



**PARK CITY PLANNING DEPARTMENT ADMINISTRATIVE PUBLIC HEARING MEETING
SUMMIT COUNTY, UTAH
October 5, 2023**

1. REGULAR AGENDA - 12:00PM

- 1.A. **949 Empire Avenue - Historic District Design Review** - The Applicant Proposes to Construct a New Single Family Dwelling in the Historic Residential - 1 Zoning District. PL-23-05556
(A) Public Hearing; (B) Action

Planning Department Staff Report



Subject: 949 Empire Avenue
Application: PL-23-05556
Author: Lillian Zollinger, Planner II
Date: October 5, 2023
Type of Item: Historic District Design Review

Recommendation

(I) Review the 949 Empire Avenue Historic District Design Review for the construction of a new Single-Family Dwelling; (II) conduct a public hearing; and (III) consider approving the Historic District Design Review based on the Draft Ordinance Findings of Fact, Conclusions of Law, and Conditions of Approval outlined in the Draft Final Action Letter (Exhibit A).

Description

Applicant: Terence Scheckter, represented by Jonathan DeGray
Location: 949 Empire Avenue
Zoning District: Historic Residential – 1 (HR-1)
Adjacent Land Uses: Single Family Dwellings
Reason for Review: The Planning Director reviews and takes Final Action on Historic District Design Reviews¹

DRT Design Review Team
HDDR Historic District Design Review
HPB Historic Preservation Board
HR-1 Historic Residential – 1 Zoning District
LMC Land Management Code
SFD Single Family Dwelling

Terms that are capitalized as proper nouns throughout this staff report are defined in LMC [§ 15-15-1](#).

Background

The Applicant proposes to construct a new Single-Family Dwelling (SFD) on the site. 949 Empire Avenue is a flag-shaped, six-sided, Lot in the Historic District -1 (HR-1) Zoning District with a single-car Garage on the site. At some point there was an existing structure on the Lot, behind the garage, which has since been removed and only a portion of the foundation remains today. There are existing stairs in City Right-of-Way (ROW) on the Lot mostly in the North Side Setback, and partially in the Rear Setback. The Lot has six property lines that measure: 50', 51', 30', 24', 20', 75'. Due to the unusual Lot dimensions, the Planning Director made a determination regarding Setbacks, which is analyzed below (see also Exhibit C). Additionally, the Lot's steepest

¹ LMC [§ 15-1-8](#)

point is 29 percent, and does not require a Steep Slope Conditional Use permit for the proposal.



The single car garage is attached to another single car garage, on a different Lot (Parcel SA-301-E). The Owner of 949 Empire Avenue must record an encroachment agreement with the adjacent Owner (Parcel SA-301-E) regarding the existing retaining wall and attached garage in order to remove the portion of the garage on the 949 Empire Avenue Lot. On July 21, 2022, the City Council approved [Ordinance No. 2022-26](#), with the conditions that the encroachment agreement must be recorded and the garage must be demolished before the 949 Empire Avenue Plat Amendment can be recorded. Additionally, the Plat must be recorded before a building permit can be issued for the proposed construction of the new SFD. The Applicant must satisfy all of the Conditions of Approval under Ordinance No. 2022-26 and under this Historic District Design Review (HDDR) before a building permit can be applied for.

Analysis

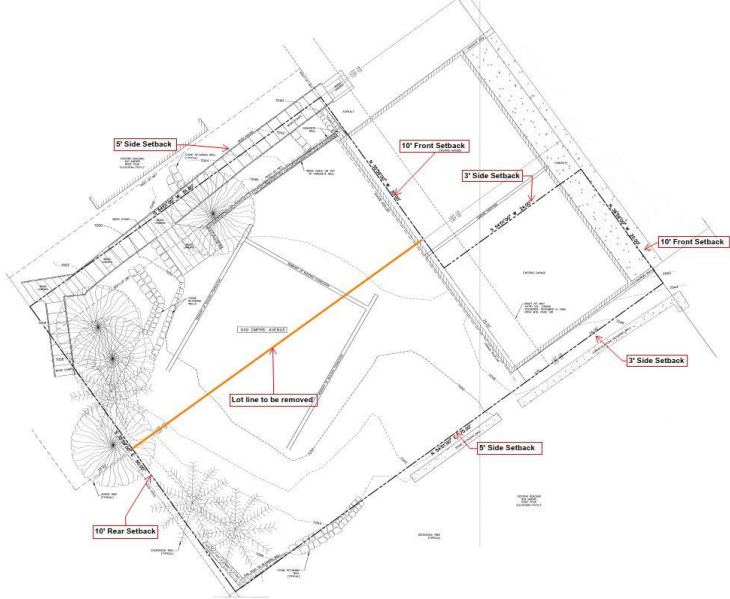
(I) The proposal to construct a new SFD complies with HR-1 Zoning District requirements outlined in LMC Chapter 15-2.2.

One of the purposes of the HR-1 Zoning District is to “encourage construction of Historically Compatible Structures that contribute to the character and scale of the Historic District and maintain existing residential neighborhoods.”²

The proposed SFD is an Allowed Use in the HR-1 Zoning District, pursuant to LMC § [15-2.2-2\(1\)](#).

LMC § [15-2.2-3](#) outlines lot and site requirements for the HR-1 Zoning District, shown in the table below:

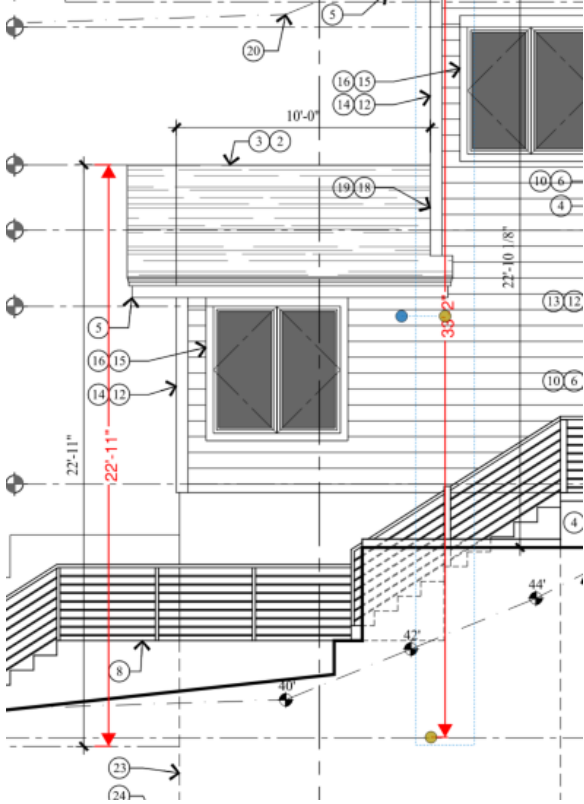
² LMC § [15-2.2-1](#)

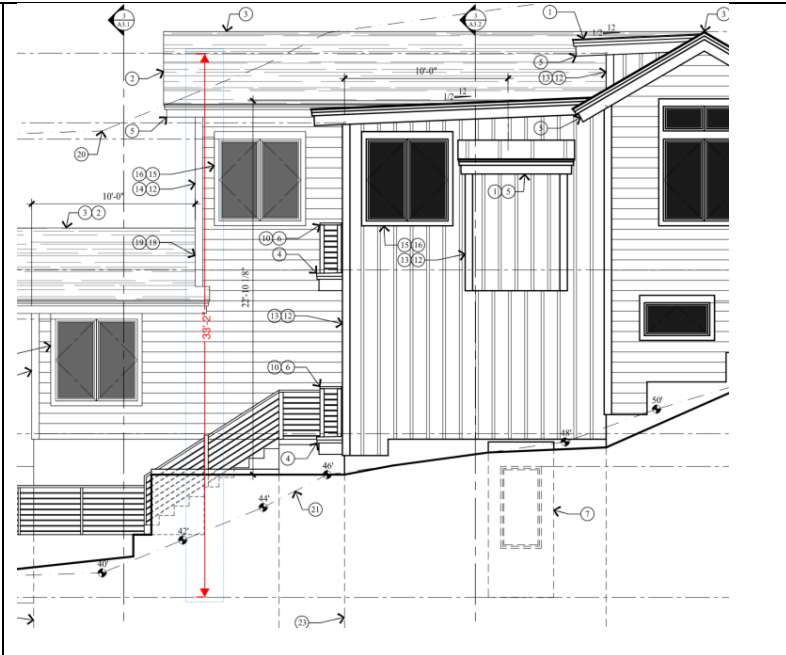
Zoning Requirement	Analysis
Minimum Lot Size - 1,875 square feet (sf)	Complies: 3,030 sf
Minimum Lot Width- 25' measured 15' from the Front Lot Line	Determined compliant by Planning Director: Pursuant to LMC § 15-2.2-3(B) , "In the case of unusual Lot configurations, Lot width measurements shall be determined by the Planning Director." The Lot is 20' in width measured 15' from the Front Lot Line. The Lot is 50' in width measured 24' back from the Front Lot Line. Based on the unusual Lot shape, the Planning Director determined that the Lot would be measured at 24' back from the Front Lot Line. See Exhibit C and analysis below.
Maximum Building Footprint – 1,278 sf ³	Complies: 1,275 sf
Setbacks: Front/Rear Setbacks – 10' each for a 75' Lot depth Side Setbacks - As this is an unusually shaped, six-sided Lot, the Planning Director made a determination (see Exhibit C) of Setbacks, wherein there are:	
- Two (2) three-foot (3') Side Setbacks; - Two (2) five-foot (5') Side Setbacks;	Complies: Two three-foot and two five-foot Side Setbacks LMC § 15-2.2-3(I)(6) states, "The Side Setback must be open and free of any Structure except Patios, decks, pathways, steps, or similar Structures not more than thirty inches (30") in height above Final Grade, not including any required handrails. The proposed steps are within 30 inches of Final Grade and are compliant. LMC § 15-2.2-3(J)(3) states, "Window wells not exceeding the minimum International Residential Code (IRC) or International Building Code (IBC) requirements for egress may extend not more than four feet (4') into the Side Setback. Only permitted on Lots with a minimum required Side Setback of five feet (5') or greater. Should egress

³ MAXIMUM FP = (A/2) x 0.9^{A/1875} where FP = maximum Building Footprint and A = Lot Area.

	requirements be met within the building pad, no Side Setback exception is permitted.” The proposed window well extends into the Side Setback three feet and five and a half inches and is compliant. LMC § 15-2.2-3(J)(4) states, “The Side Setback must be open and free of any Structure except Roof overhangs or eaves projecting not more than two feet (2') into the Side Setback on Lots with a minimum required Side Setback of five feet (5') or greater. A one foot (1') roof or eave overhang is permitted on Lots with a Side Setback of less than five feet (5'). The proposed overhangs project two feet or less into the five-foot Side Setback and are compliant. The proposed overhangs projects one foot into the three-foot Side Setback and is compliant. LMC § 15-2.2-3(J)(7) allows for retaining walls up to six feet in the Side Setback. The proposed retaining wall is five feet, five inches and is compliant.
Two (2) ten foot (10') Front Setbacks; and,	Complies: Two ten-foot Front Setbacks LMC § 15-2.2-3(G)(2) states, “The Front Setback must be open and free of any Structure except uncovered steps leading to the Main Building; provided the steps are not more than four feet (4') in height from Final Grade, not including any required handrail, and do not cause any danger or hazard to traffic by obstructing the view of the Street or intersection.” The proposed steps are within four feet of Final Grade and are compliant.
One (1) ten foot (10') Rear Setback	Complies: One ten-foot Rear Setback LMC § 15-2.2-3(H)(4) states, “The Rear Setback must be open and free of any Structure except roof overhangs or eaves projecting not more than two feet (2') into the Rear Setback.” The proposed overhangs project two feet into the Rear Setback and is compliant. LMC § 15-2.2-3(H)(8) states, “The Rear Setback must be open and free of any Structure except Mechanical equipment (which must be screened), hot tubs, or similar Structures located at least three feet (3') from the Rear Lot Line. The proposed hot tub is 3' from the Rear Lot line, will be screen by retaining walls, and is compliant. LMC § 15-2.2-3(H)(9) allows for retaining walls up to six feet in the Rear Setback. The proposed retaining wall is five feet, five inches and is compliant.

LMC [§ 15-2.2-5](#) outlines building height requirements, shown in the table below:

Zoning Requirement	Analysis
Building Height- 27 feet above Existing Grade	Complies: 25' 1" above Existing Grade
Building Height – A ten foot (10') minimum horizontal step in the downhill façade is required unless the First Story is located completely under the finish Grade on all sides of the Structure. The horizontal step shall take place at a maximum height of twenty-three feet (23') from where the Building Footprint meets the lowest point of existing Grade. Architectural features, that provide articulation to the upper story façade setback, may encroach into the minimum ten-foot (10') setback but shall be limited to no more than twenty five percent (25%) of the width of the building encroaching no more than four feet (4') into the setback, subject to compliance with the Design Guidelines for Historic Sites and Historic Districts.	Complies: The structure steps down 10' at 22'-11". 
Maximum interior height of 35 feet – LMC § 15-2.2-5(A) states, “[a] Structure shall have a maximum height of thirty-five feet (35’) measured from the lowest finish floor plane to the point of the highest wall top plate that supports the ceiling joists or roof rafters.”	Complies: The maximum interior height is 33' 2".

	
Roof Pitch- 7:12 -12:12	Complies: The contributing roof form is 7:12
Final Grade within 4 feet of Existing Grade	Complies: LMC § 15-2.2-5 states, “Final Grade must be within four vertical feet (4’) of Existing Grade, except for the placement of approved window wells, emergency egress, and a garage entrance.” The final grade is within four feet of existing grade except for a window well and garage entrance and is compliant.

(II) The proposal to construct a SFD complies with the Design Guidelines For New Residential Infill Construction In Historic Districts outlined in LMC § 15-13-8.

The Design Review Team reviewed this proposal on February 22 and September 13, 2023, and found the design to be compliant with the Design Guidelines.

B. Specific Guidelines

1. Site Design	Analysis of Proposal
a) Building Setback and Orientation	Complies: See analysis above.
b) Topography and Grading: LMC § 15-13-8(B)(1)(b) states, “Building and site design shall respond to natural features. New infill residential buildings shall step down or up to follow the existing contours of steep slopes. A new site’s natural slope shall be respected in a new building design in order to minimize cuts into hillsides, minimize fill, and minimize retaining walls.”	Complies: The proposed design steps up with the slope of the site, and the number of retaining walls is minimal. The rear retaining walls are minimal in height to create a patio space for the occupant.

c) Landscaping and Vegetation	See Condition of Approval 11: There is no proposed significant vegetation removal on the site. The proposed vegetation is at least 50% Water Wise and compliant with LMC § 15-5-5(N) . The Applicant shall provide an updated Water Wise irrigation plan at building permit submission.
d) Retaining Walls – LMC § 15-13-8(B)(1)(d) states, “a site shall be contoured in a way that reduces the need for retaining walls.”	Complies: The proposed design uses retaining walls for the garage entrance and the patio space in the rear. The structure is designed so excessive retaining walls are not needed to retain soil for the SFD.
f) Paths, Steps, Handrails, & Railings (Not associated with Porches) LMC § 15-13-8(B)(1)(f) states, “New hillside stairs and any associated railings or handrails shall be visually subordinate to the associated building(s) or structure(s) in size, scale, and proportion, and shall complement the Historic District in material, size, scale, and proportion, and massing.”	Complies: The design of the proposed railings on the front stairs and balcony are metal, subordinate to the structure, and help to define the front entrance. The railings on the balconies match the stairs and are proportionate to the size of the structure.
h) Parking Area & Driveways Pursuant to LMC § 15-3-6(A) , Single-Family Dwellings in the HR-1 Zone require two parking spaces.	Complies: The proposed SFD will have two parking spaces: one in a garage measured 11 feet by 22 feet, and one parking spot, leading into the garage, and partially in the Front Setback measured 9 feet by 18 feet. LMC § 15-2.2-3(G)(6) lists an approved Parking Area as an allowed exception to the Front Setback. Additionally, both are compliant with parking dimension requirements found in LMC § 15-3-4 . LMC § 15-13-8(B)(1)(h)(7) sets the maximum width for driveways in Historic Zoning Districts to 12 feet and the proposed driveway is compliant at 12 feet in width (see Condition of Approval 15).
2. Primary Structures	Analysis of Proposal
a) Mass, Scale, & Height	Complies: The SFD is compliant with zone regulations regarding building footprint, setbacks, and height.
b) Foundation -- LMC § 15-13-8(B)(2)(b) states, “Foundation materials shall be simple in form and minimally visible above grade when viewed from the primary public right-of-way.”	Complies: The foundation is not visible and covered, in part, by matching siding material to blend in with the structure.

c) Doors -- LMC § 15-13-8(B)(2)(c) states, "All buildings that face the street shall have a well-defined primary entrance."	See Condition of Approval 16: The front door is not oversized for the Historic District. The front entrance is defined by the windows, surrounding balconies, and stairs leading to the front door.
d) Windows -- LMC § 15-13-8(B)(2)(d) states, "Ratios of solid-to-void that are compatible with surrounding historic buildings shall be used" and "Windows shall be historic size and shall relate to the human scale of the Historic District."	Complies: The solid-to-void ratio is well balanced, and the amount of glazing is appropriate on each side of the structure. The front of the proposed SFD has the most glazing but will be partially blocked by the existing garage. The windows are limited in design types, similar in style, and a majority match the historic 2:1 ratio.
e) Roofs -- LMC § 15-2.2-5 requires a roof pitch of at least 7:12. LMC § 15-13-8(B)(2)(e) , states, "Roofs of new residential infill buildings shall be visually compatible with roof shapes and orientation of surrounding Historic Sites and adjacent buildings that contribute to the character of the Historic District."	Complies: The primary roof pitch is 7:12, and the height and slope of the secondary roofs are compliant with roofs in the Historic District. The primary roof pitch and standing seam metal roof is consistent with the style of the Historic District.
f) Dormers – LMC § 15-13-8(B)(2)(f) requires dormers be modest in size, setback from the main wall of the building, and gabled, hipped, or shed in roof style.	Complies: The proposed dormer has a shed roof and is setback from the main wall of the building. The dormer also has a minimized height and the impact into the roof is reduced.
j) Architectural Features -- Per LMC § 15-13-8(B)(2)(i) , "Simple ornamental trim and decoration is in character with historic architectural ornamentation and is encouraged."	Complies: The overall proposed design and materials are simple and compatible with the Historic District.
3. Mechanical and Utility Systems and Service Equipment	Complies: There is no proposed exterior mechanical equipment (see Condition of Approval 13).
4. Materials	Complies: Pursuant to LMC § 15-13-8(B)(4) , the proposed materials of wood siding, standing seam roof, metal railings, windows style, and finish are compliant with the Historic District.
5. Paint and Color	See Condition of Approval 14: The proposed plans indicate a wood siding wood siding. LMC § 15-13-8(B)(5)(d) states, "Materials, such as wood, that are traditionally painted shall have an opaque rather than transparent finish."

