



**PLANNING DEPARTMENT ADMINISTRATIVE PUBLIC HEARING  
SUMMIT COUNTY, UTAH  
June 12, 2025**

The Planning Department of Park City, Utah, will hold a Public Hearing in person at the Marsac Municipal Building, Planning Department Conference Room, at 445 Marsac Avenue, Park City, Utah 84060. Meetings will also be available online and may have options to listen, watch, or participate virtually.

**1. REGULAR AGENDA - 12:00PM**

- 1.A. **2979 Arabian Drive – Administrative Permit** – The Applicant Proposes to Construct a 674-square-foot Accessory Apartment with One Bedroom in the Single-Family Zoning District. PL-25-06542.  
(A) Public Hearing; (B) Action

Pursuant to the Americans with Disabilities Act, individuals needing special accommodations during the meeting should notify the Planning Department at 435-615-5060 or [planning@parkcity.org](mailto:planning@parkcity.org) at least 24 hours prior to the meeting.

**\*Parking is available at no charge for meeting attendees who park in the China Bridge parking structure.**

# Planning Department Staff Report



**Subject:** 2979 Arabian Drive  
**Application:** PL-25-06542  
**Author:** Elissa Martin  
**Date:** June 12, 2025  
**Type of Item:** Accessory Apartment – Administrative Permit

## Recommendation

(I) Review the Administrative Permit for an Accessory Apartment located within the Single-Family Dwelling, (II) conduct a public hearing, and (III) consider approving the Administrative Permit based on the Findings of Fact, Conclusions of Law, and Conditions of Approval outlined in the draft Final Action Letter (Exhibit A).

## Description

**Applicant:** Heather and Craig Mogel  
**Location:** 2979 Arabian Drive  
**Zoning District:** Single Family (SF)  
**Adjacent Land Uses:** Single Family Residential  
**Reason for Review:** Land Management Code [Section 15-4-7\(B\)](#) requires an Administrative Permit for an Accessory Apartment with Planning Department review and Final Action.

LMC Land Management Code  
SFD Single-Family Dwelling

*Terms that are capitalized as proper nouns throughout this staff report are defined in LMC [§ 15-15-1](#).*

## Background

2979 Arabian Drive is Lot 15 of the Park Meadows Subdivision No. 3, recorded with Summit County in 1977 (Entry No. 136317). According to the Summit County Assessor webpage, the Single-Family Dwelling (SFD) at 2979 Arabian Drive was constructed in 1989. The existing SFD is being demolished to the foundation and reconstructed with a larger footprint and an Accessory Apartment on the upper level of the SFD above the garage. The reconstruction is being reviewed under Building Permit PLAN25-0598.

The Applicant proposes constructing a 759-square-foot internal Accessory Apartment with one bedroom, a kitchen, and bathroom. LMC [Section 15-15-1](#) defines an Accessory Apartment as a self-contained apartment with cooking, sleeping, and sanitary facilities, created by adding onto or within a detached SFD or detached garage. Accessory Apartments do not increase the residential Unit Equivalent of the property

and are an Accessory Use to the primary dwelling.



Figure 1: Vicinity map of 2979 Arabian Drive



Figure 2: New SFD being constructed at 2979 Arabian Drive with internal Accessory Apartment on upper level (staff shaded in orange)

