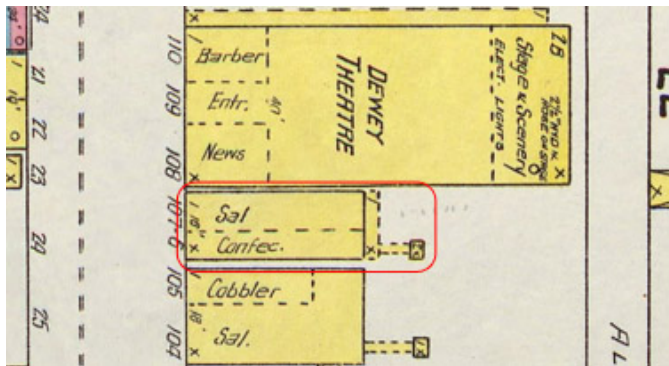
Architectural Style

The architectural style of the building is a store/house type of building, mimicking the false front style buildings that were present in the early mining-era history of Park City. While the building itself seems to retain the original form though historic imagery is sparse. What has changed over the last 50 years is the façade and exterior materials in general. It can be noted from images that the current form is not the original, or even the closest representation of the building that we have available.

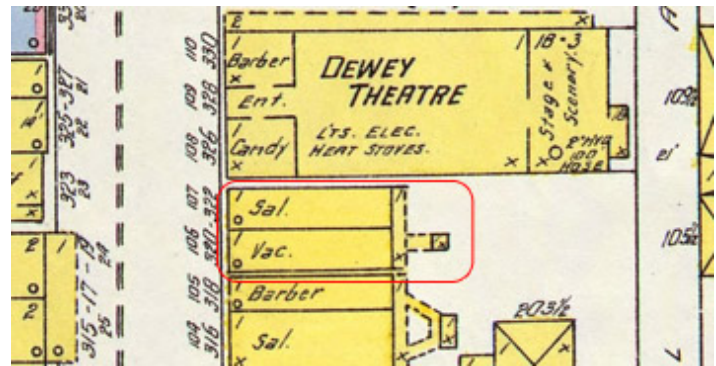
Currently the structure is an operating restaurant with clapboard siding and faux window openings above a deck covering the sidewalk adjacent to Main Street.

This most recent adaptation is the look and feel that the public of almost any age is familiar with. Those that are nostalgic for the saloon will certainly be few and far between.

Analyzing the Sanborn maps does little to establish a historic size and shape and the tax records from 1968 only mention a 25'x51' rectangle of a building built in 1900. These records also notice a brick-tex exterior that undoubtedly covered up any historic materials that were present.



1900 Sanborn*



1907 Sanborn*

*Red bubble depicts Building Location

Construction history

- Judging from the Sanborn maps and the likelihood that the original structure was burnt to the ground in the Great Fire of 1898, the building would have been re-constructed in or around 1900.
- The building has seemingly been in continual service from that point on. It has served as numerous entities: saloons, candy stores, restaurants and finally a pizza parlor.

Current Status

Fully functional business that has stood the test of time and is currently operating as a pizza parlor. Business is doing well but the seating and kitchen are cramped. To move with the times and capitalize on unused property, the owners are proposing to enlarge the restaurant, both kitchen and seating.

Proposal

The original building will largely remain. Structural code requirements will necessitate upgrades to the foundation, and the interior of the existing wood framed walls on the main level. Plywood sheathing will be installed on the interior of wood walls. A separate foundation will be installed on the interior of the existing foundation.

For the rooftop addition to the existing building, walls will be stacked on top of the existing walls with modern floor, wall and roof framing to complete the structure.

Aesthetic improvements to the historic structure include converting the arched architectural elements into glazing, retaining the existing form. The rooftop deck is the other element included in the aesthetic improvements. The front wall otherwise will remain as it exists today with windows and doors retained. The side walls of the building are largely inaccessible and will remain as-is. The rear wall will be incorporated into the building as a whole and may or may not be disassembled depending on the final design of the new kitchen. Regardless, the wall will not be visible within the new construction.

On the rear and new portion of the building, typical building practices will be used while adhering to the Historic District requirements for look and feel on the exterior finishes. In this rear portion, 2 living units will be added to the building to add living units to the city mix. Site, Building Code and Land Management Code requirements largely dictate the form of the building. This rear addition is intended to dovetail with the general plan of energizing Swede Alley.

While proceeding through application process the encroachment of the building to the North was considered. The plat will be amended concurrently with the HDDR process to add approximately 6 inches to the land the Red Banjo sits on. The property owner to the North has agreed in principle to sell required property to remove the encroachment issue entirely.

Plan Arrangement

Existing Scanned (HE [Historic Existing]-s-xx)– The Existing Scanned plans were created using a laser scanning service. This type of existing documentation allows a high level of detail in an otherwise canted and unsquared building.

Proposed Plans (HR [Historic Review]-xx) – The proposed plans take the Existing plans and use those to build a proposed building for Historic District Design Review considerations.

PHYSICAL CONDITIONS REPORT

Detailed Description of Existing Conditions. Use this page to describe all existing conditions. Number items consecutively to describe all conditions, including building exterior, additions, site work, landscaping, and new construction. Provide supplemental pages of descriptions as necessary for those items not specifically outlined below.

1. Site Design

This section should address landscape features such as stone retaining walls, hillside steps, and fencing. Existing landscaping and site grading as well as parking should also be documented. Use as many boxes as necessary to describe the physical features of the site. Supplemental pages should be used to describe additional elements and features.

Element/Feature: _____

This involves: An original part of the building
 A later addition

Estimated date of construction: _____

Describe existing feature:

The rear site zone of 322 Main Street has been empty as far as records have shown, for all time. Generally the area has been used for parking and contains no distinguishing or historic features of note.

Describe any deficiencies: Existing Condition: Excellent Good Fair Poor

Photo Numbers: _____ Illustration Numbers: _____

PHYSICAL CONDITIONS REPORT



SITE LOOKING TOWARDS BUILDING



SITE LOOKING TOWARDS BUILDING



SITE LOOKING TOWARDS SWEDE ALLEY

2. Structure

Use this section to describe the general structural system of the building including floor and ceiling systems as well as the roof structure. Supplemental pages should be used to describe additional elements and features.

Element/Feature: Roof Trusses / Columns

This involves: An original part of the building

A later addition

Estimated date of construction: 1907

Describe existing feature:

The roof trusses are likely original. The access to the trussed area was granted only through a window into the attic. Columns translate loads from the roof trusses and transfer beams directly to the basement level columns. Level 0 and 1 are proposed to remain as they are as well as the columns (subject to structural evaluation). Exterior walls are wood stud framed and hold up the tributary roof loads assigned to them. No walls are currently open to view and assess conditions of studs/ inside of wall cavity.

Describe any deficiencies:

Existing Condition: Excellent Good Fair Poor

Condition of trusses was not determined but they won't be used as a structural element in the proposed plans. They may be salvaged and re-introduced as decorative elements after de-construction. 2X rafters were used on top of the trusses and appear to be in good condition columns may or may not be used dependent on their structural condition and use requirements in proposed plans but all are on the interior of the building.

Photo Numbers: _____ Illustration Numbers: _____

PHYSICAL CONDITIONS REPORT

STRUCTURE ROOF TRUSS



INSULATED ROOF / TRUSSES



ROOF RAFTERS



COLUMN AND BEAM LINE



COLUMN / ROOF STRUCTURE ALTERATION



LEVEL 0 COLUMN IN REAR (EAST)



LEVEL 0 COLUMN - MID LENGTH

3. Roof

Use this section to describe the roofing system, flashing, drainage such as downspouts and gutters, skylights, chimneys, and other rooftop features. Supplemental pages should be used to describe additional elements and features.

Element/Feature: Roof

This involves: An original part of the building
 A later addition Estimated date of construction: _____

Describe existing feature:

Surface Material - Traditionally a wood shingle or metal roof would have been used on a shed roof structure as exists. With the low slope nature of the roof it is likely a TPO membrane roof was employed.

Structure - The roof is being held up by a system of wood trusses that transfer loads to a centerline of beams and columns (lengthwise) and exterior walls. These members look to be in good condition though inspection by visiting the attic space was not explored.

Describe any deficiencies: Existing Condition: Excellent Good Fair Poor

The TPO membrane roof and existing structure will not be used in the proposed structure. A new flat roof is being proposed with a 3rd level, that would entirely encompass the existing roof. Retaining the existing roof is not possible with the proposed design.

While it is the intent to re-use historic materials in general, the roof structure would likely not comply with current structural codes and does not marry well with the proposed design. If there is a way to retain the existing beam structure as a decorative feature, that direction may be considered

Photo Numbers: _____ Illustration Numbers: _____

PHYSICAL CONDITIONS REPORT



4. Chimney

Use this section to describe any existing chimneys. One box should be devoted to each existing chimney. Supplemental pages should be used to describe additional elements and features.

Element/Feature: Chimney

This involves:

- An original part of the building
- A later addition

Estimated date of construction: Unknown

Describe existing feature:

The Chimney is not documented but is at the least very likely historic. Standard red brick was constructed as 16" square with infill brick used to connect to the structure. One could envision it being used as part of a heating system for the building in years past.

Describe any deficiencies:

Existing Condition: Excellent Good Fair Poor

Bricks are in varied condition but chimney is not in use nor will it be useful to incorporate into proposed structure. The bricks may be disassembled and re-purposed into a decorative features on the interior of the building in it's new form

Photo Numbers: _____ Illustration Numbers: _____

PHYSICAL CONDITIONS REPORT



PHYSICAL CONDITIONS REPORT



5. Exterior Walls

Use this section to describe exterior wall construction, finishes, and masonry. Be sure to also document other exterior elements such as porches and porticoes separately. Must include descriptions of decorative elements such as corner boards, fascia board, and trim. Supplemental pages should be used to describe additional elements and features.

Element/Feature: Walls Above Foundation

This involves: An original part of the building
 A later addition

Estimated date of construction: 1900

Describe existing feature:

North, South, East Walls - Over the course of documented history (last 50 years), the walls have been covered and uncovered. The lasting and likely original covering is a wood drop novelty or dutch drop siding. Both walls use this siding. The siding is probably covering true 2x4 wood wall construction. The North and South walls are now inaccessible due to construction on either side of the building.

West Wall - This wall also employs drop novelty or dutch drop siding. When the building changed business operations from a bar to a pizza restaurant, a row of glass block was removed (or covered) and original siding exposed. With the restaurant switch, a deck was also added to the facade. On this facade, on both levels, faux columns were applied directly to the siding with arch projections walls on the deck level added to simulate a windowed effect. At a later date, a door was added to one of the arched areas to allow access to the deck.

Describe any deficiencies:

Existing Condition: Excellent Good Fair Poor

The North and South walls are in decent condition judging from the limited access available. Interior conditions of the wall will be determined upon renovation and upgrade of the wall structures. A mural on the North facade remains but is inaccessible. The intent is to reinforce the structure from the inside, leaving the exterior more or less as-is.

The East wall will be, if left, inside the structure when the renovation occurs. Design is being considered to leave it in its current position / condition but is subject to removal. Siding that must be removed can be used elsewhere in the buildout, possibly on the 3rd Floor addition.

The West wall being the face of the building will remain in place. Renovations and structural improvements will be performed behind this facade. Minor updates and improvements will be made to the facade only to rehabilitate any degraded features. The building seems to have been maintained relatively well and should be only require minor repairs.