6. Garages LMC § 15-13-8(B)(6)(a)(4) states, “Single vehicle garage doors not greater than 9 feet wide by 9 feet high shall be used to access the garage.”	Complies: The proposed SFD will have a single-car garage, with an eight-foot-tall by eight-foot-wide door.
8. Balcony and Roof Decks	Complies: LMC § 15-13-8(B)(8) states, “New balconies and roof decks shall be visually subordinate to the new building and shall be minimally visible from the primary public right-of-way.” The first and second story balconies are minimal in size and do not help to define the front entrance of the structure.

(III) The Development Review Committee⁴ reviewed the proposal on September 19, 2023, and found no concerns with the proposal.

Department Review

The Planning Department, Engineering Department, and City Attorney’s Office reviewed this report.

Notice

Staff published notice on the City’s website and the Utah Public Notice website, and posted notice to the property on September 21, 2023. Staff mailed courtesy notice to property owners within 100 feet on September 21, 2023.⁵

Public Input

Staff did not receive any public input at the time this report was published.

Alternatives

- The Planning Director Designee may approve the HDDR;
- The Planning Director Designee may deny the HDDR and direct staff to make Findings for the denial; or
- The Planning Director Designee may request additional information and continue the discussion to a date uncertain.

Exhibits

Exhibit A: Draft Final Action Letter

Exhibit B: Proposed Plans

Exhibit C: Planning Director Determination of Setbacks

⁴ The Development Review Committee meets the first and third Tuesday of each month to review and provide comments on Planning Applications, including review by the Building Department, Engineering Department, Sustainability Department, Transportation Planning Department, Code Enforcement, the City Attorney’s Office, Local Utilities including Rocky Mountain Power and Dominion Energy, the Park City Fire District, Public Works, Public Utilities, and the Snyderville Basin Water Reclamation District (SBWRD).

⁵ LMC [§ 15-1-21](#).



Planning Department

October 5, 2023

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NOTICE OF PLANNING DIRECTOR ACTION

Description

Address: 949 Empire Avenue

Zoning District: Historic Residential – 1 (HR-1)

Application: Historic District Design Review

Project Number: PL-23-05556

Action: APPROVED WITH CONDITIONS (See Below)

Date of Final Action: October 5, 2023

Project Summary: The Applicant Proposes to Construct a New Single-Family Dwelling in the Historic Residential - 1 Zoning District.

Action Taken

On October 5, 2023, the Interim Planning Director conducted a public hearing and approved the Historic District Design Review proposal for a new Single-Family Dwelling at 949 Empire Avenue according to the following Findings of Fact, Conclusions of Law, and Conditions of Approval.

Findings of Fact

1. The Site is located at 949 Empire Avenue and is an unusually shaped uphill Lot with an existing garage and previous foundation on site.
2. The Lot has six property lines that measure: 50', 51', 30', 24', 20', 75'.
3. The Site is located within the Historic Residential – 1 (HR-1) Zoning District.
4. The Applicant proposes to remove the existing garage and construct a new Single-Family Dwelling (SFD) on the Lot.



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5. 949 Empire Avenue, at its steepest point is 29 percent. A Steep Slope Conditional Use permit is not required for the proposal.
6. The proposal is compliant with the requirements of LMC Chapter 15-2.2, the HR-1 Zoning District:

Zoning Requirement	Analysis
Minimum Lot Size - 1,875 square feet (sf)	Complies: 3,030 sf
Minimum Lot Width- 25' measured 15' from the Front Lot Line	Determined compliant by Planning Director: Pursuant to LMC § 15-2.2-3(B) , "In the case of unusual Lot configurations, Lot width measurements shall be determined by the Planning Director." The Lot is 20' in width measured 15' from the Front Lot Line. The Lot is 50' in width measured 24' back from the Front Lot Line. Based on the unusual Lot shape, the Planning Director determined that the Lot would be measured at 24' back from the Front Lot Line. See Exhibit C and analysis below.
Maximum Building Footprint – 1,278 sf ¹	Complies: 1,275 sf
Setbacks: Front/Rear Setbacks – 10' each for a 75' Lot depth Side Setbacks - As this is an unusually shaped, six-sided Lot, the Planning Director made a determination (see Exhibit C) of Setbacks, wherein there are:	
Two (2) three-foot (3') Side Setbacks;	Complies: Two three-foot and two five-foot Side Setbacks

¹ MAXIMUM FP = (A/2) x 0.9^{A/1875} where FP = maximum Building Footprint and A = Lot Area.



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Two (2) five-foot (5') Side Setbacks;	LMC § 15-2.2-3(I)(6) states, "The Side Setback must be open and free of any Structure except Patios, decks, pathways, steps, or similar Structures not more than thirty inches (30") in height above Final Grade, not including any required handrails. The proposed steps are within 30 inches of Final Grade and are compliant. LMC § 15-2.2-3(J)(3) states, "Window wells not exceeding the minimum International Residential Code (IRC) or International Building Code (IBC) requirements for egress may extend not more than four feet (4') into the Side Setback. Only permitted on Lots with a minimum required Side Setback of five feet (5') or greater. Should egress requirements be met within the building pad, no Side Setback exception is permitted." The proposed window well extends into the Side Setback three feet and five and a half inches and is compliant. LMC § 15-2.2-3(J)(4) states, "The Side Setback must be open and free of any Structure except Roof overhangs or eaves projecting not more than two feet (2') into the Side Setback on Lots with a minimum required Side Setback of five feet (5') or greater. A one foot (1') roof or eave overhang is permitted on Lots with a Side Setback of less than five feet (5'). The proposed overhangs project two feet or less into the five-foot Side Setback and are compliant. The proposed overhangs projects one foot into the three-foot Side Setback and is compliant. LMC § 15-2.2-3(J)(7) allows for retaining walls up to six feet in the Side Setback. The proposed retaining wall is five feet, five inches and is compliant.
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Planning Department

	danger or hazard to traffic by obstructing the view of the Street or intersection.” The proposed steps are within four feet of Final Grade and are compliant.
One (1) ten foot (10') Rear Setback	Complies: One ten-foot Rear Setback LMC § 15-2.2-3(H)(4) states, “The Rear Setback must be open and free of any Structure except roof overhangs or eaves projecting not more than two feet (2') into the Rear Setback.” The proposed overhangs project two feet into the Rear Setback and is compliant. LMC § 15-2.2-3(H)(8) states, “The Rear Setback must be open and free of any Structure except Mechanical equipment (which must be screened), hot tubs, or similar Structures located at least three feet (3') from the Rear Lot Line. The proposed hot tub is 3' from the Rear Lot line, will be screen by retaining walls, and is compliant. LMC § 15-2.2-3(H)(9) allows for retaining walls up to six feet in the Rear Setback. The proposed retaining wall is five feet, five inches and is compliant.

7. Historic District Design Review applications require the Planning Director evaluation of the Design Guidelines For Historic Districts And Historic Sites:

1. Site Design	Analysis of Proposal
a) Building Setback and Orientation	Complies: See analysis above.



Planning Department

b) Topography and Grading: LMC § 15-13-8(B)(1)(b) states, "Building and site design shall respond to natural features. New infill residential buildings shall step down or up to follow the existing contours of steep slopes. A new site's natural slope shall be respected in a new building design in order to minimize cuts into hillsides, minimize fill, and minimize retaining walls."	Complies: The proposed design steps up with the slope of the site, and the number of retaining walls is minimal. The rear retaining walls are minimal in height to create a patio space for the occupant.
c) Landscaping and Vegetation	See Condition of Approval 11: There is no proposed significant vegetation removal on the site. The proposed vegetation is at least 50% Water Wise and compliant with LMC § 15-5-5(N). The Applicant shall provide an updated Water Wise irrigation plan at building permit submission.
d) Retaining Walls – LMC § 15-13-8(B)(1)(d) states, "a site shall be contoured in a way that reduces the need for retaining walls."	Complies: The proposed design uses retaining walls for the garage entrance and the patio space in the rear. The structure is designed so excessive retaining walls are not needed to retain soil for the SFD.
f) Paths, Steps, Handrails, & Railings (Not associated with Porches) LMC § 15-13-8(B)(1)(f) states, "New hillside stairs and any associated railings or handrails shall be visually subordinate to the associated building(s) or structure(s) in size, scale, and proportion, and shall complement the Historic District in material, size, scale, and proportion, and massing."	Complies: The design of the proposed railings on the front stairs and balcony are metal, subordinate to the structure, and help to define the front entrance. The railings on the balconies match the stairs and are proportionate to the size of the structure.



Planning Department

h) Parking Area & Driveways Pursuant to LMC § 15-3-6(A), Single-Family Dwellings in the HR-1 Zone require two parking spaces.	Complies: The proposed SFD will have two parking spaces: one in a garage measured 11 feet by 22 feet, and one parking spot, leading into the garage, and partially in the Front Setback measured 9 feet by 18 feet. LMC § 15-2.2-3(G)(6) lists an approved Parking Area as an allowed exception to the Front Setback. Additionally, both are compliant with parking dimension requirements found in LMC § 15-3-4. LMC § 15-13-8(B)(1)(h)(7) sets the maximum width for driveways in Historic Zoning Districts to 12 feet and the proposed driveway is compliant at 12 feet in width (see Condition of Approval 15).
2. Primary Structures	Analysis of Proposal
a) Mass, Scale, & Height	Complies: The SFD is compliant with zone regulations regarding building footprint, setbacks, and height.
b) Foundation -- LMC § 15-13-8(B)(2)(b) states, "Foundation materials shall be simple in form and minimally visible above grade when viewed from the primary public right-of-way."	Complies: The foundation is not visible and covered, in part, by matching siding material to blend in with the structure.
c) Doors -- LMC § 15-13-8(B)(2)(c) states, "All buildings that face the street shall have a well-defined primary entrance."	See Condition of Approval 16: The front door is not oversized for the Historic District. The front entrance is defined by the windows, surrounding balconies, and stairs leading to the front door.
d) Windows -- LMC § 15-13-8(B)(2)(d) states, "Ratios of solid-to-void that are compatible with surrounding historic buildings shall be used" and "Windows shall be historic size and shall relate to the human scale of the Historic District."	Complies: The solid-to-void ratio is well balanced, and the amount of glazing is appropriate on each side of the structure. The front of the proposed SFD has the most glazing but will be partially blocked by the existing garage. The windows are limited in design types, similar in style, and a majority match the historic 2:1 ratio.
e) Roofs -- LMC § 15-2.2-5 requires a roof pitch of at least 7:12. LMC § 15-13-8(B)(2)(e), states, "Roofs of new residential infill buildings shall be visually compatible with roof shapes and orientation of surrounding Historic Sites and adjacent buildings that contribute to the character of the Historic District."	Complies: The primary roof pitch is 7:12, and the height and slope of the secondary roofs are compliant with roofs in the Historic District. The primary roof pitch and standing seam metal roof is consistent with the style of the Historic District.



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f) Dormers – LMC § 15-13-8(B)(2)(f) requires dormers be modest in size, setback from the main wall of the building, and gabled, hipped, or shed in roof style.	Complies: The proposed dormer has a shed roof and is setback from the main wall of the building. The dormer also has a minimized height and the impact into the roof is reduced.
j) Architectural Features -- Per LMC § 15-13-8(B)(2)(j) , “Simple ornamental trim and decoration is in character with historic architectural ornamentation and is encouraged.”	Complies: The overall proposed design and materials are simple and compatible with the Historic District.
3. Mechanical and Utility Systems and Service Equipment	Complies: There is no proposed exterior mechanical equipment (see Condition of Approval 13).
4. Materials	Complies: Pursuant to LMC § 15-13-8(B)(4) , the proposed materials of wood siding, standing seam roof, metal railings, windows style, and finish are compliant with the Historic District.
5. Paint and Color	See Condition of Approval 14: The proposed plans indicate a wood siding wood siding. LMC § 15-13-8(B)(5)(d) states, “Materials, such as wood, that are traditionally painted shall have an opaque rather than transparent finish.”
6. Garages LMC § 15-13-8(B)(6)(a)(4) states, “Single vehicle garage doors not greater than 9 feet wide by 9 feet high shall be used to access the garage.”	Complies: The proposed SFD will have a single-car garage, with an eight-foot-tall by eight-foot-wide door.
8. Balcony and Roof Decks	Complies: LMC § 15-13-8(B)(8) states, “New balconies and roof decks shall be visually subordinate to the new building and shall be minimally visible from the primary public right-of-way.” The first and second story balconies are minimal in size and do not help to define the front entrance of the structure.

8. Staff published notice on the City’s website and posted notice to the property on September 21, 2023. Staff mailed courtesy notices to property owners within 100 feet and posted notice to the property on September 21, 2023.

Conclusions of Law



Planning Department

1. The proposal complies with the Land Management Code requirements pursuant to Chapter 15-2.2, Historic Residential – 1 (HR-1) District.
2. The proposal complies with the Land Management Code requirements pursuant to Section 15-13-8, Design Guidelines For New Residential Infill Construction In Historic Districts.

Conditions of Approval

1. Final building plans and construction details shall reflect substantial compliance as indicated on the plans reviewed October 5, 2023, as part of the Historic District Design Review and public meeting on October 5, 2023. Any changes, modifications, or deviations from the approved design that have not been approved in advance by the Planning and Building Departments may result in a stop work order.
2. The applicant is responsible for notifying the Planning Department prior to making any changes to the approved plans.
3. Any changes, modifications, or deviations from the approved scope of work shall be submitted in writing for review and approval/denial in accordance with the applicable standards by the Planning Director or designee prior to construction.
4. Residential fire sprinklers are required for all new or renovation construction on this lot, per requirements of the Chief Building Official.
5. Any areas disturbed during construction surrounding the proposed work shall be brought back to their original state.
6. City approval of a Construction Mitigation Plan (CMP) is a condition precedent to the issuance of any building permits. The CMP shall include language regarding the method of protecting adjacent structures. New construction activity shall not physically damage nearby Historic Sites.
7. City Engineer review and approval of all lot grading, utility installations, public improvements, and drainage plans for compliance with City standards is a condition precedent to building permit issuance.
8. All exterior lighting shall be down-directed and shielded to prevent glare onto adjacent property and public rights-of-way and shall be subdued in nature. Light trespass into the night sky is prohibited. Exterior lighting shall not exceed 3,000 degrees Kelvin and outdoor lighting fixtures shall be Fully Shielded. Final lighting details shall be reviewed by the Planning Staff prior to installation.
9. Construction waste should be diverted from landfill and recycled when possible.
10. Walls more than four feet in height in the Front Setback, or more than six feet in the Rear or Side setbacks will require an Administrative Conditional Use Permit.



Planning Department

11. Upon building permit application, the Applicant shall submit an updated landscaping and irrigation plan, where the proposed vegetation and irrigation shall be at least 50% waterwise and compliant with 15-5-5(N). Final plans shall call out final grade within 4' of existing grade.
12. Roofs shall have matte finishes to minimize glare, shall be neutral and muted, and materials shall not be reflective.
13. Mechanical and/or utility equipment shall be located on the back of the building or in another inconspicuous location. When located on a secondary façade, the mechanical and/or utility equipment shall be located beyond the midpoint of the structure if feasible and visual impact of the equipment shall be minimized by incorporating it as an element of the building or landscape design.
14. Materials, such as wood, that are traditionally painted shall be opaque.
15. The proposed driveway shall not exceed 12'.

If you have questions or concerns regarding this Final Action Letter, please call 435-615-5068 or email lillian.zollinger@parkcity.org.

Sincerely,

Rebecca Ward,
Interim Planning Director

CC: Lillian Zollinger, Planner II

949 EMPIRE AVENUE, PARK CITY, UTAH 84060

CIVIL ENGINEERING
ALLIANCE ENGINEERING, INC.
323 MAIN STREET, P.O. BOX 2664
PARK CITY, UTAH 84032
TEL. 435-649-9467
MICHAEL DEMKOWICZ
EMAIL: michael@alliance-engr.com

		OFFICE 103	ROOM NAME ROOM NUMBER
	BRICK & STONE		FLOOR, POINT ELEV.
	EARTH		CENTER LINE
	CONCRETE		ROUND, DIA.
	CONCRETE MASONRY UNIT		CHANNEL
	STEEL (LARGE SCALE)		ANGLE
	RIGID INSULATION		DETAIL
	ROUGH WOOD		SECTION CUT, DETAIL
	BLOCKING		BUILDING SECTION
	ALUMINUM (LARGE SCALE)		KEYED NOTES
	GRAVEL		WINDOW TYPE
	FINISHED WOOD		DOOR NUMBER
	BATT OR BLOWN INSULATION		REVISION
	PLASTER, SAND, GROUT, MORTAR		INTERIOR WALL ELEV.
	STEEL (SMALL SCALE)		WALL TYPE
	BITUMINOUS PAVING		
	PLYWOOD		
	GYPSUM BOARD		

APPLICABLE CODES
2015 IRC 2018 IRC
2018 IPC 2018 IMC
2018 IECC 2018 IFGC
2018 NEC 2018 FCC

OCCUPANCY: R2

CONSTRUCTION TYPE: VB
BUILDING TO BE FIRE SPRINKLED: CONTRACTOR
TO PROVIDE APPROVALS PRIOR TO
INSTALLATION.