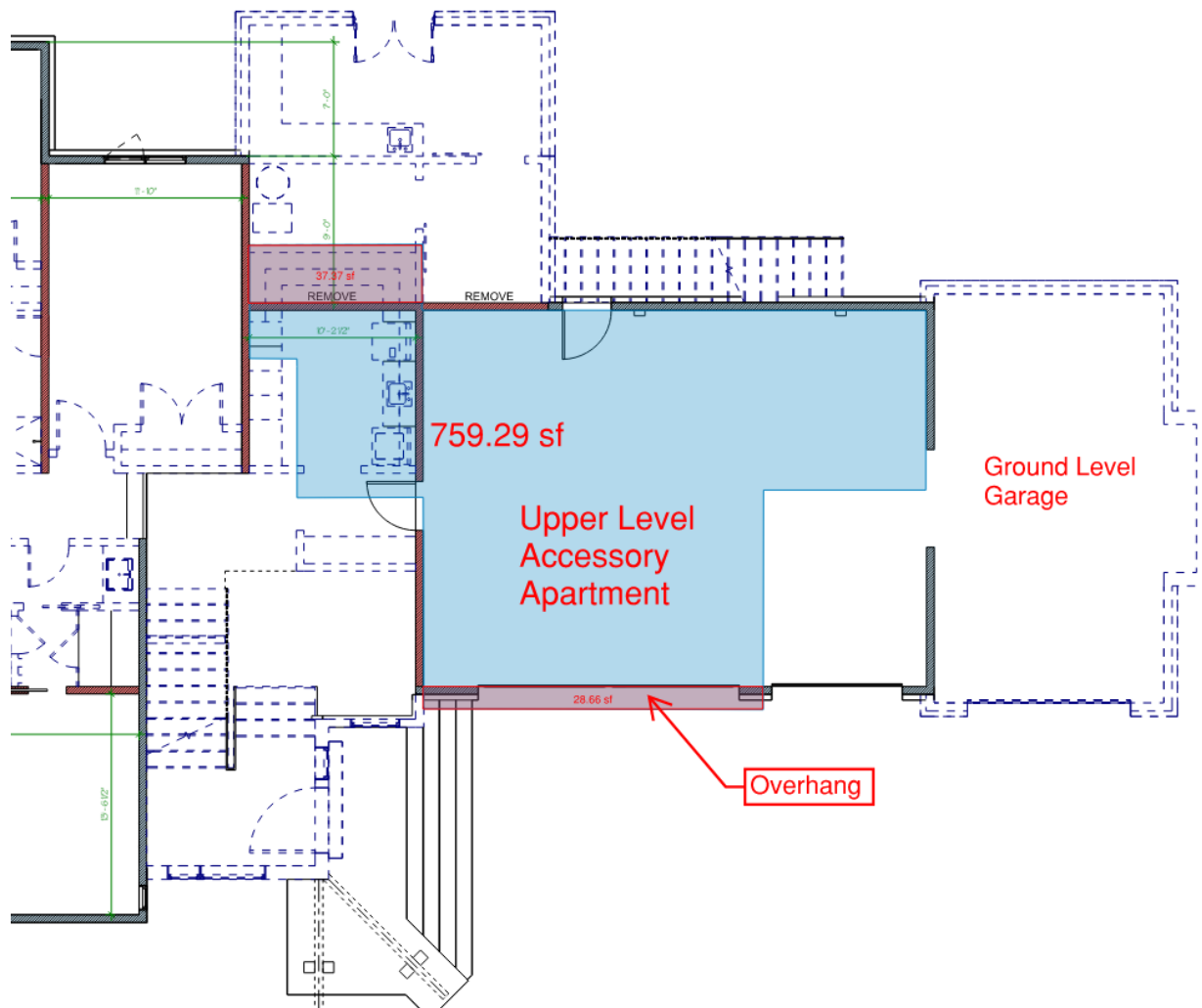


Figure 3: Staff's mark up to the Demo Plan submitted by the Applicant shows the proposed Accessory Apartment overlaid with the existing footprint of the SFD and the proposed remodel/expansion indicated with the dashed lines. The purple shaded rectangles represent the areas of the Accessory Apartment that exceed the existing footprint.

## Analysis

**(I) The proposal to construct an Accessory Apartment, as conditioned, complies with the Single-Family Zoning District requirements.**

LMC [§ 15-2.11-2\(A\)\(4\)](#) *Single-Family Zoning District Uses* establishes Accessory Apartments as an allowed use, subject to Administrative Permit approval and compliance with LMC [§ 15-4-7](#) *Accessory Apartments*.

LMC [§ 15-2.11-3](#) *Single-Family Zoning District Lot and Site Requirements* establishes the following:

| Requirement | Analysis of Proposal |
|-------------|----------------------|
|-------------|----------------------|

|                                                                                                                                                                                                                                                                               |                                                                                                                                                                                                                                                                                           |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| The original SFD was constructed in 1989 with Building Permit BD-89057, which includes a Site Plan indicating the Front, Rear and Side Setbacks of the irregular Lot. The new SFD Site Plan is consistent with the Setbacks approved in the 1989 Building Permit (Exhibit C). |                                                                                                                                                                                                                                                                                           |
| Front Setback - 20 feet                                                                                                                                                                                                                                                       | COMPLIES: The new footprint of the SFD complies with the minimum 20-foot Front Setback; the home is approximately 52 feet from the Front Property Line.                                                                                                                                   |
| Rear Setback – 15 feet                                                                                                                                                                                                                                                        | COMPLIES: While the proposed internal Accessory Apartment complies with the Rear Setback (see figure 4 below), the new footprint of the SFD encroaches into the Rear Setback approximately three feet and will need to be modified in the Building Permit for Planning Department review. |
| Side Setbacks – 12 feet                                                                                                                                                                                                                                                       | COMPLIES: The Accessory Apartment is set back over 20 feet from each side property line. The new SFD is sited outside the Side Setbacks.                                                                                                                                                  |

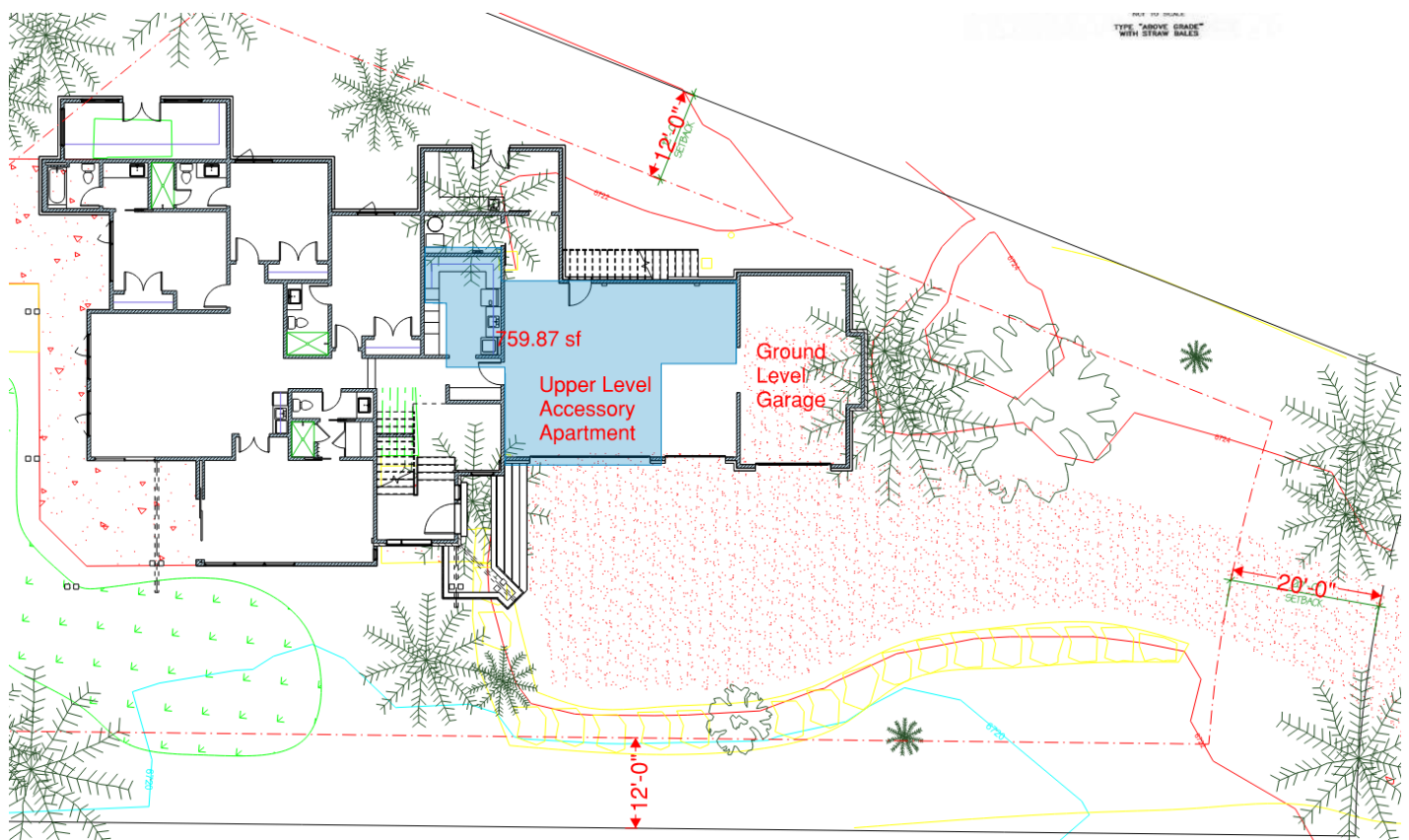


Figure 4: Site Plan showing the new footprint of the SFD with the upper-level Accessory Apartment overlaid in blue