Photo Numbers: _____ Illustration Numbers: _____

PHYSICAL CONDITIONS REPORT

EXTERIOR WALLS



IMAGE 1



IMAGE 2



IMAGE 3



IMAGE 4



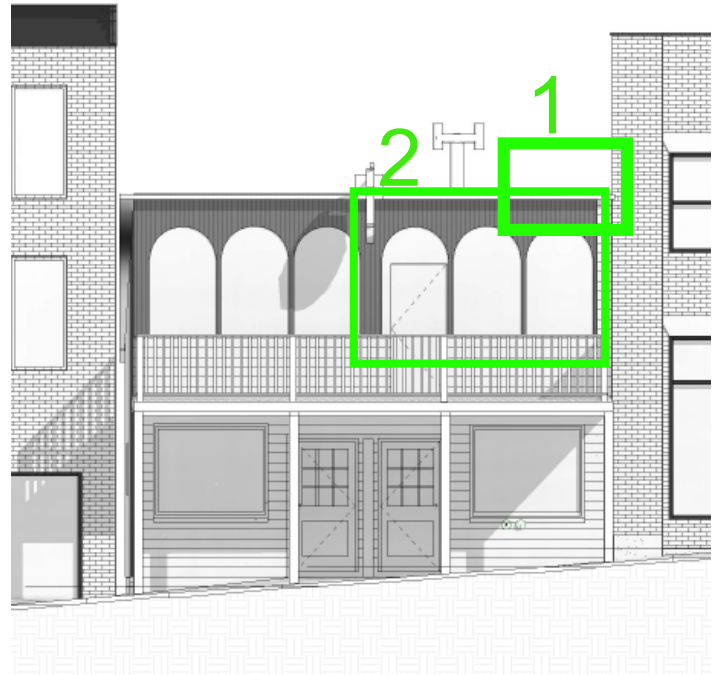
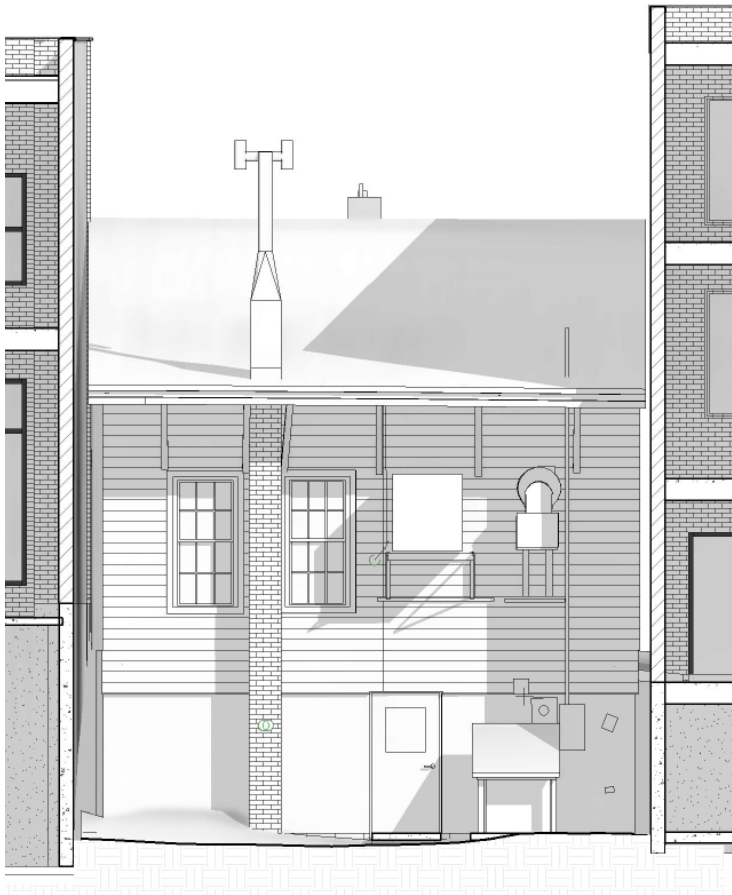
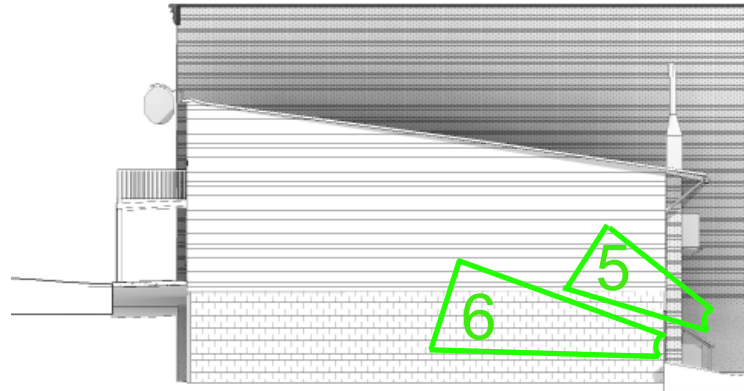
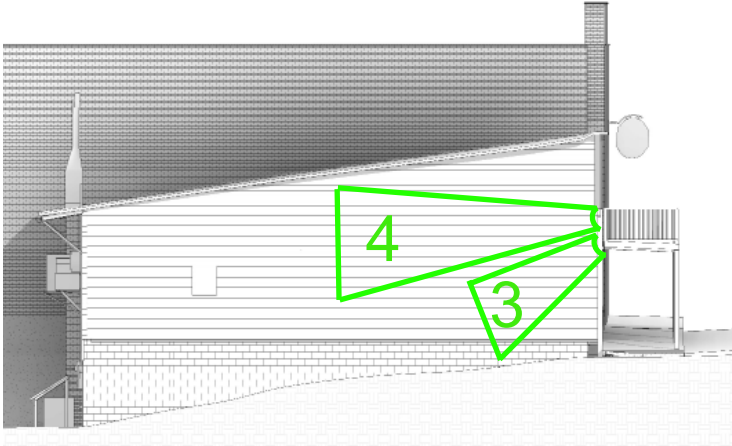
IMAGE 5



IMAGE 6

PHYSICAL CONDITIONS REPORT

EXTERIOR WALLS



Element/Feature: _____

This involves: An original part of the building
 A later addition

Estimated date of construction: _____

Describe existing feature:

Describe any deficiencies:

Existing Condition: Excellent Good Fair Poor

Photo Numbers: _____ Illustration Numbers: _____

6. Foundation

Use this section to describe the foundation including its system, materials, perimeter foundation drainage, and other foundation-related features. Supplemental pages should be used to describe additional elements and features.

Element/Feature: Foundation

This involves: An original part of the building

A later addition

Estimated date of construction: 1907

Describe existing feature:

Historic documents mention the construction of the building to be 1900. The foundation consists of concrete masonry unit (CMU) blocks. It should be noted that the mass production of CMU blocks did not start until 1900. With this in mind it's difficult to definitively determine the age of the foundation or age any significant renovation that may have employed CMU block as a foundation material.

The West or front wall is behind wall interior wall coverings and is not accessible to assess.

Describe any deficiencies:

Existing Condition: Excellent Good Fair Poor

The CMU foundation is not documented and there is no knowledge of the blocks being grouted (open cells filled with concrete) for structural advantage. A separate structural system is being proposed inside the existing CMU block walls.

The exterior of the the CMU walls have a parge coat applied that is aged and decomposing.

Photo Numbers: _____ Illustration Numbers: _____

PHYSICAL CONDITIONS REPORT

FOUNDATION IMAGES



IMAGE 1



IMAGE 2



IMAGE 3

7. Porches

Use this section to describe the porches. Address decorative features including porch posts, brackets, railing, and floor and ceiling materials. Supplemental pages should be used to describe additional elements and features.

Element/Feature: Front Deck

This involves: An original part of the building
 A later addition
Estimated date of construction: ~1976

Describe existing feature:

The balcony spans over the sidewalk and is attached to the facade of the building. The railing is aluminum with basic square pickets and decorative top and bottom rail. The framing is wood and there is a waterproof coating on the top to keep water from dripping from the deck to the sidewalk below. The columns are trimmed out with 1x wood trim boards over likely wood posts.

Describe any deficiencies: Existing Condition: Excellent Good Fair Poor

The deck is in relatively good condition.

Photo Numbers: _____ Illustration Numbers: _____

PHYSICAL CONDITIONS REPORT

DECK IMAGES



IMAGE 1



IMAGE 2



IMAGE 3

8. Mechanical System, Utility Systems, Service Equipment & Electrical

Use this section to describe items such as the existing HVAC system, ventilation, plumbing, electrical, and fire suppression systems. Supplemental pages should be used to describe additional elements and features.

Element/Feature: Forced air system

This involves: An original part of the building
 A later addition

Estimated date of construction: N/A

Describe existing feature:

A typical forced air system heats the space. A condensing unit is connected on the exterior for cooling the building in the summer.
Gas and Water lines enter the building from Main Street. The building is fire sprinklered. Typical Hot water heaters are used to heat water in the building.
Kitchen equipment and mechanical systems are somewhat ad-hoc and look to have been adapted to the space over the years as needs arose.

Describe any deficiencies:

Existing Condition: Excellent Good Fair Poor

Forced air system is not a historic element and has created drops in the basement that crowd the ceiling space. An updated system will be used to optimize the spaces. This has not been determined yet.

Photo Numbers: _____ Illustration Numbers: _____

PHYSICAL CONDITIONS REPORT

MECHANICAL



DROP IN RESTROOM



DROP IN STORAGE



DROP IN SEATING



HOT WATER HEATING



GAS METER



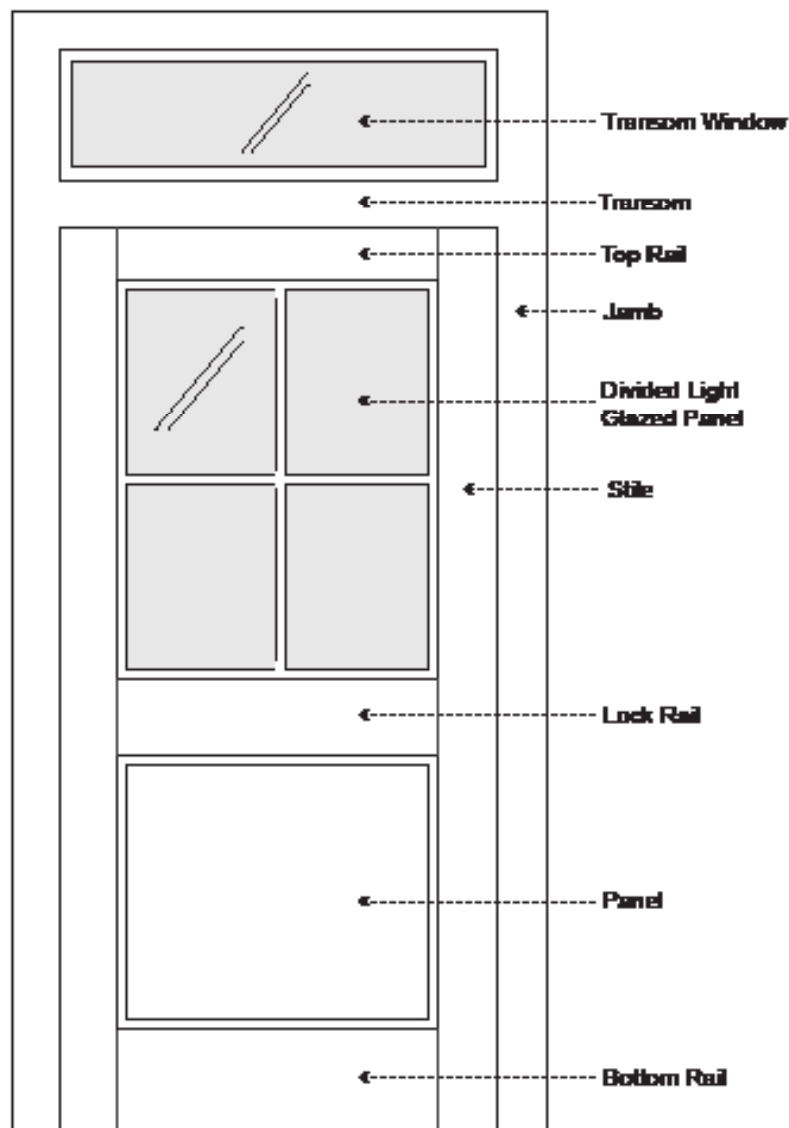
GAS METER

9. Door Survey

Basic Requirements

1. All door openings on the exterior of the structure should be assigned a number and described under the same number in the survey form. Doors in pairs or groupings should be assigned individual numbers. Even those not being replaced should be assigned a number corresponding to a photograph or drawing of the elevation, unless otherwise specified specifically by the planner.
2. Describe the issues and conditions of each exterior door in detail, referring to specific parts of the door. Photographs depicting existing conditions may be from the interior, exterior, or both. Additional close-up photos documenting the conditions should be provided to document specific problem areas.
3. The Planning Department's evaluation and recommendation is based on deterioration/damage to the door unit and associated trim. Broken glass and normal wear and tear are not necessarily grounds for approving replacement.
4. The condition of each door should be documented based on the same criteria used to evaluate the condition of specific elements and features of the historic structure or site: Good, Fair, Poor.

Don't forget to address service, utility, and garage doors where applicable.



If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at www.parkcity.org. Updated 10/2014.

Door Survey Form

Total number of door openings on the exterior of the structure: _____

Number of historic doors on the structure: _____

Number of existing replacement/non-historic doors: _____

Number of doors completely missing: _____

Please reference assigned door numbers based on the Physical Conditions Report.

Number of doors to be replaced: _____

Door #:	<i>Existing Condition (Excellent, Good, Fair, Poor):</i>	<i>Describe any deficiencies:</i>	Photo #:	<i>Historic (50 years or older):</i>
E1	Good	Mismatched hardware that can be updated		Historic
E2	Good	Lock rail damaged - mismatched hardware		Historic
E3	Good	Lock rail damaged - mismatched hardware		Historic
E4	Good	Offset from panel behind, not historic.		
E5	Fair	Rusty patina		
	Fair			
	Fair			
	Fair			
	Fair			
	Fair			
	Fair			
	Fair			
	Fair			
	Fair			

If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at www.parkcity.org. Updated 10/2014.