AREA CALCULATION
LOWER LEVEL AREA: 966 S/F
MID LEVEL AREA: 1266 S/F
MAIN LEVEL AREA: 1137 S/F
TOTAL LIVING AREA: 3369 S/F
GARAGE AREA: 276 S/F
DECK / BALCONY AREA: 58 S/F
ENTRY PORCH AREA: 85 S/F
PATIO AREA: 263 S/F
PROPOSED FOOTPRINT: 1275 S/F
ALLOWABLE FOOTPRINT: 1278 S/F
LOT AREA: 3030 S/F
DISTURBED AREA: 950 S/F

[illegible]

A/C	AIR CONDITIONING	F.D.	FLOOR DRAIN	PR.	PAIR
ACoust.	ACOUSTICAL	FND	FOUNDATION	R.D.	ROOF DRAIN
ADD.	ADDENDUM	FIN.	FINISH	REG.	REGULAR
ADJ.	ADJUSTABLE	FLR.	FLOOR	R.S.	ROUGH-SAWN
ALLOW.	ALLOWANCE	F.R.	FIRE RATED	RAD.	RADIUS
ALUM.	ALUMINUM	FTG.	FOOTING	REINF.	REINFORCING
APPROX.	APPROXIMATE	G	GAS	REQD.	REQUIRED
B.D.	BOARD	G.I.	GALVANIZED IRON	REV.	REVISED
B.U.	BUILT-UP	GA.	GAUGE	RM.	ROOM
B.W.	BOTH WAYS	GALV.	GALVANIZED	R.O.	ROUGH OPENING
BLDG.	BUILDING	GRD.	GRADE	S & R	SHELF AND ROD
BLK.	BLACK	G.W.B.	GYPSPUM WALL BOARD	S.D.C.	SOLID CORE
BRK.	BRICK	G.L.B.	GLU-LAM BEAM	SCHED.	SCHEDULE
C.I.	CAST IRON	H.B.	HOSE BIBB	SHT.	SHEET
C.J.	CONTROL JOINT	HD.	HEAD	SIM.	SIMILAR
C.M.U.	CONCRETE MASONRY UNIT	H.M.	HOLLOW METAL	SPEC.	SPECIFICATION
CLG.	CEILING	HOR.	HORIZONTAL	STD.	STANDARD
COL.	COLUMN	I.D.	INSIDE DIAMETER	STL.	STEEL
COMP.	COMPACTED/COMPOSITE	INT.	INTERIOR	STRUCT.	STRUCTURAL
CONC.	CONCRETE	IRRIG.	IRRIGATION	SYS.	SYSTEM
CONST.	CONSTRUCTION	INSUL.	INSULATION	T & B	TOP AND BOTTOM
CONTR.	CONTRACTOR	JB.	JAMB	T & G	TONGUE AND GROOVE
CONT.	CONTINUOUS	JNT.	Joint	T.O.F.	TOP OF FOOTING
D.F.	DRINKING FOUNTAIN/DOUGLAS FIR	M.R.	MOISTURE RESISTANT	T.O.W.	TOP OF WALL
DIA.	DIAMETER	MAN'F	MANUFACTURER	TYP.	TYPICAL
DIM.	DIMENSION	MAX.	MAXIMUM	T.S.	STEEL TUBE COLUMN
DN.	DOWN	MECH.	MECHANICAL	U.N.O.	UNLESS NOTED OTHERWISE
DWG.	DRAWING	MIN.	MINIMUM	VERT.	VERTICAL
DTL.	DETAIL	(N)	NEW	V.T.R.	VENT THRU ROOF
EA.	EACH	N.I.C.	NOT IN CONTRACT	W.	WATER
E.F.	EXHAUST FAN	N.T.S.	NOT TO SCALE	WD.	WOOD
E.L.F.S.	EXT. INSUL. FINISH SYSTEM	NO.	NUMBER	WTH	WITH
E.J.	EXPANSION JOINT	ON C.	ON CENTER	WP.	WATERPROOF
ELEC.	ELECTRIC/ELECTRICAL	O.D.	OUTSIDE DIAMETER	W.R.	WATER RESISTANT
ELEV.	ELEVATION	O.F.D.	OVERFLOW DRAIN	W.H.	WATER HEATER
EQ.	EQUAL	OP'NG	OPENING	W.S.	WATER SOFTNER
E.T.	EXPANSION TANK	PLYWD.	PLYWOOD	W.W.F.	WELDED WIRE FABRIC
EXIST. (F)	EXISTING	PNT.	PAINT	W.W.M.	WOVEN WIRE MESH
EXT.	EXTERIOR	PNTD.	PAINTED		

1. THIS DESIGN IS AN ORIGINAL UNPUBLISHED WORK AND MAY NOT BE DUPLICATED, PUBLISHED AND/OR USED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT/ENGINEER.
2. THESE SHEETS - LISTED BY DRAWING INDEX , ALL ACCOMPANYING SPECIFICATIONS FOR MATERIALS, WORKMANSHIP QUALITY, AND NOTES HAVE BEEN PREPARED SOLELY FOR THE CONSTRUCTION AND FINISH OF PROJECT IMPROVEMENTS, COMPLETE AND READY FOR OCCUPANCY AND USE.
3. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH PERTINENT JURISDICTIONAL CODES, RESTRICTIONS, COVENANTS, AND/OR ORDINANCES. ANY CONFLICT BETWEEN DESIGN AND REQUIREMENT SHALL BE REPORTED TO THE ARCHITECT/ENGINEER BEFORE PROCEEDING.
4. ANY AND ALL PROPOSED CHANGE, MODIFICATIONS AND/OR SUBSTITUTION SHALL BE REPORTED TO THE ARCHITECT/ENGINEER BEFORE PROCEEDING.
5. IN THE EVENT OF CONFLICT BETWEEN THE DESIGN DOCUMENTS AND/OR JURISDICTIONAL REQUIREMENTS, THE MORE RESTRICTIVE FROM THE STANDPOINT OF SAFETY AND PHYSICAL SECURITY SHALL APPLY.
6. ANY INSTALLATION, FINISH, OR COMPONENT INTENDED TO PROVIDE ENCLOSURE, WEATHER ABILITY OR APPEARANCE QUALITY SHALL BE PRODUCED AS A REPRESENTATIVE SAMPLE PRIOR TO PROCEEDING WITH COMPLETION. WORK PERFORMED WITHOUT WRITTEN APPROVAL OF SUCH SAMPLE BY THE ARCHITECT/ENGINEER SHALL BE DONE AT THE RISK OF THE CONTRACTOR. A MINIMUM OF TWO (2) WORKING DAYS NOTICE SHALL BE GIVEN.
7. ALL WORK SHALL BE INSPECTED BY GOVERNING AGENCIES IN ACCORDANCE WITH THEIR REQUIREMENTS. JURISDICTIONAL APPROVAL SHALL BE SECURED BEFORE PROCEEDING WITH WORK.
8. BUILDING DESIGN IS GENERALLY PREDICATED UPON PROVISIONS OF THE 2015 IRC AND AMENDMENTS AS MAY HAVE BEEN LOCALLY ENACTED. ALL REQUIREMENTS OF THE JURISDICTIONAL FIRE SAFETY/PREVENTION DISTRICT SHALL BE ACCOMMODATED BY THIS DESIGN AND ANY CONSEQUENT CONSTRUCTION.
9. ALL 2 1/2 lb. GAS PIPE SYSTEM METER SETS REQUIRES PRIOR APPROVAL FROM QUESTAR GAS COMPANY. PROVIDE A LETTER FROM QUESTAR APPROVING SYSTEM.
10. ALL FIELD WELDING OR TORCH WORK, WILL REQUIRE A SEPARATE "HOT WORK" PERMIT PRIOR TO BEGINNING WORK. IFC 105.6.11.
11. TOWER CRANES REQUIRE A SEPARATE PERMIT. CONTACT BUILDING DEPARTMENT FOR REQUIREMENTS.
12. EXCAVATION NOT TO EXCEED 2:1 SLOPE WITH OUT A SOILS REPORT.
13. BUILDING SHALL COMPLY WITH THE PROVISIONS IN THE (WUI) WILDLAND - URBAN INTERFACE CODE AS ADOPTED BY THE STATE OF UTAH AND AMENDED BY PARK CITY PER LMC 11-21.

P.O. Box 1674, 614 Main Street, Suite 302, Park City, Utah 84060
Tel. 435-649-7263, E-mail: degrayarch@qwestoffice.net

949 EMPIRE AVE, PARK CITY, UTAH 84060

SHEET DESCRIPTION:

REVISIONS:

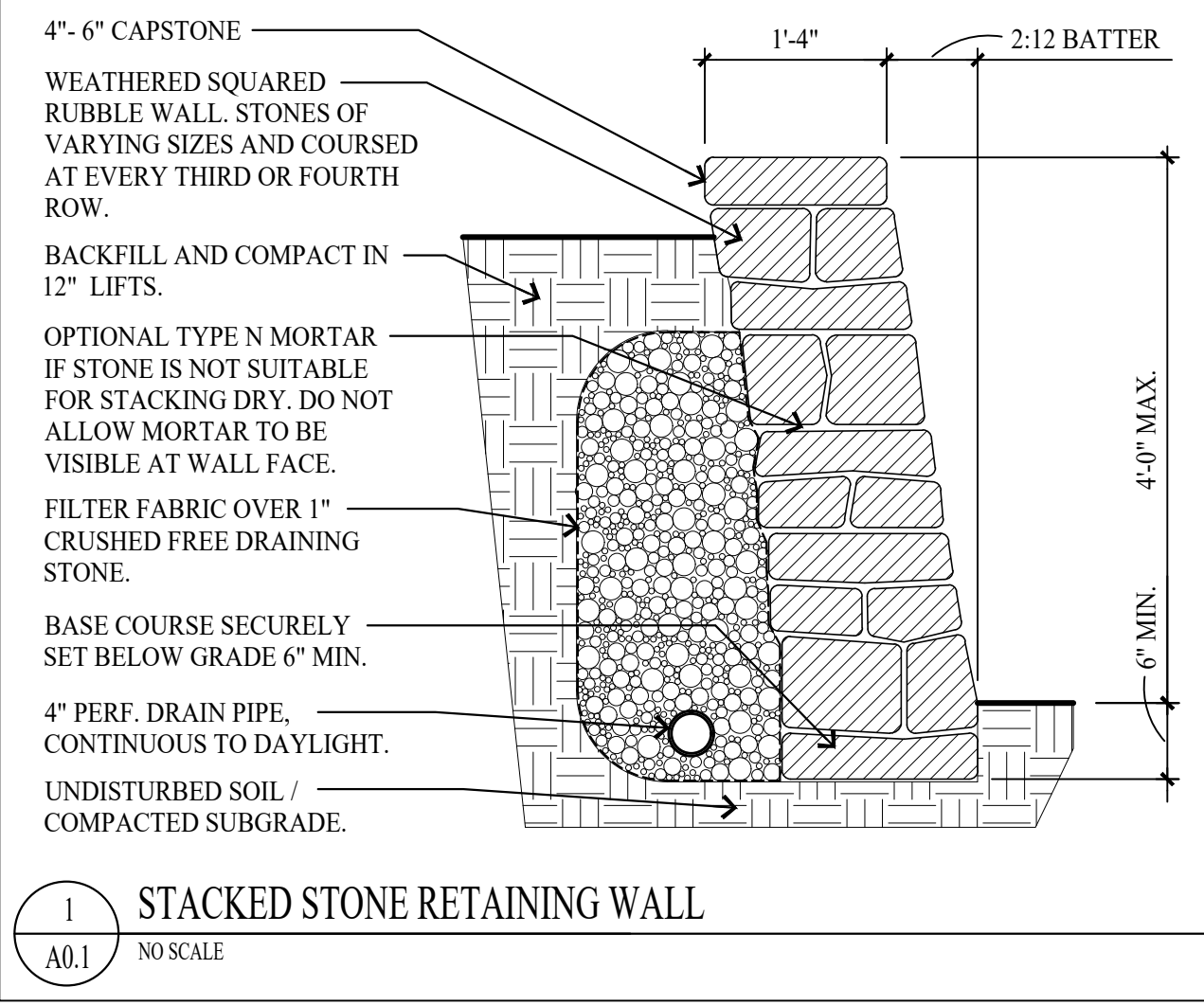
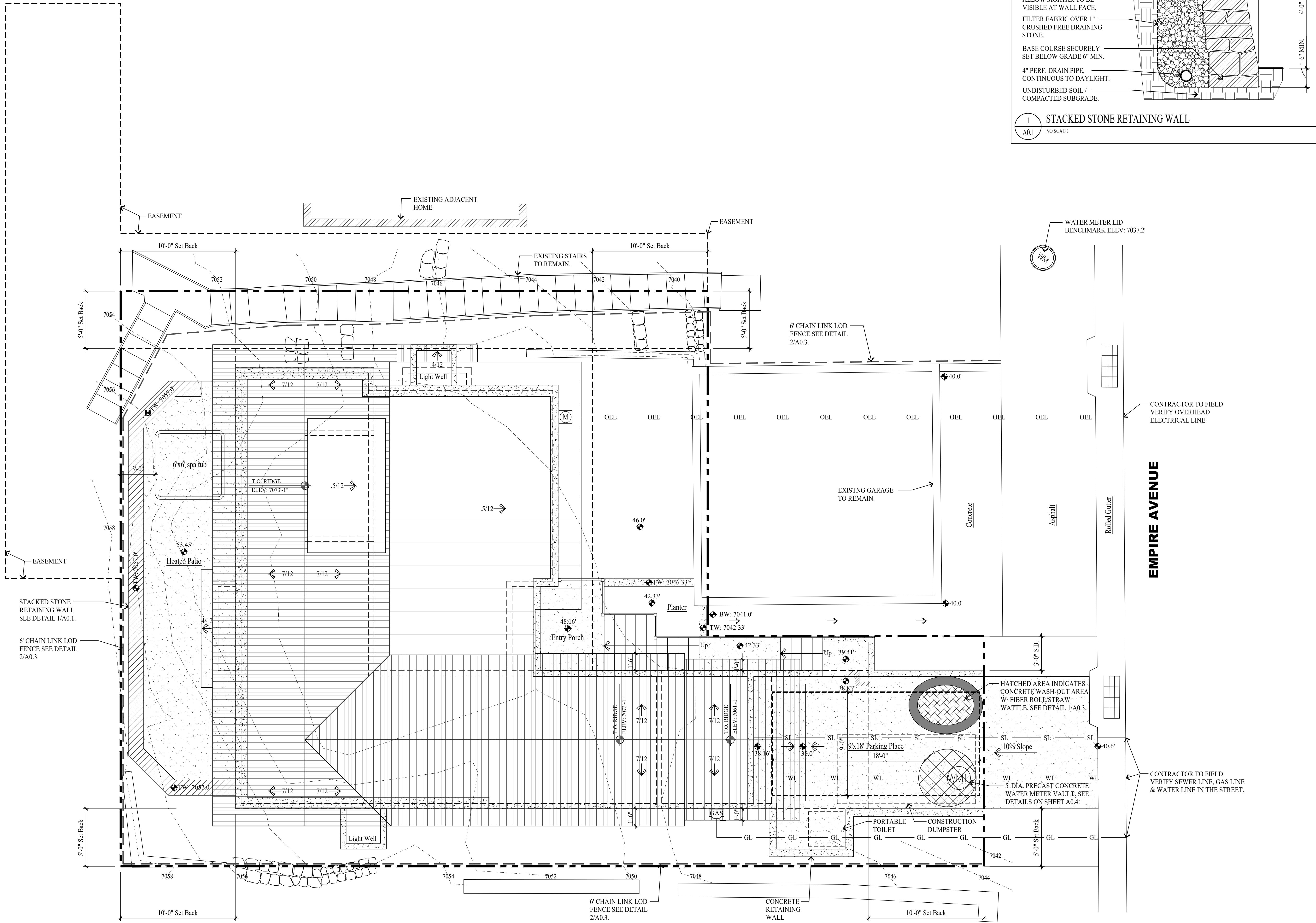
DATE: SEPTEMBER 27, 2023

PROJECT NUMBER:
2304-02

SHEET NUMBER:

Aa

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GENERAL NOTES

SITE PLAN NOTES:

1. ALL SURFACE WATER SHALL DRAIN AWAY FROM THE HOUSE AT ALL POINTS. DIRECT THE DRAINAGE WATER TO THE STREET OR AN APPROVED DRAINAGE COURSE BUT NOT ONTO THE NEIGHBORING PROPERTIES. THE GRADE SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10 FEET. -IRC 8401.3

STABILIZATION CONSTRUCTION ENTRANCE

FOR A MINIMUM OF 50' FROM ROADWAY. A FILTER FABRIC SHALL BE INSTALLED OVER A COMPACTED SUBGRADE. A 6" LAYER OF 1"-2" AGGREGATE SHALL BE PLACED OVER THIS MEMBRANE. DAILY INSPECTION FOR SEDIMENT BUILD UP AND/OR LOSS OF GRAVEL WILL BE ENFORCED, AND REMEDIED AT ONCE.

GRADING NOTES

1. DRAINAGE TO COMPLY WITH IRC CHAPTER 4
2. MAXIMUM ALTERED SLOPES AT 2:1.
3. MINIMUM SLOPE FOR DRAINAGE = 2%.
4. DRAIN AWAY FROM BUILDING.
5. CONTAIN DRAINAGE ON PROPERTY.
6. BOULDER RETAINING WALLS NOT TO EXCEED 4'-0" EXPOSED HEIGHT.
7. EXCAVATION NOT TO EXCEED 2:1 SLOPE WITH OUT A SOILS REPORT.

UTILITY NOTES

1. ALL UTILITY LINES TO BE UNDERGROUND.
2. ABOVE GRADE UTILITY BOX TO BE IN SCREENED LOCATION.

SNOW REMOVAL

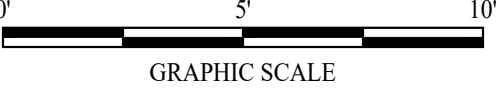
SNOW PLOWED FROM DRIVE SHALL NOT BE PUSHED OUT TO THE STREET.

LEGEND

- (WM) WATER MANHOLE LID
- (SML) SEWER MANHOLE LID
- (M) ELECTRIC METER BOX
- (GAS) GAS METER
- (W) WATER VALVE
- (WM) WATER METER
- (SDM) STORM DRAIN MANHOLE
- (P) POWER POLE
- (S) STREET LIGHT
- (D) DATUM ELEVATION
- (F) FIRE HYDRANT
- (T) TELECOM BOX
- (E) ELECTRICAL BOX
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- LOD FENCE
- SURFACE DRAINAGE FLOW
- - - EASEMENT LINE
- - - EXISTING CONTOUR LINE
- NEW CONTOUR LINE
- PROPERTY LINE
- SET BACK LINE
- X — FENCE LINE
- WL — WATER LINE
- SL — SEWER LINE
- GL — GAS LINE
- OEL — OVERHEAD ELECTRICAL LINE

LOD DISTURBED AREA: 935 S/F

NOTE:
1. SWPPP SIGN AND SWPPP DOCUMENT MUST BE ON SITE DURING CONSTRUCTION.
2. DOWNSTREAM SEDIMENT TRAPS NEED TO EXTEND UP BOTH SIDES FAR ENOUGH TO PREVENT OFFSITE DEPOSITION. FIELD VERIFY.