LMC [Section 15-2.11-4](#) Single-Family Zoning District Building Height establishes the

following:

| Requirement                                       | Analysis of Proposal                                                                                                               |
|---------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------|
| The SF Zone Height is 28 feet from Existing Grade | COMPLIES: The overall height of the new SFD is 24 feet 8 inches, this includes the roof ridge of the internal Accessory Apartment. |

LMC [Section 15-2.11-5](#) *Single-Family Zoning District Architectural Review* requires projects to comply with LMC Chapter 15-5 *Architectural Review*:

| Requirement                                                                                                                                                                       | Analysis of Proposal                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| LMC <a href="#">Section 15-5-5(J)</a> Outdoor Lighting. The Dark Sky Code requires outdoor lighting to be Fully Shielded, down directed, with bulbs 3,000 degrees Kelvin or less. | CONDITIONED: Condition of Approval 1 requires outdoor lighting for the property to be brought into compliance with the Dark Sky Code. For more information, please visit the <a href="#">City's Dark Sky webpage</a> .                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |
| LMC § 15-5 Architectural Review                                                                                                                                                   | <p>COMPLIES: The internal Accessory Apartment complies with the Architectural Design Guidelines by not incorporating any of the prohibited architectural styles listed in LMC <a href="#">§ 15-5-5(A)</a>. The new SFD is a modern architectural style.</p> <p>The new SFD is exempt from LMC <a href="#">§ 15-5-5(B)</a> Prohibit Siding Materials, per Utah Code <a href="#">Section 10-9a-534(2)</a>.</p> <p>The new SFD and internal Accessory Apartment complies with LMC <a href="#">§ 15-5-8</a> Façade Length and Variations by breaking up the Building Façade with 10-foot changes in façade alignment and building height variations, so that no greater than 75% of the length of the Façade appears unbroken.</p> |

**(II) The Accessory Apartment, as conditioned, complies with the requirements of Land Management Code § 15-4-7, Accessory Apartments.**

LMC [§ 15-4-7](#) establishes the following requirements for Accessory Apartments:

|  |  |
|--|--|
|  |  |
|--|--|

| Requirement                                                                                                                                                                                                                                                                                                                                                                                                          | Analysis of Proposal                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Accessory Apartments shall be no more than 1/3 of the Single-Family Dwelling and are limited to a maximum floor area of 1,000 square feet.                                                                                                                                                                                                                                                                           | COMPLIES: The new SFD floor area is 5,960 square feet in total. The proposed floor area of the Accessory Apartment is 759 square feet, which is under 1/3 of the total floor area of the SFD.                                                                                                                                                                                                                                                                                                                                                                                                          |
| Accessory Apartments shall have no more than two bedrooms.                                                                                                                                                                                                                                                                                                                                                           | COMPLIES: The Accessory Apartment has one bedroom.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |
| <p>Parking – one space per bedroom must be provided in addition to the existing requirement for the primary residence. LMC <a href="#">§ 15-3-6(A)</a> requires two parking spaces for a Single-Family Dwelling.</p> <p>LMC <a href="#">§ 15-3-4</a> <i>Specific Parking Area And Driveway Standards For Single Family Residences And Duplexes, Parking Areas With 5 Or More Spaces, And Parking Structures.</i></p> | <p>COMPLIES: The Accessory Apartment has one bedroom, requiring one additional parking space. The Single-Family Dwelling at 2979 Arabian Drive has a three-car garage, satisfying the three required parking spaces.</p> <p>The new SFD three-car garage complies with the minimum required interior dimensions of 11 feet wide by twenty feet deep for the single-car garage and 20 feet wide by 20 feet deep for the two-car garage. The Applicant's building plans show the single-car garage is 14 feet wide by 24 feet deep and the two-car garage is 30 feet 10 inches wide by 23 feet deep.</p> |
| Deed Restriction                                                                                                                                                                                                                                                                                                                                                                                                     | Condition of Approval 2 requires Deed Restriction outlining the limitations of the Accessory Apartment to be recorded with the Summit County Recorder prior to issuance of a building permit.                                                                                                                                                                                                                                                                                                                                                                                                          |
| Nightly Rentals – Prohibited.                                                                                                                                                                                                                                                                                                                                                                                        | The Deed Restriction shall prohibit Nightly Rentals of the Accessory Apartment. The minimum rental term for the Accessory Apartment is 90 days (Condition of Approval 3).                                                                                                                                                                                                                                                                                                                                                                                                                              |
| Homeowner Association Notification – LMC <a href="#">§ 15-4-7(A)(7)</a> requires notification of the proposed Accessory Apartment to homeowner associations registered with the Park City Building Department.                                                                                                                                                                                                       | 2979 Arabian Drive is not part of a homeowner association.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |

**(III) The Development Review Committee reviewed the proposal on June 3, 2025, and did not require Conditions of Approval.<sup>1</sup>**

The Development Review Committee reviewed the proposal and confirmed the proposal complies with their required standards.

**Department Review**

The Planning and Executive Departments reviewed this report.

**Notice**

Staff published notice on the City's website and the Utah Public Notice website on May 30, 2025. Staff posted notice to the property and mailed courtesy notice to adjacent property owners on June 2, 2025.<sup>2</sup>

**Public Input**

Staff did not receive any public input at the time this report was published.