PHYSICAL CONDITIONS REPORT

DOOR E1 & E2



- Top Jamb/Head
- Top Rail
- Muntins
- Panes
- Jamb
- Lock Rail
- Lock Style
- Hinge Rail
- Cross Panel
- Cross Rail
- Bottom Rail

DOOR E3



- Top Jamb/Head
- Top Rail
- Muntins
- Panes
- Jamb
- Lock Rail
- Lock Style
- Hinge Rail
- Panel
- Mid Rail
- Panel
- Bottom Rail



PHYSICAL CONDITIONS REPORT

DOOR E4



Solid Panel



DOOR E5

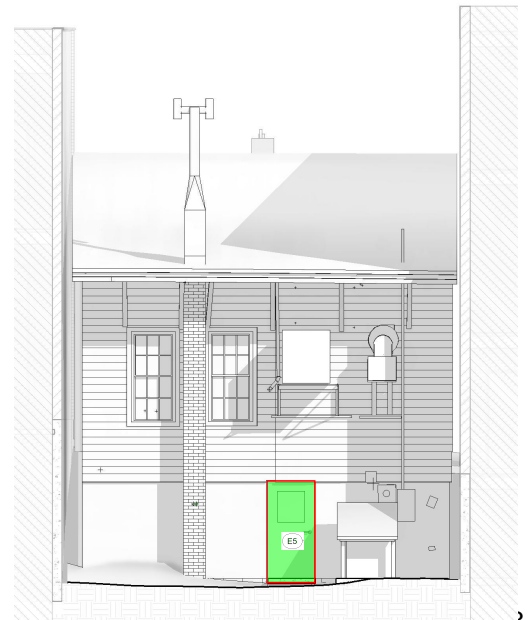


Hollow Metal Jamb

Half Lite

Hardware

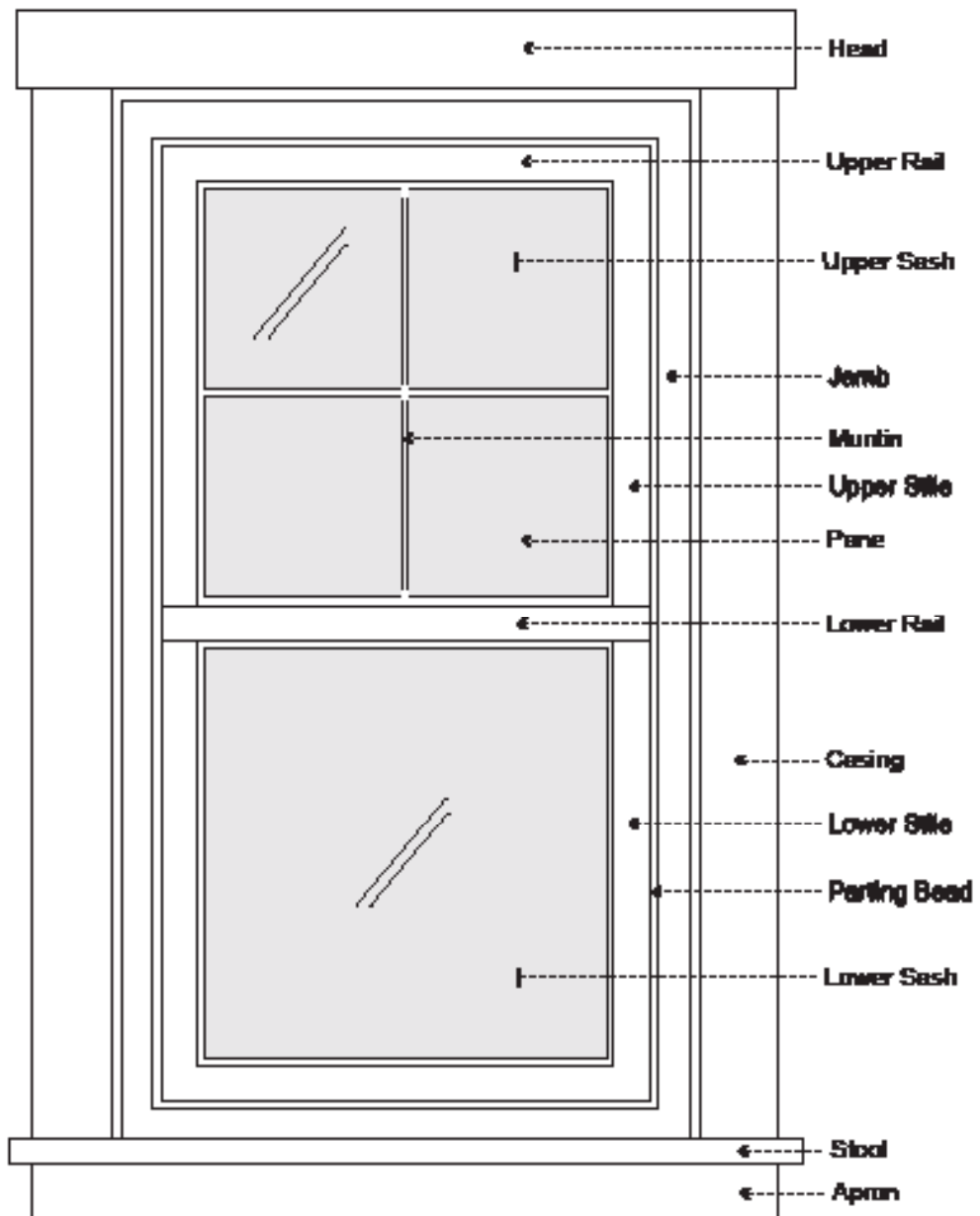
Flat Panel



10. Window Survey

Basic Requirements

1. All window openings on the structure should be assigned a number and described under the same number in the survey form. Windows in pairs or groupings should be assigned individual numbers. Even those not being replaced should be assigned a number corresponding to a photograph or drawing of the elevation, unless otherwise specified specifically by the planner.
2. Describe the issues and conditions of each window in detail, referring to specific parts of the window. Photographs depicting existing conditions may be from the interior, exterior, or both. Additional close-up photos documenting the conditions should be provided to document specific problem areas.
3. The Planning Department's evaluation and recommendation is based on deterioration/damage to the window unit and associated trim. Broken glass and windows that are painted shut alone are not grounds for approving replacement.



If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at www.parkcity.org. Updated 10/2014.

Window Survey Form

Total number of window openings on the exterior of the structure: _____

Number of historic windows on the structure: _____

Number of existing replacement/non-historic windows _____

Number of windows completely missing: _____

Please reference assigned window numbers based on the Physical Conditions Report.

Number of windows to be replaced: _____

Window #:	<i>Existing Condition (Excellent, Good, Fair, Poor):</i>	<i>Describe any deficiencies:</i>	Photo #:	<i>Historic (50 years or older):</i>
01	Fair	Vinyl or composite window - Window Trim paint peeling	W1	No
02	Fair	Vinyl or composite window - Window Trim paint peeling	W2	No
03	Good	Double pane lites and likely composite construction signify a newer window	W3	No
04	Good	Double pane lites and likely composite construction signify a newer window	W4	No
05	Fair	Double pane lites and likely composite construction signify a newer window	W4	No
	Fair			
	Fair			
	Fair			
	Fair			
	Fair			
	Fair			
	Fair			
	Fair			

If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at www.parkcity.org. Updated 10/2014.

PHYSICAL CONDITIONS REPORT

WINDOW 01



Upper Rail

Lite
Jamb

Lower Rail
Stool

Apron

WINDOW 02



Upper Rail

Lite
Jamb

Lower Rail
Stool

Apron

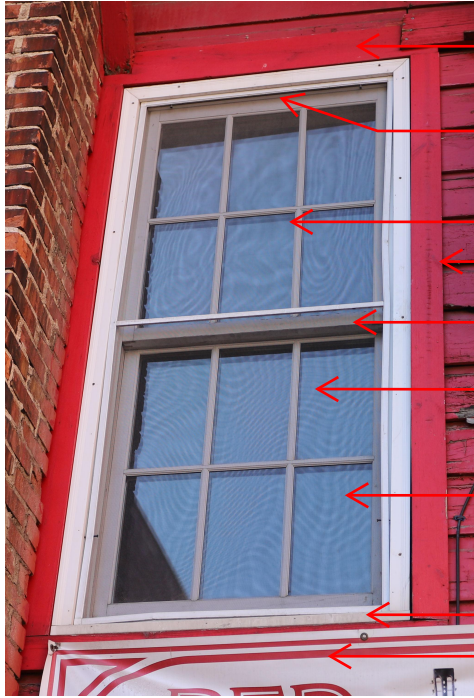


Double Pane
Glazing unit



PHYSICAL CONDITIONS REPORT

WINDOW 03



Head

Upper Rail

Upper Sash

Jamb

Meeting Rails

Lower Sash

Screen

Trim

Apron



WINDOW 04



Head

Upper Rail

Upper Sash

Jamb

True Grille

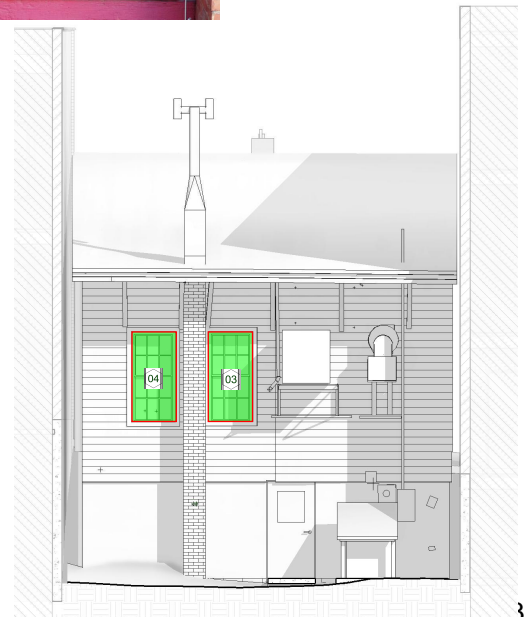
Meeting Rails

Lower Sash

Screen

Trim

Apron



PHYSICAL CONDITIONS REPORT

WINDOW 05 (interior view)



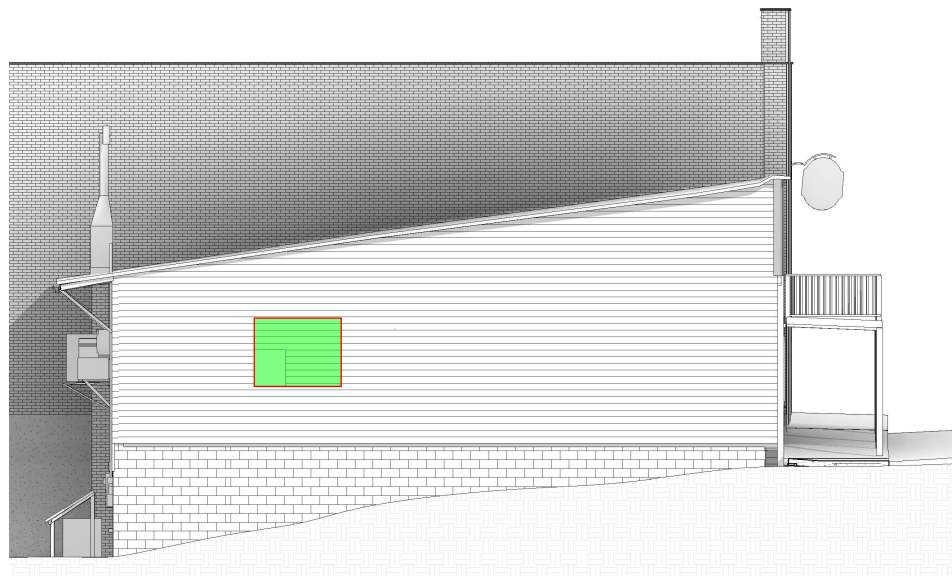
Head

Upper Rail

Sash

Jamb

Stile



11. Interior Photographs

Use this section to describe interior conditions. Provide photographs of the interior elevations of each room. (This can be done by standing in opposite corners of a square room and capturing two walls in each photo.)

Element/Feature: Interior in General

- An original part of the building
- A later addition

Estimated date of construction: 1978

Describe existing feature:

The interior of the building is mostly original. The structure suggests original timber construction with posts in the middle of rooms and roof trusses supported by a mid beam line running the length of the building. Columns in the basement seemed to be placed as necessary when building the space or according to a previous program that no longer is used. The bar dates back before the bar pizza switchover and will remain as a primary element to the new space. The stair to the deck, the door to the deck and the deck itself as an occupied space are relatively new additions to the use of the space.

Describe any deficiencies: Existing Condition: Excellent Good Fair Poor

Generally roof loads would probably not be up to code. The stair to the deck has one riser that is taller than the rest suggesting rogue construction of floor settling.