ARCHITECTURAL SITE PLAN
SCALE: 1/4" = 1'-0"

Jonathan DeGray
A r c h i t e c t

P.O. Box 1674, 614 Main Street, Suite 302, Park City, Utah 84060
Tel. 435-648-7263, E-mail: degrayarch@westoffice.net

SCHECKTER RESIDENCE
HISTORIC DISTRICT DESIGN REVIEW

949 EMPIRE AVE, PARK CITY, UTAH 84060

ARCHITECTURAL SITE PLAN

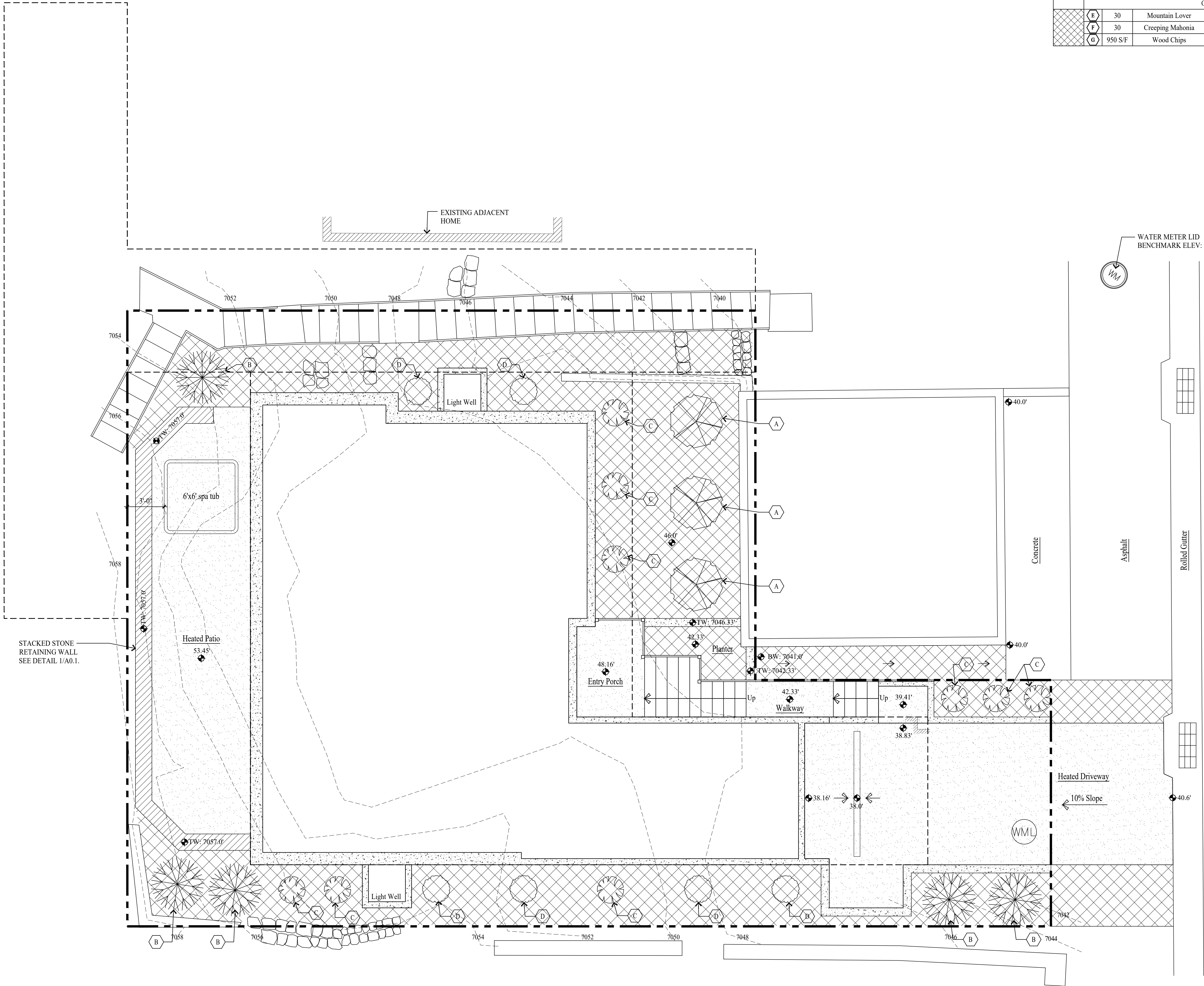
REVISIONS:

DATE:
SEPTEMBER 27, 2023

PROJECT NUMBER:
2304-02

SHEET NUMBER:
A0.1

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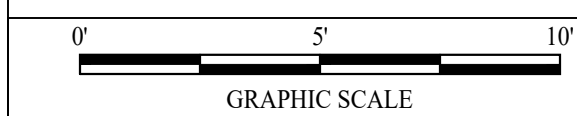


LANDSCAPE PLAN
SCALE: 1/4" = 1'-0"

PLANT SCHEDULE							
SYMBOL	KEY	QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	COMMENTS
DECIDUOUS TREES							
	A	3	Rocky Mtn. Maple	Acer Glabrum	3" Dia.	3'-8'	
	B	5	Aspen	Populus tremuloides	3" Dia.	6'-10'	
SHRUBS							
	C	9	Red twig dogwood	Cornus sericea "baileyi"	5 Gal.		Spacing as noted
	D	6	Red Chokeberry	Aronia arbutifolia	5 Gal.		Spacing as noted
GROUND COVER and HYDROSEEDING							
	E	30	Mountain Lover	Pachistima Myrsinites	4" Pots	12"-18"	Distribute Equally
	F	30	Creeping Mahonia	Mahonia Repens	1 Gal.	12"-18"	Distribute Equally
	G	950 S/F	Wood Chips		Small		3" Thick Layer

- ### GENERAL NOTES
- PLANTING NOTES:
- CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO INITIATION OF EXCAVATION OR PLANTING OPERATIONS. ANY DAMAGE TO EXISTING UTILITIES ON SITE OR ADJACENT PROPERTY SHALL BE CONTRACTORS RESPONSIBILITY.
 - ALL PLANT MATERIAL SHALL CONFORM TO CURRENT AMERICAN ASSOCIATION OF NURSERYMAN'S STANDARD SPECIFICATIONS.
 - ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DRAWINGS, DETAILS, AND SPECIFICATIONS.
 - CONTRACTOR SHALL VERIFY ALL QUANTITIES. IN CASE OF A DISCREPANCY, THE ILLUSTRATED LOCATIONS SHALL DICTATE COUNT.
 - CONTRACTOR SHALL COORDINATE ALL PLANTING WITH IRRIGATION CONTRACTOR, AS NEEDED.
 - IN THE EVENT OF A DISCREPANCY NOTIFY THE ARCHITECT OR OWNER IMMEDIATELY.
 - NO SUBSTITUTIONS SHALL BE ALLOWED WITHOUT WRITTEN PERMISSION OF THE ARCHITECT OR OWNER.
 - SHRUB BEDS SHALL RECEIVE 6" OF TOPSOIL.
 - ALL SHRUB BEDS SHALL HAVE 3" OF DECOMPOSED BARK MULCH INSTALLED.
 - SHRUB BED EDGING SHALL BE PRESSURE TREATED WOOD OR "TREX" EDGING. IT SHALL SEPARATE ALL SHRUB BEDS/ NATIVE GRASS LOCATIONS.
 - ALL PLANTS AND ALL PLANT STAKES SHALL BE SET PLUMB.
 - ALL ROOT WRAPPING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED AT TIME OF OF PLANTING AND PROPERLY DISCARDED.
 - NO BARE ROOT STOCK SHALL BE USED.

- ### LEGEND
- WATER MANHOLE LID
 - SEWER MANHOLE LID
 - ELECTRIC METER BOX
 - GAS METER
 - WATER VALVE
 - WATER METER
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A r c h i t e c t

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PROJECT DESCRIPTION:

SCHACKTER RESIDENCE
HISTORIC DISTRICT DESIGN REVIEW

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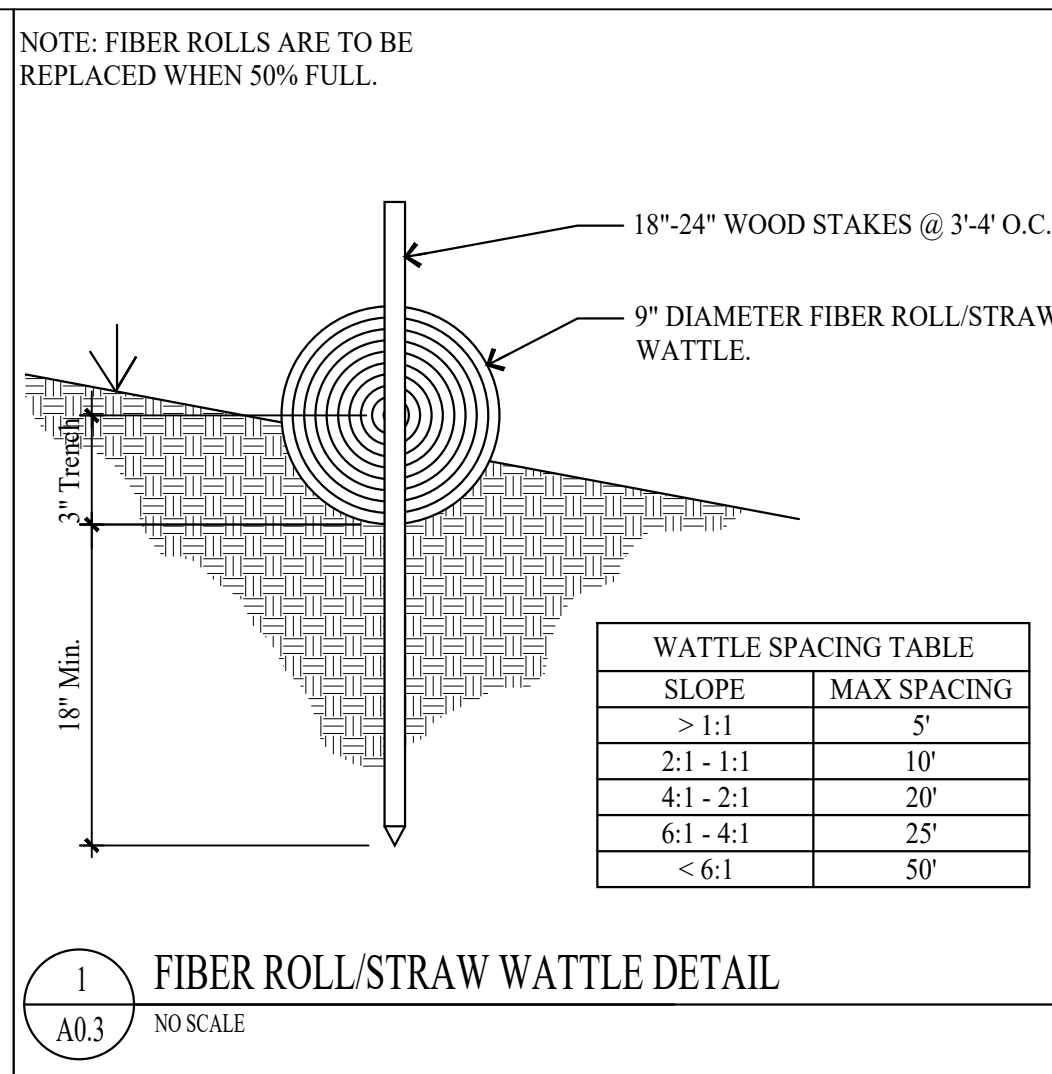
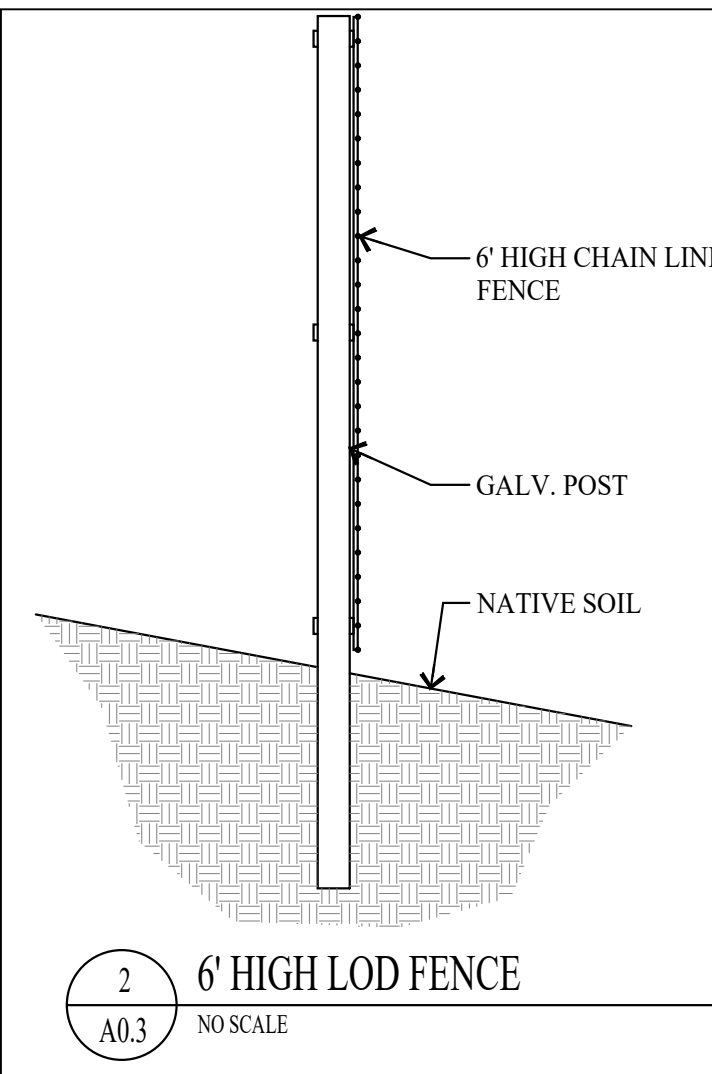
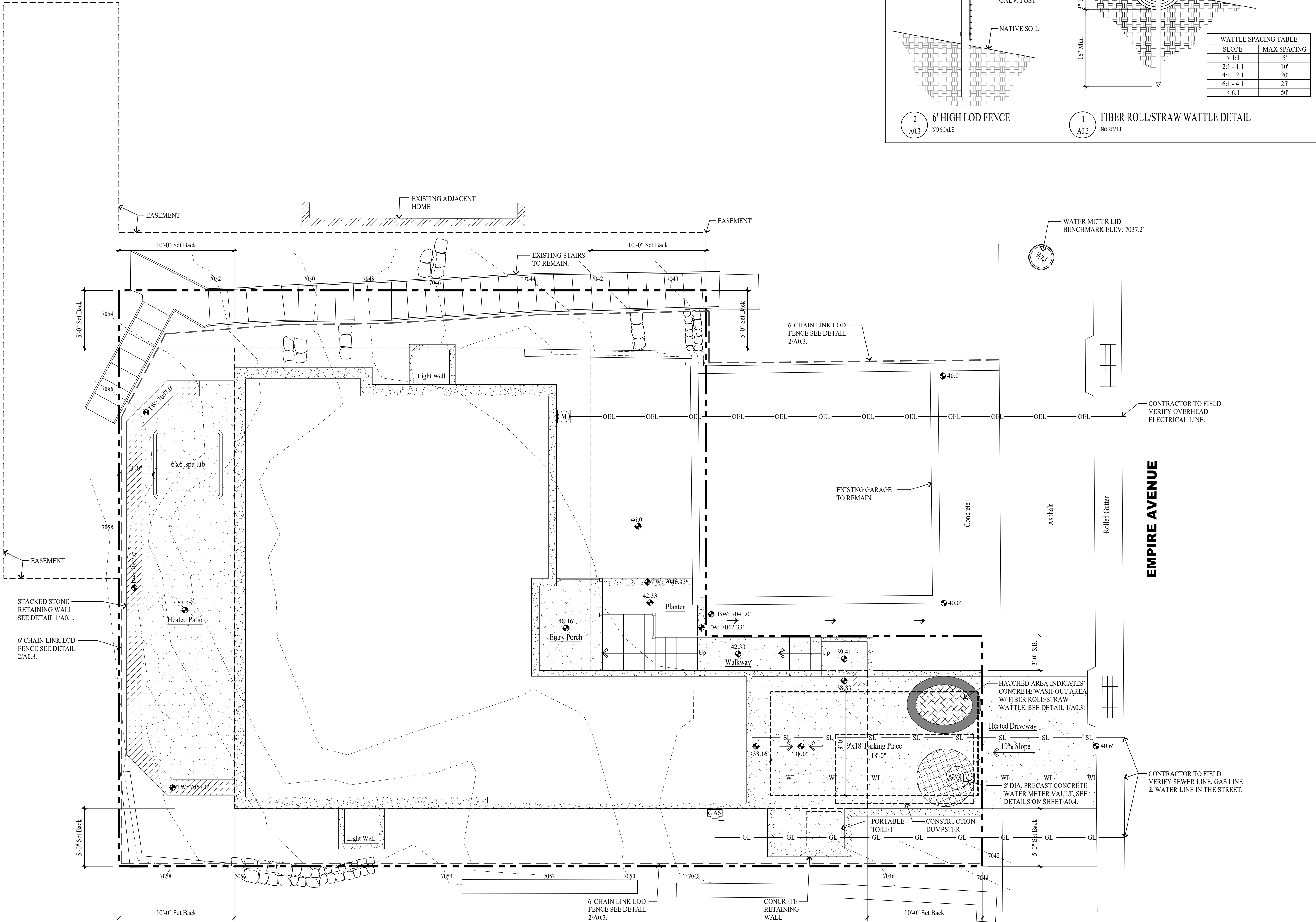
SHEET DESCRIPTION:

LANDSCAPE PLAN

REVISIONS:

DATE:	SEPTEMBER 27, 2023
PROJECT NUMBER:	2304-02
SHEET NUMBER:	A0.2

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SNOW REMOVAL

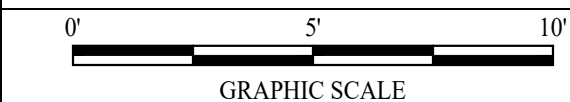
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LOD DISTURBED AREA: 935 S/F