**Alternatives**

The Planning Director may:

- Approve the Administrative Permit for an Accessory Apartment.
- Deny the Administrative Permit for an Accessory Apartment and direct staff to make Findings for the denial.
- Request additional information and continue the discussion to a date certain.

**Exhibits**

A: Draft Final Action Letter

B: 2979 Arabian Drive Proposed Plans

C: 1989 Building Permit Site Plan with approved Setbacks

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<sup>1</sup> The Development Review Committee meets the first and third Tuesday of each month to review and provide comments on Planning Applications, including review by the Building Department, Engineering Department, Sustainability Department, Transportation Planning Department, Code Enforcement, the City Attorney's Office, Local Utilities including Rocky Mountain Power and Enbridge Gas, the Park City Fire District, Public Works, Public Utilities, and the Snyderville Basin Water Reclamation District (SBWRD).

<sup>2</sup> LMC [§ 15-1-21](#)



## Planning Department

JUNE 12, 2025

HEATHER & CRAIG MOGEL

CC: Sean Dempsey

### NOTICE OF PLANNING DIRECTOR ACTION

#### Description

Address: 2979 Arabian Drive

Zoning District: Single Family (SF)

Application: Accessory Apartment – Administrative Permit

Project Number: PL-25-06542

Action: APPROVED WITH CONDITIONS (See Below)

Date of Final Action: June 12, 2025

Project Summary: The Applicant Proposes to Construct a 759-square-foot Internal Accessory Apartment with a kitchen, bathroom and one bedroom.

#### Action Taken

On June 12, 2025, the Planning Director conducted a public hearing and approved the Administrative Permit for an internal Accessory Apartment according to the following findings of fact, conclusions of law, and conditions of approval.

#### Findings of Fact

1. 2979 Arabian Drive is Lot 15 of the Park Meadows Subdivision No. 3, recorded with Summit County in 1977 (Entry No. 136317)
2. According to the Summit County Assessor webpage, the Single-Family Dwelling (SFD) at 2979 Arabian Drive was constructed in 1989.
3. The existing SFD is being demolished to the foundation and reconstructed with a larger footprint and an Accessory Apartment on the upper level of the SFD above the garage; the new construction is being reviewed under Building Permit PLAN25-0598.



## Planning Department

4. The Applicant submitted an Accessory Apartment application to the Planning Department on May 16, 2025 to construct a 759-square-foot internal Accessory Apartment with one bedroom, a kitchen and bathroom.
5. LMC Section 15-15-1 defines an Accessory Apartment as a self-contained apartment with cooking, sleeping, and sanitary facilities, created by adding onto or within a detached SFD or detached garage.
6. Accessory Apartments do not increase the residential Unit Equivalent of the property and are an Accessory Use to the primary dwelling.
7. The 1989 Building Permit (BD-89057) for the original SFD, includes a Site Plan indicating the Front, Rear and Side Setbacks of the irregular Lot. The new SFD Site Plan is consistent with the Setbacks approved in the 1989 Building Permit.
8. The proposed Accessory Apartment complies with LMC § 15-2.11-3 Single-Family Zoning District Lot and Site Requirements according to the following findings:

| Requirement             | Analysis of Proposal                                                                                                                                                                                                                                                                      |
|-------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Front Setback - 20 feet | COMPLIES: The new footprint of the SFD complies with the minimum 20-foot Front Setback; the home is approximately 52 feet from the Front Property Line.                                                                                                                                   |
| Rear Setback – 15 feet  | COMPLIES: While the proposed internal Accessory Apartment complies with the Rear Setback (see figure 4 below), the new footprint of the SFD encroaches into the Rear Setback approximately three feet and will need to be modified in the Building Permit for Planning Department review. |
| Side Setback – 12 feet  | COMPLIES: The Accessory Apartment is set back over 20 feet from each side property line. The new SFD is sited outside the Side Setbacks.                                                                                                                                                  |

9. The proposed Accessory Apartment complies with LMC [Section 15-2.11-4 Single-Family Zoning District Building Height](#) requirement of a maximum of 28 feet, because the overall height of the new SFD is 24 feet 8 inches; this includes the roof ridge of the internal Accessory Apartment.



**Planning Department**

10. The proposed Accessory Apartment complies with LMC Chapter 15-5  
*Architectural Review* as conditioned:

| Requirement                                                                                                                                                                       | Analysis of Proposal                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| LMC <a href="#">Section 15-5-5(J)</a> Outdoor Lighting. The Dark Sky Code requires outdoor lighting to be Fully Shielded, down directed, with bulbs 3,000 degrees Kelvin or less. | CONDITIONED: Condition of Approval 1 requires outdoor lighting for the property to be brought into compliance with the Dark Sky Code. For more information, please visit the <a href="#">City's Dark Sky webpage</a> .                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |
| LMC § 15-5 Architectural Review                                                                                                                                                   | <p>COMPLIES: the internal Accessory Apartment complies with the Architectural Design Guidelines by not incorporating any of the prohibited architectural styles listed in LMC <a href="#">§ 15-5-5(A)</a>. The new SFD is a modern architectural style.</p> <p>The new SFD is exempt from LMC <a href="#">§ 15-5-5(B)</a> Prohibit Siding Materials, per Utah Code <a href="#">Section 10-9a-534(2)</a>.</p> <p>The new SFD and internal Accessory Apartment complies with LMC <a href="#">§ 15-5-8</a> Façade Length and Variations by breaking up the Building Façade with 10-foot changes in façade alignment and building height variations, so that no greater than 75% of the length of the Façade appears unbroken.</p> |

11. The Accessory Apartment, as conditioned, complies with the requirements of Land Management Code § 15-4-7, Accessory Apartments, according to the following findings:



## Planning Department

| Requirement                                                                                                                                                                                                                                                                                                                                                                                                          | Analysis of Proposal                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Accessory Apartments shall be no more than 1/3 of the Single-Family Dwelling and are limited to a maximum floor area of 1,000 square feet.                                                                                                                                                                                                                                                                           | COMPLIES: The new SFD floor area is 5,960 square feet in total. The proposed floor area of the Accessory Apartment is 759 square feet, which is under 1/3 of the total floor area of the SFD.                                                                                                                                                                                                                                                                                                                                                                                                           |
| Accessory Apartments shall have no more than two bedrooms.                                                                                                                                                                                                                                                                                                                                                           | COMPLIES: The Accessory Apartment has one bedroom.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |
| <p>Parking – one space per bedroom must be provided in addition to the existing requirement for the primary residence. LMC <a href="#">§ 15-3-6(A)</a> requires two parking spaces for a Single-Family Dwelling.</p> <p>LMC <a href="#">§ 15-3-4</a> <i>Specific Parking Area And Driveway Standards For Single Family Residences And Duplexes, Parking Areas With 5 Or More Spaces, And Parking Structures.</i></p> | <p>COMPLIES: The Accessory Apartment has one bedroom, requiring one additional parking space. The Single-Family Dwelling at 2979 Arabian Drive has a three-car garage, satisfying the three required parking spaces.</p> <p>The new SFD three-car garage complies with the minimum required interior dimensions of 11 feet wide by twenty feet deep for the single-car garage and 20 feet wide by 20 feet deep for the two-car garage. The Applicant's building plans show the single-car garage is 14 feet wide by 24 feet deep and the two-car garage is 30 feet, 10 inches wide by 23 feet deep.</p> |
| Deed Restriction                                                                                                                                                                                                                                                                                                                                                                                                     | Condition of Approval 2 requires Deed Restriction outlining the limitations of the Accessory Apartment to be recorded with the Summit County Recorder prior to issuance of a building permit.                                                                                                                                                                                                                                                                                                                                                                                                           |
| Nightly Rentals – Prohibited.                                                                                                                                                                                                                                                                                                                                                                                        | The Deed Restriction shall prohibit Nightly Rentals of the Accessory Apartment. The minimum rental                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |



## Planning Department

|                                                                                                                                                                                                                |                                                                        |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------|
|                                                                                                                                                                                                                | term for the Accessory Apartment is 90 days (Condition of Approval 3). |
| Homeowner Association Notification – LMC <a href="#">§ 15-4-7(A)(7)</a> requires notification of the proposed Accessory Apartment to homeowner associations registered with the Park City Building Department. | 2979 Arabian Drive is not part of a homeowner association.             |

12. The Development Review Committee evaluated the proposed Accessory Apartment on June 3, 2025 and did not require conditions approval.

### Conclusions of Law

1. The Accessory Apartment, as conditioned, complies with LMC Chapter 15-11 *Single-Family Zoning District*.
2. The Accessory Apartment, as conditioned, complies with LMC Section 15-4-7 *Accessory Apartments*.

### Conditions of Approval

1. All outdoor lighting for the property shall be brought into compliance with the dark sky code outlined in LMC Section 15-5-5(J). All outdoor lighting must be fully shielded, down-directed, with bulbs 3,000 degrees Kelvin or less.
2. Prior to building permit issuance, the Applicant shall record with Summit County a Deed Restriction that meets the requirements of LMC § 15-4-7 in a form approved by the City Attorney's Office.
3. Nightly Rental of the Accessory Apartment is prohibited. The Accessory Apartment shall be rented for no term less than 90 days.
4. Any changes to the approved plans require Planning Department review and approval.

If you have questions or concerns regarding this Final Action Letter, please call 435-699-7741 or email [elissa.martin@parkcity.org](mailto:elissa.martin@parkcity.org).

Sincerely,



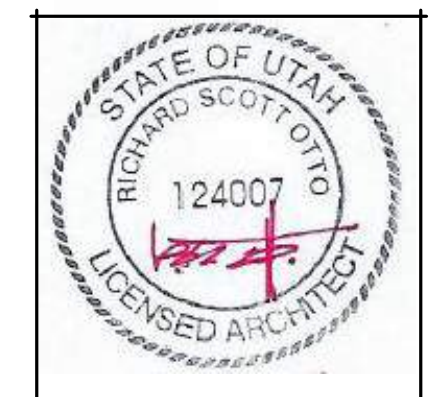
**Planning Department**

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Rebecca Ward, Planning Director

CC: Elissa Martin

# THE PRIVATE RESIDENCE



**OTTO  
WALKER  
architect**  
2200 Park Ave., Suite c201, Park City, Utah 84060 (435) 649-6373

Project:  
Private Residence  
2979 Arabian Drive, Park City, UT  
COVER SHEET

Issue Date:  
4/8/2025 4:24:50 PM  
Revisions:  
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\_\_\_\_\_  
\_\_\_\_\_  
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Sheet No:  
**A0.0**

| Sheet List   |                        |
|--------------|------------------------|
| Sheet Number | Sheet Name             |
| A0.0         | COVER SHEET            |
| A1.0         | SITE PLAN TOPO         |
| A1.1         | SITE PLAN              |
| A1.1a        | SURVEY                 |
| A1.2         | GENERAL NOTES          |
| A1.3         | GENERAL NOTES          |
| A1.4         | DEMO PLAN              |
| A2.0         | AREA PLANS             |
| A2.1         | ROOM AREAS             |
| A2.2         | MAIN LEVEL FLOOR PLAN  |
| A2.3         | UPPER LEVEL FLOOR PLAN |
| A3.0         | ELEVATIONS             |

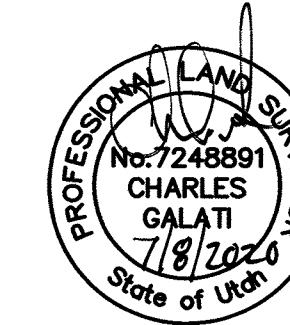
| Sheet List   |                        |
|--------------|------------------------|
| Sheet Number | Sheet Name             |
| A3.1         | ELEVATIONS             |
| A3.2         | 3D VIEWS               |
| A3.3         | 3D VIEWS               |
| A4.0         | CROSS SECTION          |
| A4.1         | DETAILS                |
| A4.2         | DETAILS                |
| A5.1         | MAIN LEVEL ELECTRICAL  |
| A5.2         | UPPER LEVEL ELECTRICAL |
| A6.0         | ROOF PLAN              |
| L101         | LANDSCAPE PLAN         |
| L102         | LANDSCAPE PLAN         |
| L103         | LANDSCAPE PLAN         |
| L104         | LANDSCAPE PLAN         |