Photo Numbers: See Below Illustration Numbers: See Below

PHYSICAL CONDITIONS REPORT

LEVEL 0 IMAGES



IMAGE 1



IMAGE 2



IMAGE 3



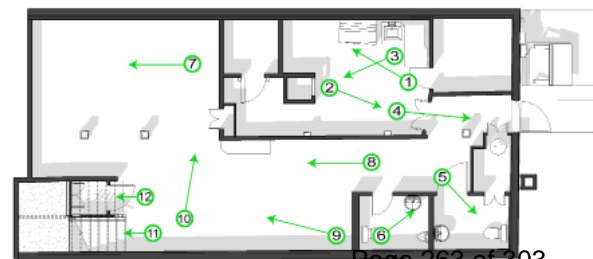
IMAGE 4



IMAGE 5



IMAGE 6



PHYSICAL CONDITIONS REPORT

LEVEL 0 IMAGES



IMAGE 7



IMAGE 8



IMAGE 9



IMAGE 10



IMAGE 11

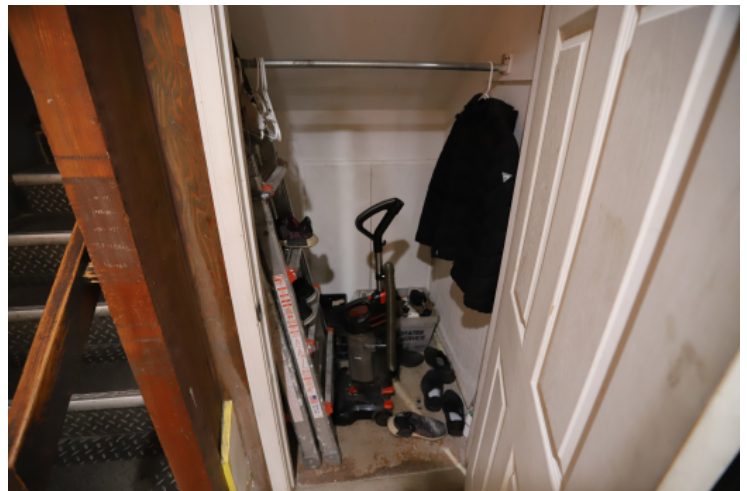
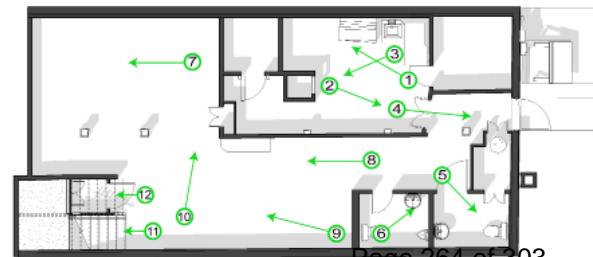


IMAGE 12



PHYSICAL CONDITIONS REPORT

LEVEL 1 IMAGES



IMAGE 1



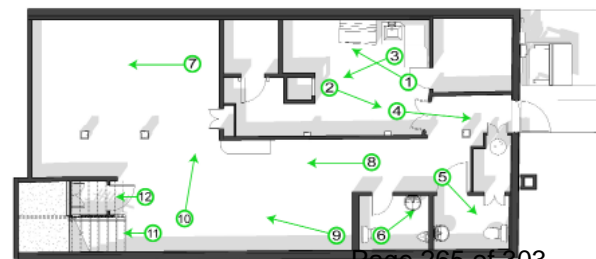
IMAGE 2



IMAGE 3



IMAGE 4



PHYSICAL CONDITIONS REPORT

LEVEL 1 IMAGES



IMAGE 5



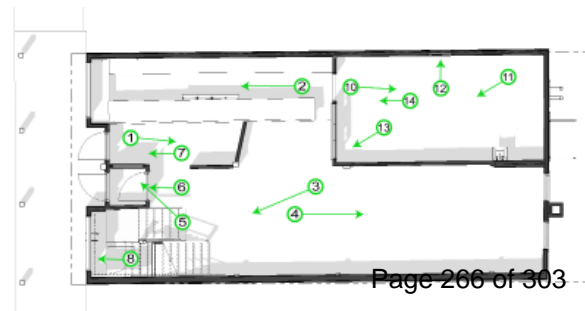
IMAGE 6



IMAGE 7



IMAGE 8



PHYSICAL CONDITIONS REPORT

LEVEL 1 IMAGES



IMAGE 9



IMAGE 10



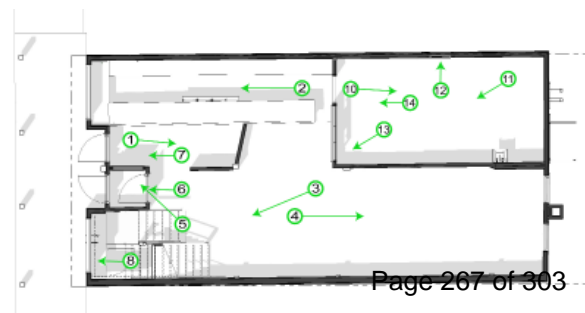
IMAGE 11



IMAGE 12



IMAGE 13



PHYSICAL CONDITIONS REPORT

LEVEL DECK IMAGES



IMAGE 1



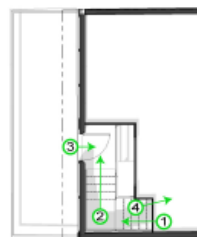
IMAGE 2



IMAGE 3



IMAGE 4



Element/Feature: _____

This involves: An original part of the building
 A later addition

Estimated date of construction: _____

Describe existing feature:

Describe any deficiencies: Existing Condition: Excellent Good Fair Poor

Photo Numbers: _____ Illustration Numbers: _____

If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at www.parkcity.org. Updated 10/2014.

INSTRUCTIONS FOR HISTORIC PRESERVATION PLAN

The purpose of the HISTORIC PRESERVATION PLAN is to provide a detailed description of the proposed project, including the scope of work, methods/techniques being considered, and the potential impacts and/or benefits to Park City's historic resources. The Planning Department is authorized to require a Historic Preservation Plan as a condition of approving an application for a building project that affects a historic structure, site or object. The Planning Director and the Chief Building Official, or their designees, must approve the Historic Preservation Plan.

It is important to address the condition of each element, feature, or space of a historic site and/or structure as identified by the Physical Conditions Report.

Please note the following:

- 1. Multiple Buildings and/or Structures.** For Historic District Design Reviews (HDDR) that include more than one (1) structure, please complete an individual Physical Conditions Report for each structure on the site.
- 2. Scope of Work.** Summarize the impacts the proposed project will have on each of the elements/features identified by the Physical Conditions Report. If the project proposes a negative impact on any character-defining feature, explain why it is unavoidable and what measures are proposed to mitigate the adverse effects.
- 3. Construction Issues.** Following the format of the Physical Condition Report, summarize the work being proposed for each feature. Provide reference to or excerpts from the Physical Condition Report if needed to supplement the work summaries. Address the treatments being considered and the methods and techniques being proposed.

According to the *Design Guidelines for Historic Districts and Historic Sites* the four treatments for historic sites include:

- **Preservation.** If you want to stabilize a building or structure, retain most or all of its historic fabric, and keep it looking the way it does now, you will be preserving it. Preservation is the first treatment to consider and it emphasizes conservation, maintenance and repair.
 - **Rehabilitation.** If you want to update a building for its current or a new use, you will be rehabilitating it. Rehabilitation, the second treatment, also emphasizes retention and repair of historic materials, though replacement is allowed because it is assumed that the condition of existing materials is poor.
 - **Restoration.** If you want to take a building back to an earlier time by removing later features, you will be restoring it. Restoration, the third treatment, centers on retaining materials from the most significant period in the property's history. Because changes in a site convey important information about the development history of that site and its structures, restoration is less common than the previous treatments.
 - **Reconstruction.** If you want to bring back a building that no longer exists or cannot be repaired, you will be reconstructing it. Reconstruction, the fourth treatment, is used to recreate a non-surviving building or one that exists now, but is extremely deteriorated and unsalvageable. Reconstruction is rarely recommended.
- 4. Conditions Evaluation.** The scope of work for those features/elements identified as fair or poor in the Physical Conditions Report require a more comprehensive approach to its deteriorated condition. Please provide specific details outlining your scope of work.
 - 5. References.** Specific conditions should be addressed using recognized preservation methods. It may be helpful to reference the National Park Service's Preservation Briefs in order to specify

recognized preservation methods for features/elements such as wood windows, porches, and masonry chimneys. These and other features are described in the Preservation Briefs, available online at: <http://www.nps.gov/tps/how-to-preserve/briefs.htm>.

Site Design

Use this section should describe the scope of work and preservation treatment for landscape features such as stone retaining walls, hillside steps, and fencing. Existing landscaping and site grading as well as parking should also be documented. Use supplemental pages if necessary.

Element/Feature: Site Design

This involves: Preservation Restoration
 Reconstruction Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

The infill site will not retain any site design nor does the site have any notable design elements to retain.

Structure

Use this section to describe scope of work and preservation treatment for the general structural system of the building including floor and ceiling systems as well as the roof structure. Supplemental pages should be used to describe additional elements and features.

Element/Feature: Structure - Foundation

This involves: Preservation Restoration
 Reconstruction Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

The existing foundation is largely insufficient to hold proposed new loads. A separate foundation system will be used inside the existing foundation walls to bolster and update the entire system. The exterior of the foundation will remain due to the tight site conditions and preservation of the building as much as possible.

Supplemental Sheets

Supplemental Page ___ of ___

Supplemental pages should be used to describe the scope of work and preservation treatment for any additional elements and features not previously described in this packet.

Element/Feature: Structure - Exterior Walls

This involves: Preservation Restoration
 Reconstruction Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

The existing wood stud walls will remain in place. The North and South walls will remain completely intact with structural sheathing placed on the interior. The West and primary wall will be preserved with the proposed addition of windows. Structural shear value will be accomplished with the use of a steel moment frame due to the amount of openings that are present and being proposed in the wall. The East wall will be incorporated into the interior of the building as much as possible.

Element/Feature: Structure - Roof

This involves: Preservation Restoration
 Reconstruction Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

The existing roof will largely be usurped by a new floor structure hosting the proposed 3rd floor. The existing truss system will be incorporated as able and roof boards removed and used decoratively in other parts of the building. If it's possible to leave the trusses up as decorative elements, they will be.

Roof

Use this section to describe the proposed scope of work and preservation treatment for the roofing system, flashing, drainage such as downspouts and gutters, skylights, chimneys, and other rooftop features. Use supplemental pages if necessary.

Element/Feature: Roof

This involves: Preservation Restoration
 Reconstruction Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

The TPO roof will be removed in it's entirety. The other feature of the roof is the chimney, see below.

Chimney

Use this section to describe the proposed scope of work and preservation treatment for any existing chimneys. One box should be devoted to each existing chimney. Supplemental pages should be used to describe additional elements and features.

Element/Feature: Chimney

This involves: Preservation Restoration
 Reconstruction Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

The chimney if retained would be absorbed into the building and will be de-constructed. The bricks shall be retained and used decoratively in the building. The metal component on the top of the existing roof will be removed.

Exterior Walls

Use this section to describe the proposed scope of work and preservation treatment for the exterior wall construction, finishes, and masonry. Please describe the scope of work for each individual exterior wall, use supplemental pages if necessary.

Element/Feature: Exterior Walls

- This involves: Preservation Restoration
 Reconstruction Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

Exterior walls will remain in place and the siding will also remain. Site constraints will not allow for any modification of the North and South walls however these walls will be structurally updated from the interior to facilitate code compliance.

The West wall is the primary wall known to the public and will also remained in place. Decorative elements will be rehabilitated with the addition of windows in the arched areas. The East wall may or may not be retained as a decorative element.

Element/Feature: _____

- This involves: Preservation Restoration
 Reconstruction Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

Foundation

Use this section to describe the proposed scope of work and preservation treatment for the foundation including its system, materials, perimeter foundation drainage, and other foundation-related features. Use supplemental pages if necessary.

Element/Feature: Foundation

This involves: Preservation Restoration
 Reconstruction Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

As mentioned in the structural portion, the foundation walls will be retained partially due to site constraints.

The West wall may be augmented or structurally upgraded in response to preservation efforts on the upper wood portion of the wall.

The East foundation wall may be removed or augmented depending on structural and programmatic reasons. This portion of the wall will be visually absorbed by proposed changes.

Porches

Use this section to describe the proposed scope of work and preservation treatment for all porches. Address decorative features including porch posts, brackets, railing, and floor and ceiling materials.

Element/Feature: Porch

This involves: Preservation Restoration
 Reconstruction Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

The one porch or deck on the front (West) of the building will be retained as it stands.

Doors

Use this section to describe the proposed scope of work and preservation treatment for all exterior doors, door openings, and door parts referenced in the Door Survey of the Physical Conditions Report. Please describe the scope of work for each individual exterior door, use supplemental pages if necessary.

Element/Feature: Historic Doors

- This involves: Preservation Restoration
 Reconstruction Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

The 2 entry doors (and the vestibule on the West facade) will be retained as-is. The door on the deck above will be replaced with a new door to match and be consistent with the proposed window additions to the West upper facade

Element/Feature: Non-Historic Door

- This involves: Preservation Restoration
 Reconstruction Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

The rear door on the East facade will be removed and recycled.

Windows

Use this section to describe the proposed scope of work and preservation treatment for all exterior windows, window openings, and windows parts referenced in the Door Survey of the Physical Conditions Report. Please describe the scope of work for each individual exterior window, use supplemental pages if necessary.

Element/Feature: Windows - West Facade

This involves: Preservation Restoration
 Reconstruction Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

Windows are not historic necessarily as they are double paned and probably replaced sometime after the 1978 renovation. Regardless the openings will be maintained as they appear today with either the same windows being used or an updated and more energy efficient window unit replacing the current with same size and dimensions.

Element/Feature: Windows - East Facade

This involves: Preservation Restoration
 Reconstruction Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

Windows are not historic necessarily as they are double paned and probably replaced sometime after the 1978 renovation. These windows will be removed from the building unless they can server a purpose as a decorative element on the interior or they may be discarded.