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SWPP PLAN
SCALE: 1/4" = 1'-0"

Jonathan DeGray
A r c h i t e c t

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SCHECKTER RESIDENCE
HISTORIC DISTRICT DESIGN REVIEW

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SWPP PLAN

REVISIONS:

DATE:

SEPTEMBER 27, 2023

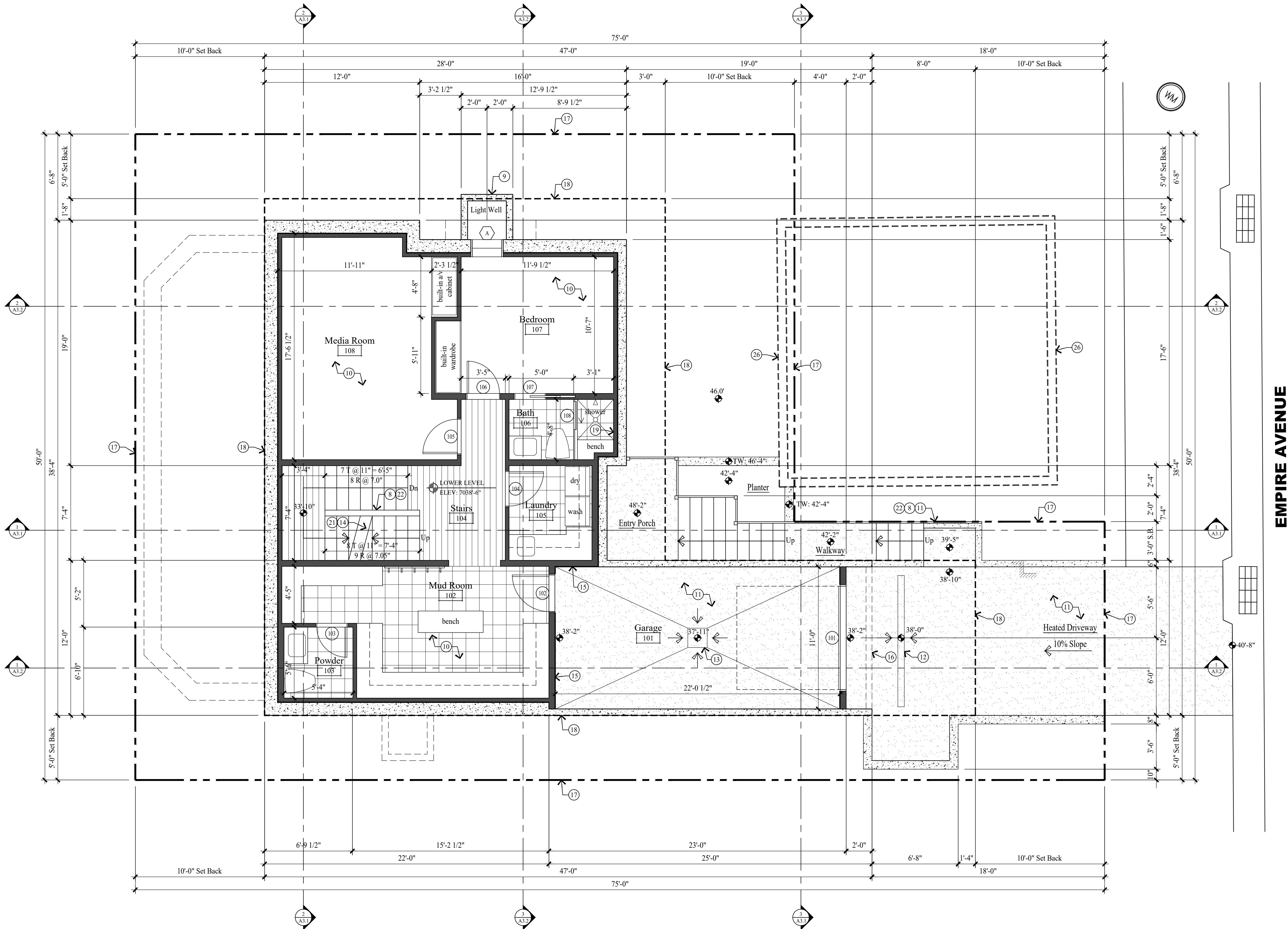
PROJECT NUMBER:

2304-02

SHEET NUMBER:

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LOWER LEVEL PLAN
SCALE: 1/4" = 1'-0"

GENERAL NOTES

NEW CONCRETE WALL

NEW 2x FRAMED WALL

1. ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE FIELD VERIFIED PRIOR TO ANY CONSTRUCTION.

2. EXTERIOR WALLS TO BE 2x6 FRAMING W/ BIB INSULATION R-23. ALL INTERIOR WALLS TO BE 2x4 FRAMING, U.N.O. W/ BIB INSULATION R-15. ALL INTERIOR PLUMBING AND BEARING WALLS TO BE 2x6 FRAMING, U.N.O. W/ BIB INSULATION R-23. ALL FLOOR JOIST TO BE 11 7/8" TJI FRAMING U.N.O. W/ BIB INSULATION R-38. ALL ROOF JOIST TO BE 9 1/2" TJI FRAMING U.N.O. W/ BIB INSULATION R-38.

3. FIRE SPRINKLERS TO BE ON THE WARM SIDE OF THE BUILDING ENVELOPE.

4. AIR LEAKAGE: THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH SECTIONS N102.4.1 - N102.4.4.

5. HOME HARDENING SHALL COMPLY WITH THE WILDLAND - URBAN INTERFACE CODE AS ADOPTED BY THE STATE OF UTAH AND AMENDED BY PARK CITY PER LMC 11-21, H 603.4

KEY NOTES

- 1 CLASS A NON-REFLECTIVE STANDING SEAM METAL ROOF, TO BE ICC-ES APPROVED, ON ICE & WATER MEMBRANE ON 5/8" EXT. PLYWOOD ON ROOF JOIST. ROOF SHALL COMPLY WITH THE WILDLAND - URBAN INTERFACE CODE.
- 2 ARCHITECTURAL GRADE 40 YEAR ASPHALT SHINGLE, ON ICE & WATER MEMBRANE ON 5/8" EXT. SHEATHING ON ROOF JOIST - SEE STRUCT. ROOF MATERIAL SHALL COMPLY WITH THE WILDLAND - URBAN INTERFACE CODE.
- 3 COMPOSITE RIDGE VENT; COBRA OR EQUAL.
- 4 FLAT ROOF/DECK/BALCONY SYSTEM: REINF. WATERPROOF MEMBRANE OVER 3/4" EXTERIOR PLYWOOD ON 2x TAPERED JOIST SLOPED .25%. SEE STRUCTURAL FOR SIZE AND DETAILS.
- 5 GUTTERS AND DOWNSPOUTS TO TIE INTO GRAVEL SUMP.
- 6 SNOW RETENTION BARS: S-5 X-GARD 2.0 OR EQUAL. BYLIN SNOWMELT SYSTEM AT ALL EAVES AND VALLEYS - TYP. SEE SHEET A5.1.
- 7 2"x3" CONTINUOUS METAL DRIP EDGE OVER 2x4 ON 1x10 BUILT-UP FASCIA W/ 1x CEDAR SOFFIT, VENTED - PAINT/STAIN.
- 8 FOR TYPICAL STAIRWAY, HANDRAILING AND GUARDRAILING NOTES & DETAILS ON SEE SHEET A5.1.
- 9 CONCRETE WINDOW WELL W/ EGRESS LADDER FOR EGRESS ACCESS.
- 10 1 1/2" GYPCRETE W/ HYDRAUNIC HEATING ON 3/4" PLYWOOD ON FLOOR JOIST - SEE STRUCTURAL FOR SIZE AND SPACING.
- 11 4" REINFORCED HEATED CONCRETE GARAGE / PATIO / PORCH / WALKWAY / DRIVEWAY / EXTERIOR STAIRS ON 4" GRAVEL BASE.
- 12 POLYCAST TRENCH DRAIN SYSTEM OR EQUAL, TIE INTO GRAVEL SUMP.
- 13 HEAVY DUTY 18"x18" FLOOR DRAIN W/ FLOOR LEVEL CLEANOUT. TIE INTO GRAVEL SUMP.
- 14 ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.
- 15 5/8" TYPE "X" ON GARAGE CEILING AND WALL SEPARATING THE GARAGE AND LIVING SPACE.
- 16 DASHED LINES INDICATE WALL / BEAM ABOVE.
- 17 PROPERTY LINE.
- 18 SET BACK LINE / EASEMENT LINE.
- 19 TUBS AND SHOWERS WITH TILED WALLS TO HAVE A POLYSTYRENE FOAM SYSTEM, WEDI OR EQUAL.
- 20 STACKED STONE RETAINING WALL, NOT TO EXCEED 4'-0" HIGH. SEE DETAIL 1/A0.1.
- 21 CRAWL SPACE: 6 MIL POLYETHYLENE VAPOR RETARDER ON 4" GRAVEL BASE - CLEANED AND GRADED. SEE MECHANICAL NOTE 21 & 25 ON SHEET MEP-0.
- 22 36" HIGH GUARD RAILING: 2x SHAPED HARDWOOD CONTINUOUS TOP CAP W/ 5/32" DIA. 316 STAINLESS STEEL CABLE, WORKING LOAD: 750# BREAKING LOAD: 2000#. HORIZONTAL, SPACED LESS THAN 4". THROUGH 1 1/2"x3 TUBE STEEL POST.
- 23 36" DIRECT VENT GAS FIREPLACE. FRAME ON 10" PLATFORM. SEALED GAS APPLIANCE APPROVED FOR SLEEPING AREAS.
- 24 48" DIRECT VENT GAS FIREPLACE. FRAME ON 10" PLATFORM. SEALED GAS APPLIANCE APPROVED FOR SLEEPING AREAS.
- 25 6x6 CEDAR KNEE BRACE - PAINT/STAIN.
- 26 EXISTING GARAGE TO REMAIN.

Jonathan DeGray
A r c h i t e c t

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Tel. 435-648-7263, E-mail: degrayarch@qwestoffice.net

SCHECKTER RESIDENCE
HISTORIC DISTRICT DESIGN REVIEW

949 EMPIRE AVE, PARK CITY, UTAH 84060

LOWER LEVEL PLAN

SHEET DESCRIPTION:

REVISIONS:

DATE:

SEPTEMBER 27, 2023

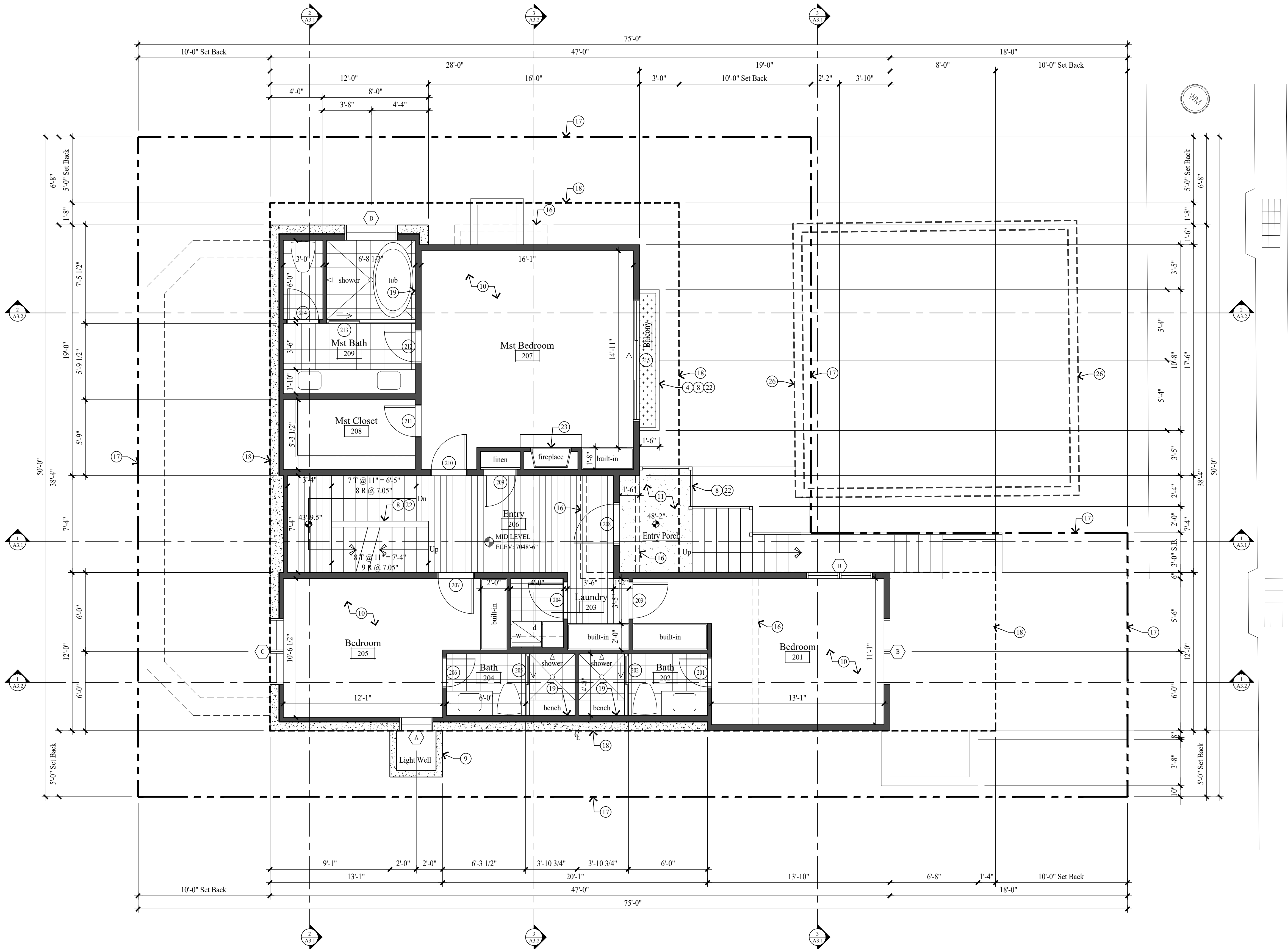
PROJECT NUMBER:

2304-02

SHEET NUMBER:

A1.1

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MID LEVEL PLAN
SCALE: 1/4" = 1'-0"

GENERAL NOTES

NEW CONCRETE WALL

NEW 2x FRAMED WALL

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2. EXTERIOR WALLS TO BE 2x6 FRAMING W/ BIB INSULATION R-23. ALL INTERIOR WALLS TO BE 2x4 FRAMING, U.N.O. W/ BIB INSULATION R-15. ALL INTERIOR PLUMBING AND BEARING WALLS TO BE 2x6 FRAMING, U.N.O. W/ BIB INSULATION R-23. ALL FLOOR JOIST TO BE 11 7/8" TJI FRAMING U.N.O. W/ BIB INSULATION R-38. ALL ROOF JOIST TO BE 9 1/2" TJI FRAMING U.N.O. W/ BIB INSULATION R-38.

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4. AIR LEAKAGE: THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH SECTIONS N102.4.1 - N102.4.4.

5. HOME HARDENING SHALL COMPLY WITH THE WILDLAND - URBAN INTERFACE CODE AS ADOPTED BY THE STATE OF UTAH AND AMENDED BY PARK CITY PER LMC 11-21, H 603.4

KEY NOTES

1. CLASS A NON-REFLECTIVE STANDING SEAM METAL ROOF, TO BE ICC-ES APPROVED, ON ICE & WATER MEMBRANE ON 5/8" EXT. PLYWOOD ON ROOF JOIST. ROOF SHALL COMPLY WITH THE WILDLAND - URBAN INTERFACE CODE.
2. ARCHITECTURAL GRADE 40 YEAR ASPHALT SHINGLE, ON ICE & WATER MEMBRANE ON 5/8" EXT. SHEATHING ON ROOF JOIST - SEE STRUCT. ROOF MATERIAL SHALL COMPLY WITH THE WILDLAND - URBAN INTERFACE CODE.
3. COMPOSITE RIDGE VENT; COBRA OR EQUAL.
4. FLAT ROOF/DECK/BALCONY SYSTEM: REINF. WATERPROOF MEMBRANE OVER 3/4" EXTERIOR PLYWOOD ON 2x TAPERED JOIST SLOPED .25%. SEE STRUCTURAL FOR SIZE AND DETAILS.
5. GUTTERS AND DOWNSPOUTS TO TIE INTO GRAVEL SUMP.
6. SNOW RETENTION BARS: S-5 X-GARD 2.0 OR EQUAL. BYLIN SNOWMELT SYSTEM AT ALL EAVES AND VALLEYS - TYP. SEE SHEET A5.1.
7. 2"x3" CONTINUOUS METAL DRIP EDGE OVER 2x4 ON 1x10 BUILT-UP FASCIA W/ 1x CEDAR SOFFIT, VENTED - PAINT/STAIN.
8. FOR TYPICAL STAIRWAY, HANDRAILING AND GUARDRAILING NOTES & DETAILS ON SEE SHEET A5.1.
9. CONCRETE WINDOW WELL W/ EGRESS LADDER FOR EGRESS ACCESS.
10. 1 1/2" GYPCRETE W/ HYDRAUNIC HEATING ON 3/4" PLYWOOD ON FLOOR JOIST - SEE STRUCTURAL FOR SIZE AND SPACING.
11. 4" REINFORCED HEATED CONCRETE GARAGE / PATIO / PORCH / WALKWAY / DRIVEWAY / EXTERIOR STAIRS ON 4" GRAVEL BASE.
12. POLYCAST TRENCH DRAIN SYSTEM OR EQUAL, TIE INTO GRAVEL SUMP.
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14. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.
15. 5/8" TYPE "X" ON GARAGE CEILING AND WALL SEPARATING THE GARAGE AND LIVING SPACE.
16. DASHED LINES INDICATE WALL / BEAM ABOVE.
17. PROPERTY LINE.
18. SET BACK LINE / EASEMENT LINE.
19. TUBS AND SHOWERS WITH TILED WALLS TO HAVE A POLYSTYRENE FOAM SYSTEM, WEDI OR EQUAL.
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SCHECKTER RESIDENCE
HISTORIC DISTRICT DESIGN REVIEW

949 EMPIRE AVE, PARK CITY, UTAH 84060

MID LEVEL PLAN

SHEET DESCRIPTION:

REVISIONS:

DATE:

SEPTEMBER 27, 2023

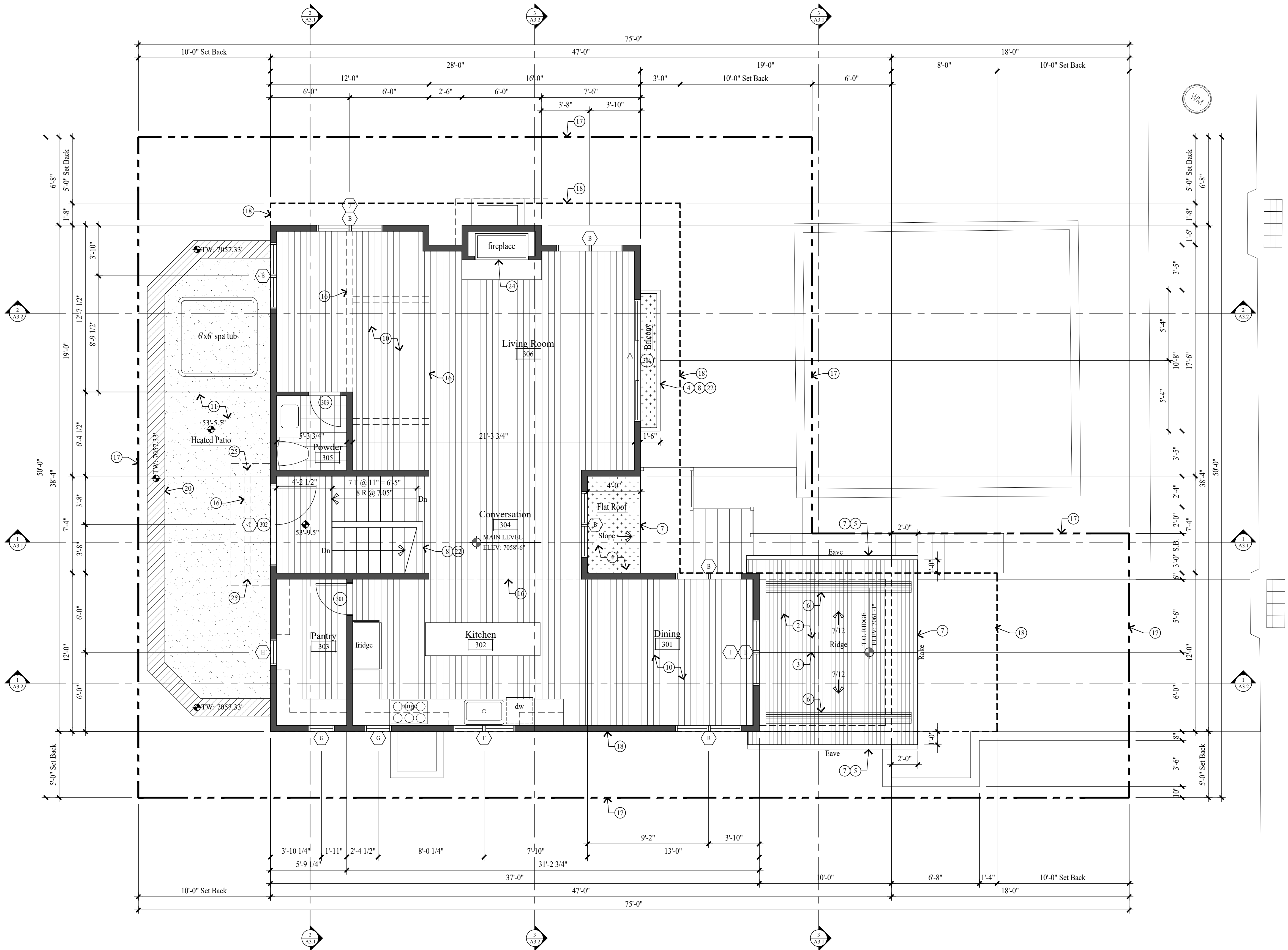
PROJECT NUMBER:

2304-02

SHEET NUMBER:

A1.2

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NOTE:
SEE SHEET A5.2 FOR TYPICAL ROOF FLASHING
DETAILS.

NOTE:
2'-0" TYPICAL ROOF OVERHANG U.N.O.

GENERAL NOTES

NEW CONCRETE WALL

NEW 2x FRAMED WALL

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2. EXTERIOR WALLS TO BE 2x6 FRAMING W/ BIB INSULATION R-23. ALL INTERIOR WALLS TO BE 2x4 FRAMING, U.N.O. W/ BIB INSULATION R-15. ALL INTERIOR PLUMBING AND BEARING WALLS TO BE 2x6 FRAMING, U.N.O. W/ BIB INSULATION R-23. ALL FLOOR JOIST TO BE 11 7/8" TJI FRAMING U.N.O. W/ BIB INSULATION R-38. ALL ROOF JOIST TO BE 9 1/2" TJI FRAMING U.N.O. W/ BIB INSULATION R-38.

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- 26 EXISTING GARAGE TO REMAIN.



MAIN LEVEL PLAN, LOW ROOF PLAN

SCALE: 1/4" = 1'-0"

Jonathan DeGray
A r c h i t e c t

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SCHECKTER RESIDENCE
HISTORIC DISTRICT DESIGN REVIEW

949 EMPIRE AVE, PARK CITY, UTAH 84060

MAIN LEVEL PLAN
LOW ROOF PLAN

SHEET DESCRIPTION:

REVISIONS:

DATE:

SEPTEMBER 27, 2023

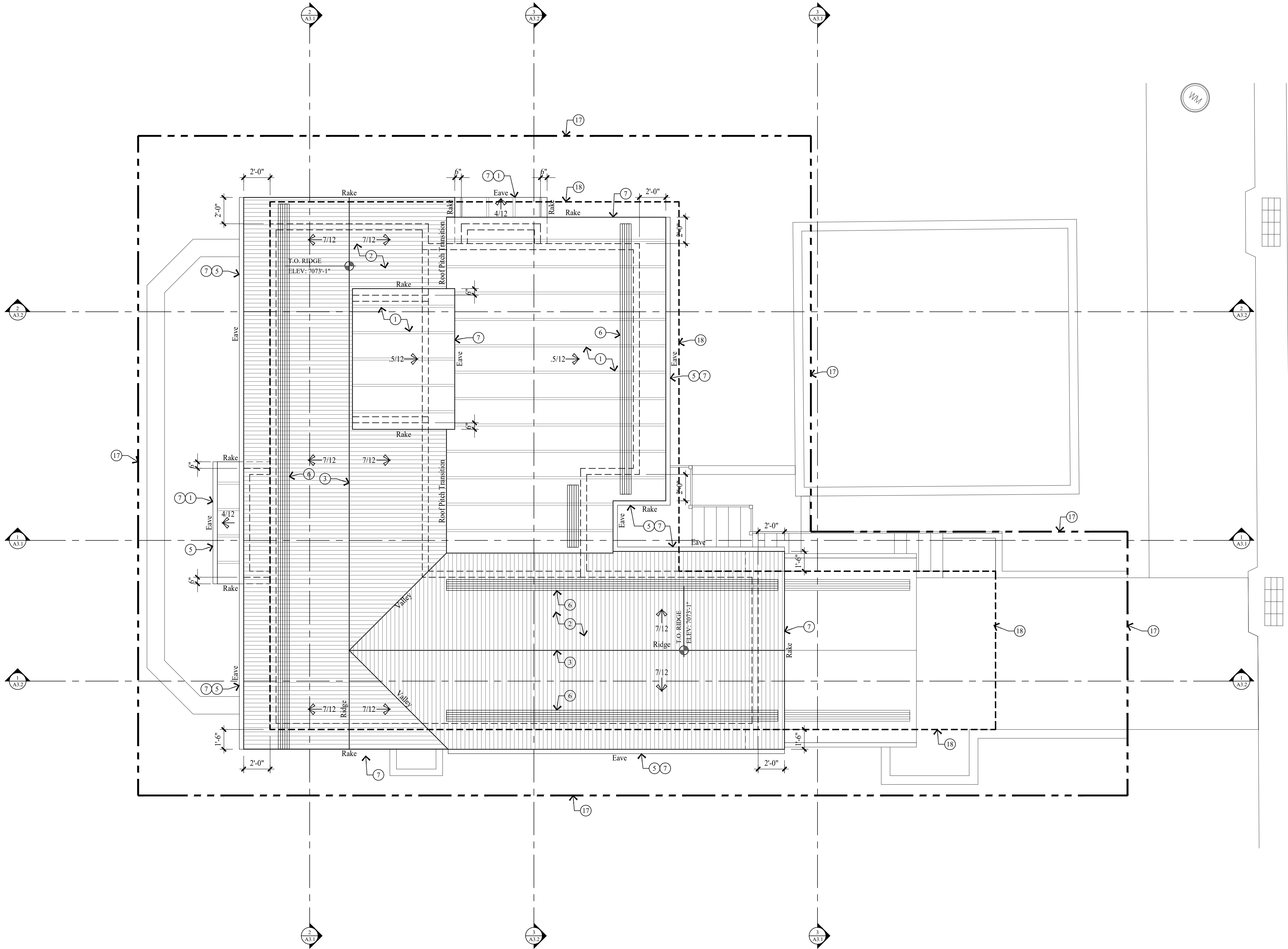
PROJECT NUMBER:

2304-02

SHEET NUMBER:

A1.3

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NOTE:
SEE SHEET A5.2 FOR TYPICAL ROOF FLASHING DETAILS.

NOTE:
2'-0" TYPICAL ROOF OVERHANG U.N.O.

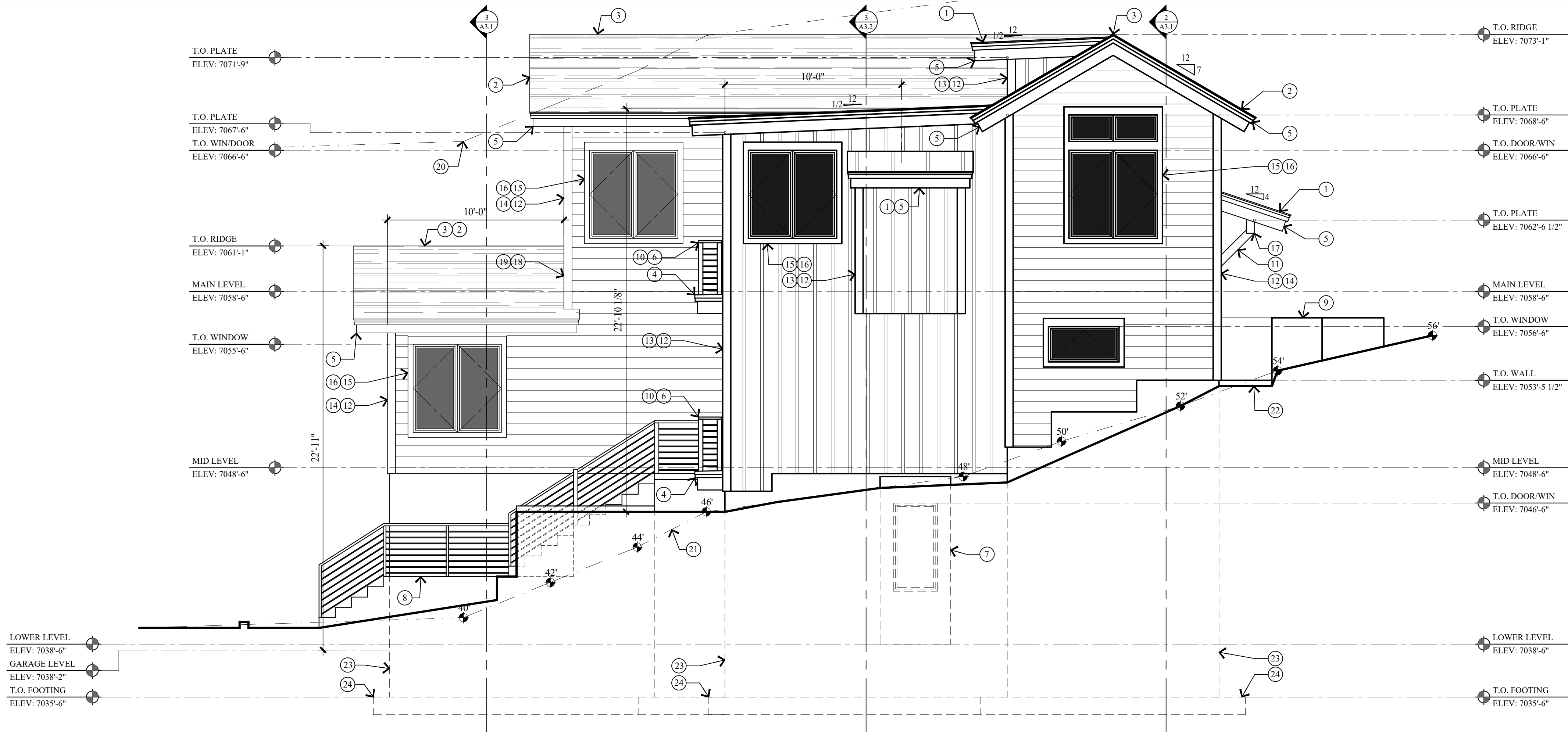
GENERAL NOTES

- NEW CONCRETE WALL
- NEW 2x FRAMED WALL
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 - AIR LEAKAGE: THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH SECTIONS N102.4.1 - N102.4.4.
 - HOME HARDENING SHALL COMPLY WITH THE WILDLAND - URBAN INTERFACE CODE AS ADOPTED BY THE STATE OF UTAH AND AMENDED BY PARK CITY PER LMC 11-21, H 603.4

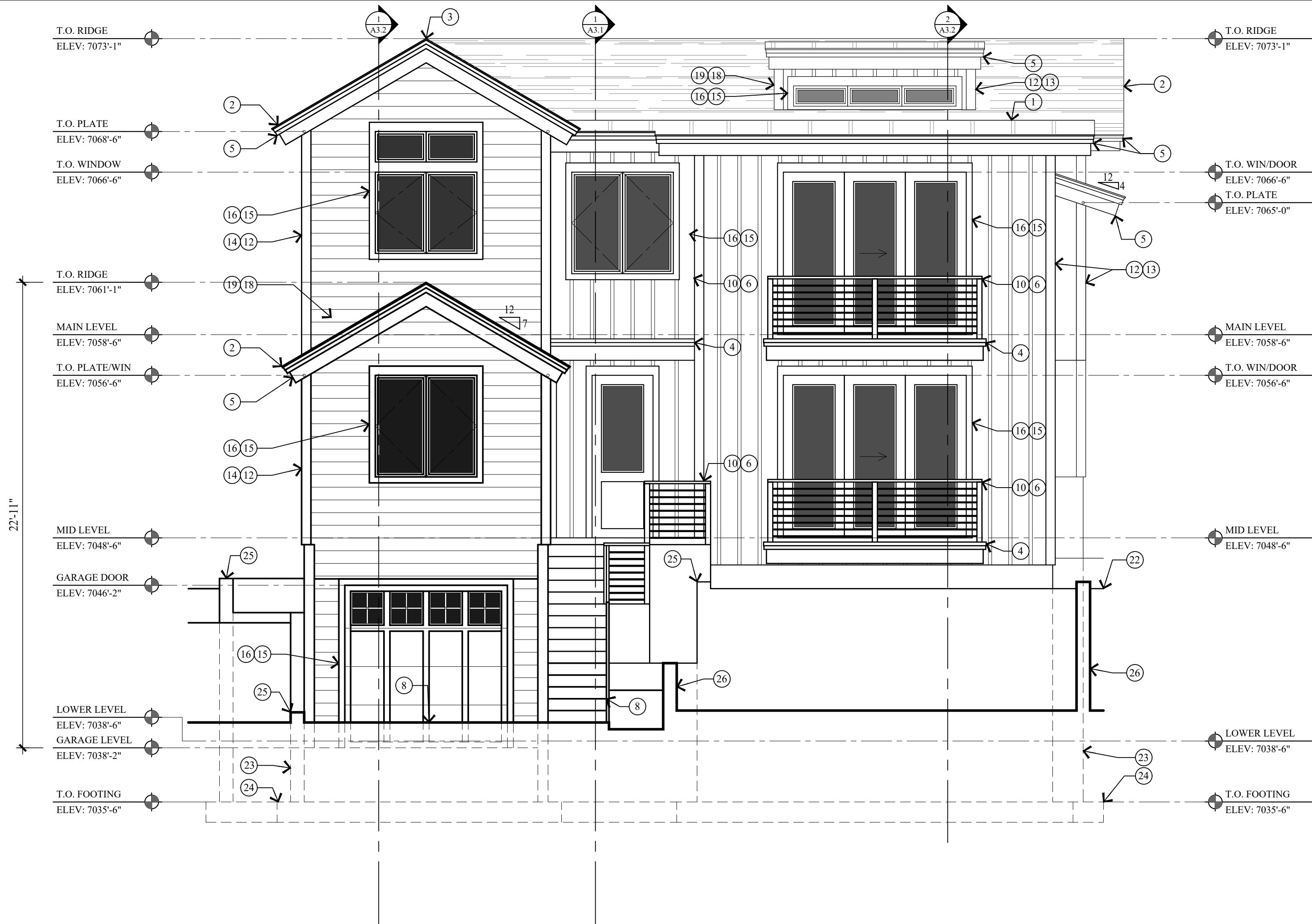
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1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 EAST ELEVATION
SCALE: 1/4" = 1'-0"

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- 2x4 CEDAR OUTSIDE CORNER BOARD, 2x2 CEDAR INSIDE CORNER BOARD - STAINED
- BOARD AND BATTEN SIDING - STAINED ON TYVEK HOMEWRAP ON 1/2" EXTERIOR SHEATHING ON 2x6 STUD WALL @ 16" O.C.
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- STRUCTURAL BEAM - SEE STRUCTURAL DRAWINGS FOR SIZE AND DETAILS.
- FLASHING AND COUNTER FLASHING - TYPICAL.
- ROOF TO WALL SURFACE, EXTEND BITUTHANE MEMBRANE OVER ROOF DECK & UP WALL SURFACE 24".
- LINE 27'-0" HEIGHT ABOVE EXISTING GRADE.
- EXISTING GRADE LINE.
- FINISH GRADE TO SLOPE AWAY FROM HOUSE A MIN. OF 6" WITHIN THE FIRST 10'. IRC R401.3
- FOUNDATION - SEE STRUCTURAL FOR SIZE AND REINFORCING.
- FOOTING - SEE STRUCTURAL FOR SIZE AND REINFORCING.
- CONCRETE RETAINING WALL - SEE STRUCT.
- WALL OF EXISTING GARAGE TO REMAIN.