| Sheet List   |                                       |
|--------------|---------------------------------------|
| Sheet Number | Sheet Name                            |
| S1.0         | STRUCTURAL DETAILS                    |
| S1.1         | STRUCTUAL NOTES                       |
| S1.2         | STRUCTURAL DETAILS                    |
| S2.0         | FOOTING & FOUNDATION                  |
| S2.1         | FOOTING & FOUNDATION                  |
| S2.2         | MAIN LEVEL FLOOR FRAMING              |
| S2.3         | MAIN ROOF FRAMING-UPPER FLOOR FRAMING |
| S2.4         | HIGH ROOF - UPPER LEVEL LATERAL       |
| S2.5         | MAIN LEVEL LATERAL PLAN               |
| S3.0         | STRUCTURAL DETAILS                    |

| Sheet List   |                    |
|--------------|--------------------|
| Sheet Number | Sheet Name         |
| S3.1         | STRUCTURAL DETAILS |
| S3.2         | STRUCTURAL DETAILS |
| S3.3         | STRUCTURAL DETAILS |
| S4.0         | STRUCTURAL DETAILS |
| S4.1         | STRUCTURAL DETAILS |
| S4.2         | STRUCTURAL DETAILS |
| S4.3         | STRUCTURAL DETAILS |
| S4.4         | STRUCTURAL DETAILS |
| S5.0         | STRUCTURAL DETAILS |
| S5.1         | STRUCTURAL DETAILS |
| S5.2         | STRUCTURAL DETAILS |

# LOT 15 PARK MEADOWS SUBDIVISION NO. 3

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 4,  
TOWNSHIP 2 SOUTH, RANGE 4 EAST,  
SALT LAKE BASE AND MERIDIAN  
RECORD OF SURVEY  
SUMMIT COUNTY, UTAH



## SURVEYOR'S CERTIFICATE

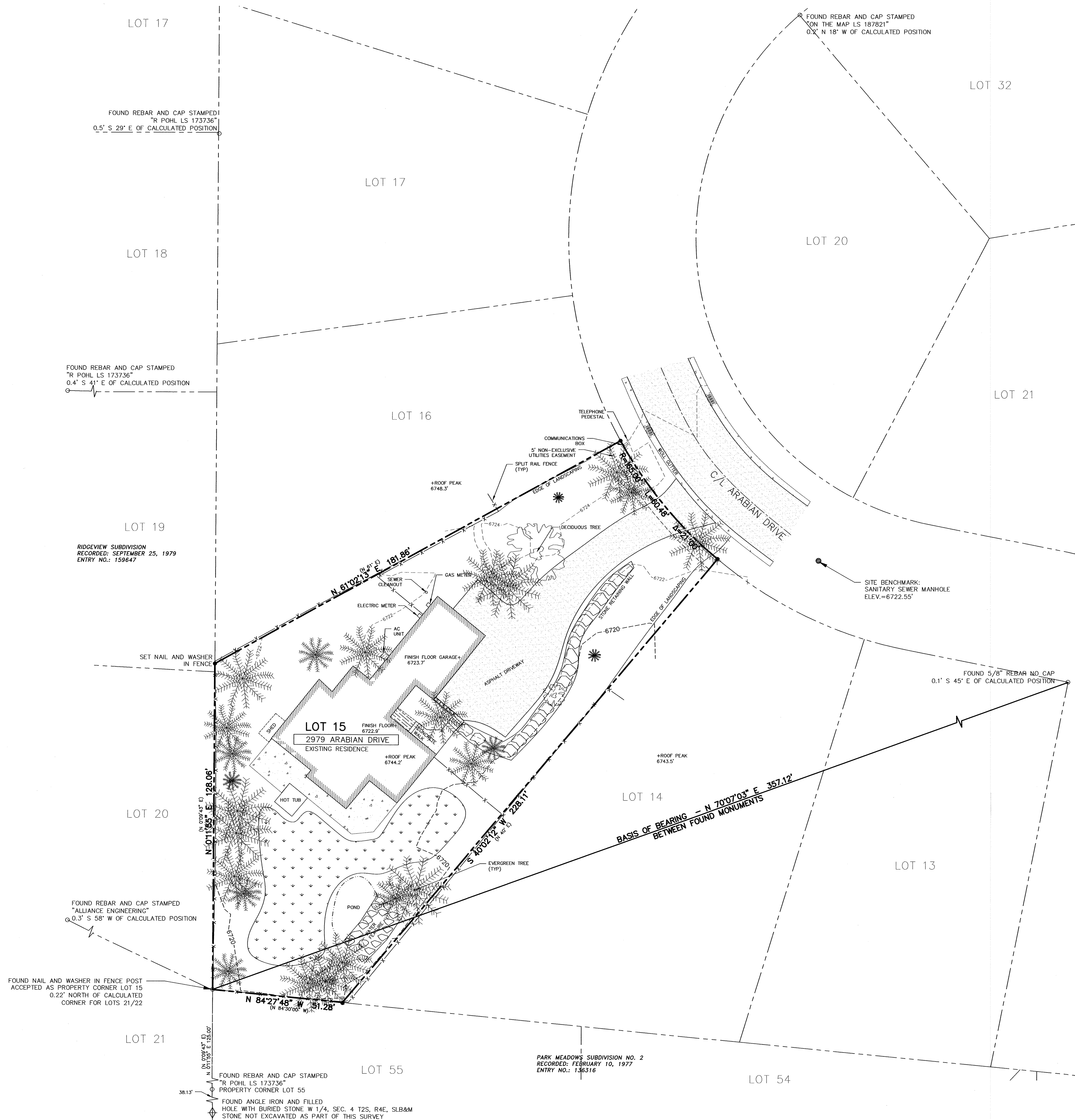
I, Charles Galati, certify that I am a Professional Land Surveyor and that I hold License No. 7248891, as prescribed by the laws of the State of Utah. I further certify that under my direct supervision a survey has been performed on the hereon described property and that to the best of my knowledge this plat is a correct representation of said survey.

## LEGAL DESCRIPTION

LOT 15, PARK MEADOWS SUBDIVISION NO. 3, according to the official plat thereof, on file and of record in the Summit County Recorder's Office.