Mechanical System, Utility Systems, Service Equipment & Electrical

Use this section to describe proposed scope of work and preservation treatment for items such as the existing HVAC system, ventilation, plumbing, electrical, and fire suppression systems. Supplemental pages should be used to describe additional elements and features. Use supplemental pages if necessary.

Element/Feature: Building Systems

- This involves: Preservation Restoration
 Reconstruction Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

In general, all systems will be upgraded with the updated renovation of this building. Additional square footage and conditioning requirements will necessitate modern and bolstered systems to accommodate larger loads. If any systems such as fire sprinklers can be incorporated into the new system, they may be re-used or salvaged. There is no significant historic systems that should be retained for use in a modern building.

Additions

Use this section to describe the proposed scope of work for any additions. Describe the impact and the preservation treatment for any historic materials. Supplemental pages should be used to describe additional elements and features. Use supplemental pages if necessary.

Element/Feature: Addition

- This involves: Preservation Restoration
 Reconstruction Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

The rear portion of the newly platted lot will be used to accommodate a larger kitchen, dining room space and new housing & retail space. This addition will absorb the rear wall and roof of the existing building. The new construction will conform to the guidelines for the historic district but will deviate from replication of historic structures and will appear as conforming to the historic fabric with a more updated aesthetic.

4 - Project team

Drift Studio - Architecture team providing construction documents and building assessment.

Bryan Markkanen is a licensed architect with the following experience in Park City and the historic district:

176 Main Street - Centennial House - Landmark designation - De-construction and re-construction of a historic icon. The house is going into construction shortly. It will remove elements of the building that were added in the late 1970's that detract from the historic form. Unfortunately the building is in such disrepair it is to be completely re-constructed but when complete, will return to it's prominence and it's 1907 time period.

221 Main Street - Imperial Hotel - Landmark designation - Various improvements over 15 years starting with a total gut and stabilization/ Preservation / Rehabilitation and transforming the building to various multi-use functions most recently a cafe on the lower level and residence on the upper levels.

227 Main Street - Star Hotel - Landmark designation - Reconstruction of iconic Landmark building on Main Street. Work included assessing and documenting then current structure and working to re-create new structure that honored and replicated the previously condemned building to conform with current building codes. This required using very thick floor plates and modern building materials.

352 Main Street- Spur Bar & Grill - Construction of a non-historic commercial building in the historic district. Work included designing a building that complied with HDDG but brought a more contemporary look to Main Street. Current business is thriving and the concept is successful visually as well as from a business perspective.

268 Main Street conceptual - Landmark designation - Not yet off the ground but have had light conversations with Planning on compliance and HDDG as they apply the building moving forward

322 Main Street - Red Banjo - Landmark Designation - In Pre-HDDR phase with plans in development.

116 Park Ave - Residential - Non-historic structure on non-compliant lot updated to better fit within the historic nature of Park City. This residence required many separate processes to comply with LMC and the HDDG and is a welcome compliment to the district as a whole.

310 Park Ave - Residential - Non-historic structure that was updated and enlarged. This house complies with the HDDG and is a welcome update to the historic district.

Multiple interior remodels in the Historic District - While these projects do not prominently figure in the overall historic district look and feel, the small changes that window configurations and interior layouts within the structures do provide the small detail to the streetscape

Riverhorse Bar & Grill

Patagonia store

Address - LL Bean

We Norwegians

591 Main Street - Lund Gallery

Bryan Markkanen will be a part of the project from the design inception through construction.

Contractor has not been selected yet.

5 - Site History

Park Tavern/ Red Banjo Saloon/ Red Banjo Pizza

Taken from the Park City Museum Website: *The neatest, best arranged and most attractive beer hall in the city is the Park Tavern," The Park Record gushed on October 5, 1934. "A large cash outlay was made in remodeling and furnishing the building...The sign work by Roy Fletcher lends much to the outside attractiveness.*

Safianides ran the tavern for about 28 years, surviving at least three police raids for illegally serving hard liquor. The most infamous was the April 1955 sweep orchestrated by state and federal officers that netted four taverns, a hotel and a house of ill repute.

Safianides also faced gambling charges because of the tavern's popular blackjack table. In June 1955, Third District Court Judge John F. Wahlquist ordered the tavern closed and padlocked for three months.

By 1962, Safianides was ready to sell. He handed the keys to Mary Lou and Pete Toly, who refurbished and christened it the Red Banjo Saloon. Later renamed the Red Banjo Pizza Parlour, it is now Park City's oldest restaurant. Mary Lou Toly and her family still run it.

Previous to 1934 at least according to Sanborn Insurance maps, the building was seemed to be used with two tenants at once, perhaps alluding to the two recessed door openings and their purpose.

1934 - (per PC Museum) - Park Tavern served food and drink. The exterior fo the building Was tiled with oblong hexagon windows in the same openings there are large picture windows today. Brick-tex was insstalled on the walls above the tile and a large glass block window stretched across the door and window openings on the front facade.

1962 - Red Banjo Saloon with wood siding on front and brick-tex on the sides of the building, probably covering the wood siding that is installed up to present.

1976 - Red Banjo Pizza was the next incarnate with covered patio structure built over the sidewalk. This patio was not initially used for seating but a door was added to the facade and outdoor seating added along with it sometime during or after the late 1990's. The Mural on the side of the building was uncovered at this time with the removal of the Brick-tex that was apparently installed in or around 1934. In 1978 the adjacent building was constructed, hiding the sign once again.

<https://parkcityhistory.org/vanishing-bull-the-saga-of-a-celebrated-sign/>



1934



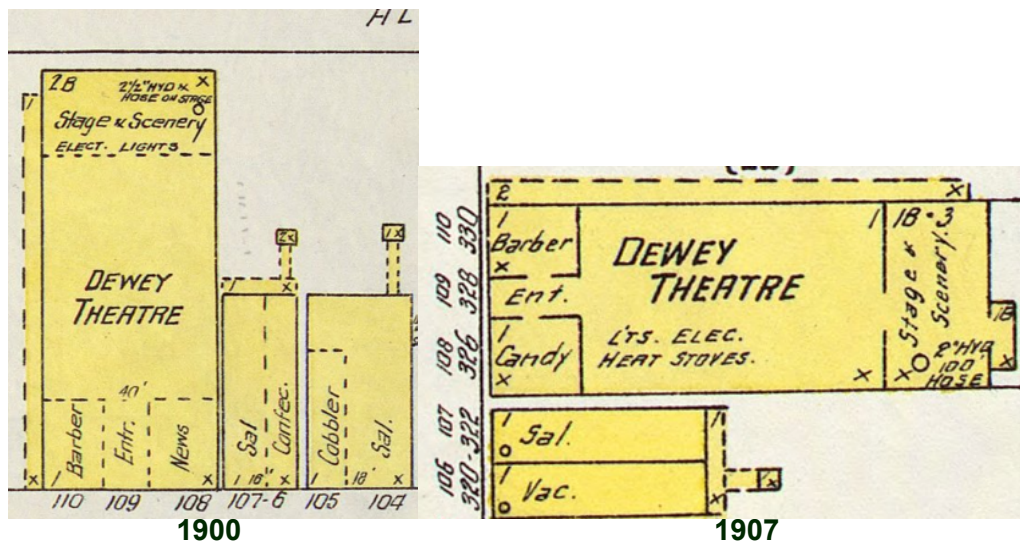
1962



1976



To Current



1900

1907

4. PROJECT TEAM

List the individuals and firms involved in designing and executing the proposed work. Include the names and contact information for the architect, designer, preservation professional, contractor, subcontractors, specialized craftspeople, specialty fabricators, etc...

Provide a statement of competency for each individual and/or firm listed above. Include a list or description of relevant experience and/or specialized training or skills.

Will a licensed architect or qualified preservation professional be involved in the analysis and design alternatives chosen for the project? Yes or No. If yes, provide his/her name.

Will a licensed architect or other qualified professional be available during construction to ensure the project is executed according to the approved plans? Yes or No. If yes, provide his/her name.

5. SITE HISTORY

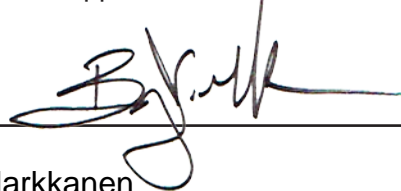
Provide a brief history of the site to augment information from the Historic Site Form. Include information about uses, owners, and dates of changes made (if known) to the site and/or buildings. Please list all sources such as permit records, current/past owner interviews, newspapers, etc. used in compiling the information.

6. FINANCIAL GUARANTEE

The Planning Department is authorized to require that the Applicant provide the City with a financial Guarantee to ensure compliance with the conditions and terms of the Historic Preservation Plan. (See Title 15, LMC Chapter 11-9) Describe how you will satisfy the financial guarantee requirements.

7. ACKNOWLEDGMENT OF RESPONSIBILITY

I have read and understand the instructions supplied by Park City for processing this form as part of the Historic District/Site Design Review application. The information I have provided is true and correct to the best of my knowledge.

Signature of Applicant:  Date: October 25, 2025

Name of Applicant: Bryan Markkanen

HISTORIC SITE FORM - HISTORIC SITES INVENTORY

PARK CITY MUNICIPAL CORPORATION (10-08)

1 IDENTIFICATION

Name of Property:

Address: 322 MAIN ST

AKA:

City, County: Park City, Summit County, Utah

Tax Number: PC-278

Current Owner Name: TOLY MARY LOU

Parent Parcel(s):

Current Owner Address: PO BOX 489, PARK CITY, UT 84060-0489

Legal Description (include acreage): N 20 FT LOT 5 & S 5 FT LOT 6 BLK22 PARK CITY SURVEY; 0.11 AC

2 STATUS/USE

Property Category

- building(s), main
- building(s), attached
- building(s), detached
- building(s), public
- building(s), accessory
- structure(s)

Evaluation*

- Landmark Site
- Significant Site
- Not Historic

Reconstruction

- Date: _____
Permit #: _____
 Full Partial

Use

- Original Use: Commercial
Current Use: Commercial

*National Register of Historic Places: ineligible eligible
 listed (date: 03/07/1979 - Park City Main Street Historic District)

3 DOCUMENTATION

Photos: Dates

- tax photo:
- prints:
- historic: c.

Drawings and Plans

- measured floor plans
- site sketch map
- Historic American Bldg. Survey
- original plans:
- other:

Research Sources (check all sources consulted, whether useful or not)

- abstract of title
- tax card
- original building permit
- sewer permit
- Sanborn Maps
- obituary index
- city directories/gazetteers
- census records
- biographical encyclopedias
- newspapers
- city/county histories
- personal interviews
- Utah Hist. Research Center
- USHS Preservation Files
- USHS Architects File
- LDS Family History Library
- Park City Hist. Soc/Museum
- university library(ies):
- other:

Bibliographical References (books, articles, interviews, etc.) Attach copies of all research notes and materials.

Blaes, Dina & Beatrice Lufkin. "Final Report." Park City Historic Building Inventory. Salt Lake City: 2007.

Carter, Thomas and Goss, Peter. *Utah's Historic Architecture, 1847-1940: a Guide*. Salt Lake City, Utah:

University of Utah Graduate School of Architecture and Utah State Historical Society, 1991.

Longstreth, Richard. *The Buildings of Main Street; A Guide to Commercial Architecture*. Updated edition. Walnut Creek, CA:

Alta Mira Press, a division of Rowman & Littlefield Publishers, Inc., 2000.

Notarianni, Philip F., "Park City Main Street Historic District." National Register of Historic Places Inventory, Nomination Form. 1979.

Roberts, Allen. "Final Report." Park City Reconnaissance Level Survey. Salt Lake City: 1995.

4 ARCHITECTURAL DESCRIPTION & INTEGRITY

Building Type and/or Style: 1-part block

No. Stories: 2

Additions: none minor major (describe below) Alterations: none minor major (describe below)

Number of associated outbuildings and/or structures: accessory building(s), # _____; structure(s), # _____.

General Condition of Exterior Materials:

Researcher/Organization: Preservation Solutions/Park City Municipal Corporation Date: 12-2008

- Good (Well maintained with no serious problems apparent.)
- Fair (Some problems are apparent. Describe the problems.):
- POOR (Major problems are apparent and constitute an imminent threat. Describe the problems.):
- Uninhabitable/Ruin

Materials (The physical elements that were combined or deposited during a particular period of time in a particular pattern or configuration. Describe the materials.):

Foundation: Tax cards indicate concrete block.

Walls: Drop siding.

Roof: Shed roof form.

Windows/Doors: Fixed multi-pane casement display windows.

Essential Historical Form: Retains Does Not Retain, due to:

Location: Original Location Moved (date _____) Original Location:

Design (The combination of physical elements that create the form, plan, space, structure, and style. Describe additions and/or alterations from the original design, including dates--known or estimated--when alterations were made): The 2-story frame 1-part block remains as it was described in the National Register nomination. Earlier photographs show the primary façade without the second-story deck/balcony; the 1965 tax card and the 1907 Sanborn Insurance map, also show structure without the deck/balcony. Further research should be conducted to establish a full design history on the site.