PRODUCT DESCRIPTION:

SCHECKTER RESIDENCE
HISTORIC DISTRICT DESIGN REVIEW

949 EMPIRE AVE, PARK CITY, UTAH 84060

SHEET DESCRIPTION:

NORTH & EAST ELEVATIONS

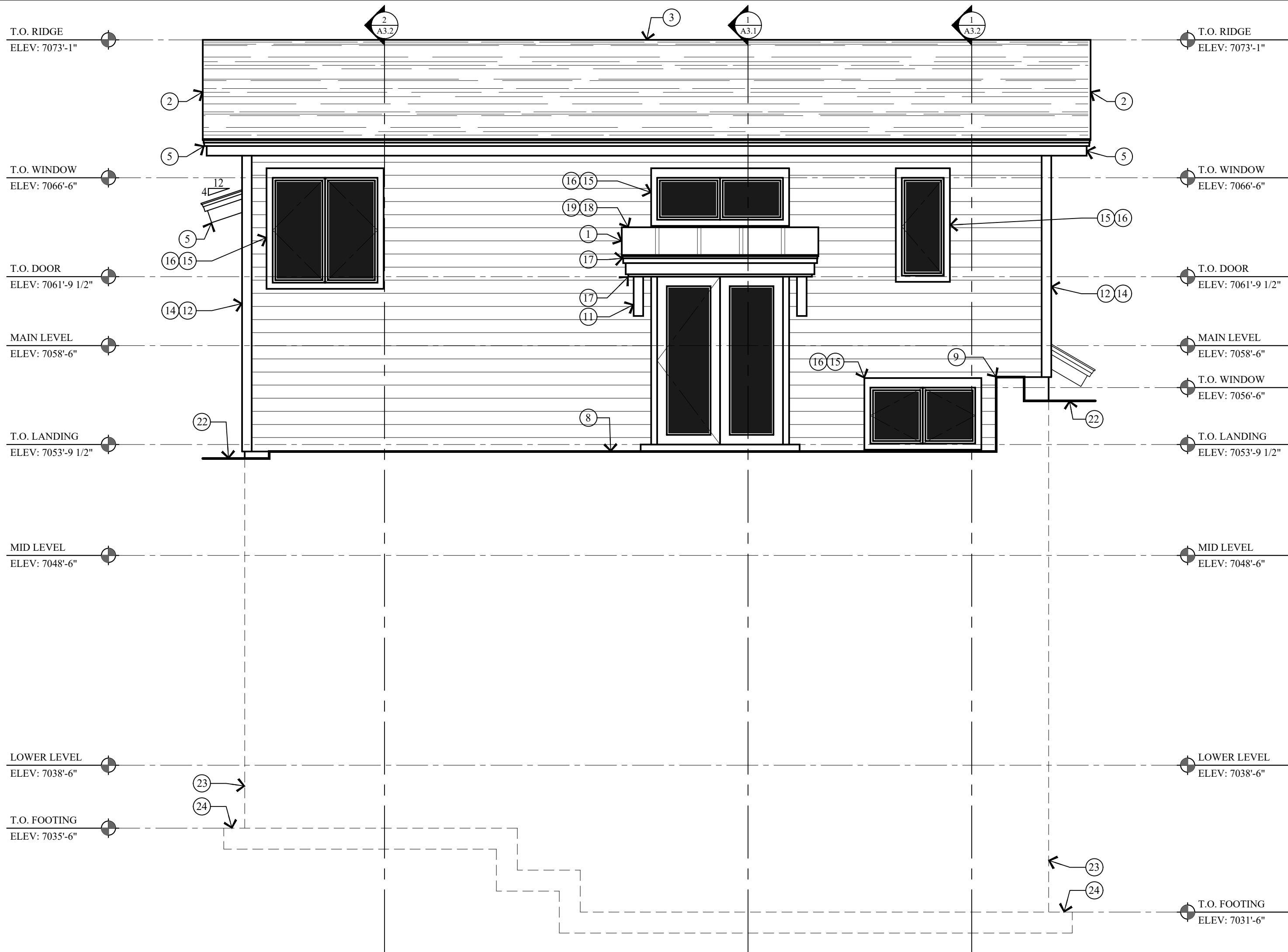
REVISIONS:

DATE:
SEPTEMBER 27, 2023

PROJECT NUMBER:
2304-02

SHEET NUMBER:
A2.1

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PRODUCT DESCRIPTION:

SCHECTER RESIDENCE
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949 EMPIRE AVE, PARK CITY, UTAH 84060

SHEET DESCRIPTION:

SOUTH & WEST ELEVATIONS

REVISIONS:

DATE:

SEPTEMBER 27, 2023

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2304-02

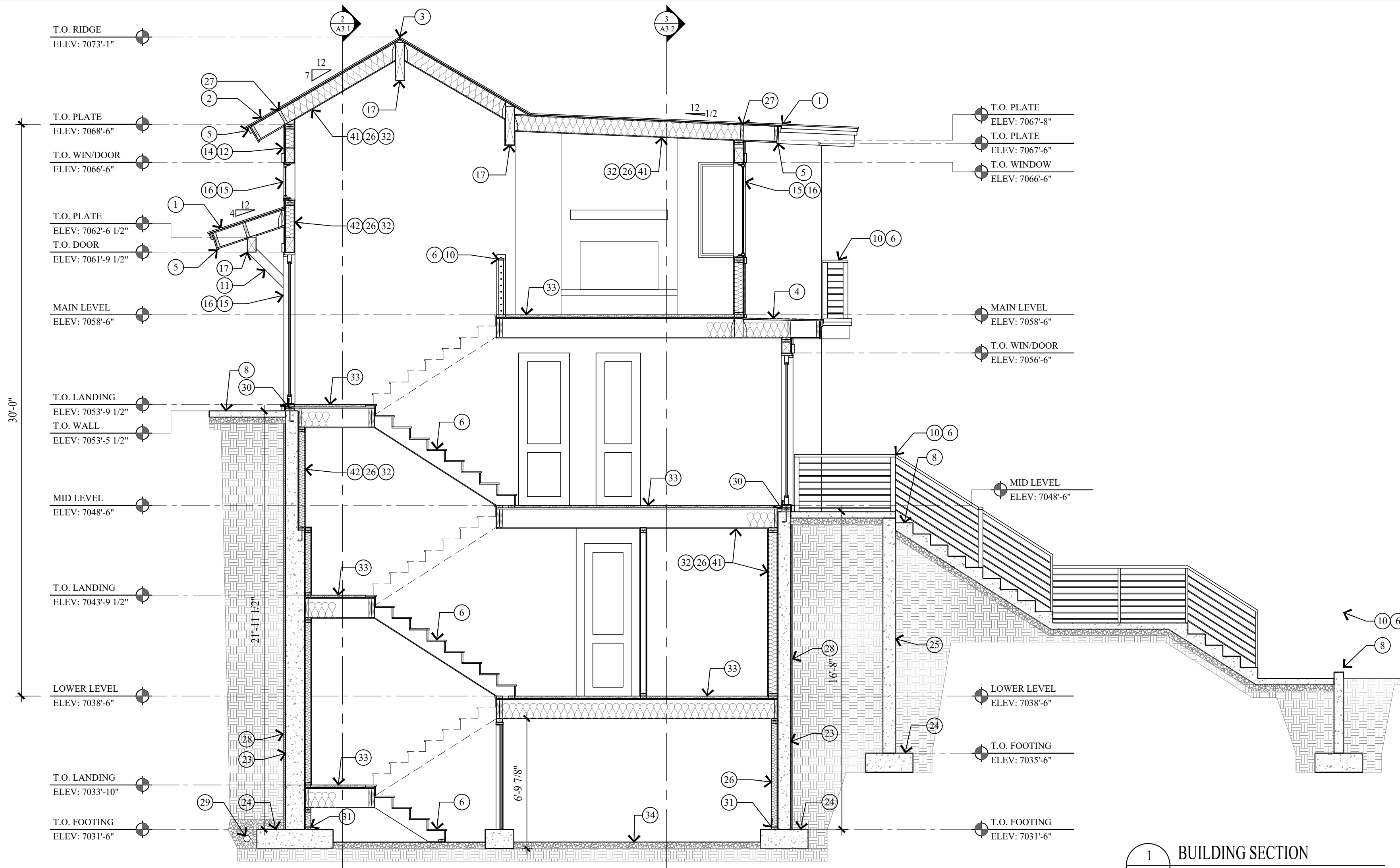
SHEET NUMBER:

A2.2

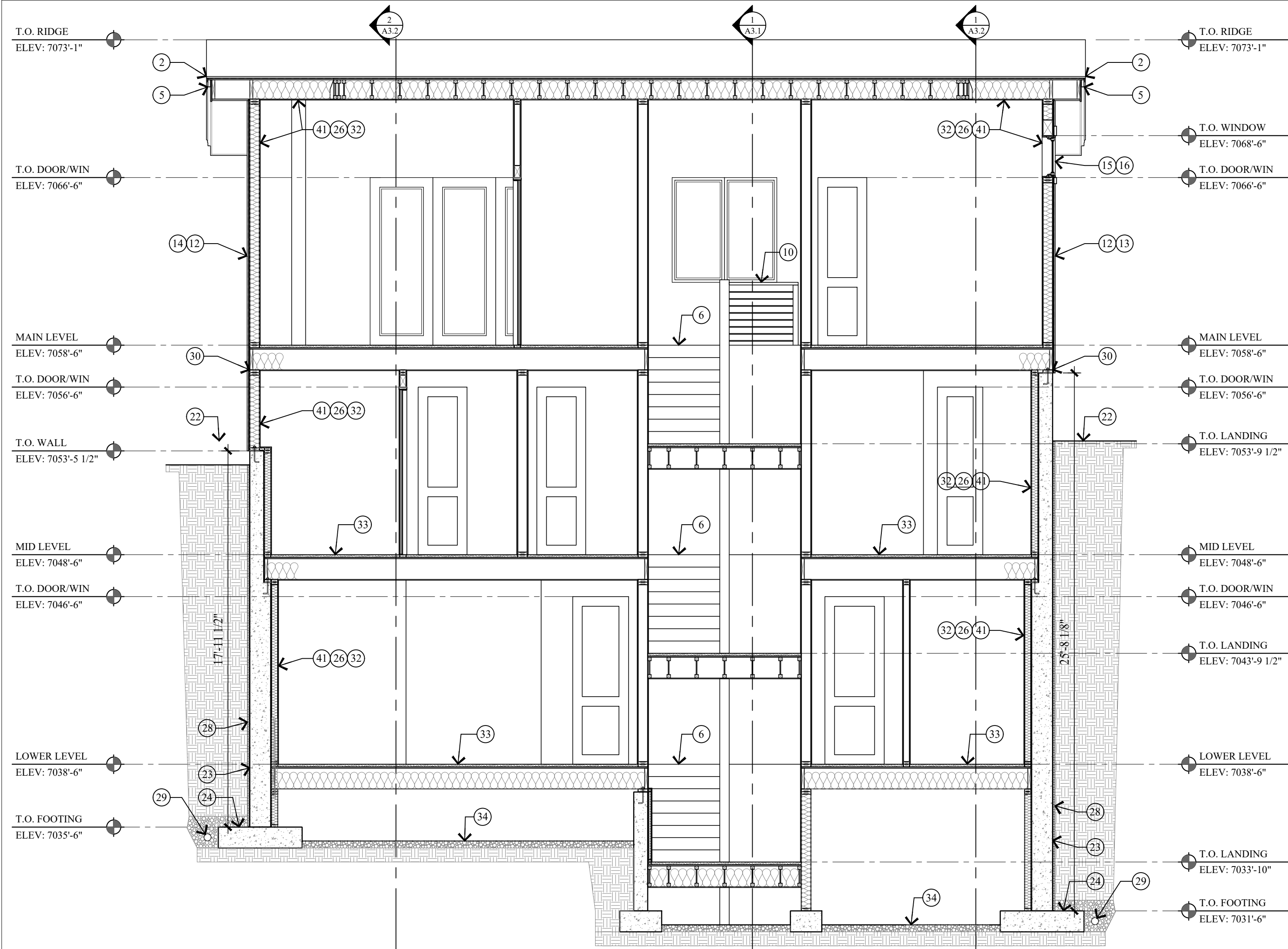
Jonathan DeGray
A r c h i t e c t

P.O. Box 1674, 614 Main Street, Suite 302, Park City, Utah 84060
Tel. 435-649-7263, E-mail: degrayarch@westoffice.net

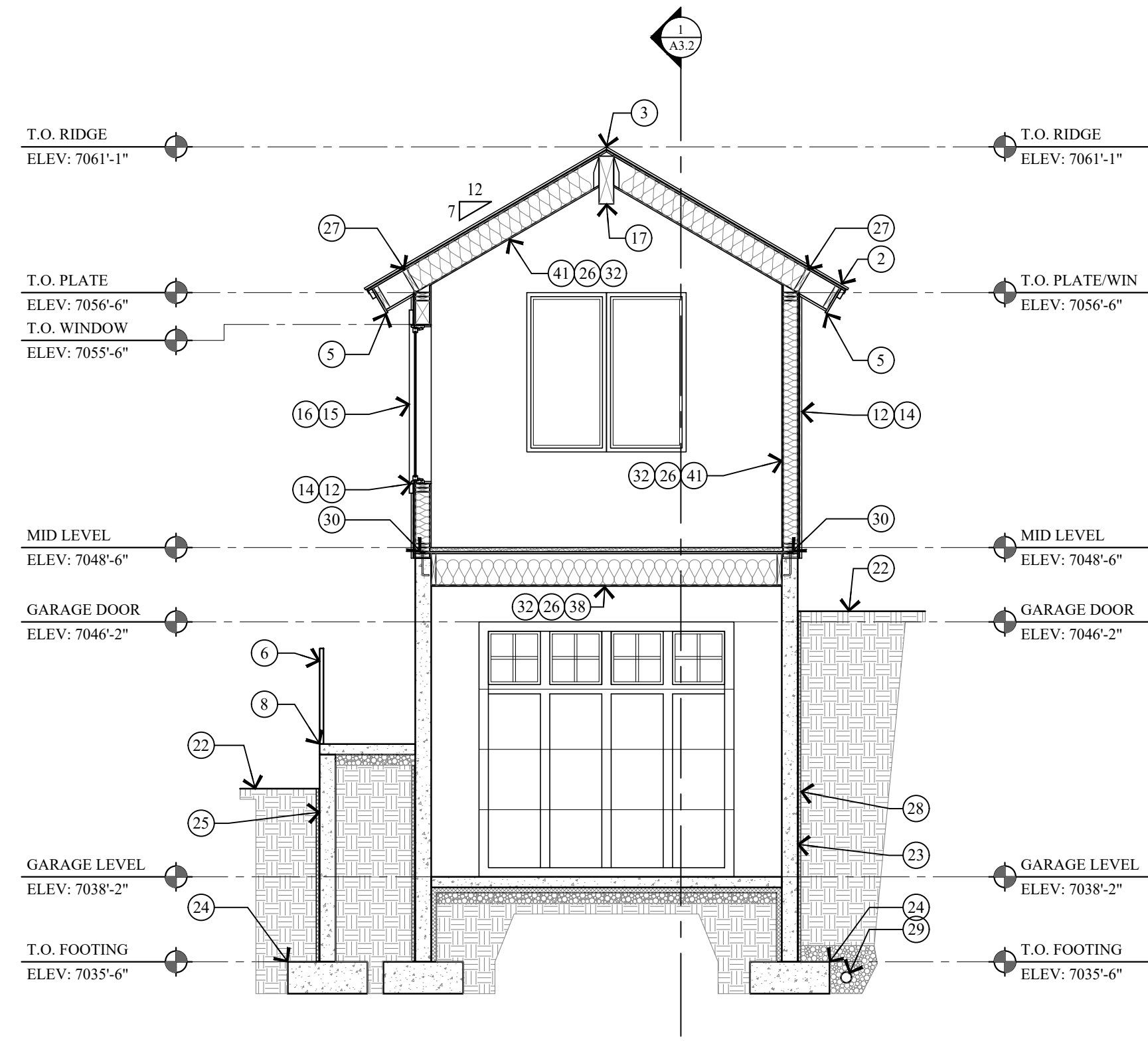
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1 BUILDING SECTION
SCALE: 1/4" = 1'-0"



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SCHECKTER RESIDENCE HISTORIC DISTRICT DESIGN REVIEW

949 EMPIRE AVE, PARK CITY, UTAH 84060

BUILDING SECTIONS

SHEET DESCRIPTION:

REVISIONS:

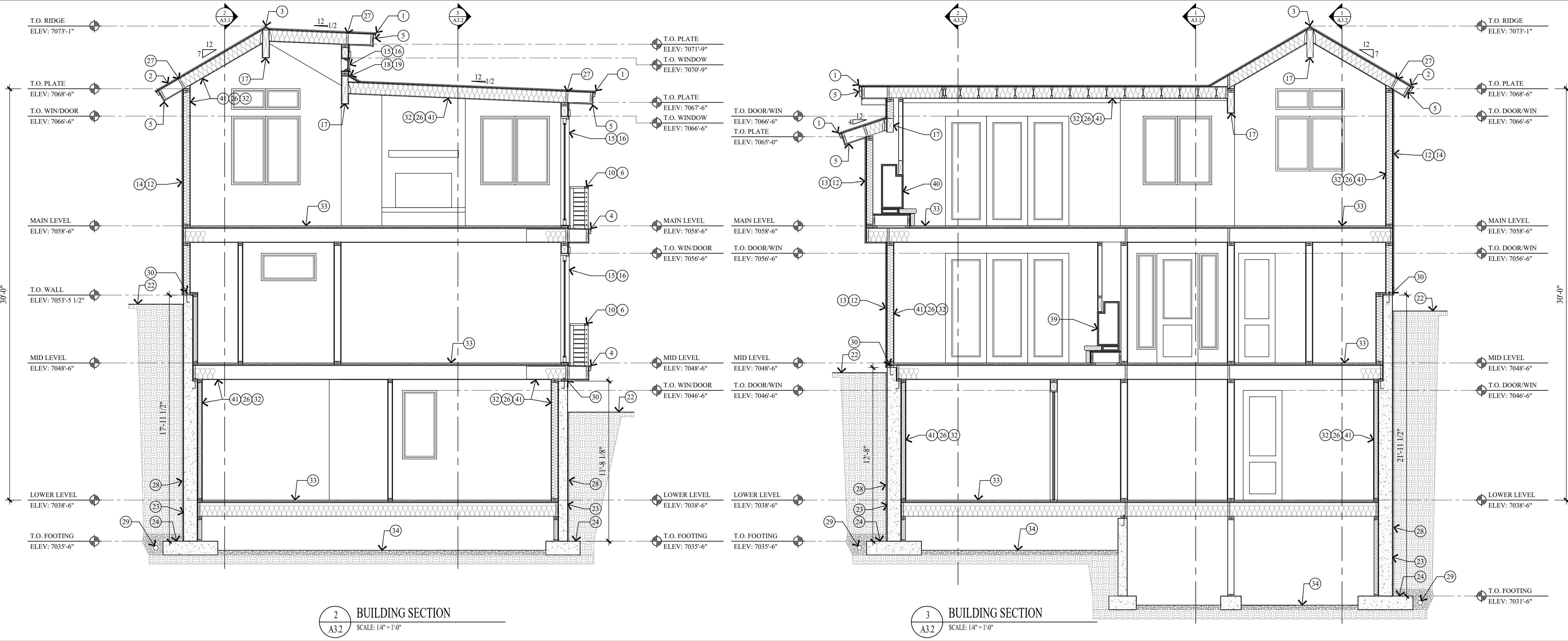
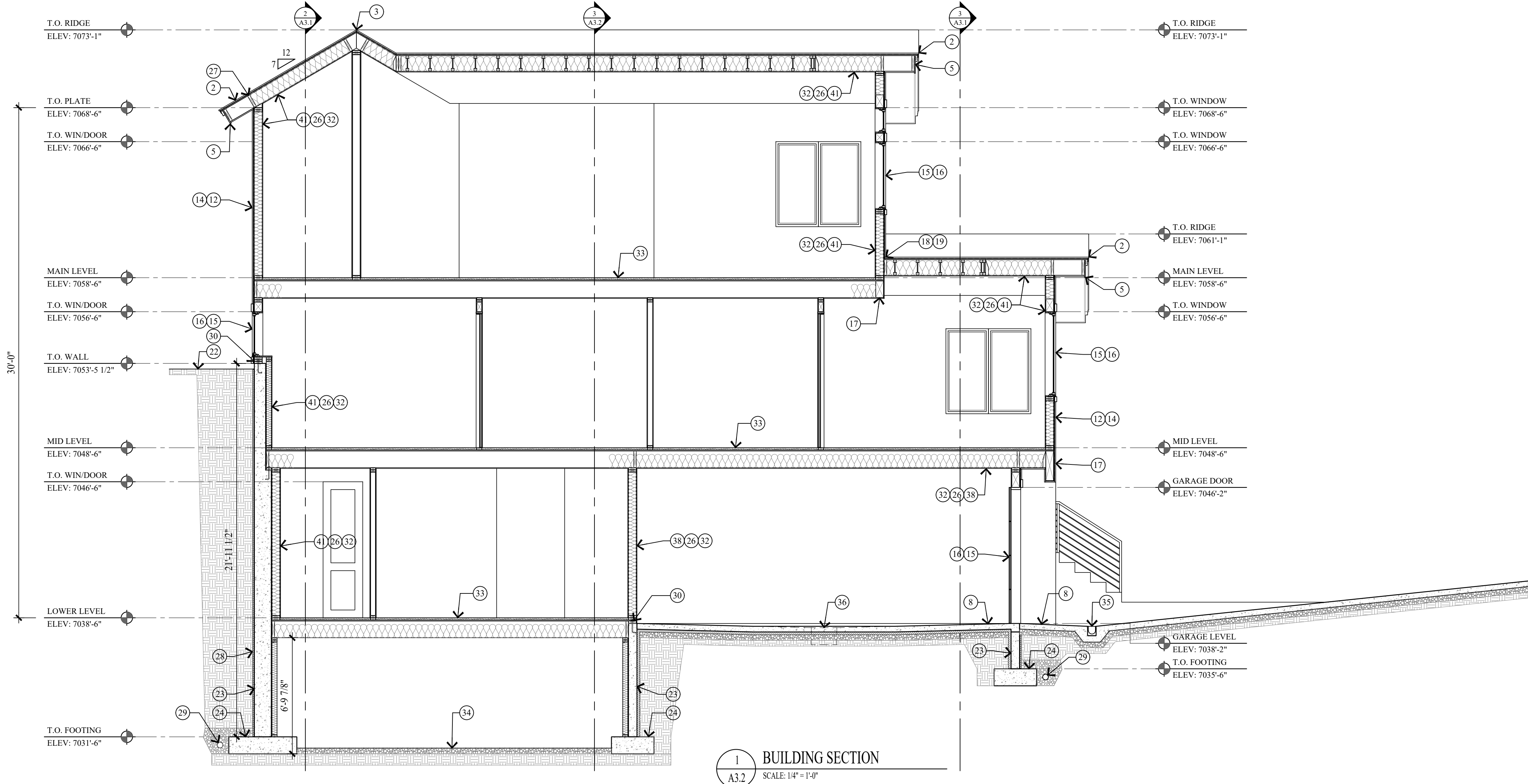
DATE:
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PROJECT NUMBER:
2304-02

SHEET NUMBER:

A3.1

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Jonathan DeGray
A r c h i t e c t

P.O. Box 1674, 614 Main Street, Suite 302, Park City, Utah 84080
Tel. 435-648-7263, E-mail: degrayarch@westoffice.net

SHECKTER RESIDENCE
HISTORIC DISTRICT DESIGN REVIEW

949 EMPIRE AVE, PARK CITY, UTAH 84060

BUILDING SECTIONS

SHEET DESCRIPTION:

REVISIONS:

DATE:
SEPTEMBER 27, 2023

PROJECT NUMBER:
2304-02

SHEET NUMBER:

A3.2

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ROOM FINISH SCHEDULE											
ROOM		FLOOR		WALLS				CEILING		REMARKS	
NO.	NAME	MAT'L	BASE	NORTH	EAST	SOUTH	WEST	HEIGHT	MAT'L		
LOWER LEVEL											
101	GARAGE	CONCRETE	WOOD	GYP	GYP	GYP	GYP	9'-1 3/8"	GYP	5/8" TYPE "X" GYPSUM BOARD	
102	MUD ROOM	TILE	TILE	GYP	GYP	GYP	GYP	8'-9 3/8"	GYP		
103	POWDER	TILE	TILE	GYP	GYP	GYP	GYP	8'-9 3/8"	GYP		
104	STAIRS	WOOD	WOOD	GYP	GYP	GYP	GYP	VARIES	GYP		
105	LAUNDRY	TILE	TILE	GYP	GYP	GYP	GYP	8'-9 3/8"	GYP		
106	BATH	TILE	TILE	GYP	GYP	GYP	GYP	8'-9 3/8"	GYP		
107	BEDROOM	CARPET	WOOD	GYP	GYP	GYP	GYP	8'-9 3/8"	GYP		
108	MEDIA ROOM	CARPET	WOOD	GYP	GYP	GYP	GYP	8'-9 3/8"	GYP		
MID LEVEL											
201	BEDROOM	CARPET	WOOD	GYP	GYP	GYP	GYP	VARIES	GYP		
202	BATH	TILE	TILE	GYP	GYP	GYP	GYP	8'-9 3/8"	GYP		
203	LAUNDRY	TILE	TILE	GYP	GYP	GYP	GYP	8'-9 3/8"	GYP		
204	BATH	TILE	TILE	GYP	GYP	GYP	GYP	8'-9 3/8"	GYP		
205	BEDROOM	CARPET	WOOD	GYP	GYP	GYP	GYP	8'-9 3/8"	GYP		
206	ENTRY	WOOD	WOOD	GYP	GYP	GYP	GYP	8'-9 3/8"	GYP		
207	MST BEDROOM	CARPET	WOOD	GYP	GYP	GYP	GYP	8'-9 3/8"	GYP		
208	MST CLOSET	CARPET	WOOD	GYP	GYP	GYP	GYP	8'-9 3/8"	GYP		
209	MST BATH	TILE	TILE	GYP	GYP	GYP	GYP	8'-9 3/8"	GYP		
MAINLEVEL											
301	STAIR	WOOD	WOOD	GYP	GYP	GYP	GYP	VARIES	GYP		
302	MST CLOSET	CARPET	WOOD	GYP	GYP	GYP	GYP	VARIES	GYP		
303	MST BATH	TILE	TILE	GYP	GYP	GYP	GYP	VARIES	GYP		
304	LANDING	WOOD	WOOD	GYP	GYP	GYP	GYP	VARIES	GYP		
305	MST BEDROOM	CARPET	WOOD	GYP	GYP	GYP	GYP	VARIES	GYP		

WINDOW SCHEDULE									
MARK ⓧ	SIZE		TYPE	FRAME MAT'L	EXTERIOR FINISH	INTERIOR FINISH	GLAZING	REMARKS	
	WIDTH	HEIGHT							
A	2'-6"	5'-0"	CASEMENT	WOOD ALUM. CLAD	MANUFACTURER	STAIN & VARNISH	INSULATED - LOW E		
B	5'-0"	5'-0"	CASEMENT	WOOD ALUM. CLAD	MANUFACTURER	STAIN & VARNISH	INSULATED - LOW E	(2) 2'-6" x 5'-0" CASEMENT MULLED - SEE ELEVATION	
C	5'-0"	2'-8"	CASEMENT	WOOD ALUM. CLAD	MANUFACTURER	STAIN & VARNISH	INSULATED - LOW E	(2) 2'-6" x 2'-8" CASEMENT MULLED - SEE ELEVATION	
D	4'-0"	2'-0"	AWNING	WOOD ALUM. CLAD	MANUFACTURER	STAIN & VARNISH	INSULATED - LOW E	(2) 2'-6" x 2'-8" CASEMENT MULLED - SEE ELEVATION	
E	5'-0"	4'-0"	CASEMENT	WOOD ALUM. CLAD	MANUFACTURER	STAIN & VARNISH	INSULATED - LOW E	(2) 2'-6" x 4'-0" CASEMENT MULLED - SEE ELEVATION	
F	4'-8"	4'-8"	CASEMENT	WOOD ALUM. CLAD	MANUFACTURER	STAIN & VARNISH	INSULATED - LOW E	(2) 2'-4" x 4'-8" CASEMENT MULLED - SEE ELEVATION	
G	2'-0"	2'-0"	AWNING	WOOD ALUM. CLAD	MANUFACTURER	STAIN & VARNISH	INSULATED - LOW E		
H	2'-0"	4'-8"	CASEMENT	WOOD ALUM. CLAD	MANUFACTURER	STAIN & VARNISH	INSULATED - LOW E		
I	6'-0"	2'-0"	PICTURE	WOOD ALUM. CLAD	MANUFACTURER	STAIN & VARNISH	INSULATED - LOW E	(2) 3'-0" x 2'-0" PICTURE MULLED - SEE ELEVATION	
J	5'-0"	1'-6"	PICTURE	WOOD ALUM. CLAD	MANUFACTURER	STAIN & VARNISH	INSULATED - LOW E	(2) 2'-6" x 1'-6" PICTURE MULLED - SEE ELEVATION	

WINDOW NOTES
1. ALL WINDOWS OPENINGS TO BE FIELD VERIFIED BY CONTRACTOR BEFORE INSTALLATION.
2. GLAZING IN HAZARDOUS LOCATION IS REQUIRED TO BE GLAZED WITH SAFETY MATERIAL. IRC SECTION R308.3 AND R308.4.
3. ALL WINDOWS IN BATHROOMS MUST BE TEMPERED GLASS
4. TEMPERED GLASS SHALL BE PROVIDED IN: FRAMELESS GLASS DOORS, GLASS IN DOORS, GLASS WITHIN A 24" ARC OF DOORS, GLAZING LESS THAN 60" ABOVE A WALKING SURFACE THAT IS WITHIN 5 FEET STAIRS, OR GLAZING WITHIN 5 FEET OF SPAS OR POOLS, CERTAIN FIXED PANELS, AND SIMILAR GLAZED OPENINGS SUBJECT TO HUMAN IMPACT. IRC R308
5. EGRESS WINDOWS: FINISH SILL HT. MIN 44" FROM FLOOR MIN. CLEAR OPENING OF 5.7 S/F MIN NET CLEAR OPENING 20" WIDTH AND 24" HT.
6. ALL WINDOWS TO HAVE A MIN. U-VALUE OF .31

DOOR SCHEDULE											
MARK ⑤	TYPE		SIZE		DOOR MAT'L	DOOR FINISH	FRAME MAT'L	FRAME FINISH	HDWR TYPE	REMARKS	
		WIDTH	HEIGHT	THICK.							
LOWER LEVEL											
101	OVERHEAD DOOR	8'-0"	8'-0"	1 3/4"	STEEL GLASS	MANUFACTURE	STEEL	MANUFACTURE	GARAGE	AUTO DOOR OPENER - LOW E - TEMP	
102	STYLE & RAIL	2'-10"	8'-0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	LOCKSET	20 MIN - SELF LATCHING - SMOKE SEAL - THRESHOLD	
103	STYLE & RAIL	2'-4"	8'-0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PRIVACY		
104	STYLE & RAIL	2'-8"	8'-0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PASSAGE		
105	STYLE & RAIL	2'-8"	8'-0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PASSAGE		
106	STYLE & RAIL	2'-8"	8'-0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PRIVACY		
107	STYLE & RAIL	2'-4"	8'-0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PRIVACY	POCKET DOOR	
108	SHOWER	2'-2"	7'-0"	1/2"	GLASS	CLEAR	WOOD	STAIN & VARNISH	SHOWER	SLIDER - TEMP - EURO GLASS ENCLOSURE - 4'-8" OPENING	
MID LEVEL											
201	STYLE & RAIL	2'-2"	8'-0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PRIVACY		
202	SHOWER	2'-2"	7'-0"	1/2"	GLASS	CLEAR			SHOWER	SLIDER - TEMP - EURO GLASS ENCLOSURE - 4'-8" OPENING	
203	STYLE & RAIL	2'-8"	8'-0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PRIVACY		
204	STYLE & RAIL	2'-8"	8'-0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PASSAGE		
205	SHOWER	2'-2"	7'-0"	1/2"	GLASS	CLEAR			SHOWER	SLIDER - TEMP - EURO GLASS ENCLOSURE - 4'-8" OPENING	
206	STYLE & RAIL	2'-2"	8'-0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PRIVACY		
207	STYLE & RAIL	2'-8"	8'-0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PRIVACY		
208	ENTRY	3'-0"	8'-0"	1 3/4"	WOOD GLASS	STAIN & VARNISH	WOOD	STAIN & VARNISH	LOCKSET	INSUL - LOW E - TEMP - WEATHER STRIP - THRESHOLD	
209	STYLE & RAIL	2'-4"	8'-0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PASSAGE		
210	STYLE & RAIL	2'-8"	8'-0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PRIVACY		
211	STYLE & RAIL	2'-4"	8'-0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PASSAGE		
212	STYLE & RAIL	2'-4"	8'-0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PRIVACY		
213	SHOWER	2'-4"	7'-0"	1/2"	GLASS	CLEAR			SHOWER	SLIDER - TEMP - EURO GLASS ENCLOSURE - 6'-8" OPENING	
214	STYLE & RAIL	2'-4"	8'-0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PRIVACY		
215	PATIO	9'-0"	8'-0"	1 3/4"	WOOD-ALUM	STAIN - MANFR	WOOD-ALUM	STAIN - MANFR	LOCKSET	(3) 3'-0" DOORS - INSUL - LOW E - TEMP - WEATHER STRIP - THRESH.	

DOOR NOTES	
1. ALL DOOR OPENINGS TO BE FIELD VERIFIED BY CONTRACTOR BEFORE INSTALLATION.	
2. ALL DOORS TO BE 1 3/4" SOLID CORE UNLESS NOTED OTHERWISE.	
3. ALL SHOWER DOORS AND GLASS SHOWER ENCLOSURES SHALL BE TEMPERED GLASS. IRC SECTION R308.3 AND R308.4	
4. FRENCH/PATIO/TERRACE/NANNA DOORS TO BE SUPPLIED BY WINDOW MANUFACTURE TO HAVE A U-VALUE OF .31 MINIMUM.	
5. AUTOMATIC GARAGE DOOR OPENERS SHALL BE TESTED IN ACCORDANCE WITH UL325. - IRC 309.4.	

Jonathan DeGray
Architect

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PRODUCT DESCRIPTION:

SCHECKTER RESIDENCE
HISTORIC DISTRICT DESIGN REVIEW

949 EMPIRE AVE, PARK CITY, UTAH 84060

SHEET DESCRIPTION:

DOOR, WINDOW AND ROOM
SCHEDULES

REVISIONS:

DATE:

SEPTEMBER 27, 2023

PROJECT NUMBER:

2304-02

SHEET NUMBER:

A6.1

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Planning Department

March 30, 2022

Terence Scheckter
3172 Nasa Street
Brea, CA 92821
(714) 891-0700

NOTICE OF PLANNING DIRECTOR DETERMINATION

RE: Determination of Setbacks for an Unusual Lot Configuration at 949 Empire Avenue, Park City, UT

Dear Terence,

The proposed Plat amendment for 949 Empire Avenue will create a Lot with more than four (4) sides and is considered a Lot with an unusual configuration. Land Management Code §15-4-17 states, "Lots with more than four (4) sides shall have a Side Yard on either side of the Front Yard. The third Side Yard and Rear Yard may be specified by the Planning Director".

The Land Management Code § 15-2.2-3(B) requires a 25-foot minimum Lot width, measured 15 feet back from the Front Lot Line. The Planning Director determines that the Lot width will be measured 24 feet back from the 20-foot-wide property Line at the Empire Avenue Right-of-Way. Most of the Lot is 50 feet wide by 51 feet deep.

The Planning Director determines this Lot has the following Setback configuration:

- Two (2) three-foot (3') Side Setbacks;
- Two (2) five-foot (5') Side Setbacks;
- Two (2) ten foot (10') Front Setbacks; and,
- One (1) ten foot (10') Rear Setback.

The image on the next page identifies these determined Setbacks.