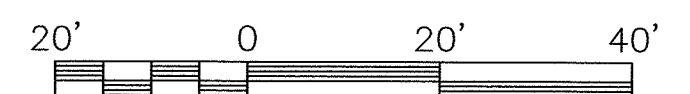
## NARRATIVE/NOTES

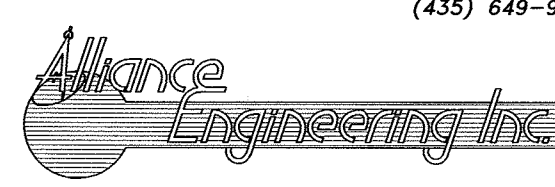
1. Basis of Bearing for this survey is between the found property corner monuments as shown on this plat.
2. Field work for this survey was completed July 7, 2020, and is in compliance with generally accepted industry standards for accuracy.
3. The purpose of this survey was to perform a Boundary, Existing Conditions and Topography survey for the possibility of future improvements to the property.
4. A Title Report was not provided to the surveyor and only easements and setbacks per subdivision plat were located as part of this survey. This owner of the property should be aware of any items affecting the property that may appear in a title insurance report. The surveyor found no obvious evidence of easements, encroachments or encumbrances on the property surveyed except as shown hereon.
5. County tax maps, recorded deeds, Record's of Survey S-0320, S-3148, S-8632, S-9564 and S-4731, Park Meadows Subdivision No. 3 Plat Entry No. 136317, Park Meadows Subdivision No. 2 Plat Entry No. 136316, Ridgeview Subdivision Plat Entry No. 159647 (all aforementioned documents on file and of record in the Summit County Recorder's Office), and physical evidence found in the field were all considered when determining the boundary as shown on this plat.
6. Site Benchmark: Sewer Manhole, Elevation=6722.55' as shown.
7. The architect is responsible for verifying building setbacks, zoning requirements and building heights.
8. Property corners were found or set as shown.
9. Record bearings and distances, when different than measured, are in parenthesis. ( )

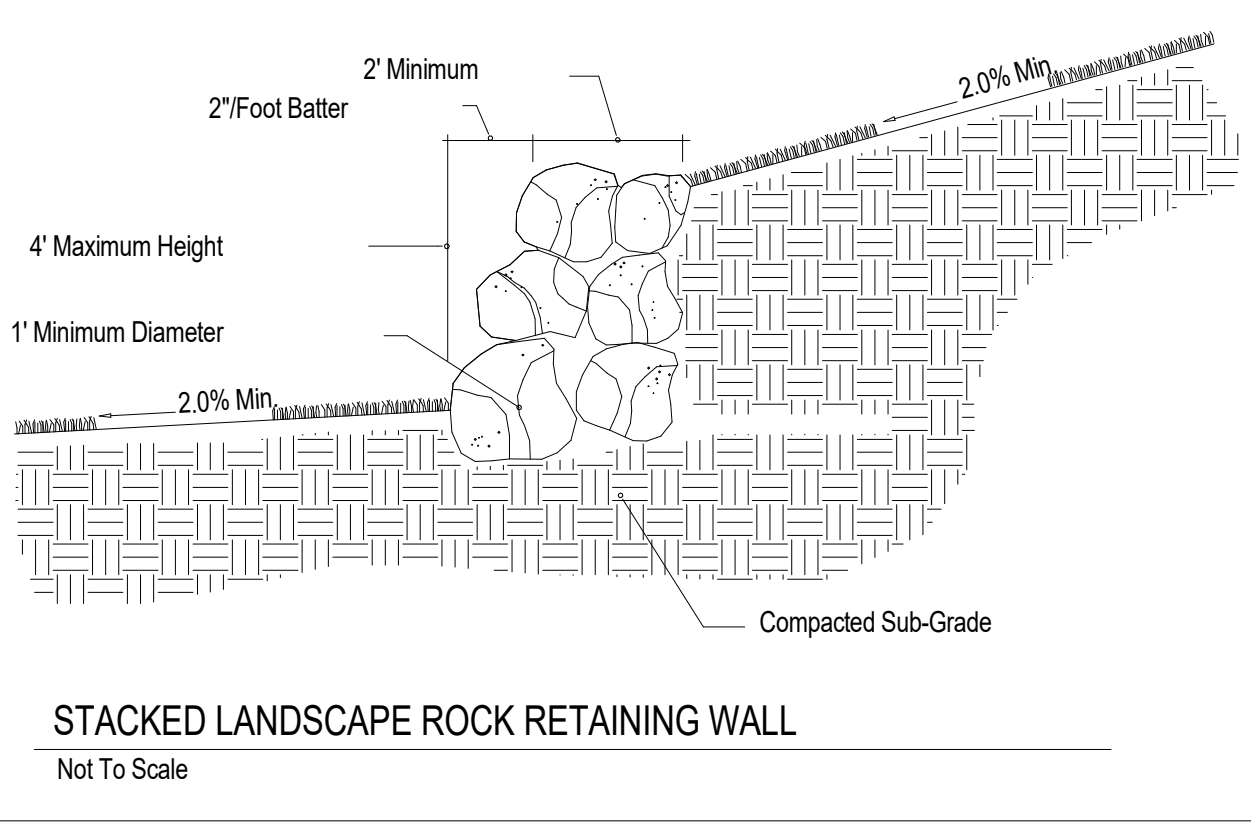


## LEGEND

- Set 5/8" rebar w/cap
- "ALLIANCE ENGINEERING" (Unless noted otherwise)
- Found Monument (As-Noted)
- ◇ Not-Found Section monument (As-Noted)



|                                                                                                                                                                                                                                   |                                                                               |                                                                                                                                                   |  |                              |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------|--|------------------------------|
| <div><br/>(435) 649-9467<br/>CONSULTING ENGINEERS LAND PLANNERS SURVEYORS<br/>323 Main Street P.O. Box 2664 Park City, Utah 84060-2664</div> | <b>STAFF:</b><br>CHARLES GALATI<br>CHIP TOMSUDEN<br>SAM GALATI<br>JASON WYNNE | <b>EXISTING CONDITIONS &amp; TOPOGRAPHIC MAP</b><br>2979 ARABIAN DRIVE, PARK CITY, UTAH                                                           |  | <b>SHEET</b><br>1<br>OF<br>1 |
|                                                                                                                                                                                                                                   |                                                                               |                                                                                                                                                   |  |                              |
|                                                                                                                                                                                                                                   |                                                                               | <b>DATE:</b> 7/8/20                                                                                                                               |  |                              |
|                                                                                                                                                                                                                                   |                                                                               | <b>FOR:</b> HEATHER MOGUL<br><b>JOB NO.:</b> 10-6-20<br><b>FILE:</b> X:\ParkMeadows\dwg\sr\svry2020\100620-mogul's house\100620-mogul's house.dwg |  |                              |