Setting (The physical environment--natural or manmade--of a historic site. Describe the setting and how it has changed over time.): The setting is typical of a mining era commercial core; buildings are located adjacent to one another and abut the sidewalk or street edge.

Workmanship (The physical evidence of the crafts of a particular culture or people during a given period in history. Describe the distinctive elements.): The physical evidence from the period that defines this as a typical Park City mining era commercial building are the simple methods of construction, the use of non-beveled (drop-novelty) wood siding, the central recessed entrances flanked by display windows, transom windows, the restrained ornamentation, and the plain finishes.

Feeling (Describe the property's historic character.): The physical elements of the site, in combination, convey a sense of the commercial activity in a western mining town of the late nineteenth and early twentieth centuries.

Association (Describe the link between the important historic era or person and the property.): The one-part block is one of the most common commercial building types constructed in Park City during the mining era.

This site was listed on the National Register of Historic Places in 1979 as part of the *Park City Main Street Historic District*. It was built within the historic period (1868-1929), is associated with the mining era, and retains its historic integrity. As a result, it meets the criteria set forth in LMC Chapter 15-11 for designation as a Landmark Site.

5 SIGNIFICANCE

Architect: Not Known Known: (source:)

Date of Construction: c. 1900¹

Builder: Not Known Known: (source:)

The site must represent an important part of the history or architecture of the community. A site need only be significant under one of the three areas listed below:

1. Historic Era:

¹ Notarianni, page 48.

- Settlement & Mining Boom Era (1868-1893)
- Mature Mining Era (1894-1930)
- Mining Decline & Emergence of Recreation Industry (1931-1962)

Park City was the center of one of the top three metal mining districts in the state during Utah's mining boom period of the late nineteenth and early twentieth centuries, and it is one of only two major metal mining communities that have survived to the present. Park City's commercial buildings represent the best remaining metal mining town business district in the state. The buildings along Main Street, in particular, provide important documentation of the commercial character of mining towns of that period, including the range of building materials, building types, and architectural styles. They contribute to our understanding of a significant aspect of Park City's economic growth and architectural development as a mining business district².

2. **Persons** (Describe how the site is associated with the lives of persons who were of historic importance to the community or those who were significant in the history of the state, region, or nation):

3. **Architecture** (Describe how the site exemplifies noteworthy methods of construction, materials or craftsmanship used during the historic period or is the work of a master craftsman or notable architect):

6 PHOTOS

Digital color photographs are on file with the Planning Department, Park City Municipal Corp.

Photo No. 1: West elevation. Camera facing east, 2006.

Photo No. 2: Northwest oblique. Camera facing southeast, 1995.

Photo No. 3: West elevation. Camera facing east, 1978.

Photo No. 4: Southwest oblique. Camera facing northeast, c. 1955.

² From "Park City Main Street Historic District" written by Philip Notarianni, 1979 and "Residences of Mining Boom Era, Park City - Thematic Nomination" written by Roger Roper, 1984.

210-1568
1333

PE-278
Serial Number

102
Card Number

Owners Name Mike Sofanised
Location Red Baron Saloon, Park City
Kind of Bldg. Store St. No. 320 Main
Class 2 Type 1 2 3 4. Cost \$ 5857 X 100 %

Stories	Dimensions	Sq. Ft.	Factor	Totals	Totals
1	x x	1275		\$ 5857	\$
	x x				
	x x				

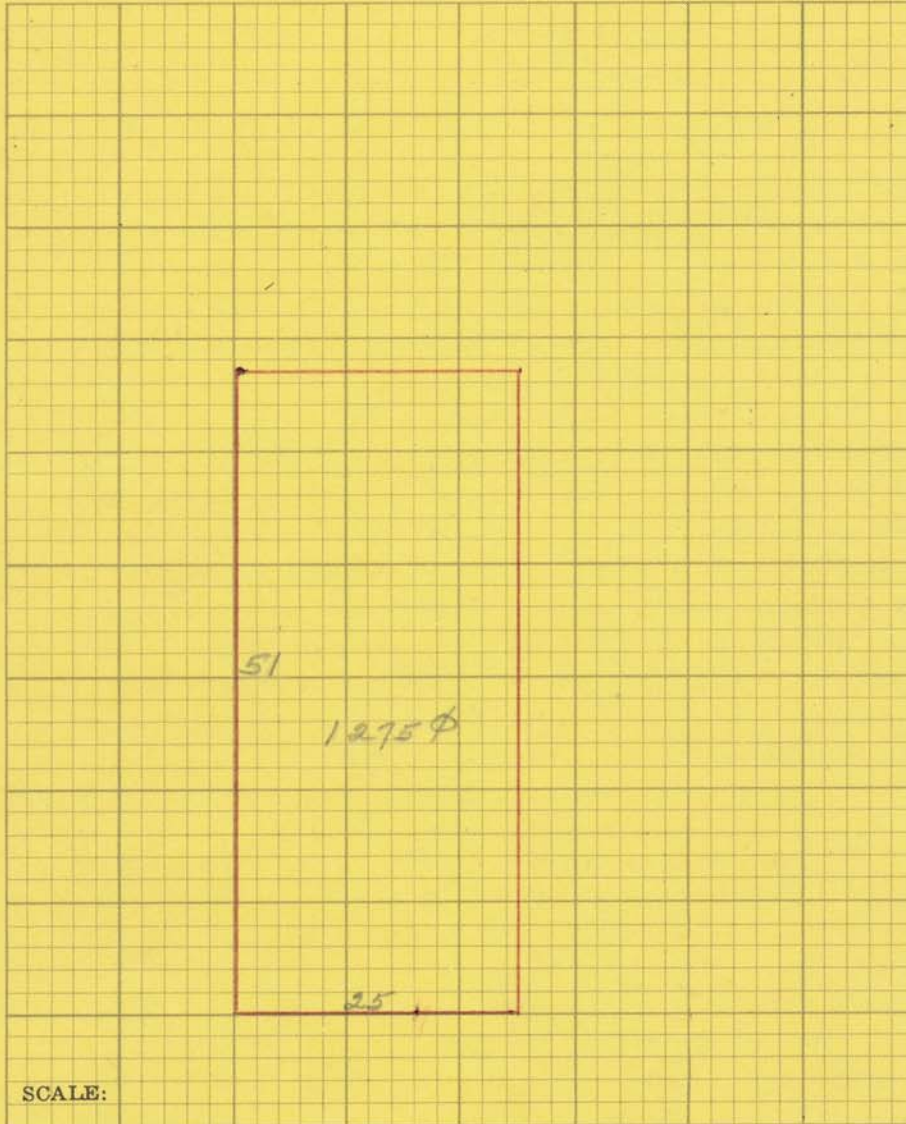
Att. Gar.—C.P. Flr. Walls Cl.
Description of Buildings Additions Additions

Foundation—Stone Conc. blk Sills
 Ext. Walls sdg to Park City
 Roof Type shd Mtl. RR
 Dormers—Small Med. Large
 Bays—Small Med Large
 Porches—Front @ Repp
 Rear @ 8-14-71
 Porch @ 187
 Planters @
 Ext. Base. Entry @ 10' high / 12750 @ 10
 Cellar-Bsmt. — ¼ ⅓ ½ ⅔ ¾ Full Floor conc 1275
 Bsmt. Gar.
 Basement-Apt. Rms. Fin. Rms.
 Attic Rooms Fin. Unfin.
 Plumbing { Class 1 Tub. Trays 713
 Basin 2 Sink Toilet 2
 Wtr. Sfr. Shr. St. O.T.
 Dishwasher Garbage Disp.
 Heat—Stove H.A. FA HW Stkr Elec. 722
 Oil Gas Coal Pipeless Radiant
 Air Cond. — Full Zone
 Finish—Fir. Hd. Wd. Panel
 Floor—Fir. Hd. Wd Other
 Cabinets 1 Mantels.
 Tile—Walls Wainscot Floors
 Storm Sash—Wood D. S. ; Metal D. S.
 Awnings — Metal Fiberglass

Total Additions	<u>1915</u>	<u>2710</u>
Year Built <u>1900</u>	Avg. <u>1.55</u>	Replacement Cost <u>8567</u>
Remod. <u>1963</u>	Age <u>2.</u>	Obsolescence
Inf. by { Owner - Tenant - <input checked="" type="checkbox"/>	Adj. Bld. Value	
{ Neighbor - Record - Est. <input checked="" type="checkbox"/>	Conv. Factor <u>x.47</u>	
	Replacement Cost—1940 Base <u>4026</u>	
	Depreciation Column <u>D 2 3 4 5 6</u> <u>32</u>	
	1940 Base Cost, Less Depreciation <u>1288</u>	
Total Value from reverse side		
	Total Building Value <u>\$ 1288</u>	

Appraised ① 5-27- 19 65 By 1533
Appraised ② _____ 19 _____ By _____

DEC 12 1968
1328



RESIDENTIAL OUT BUILDINGS	Age	Size	Area	Factor	Cost	Conv. Fac.	Adj. Cost	Depr. Value
		x				.47		
		x				.47		
		x				.47		
		x				.47		
		x				.47		
		x				.47		

NO
 Garage — Class _____ Depr. 2% 3% _____
 Cars _____ Floor _____ Walls _____ Roof _____ Doors _____
 Size _____ x _____ Age _____ Cost _____ x 47% _____
 _____ 1940 Base Cost _____ x _____ % Depr. _____
 Total _____

REMARKS _____







RED BANJO

122

Village Candy Shoppe

Village Candy Shoppe
Park City, Utah
Ice Cream Caramel Apples

Rich Haines Galleries

HISTORIC SITE FORM

UTAH STATE HISTORIC PRESERVATION OFFICE

(10-91)

1 IDENTIFICATION

Name of Property: **Mary McLeod Building**

Address: **322 Main Street**

Twtnshp Range Section:

City, County: **Park City, Summit, Utah**

UTM:

Current Owner Name: **Mary Lou Toly**

USGS Map Name & Date: **Park City East**

Current Owner Address: **PO Box 489**

Quad/2011

Park City, UT 84060-0489

Tax Number: **PC-278**

Legal Description (include acreage): **PC 278 N 20 FT LOT 5 & S 5 FT LOT 6 BLK22 PARK CITY SURVEY M95-183 M105-197 PC-278L6PT5B22SWD274 M28-412M84-75; 0.11 AC**

2 STATUS/USE

Property Category

building(s)

structure

site

object

Evaluation

eligible/contributing*

ineligible/non-contributing

out-of-period

Use

Original Use: **restaurant**

Current Use: **restaurant**

3 DOCUMENTATION

Photos: Dates

digital: **Oct. 2013 (2)**

prints: **2006, 1995, 1970s, c. 1955**

historic:

Drawings and Plans

measured floor plans

site sketch map

Historic American Bldg. Survey

original plans available at:

other:

Research Sources (check all sources consulted, whether useful or not)

abstract of title

tax card & photo

building permit

sewer permit

Sanborn Maps

obituary index

city directories/gazetteers

census records

biographical encyclopedias

newspapers

city/county histories

personal interviews

USHS History Research Center

USHS Preservation Files

USHS Architects File

LDS Family History Library

local library: **Park City Museum**

university library(ies):

Bibliographical References (books, articles, interviews, etc.)

Attach copies of all research notes, title searches, obituaries, and so forth.

Boutwell, John Mason and Lester Hood Woolsey. *Geology and Ore Deposits of the Park City District, Utah*. White Paper, Department of the Interior, United States Geological Survey. Washington: Government Printing Office, 1912.

Carter, Thomas and Peter Goss. *Utah's Historic Architecture, 1847-1940*. Salt Lake City: Center for Architectural Studies, Graduate School of Architecture, University of Utah and Utah State Historical Society, 1988.

Hampshire, David, Martha Sonntag Bradley and Allen Roberts. *A History of Summit County*. Coalville, UT: Summit County Commission, 1998.

National Register of Historic Places. Park City Main Street Historic District. Park City, Utah, National Register #79002511.

Peterson, Marie Ross and Mary M. Pearson. *Echoes of Yesterday: Summit County Centennial History*. Salt Lake City:

Daughters of Utah Pioneers, 1947.

Pieros, Rick. *Park City: Past & Present*. Park City: self-published, 2011.

Randall, Deborah Lyn. *Park City, Utah: An Architectural History of Mining Town Housing, 1869 to 1907*. Master of Arts thesis, University of Utah, 1985.

Ringholz, Raye Carleson. *Diggings and Doings in Park City: Revised and Enlarged*. Salt Lake City: Western Epics, 1972.

Ringholz, Raye Carleson and Bea Kummer. *Walking Through Historic Park City*. Self-published, 1984.

Thompson, George A., and Fraser Buck. *Treasure Mountain Home: Park City Revisited*. Salt Lake City: Dream Garden Press, 1993.

* NHRP listed in 1979 as part of Park City Main Street Historic District

Researcher/Organization: John Ewanowski, CRSA Architecture

Date: January 2015

4 ARCHITECTURAL DESCRIPTION

Building Style/Type: one-part block type / Victorian Eclectic style No. Stories: 2

Foundation Material: concrete block Wall Material(s): drop siding

Additions: none minor major (describe below) Alterations: none minor major (describe below)

Number of associated outbuildings 0 and/or structures 0.

Briefly describe the principal building, additions or alterations and their dates, and associated outbuildings and structures. Use continuation sheets as necessary.

322 Main was described in the 1978 National Register nomination for the Park City Main Street Historic District as follows:

“One story frame with shed style roof. The building was remodeled in 1963 and contains an ornate wood cornice with six wood arches on the upper façade (original), flanked and separated by wooden piers. A “fenced” (upper floor) porch extends out over the sidewalk, supported by four posts. Two entry doors are flanked by two window openings each containing twenty-four panes of glass (somewhat out of character from period commercial buildings).”

The building was built to its current appearance in a 1976 remodeling, which added the front porch and installed more period appropriate doors and windows. The north façade of the building contains a Bull Durham tobacco advertisement that was painted on in 1929. The ad may still be there but it has been mostly hidden by the adjacent building. Since 1995, a door was added to the front patio, providing outdoor second-floor seating.

5 HISTORY

Architect/Builder: **unknown**

Date of Construction: **1899**

Historic Themes: Mark themes related to this property with "S" or "C" (S = significant, C = contributing).
(see instructions for details)

<input type="checkbox"/> Agriculture	<input type="checkbox"/> Economics	<input checked="" type="checkbox"/> Industry	<input type="checkbox"/> Politics/ Government
<input type="checkbox"/> Architecture	<input type="checkbox"/> Education	<input type="checkbox"/> Invention	<input type="checkbox"/> Religion
<input type="checkbox"/> Archeology	<input type="checkbox"/> Engineering	<input type="checkbox"/> Landscape Architecture	<input type="checkbox"/> Science
<input type="checkbox"/> Art	<input type="checkbox"/> Entertainment/ Recreation	<input type="checkbox"/> Law	<input type="checkbox"/> Social History
<input checked="" type="checkbox"/> Commerce	<input type="checkbox"/> Ethnic Heritage	<input type="checkbox"/> Literature	<input type="checkbox"/> Transportation
<input type="checkbox"/> Communications	<input type="checkbox"/> Exploration/ Settlement	<input type="checkbox"/> Maritime History	<input checked="" type="checkbox"/> Other: Mining
<input type="checkbox"/> Community Planning & Development	<input type="checkbox"/> Health/Medicine	<input type="checkbox"/> Military	
<input type="checkbox"/> Conservation		<input type="checkbox"/> Performing Arts	

Write a chronological history of the property, focusing primarily on the original or principal owners & significant events. Explain and justify any significant themes marked above. Use continuation sheets as necessary.

The original building on the site of 322 Main housed Tim O’Keeffe’s cigar shop and J.R. Funk’s barbershop, but it was destroyed in the 1898 Fire. By spring of the following year, many of the burnt Main Street buildings had been rebuilt, and a second building frenzy occurred once the snow melted in 1899. The *Park Record* announced, “A small building boom is on in our city. Monday, work was commenced on Mrs. McLeod’s store building just south of the Dewey theater . . .”² Illustrating the rapidity with which many of the commercial buildings were built following the fire, the *Park Record* wrote just two weeks later that work on the building was nearing completion and that the north half would be occupied by the Hallinan & Breen saloon, with the Park City Candy Kitchen (later known as Wilson’s Candy Kitchen) moving into the south half.³ Mary McLeod had purchased the lot for the building three months earlier from John Dunsmore in 1899.

The 1900 Sanborn map shows a saloon and confectionary in the building. The north half (confectionary) was vacant by 1907, while the saloon was still in the building. Joseph Sullivan owned the building from 1920 until 1945, and the two halves were combined into one business, a pool hall, by 1929.

²“Park Float,” *Park Record*, May 13, 1899.

³“Park Float,” *Park Record*, May 27, 1899.

Mike Sofianides ran a tavern in the building starting in 1945. He was born in Istanbul in 1884 but was of Greek lineage, as he was a member of Holy Trinity Greek Orthodox Church in Utah. Sofianides died on May 28, 1970 in a Salt Lake City nursing home, leaving his property at 322 Main to his nephew Albert Mitchell.⁴

By the time of Sofianides's death, Pete and Mary Lou Toly were running the Red Banjo out of the building, which opened on May 24, 1962. Initially, the business was run as a bar but became a pizza parlor in the late 1960s. The Tolys bought the building from Mitchell in 1976, then divorced in 1977, with Mary Lou taking over the restaurant. They had added the front patio soon after buying the building. Mary Lou trained her son Scott Toly to run the business in the 1980s, and he has since passed on some business knowledge to his daughter Tana. Mary Lou still owns the building, and the Red Banjo has become Park City's oldest running restaurant.⁵

⁴ "M. Sofianides Rites Tuesday," *Park Record*, June 4, 1970.

⁵ Ferguson, Dana, "Park City's Red Banjo Pizza Parlour celebrates 50 years," *The Salt Lake Tribune*, June 21, 2012.



322 Main Street. Northwest oblique. October 2013.



322 Main Street. Southwest oblique. October 2013.

TITLE SEARCH FORM

[Obtain information from title abstract books at County Recorder's Office]

Address: 322 Main Street

City: Park City, UT

Current Owner: Mary Lou Toly

Address: (see historic site form for address)

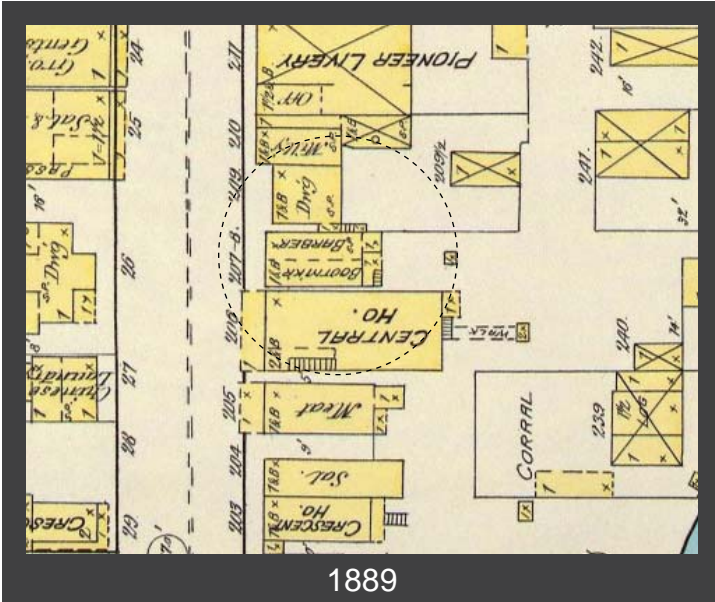
Tax Number: PC-278

Legal Description (include acreage): PC N 20' L5, S5' L6 (see historic site form for complete legal description)

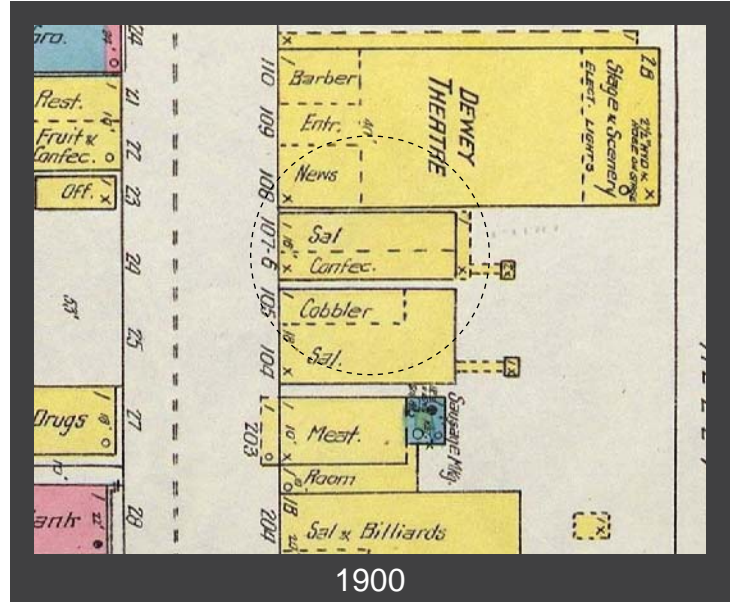
TRANSACTION DATES	GRANTOR (SELLER)	GRANTEE (BUYER)	TYPE OF TRANSACTION	DOLLAR AMOUNT	COMMENTS
11/20/1882	Edwd. P. Ferry	Michael Murphy	W		[partial lots] 5 [&] 6
5/6/1890	Michael Murphy & wife	John Dunsmore	W		[partial lots] 5 [&] 6
2/18/1899	John Dunsmore & wife	Mrs. Mary McLeod	W.D.		[partial lots] 5 [&] 6
4/19/1915	Summit County	W.I. Snyder	Q.C.D.		[all or part of lots 2, 5, 6, 7, 23]
3/16/1920	Third J. D. Court	Joseph Richard Sullivan	decree		[lot] 5
1/20/1945	Joseph R. Sullivan	Mike Sofanises	W.D.		[parcel as it stands today]
10/21/1970	Third Judicial District Court	Estate: Mike Sofanidis, a.k.a. [above]	Decree		
11/5/1970	Albert Mitchell	Albert & Victoria Mitchell	Q.C.D.		
9/3/1976	Albert & Victoria Mitchell	Pete R. & Mary Lou Toly	W.D.		
11/1977	Peter R. Toly	Mary Lou Toly	Q.C.D.		

Researcher: John Ewanowski, CRSA Architecture

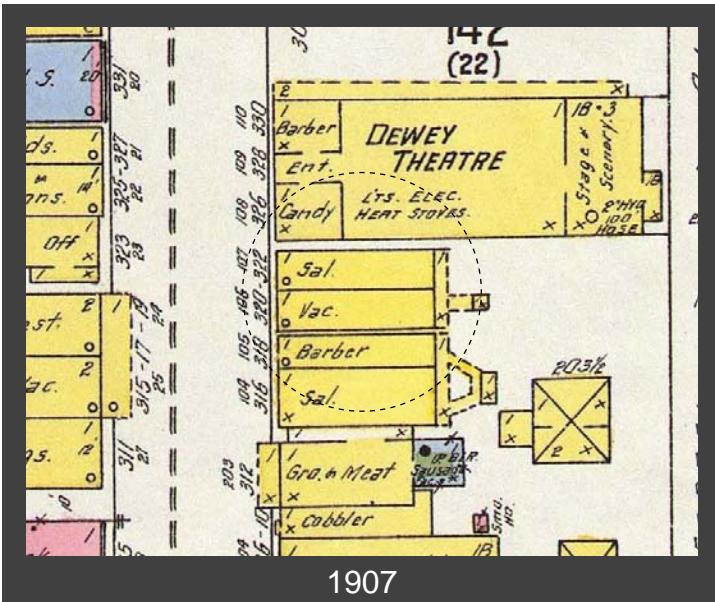
Date: 2/21/2014



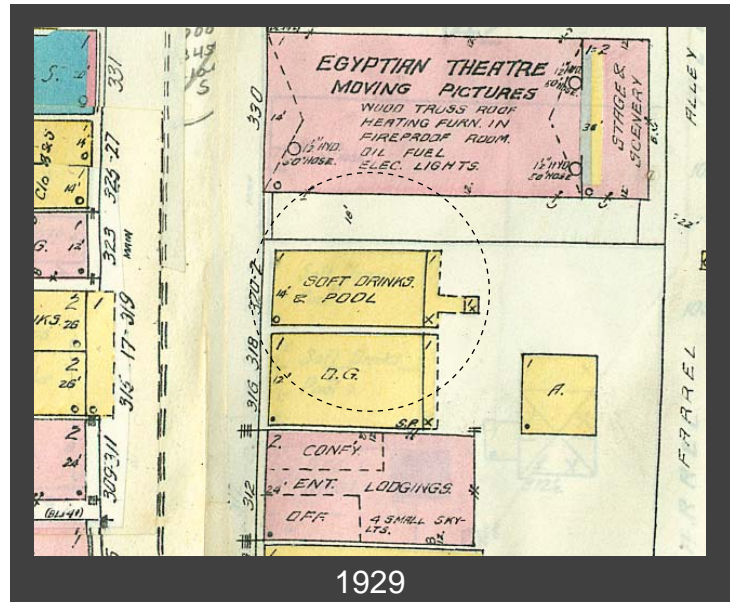
1889



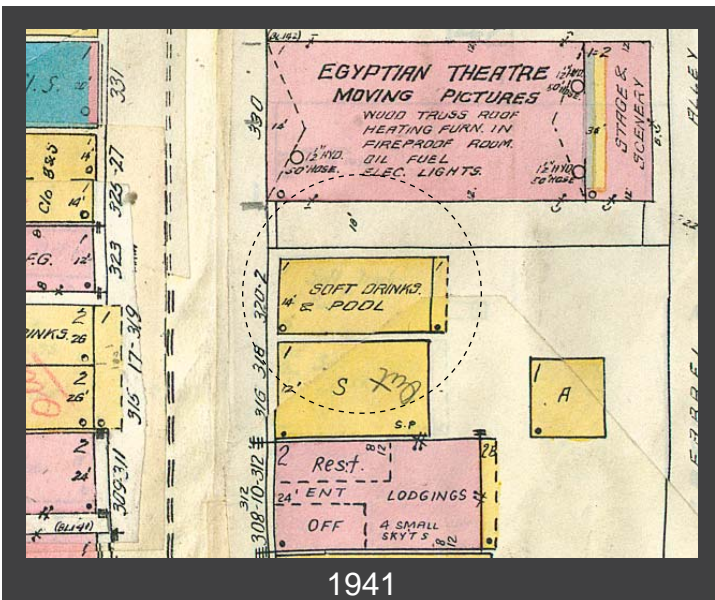
1900



1907



1929



1941

RESEARCHER: Philip S. Votaw

P.C. 278 SITE NO. SU-10-19

DATE: March 1978

Demolition Date: _____

STRUCTURE/SITE INFORMATION FORM

IDENTIFICATION

Street Address: 320 Main Plat PC5 Block 22 Lot 5-6
 Present Owner: Pat R. & Mary Lou Name of Structure: -
 Owner Address: 2014 Original Owner: -
Park City, Ut.

CONDITION/USE

Date of Construction: 1900
 Present Use: Single family residential _____ Public _____ Industrial _____
 Multi-family residential _____ Commercial X Vacant _____
 Agricultural _____ Park _____
 Original Use: Commercial Future Planned Use: Commercial
 Adjacent Land Uses: Commercial Occupants: "Red Bango Pizza"
 Building Condition: Good
 Integrity: 1 _____ 2 X 3 _____

DOCUMENTATION

Bibliographical References: (books, articles, records, interviews, old photographs and maps, etc.)
 1) Summit County Recorder & Assessor Records, Summit County Courthouse, Coalville, Ut.
 2) Sanborn Maps, Park City, Ut., 1900 + 1907.
 3) Interview with Grace Buel & Nan McPolin, March 8, 1978.

PHOTO RECORD

SLIDES 1 BLACK & WHITE PHOTOGRAPHS 1
 Date of slides Oct 1977 Date of Photos Oct 1977
 Views: Front X Side _____ Rear _____ Other _____
 Views: Front X Side _____ Rear _____ Other _____

CLASSIFICATION

Category: District X _____
 Building _____
 Site _____
 Multi-Resource _____
 Significance: ~~Contributory~~ _____
 Contributory X _____
 Not Contributory _____
 Register Status:
 Landmark _____
 National _____
 State _____
 Century _____
 Local _____
 Potential X _____
 Funding: Yes _____ No _____ Tax Reform Act _____
 Type: _____
 Public Accessibility: Yes X No _____ Limited _____
 Mapped _____ File _____

MAY 5 1978

Areas of Significance
 _____ Aboriginal Americans
 _____ Agriculture
 _____ Architecture
 _____ The Arts
X _____ Commerce
 _____ Communication
 _____ Conservation
 _____ Education
 _____ Exploitation/Settlement
 _____ Industry
 _____ Military
X _____ Mining
 _____ Minority Groups
 _____ Political
 _____ Recreation
 _____ Religion
 _____ Science
 _____ Socio-Humanitarian
 _____ Transportation

Architect/Builder: Unknown

Building Type/Style: ~~Victorian~~
Commercial

Building Materials: Wood

Restoration Potential: ~~Remodeled~~

Description of structure's physical appearance and significant architectural features
(include additions, alterations, ancillary structures, and landscaping if applicable)

ARCHITECTURE

One story frame with shed style roof. The building was remodeled in 1963 and contains an ornate wood cornice with six wood arches on the upper facade ^(original) flanked and separated by wooden piers. A "fenced" ^(upper floor) porch extends out over the sidewalk, supported by four posts. Two entry doors are flanked by two window openings each containing twenty-four panes of glass (somewhat out of character from period commercial buildings).

Statement of Historical Significance: A contributory, commercial structure -- part of the Park's main business district.

HISTORY

Records show the land owner in 1899 as Mrs. Mary McLeod. In 1900 the structure housed a saloon in the north half, and a confectionary in the south end. By 1907, the saloon was still in existence, while the south half was vacant.

Mike Sanfanter, a Greek businessman, is well remembered as the owner of the saloon in later years; and illustrates the representation of different ethnic groups as merchants in Park City.

PARK FLOAT

given here later in the season

A small building boom is on in our city. Monday work was commenced on Mrs McLeod's store building just south of the Dewey theatre and with work being listed on the Coffey & Tarrell building, Tarrell's barn, Geo Hall's building and the improvements on the Dewey theatre. Main street had quite an animated appearance this week. It is understood that very shortly work will be commenced on buildings for Mrs M Rogers, Mrs I Connor and various others who own lots on Main street. Good.

Park Record, 5/13/1899

PARK FLOAT

Two June marriages are already announced, one on the 5th and another on the 14th.

Wilson & Nyberg will open their new candy and ice cream parlors in the McLeod building Tuesday next.

We were treated to-day to a good-old-fashioned mid-winter snow storm. The question is, will winter ever cease?

The ladies of the M E church will serve a dinner at the Dudley building next Tuesday commencing at 4 p m.

Park Record, 5/27/1899

M. Sofianides Rites Tuesday

Mike Sofianides, 86, died May 28 in a Salt Lake nursing home.

He was born April, 1884, Istanbul, Turkey, to Tom and Tessie Sofianides.

Mr. Sofianides was a tavern owner and resident of Park City for many years. Member Holy Trinity, Greek Orthodox Church.

Survivors: sisters, Fofa, Mariani, both Istanbul; nephew Albert Mitchell, Salt Lake City.

Funeral services were held Tuesday, Holy Trinity Greek Orthodox Church, 279 S. 2nd West.

Burial was in the Mount Calvary Cemetery.

Park Record, 6/4/1970

Red Beautification

Owner Pete Toly decided it was time for a change and set about remodeling the 70 year old building.

Along with a fresh new coat of paint, The Red Banjo still possesses a Park City landmark

— the giant advertisement boasting Bull Burham tobacco for 15 cents a bag. Toly says the ad has been on the building since 1929.

The entire remodeling project (inside and out) has been going

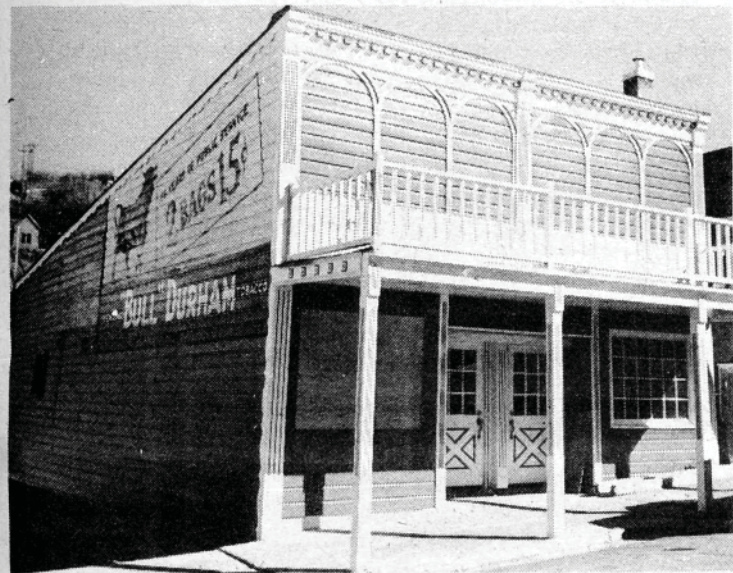
on for about five weeks. With a four-man crew working on the building, Toly says he plans to re-open The Red Banjo on Oct. 23.

The Red Banjo hasn't always served pizza. In 1963, Toly

opened it as a bar. Six years later, he decided to go into the food business; and it was soon discovered he served the best pizza around.

The question many Park City dwellers are asking is: will the pizza still be as great when The Red Banjo re-opens? Not only will the pizza still be the best around, but Toly is adding even more items to his menu. Italian sandwiches (served with a side order of spaghetti), and broasted (not "roasted") chicken are new additions to The Red Banjo's bill of fare.

Toly says The Red Banjo will be open at noon for lunch and stay open until 11 p.m. during the winter.

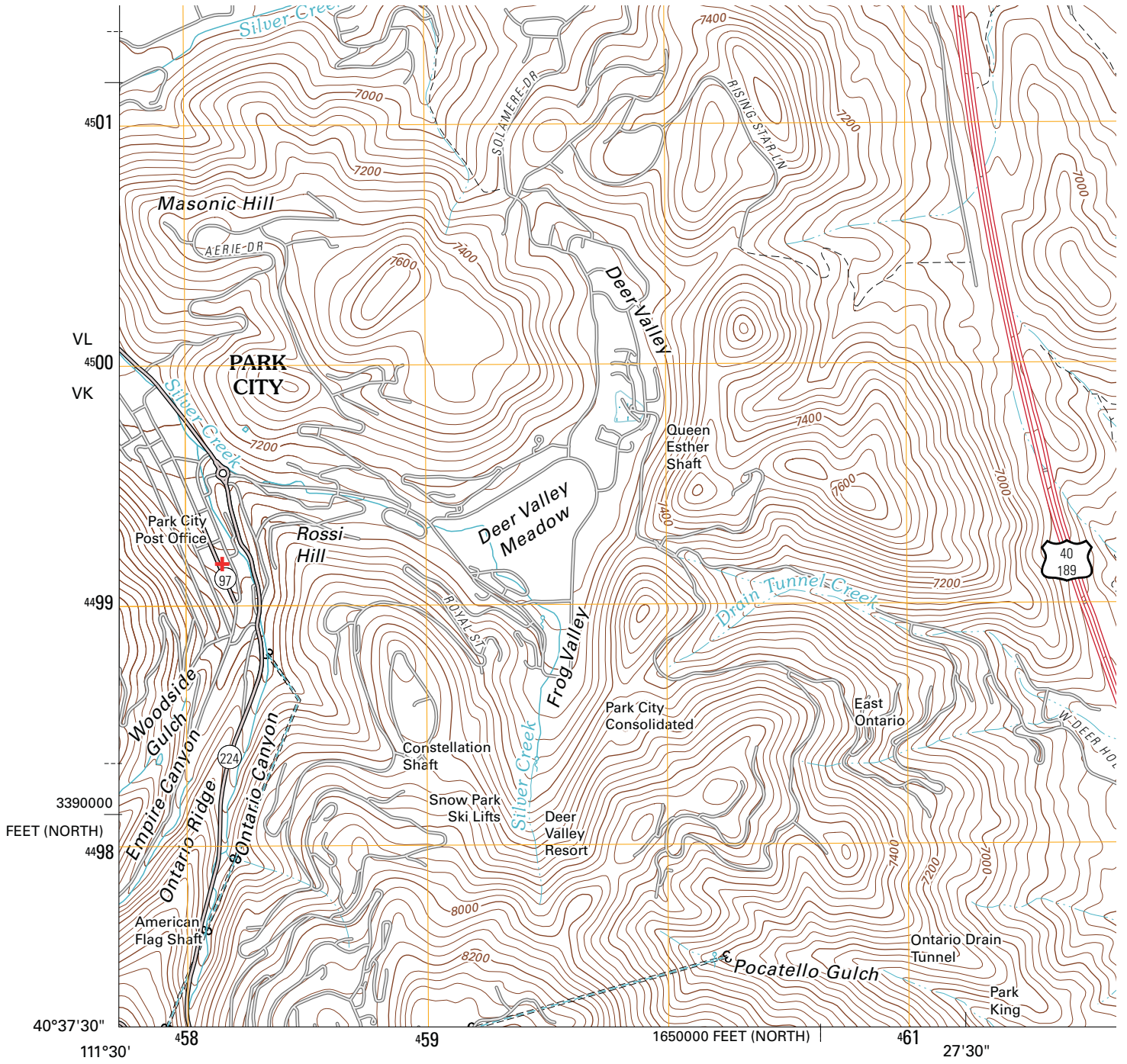




1970s

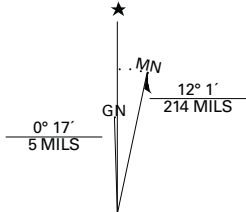


1970s

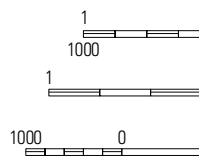


Produced by the United States Geological Survey
 North American Datum of 1983 (NAD83)
 World Geodetic System of 1984 (WGS84). Projection and
 1 000-meter grid: Universal Transverse Mercator, Zone 12T
 10 000-foot ticks: Utah Coordinate System of 1983
 (north and central zones)

Imagery.....NAIP, July 2009 - August 2009
 Roads.....©2006-2010 Tele Atlas
 Names.....GNIS, 2009
 Hydrography.....National Hydrography Dataset, 2009
 Contours.....National Elevation Dataset, 2008



UTM GRID AND 2011 MAGNETIC NORTH DECLINATION AT CENTER OF SHEET



U.S. National Grid	
100,000-m Square ID	
VL	4500
VK	
Grid Zone Designation	
12T	

+ location on USGS Park City East 1:24000 Quadrangle Map (2011)

Red Beautification

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