- Construction Mitigation Plan Notes
- Show location for dumpster, portable toilets, materials storage, parking
  - Construction parking/traffic may not block the street without a permit (available from the Engineering Division)
  - Mud tracked out onto the street must be cleaned prior to the end of the work day
  - The construction site must be maintained in a neat manner. Trash and other debris may not accumulate outside the dumpster.
  - Roadside parking is not allowed from November 1<sup>st</sup> to April 1<sup>st</sup>

### BACKFLOW PREVENTERS

|                 |   |
|-----------------|---|
| HOSE BIBBS      | X |
| LAWN SPRINKLERS | X |
| FIRE SPRINKLERS | O |
| BOILERS         | O |
| TOTAL           | X |

### REQUIRED SUBMITTALS

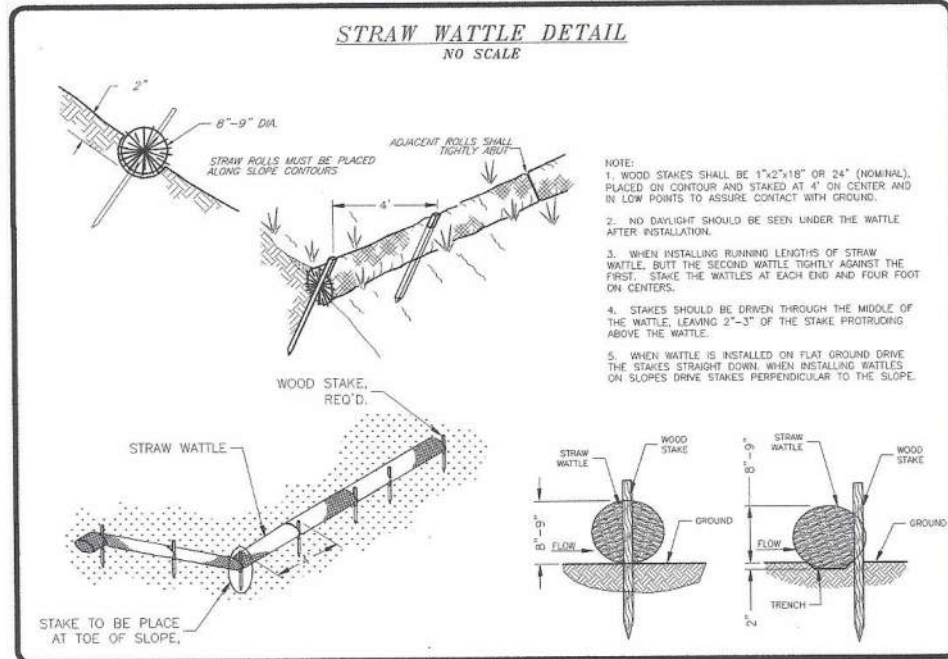
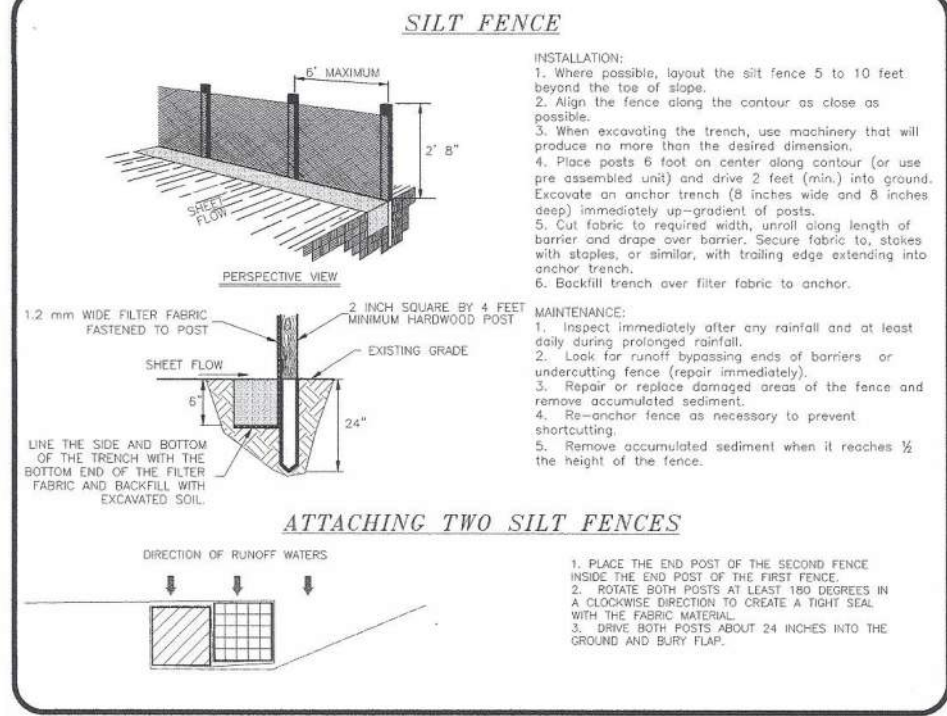
|                                 |           |
|---------------------------------|-----------|
| HEAT LOSS CALC ACCA (MANUAL J)  | ARCHITECT |
| HEAT & COOL EQ. SIZE (MANUAL S) | ARCHITECT |
| DUCT DESIGN ACCA (MANUAL D)     | ARCHITECT |
| ELECTRICAL SERVICE LOADS        | ARCHITECT |

### LIMITS OF DISTURBANCE

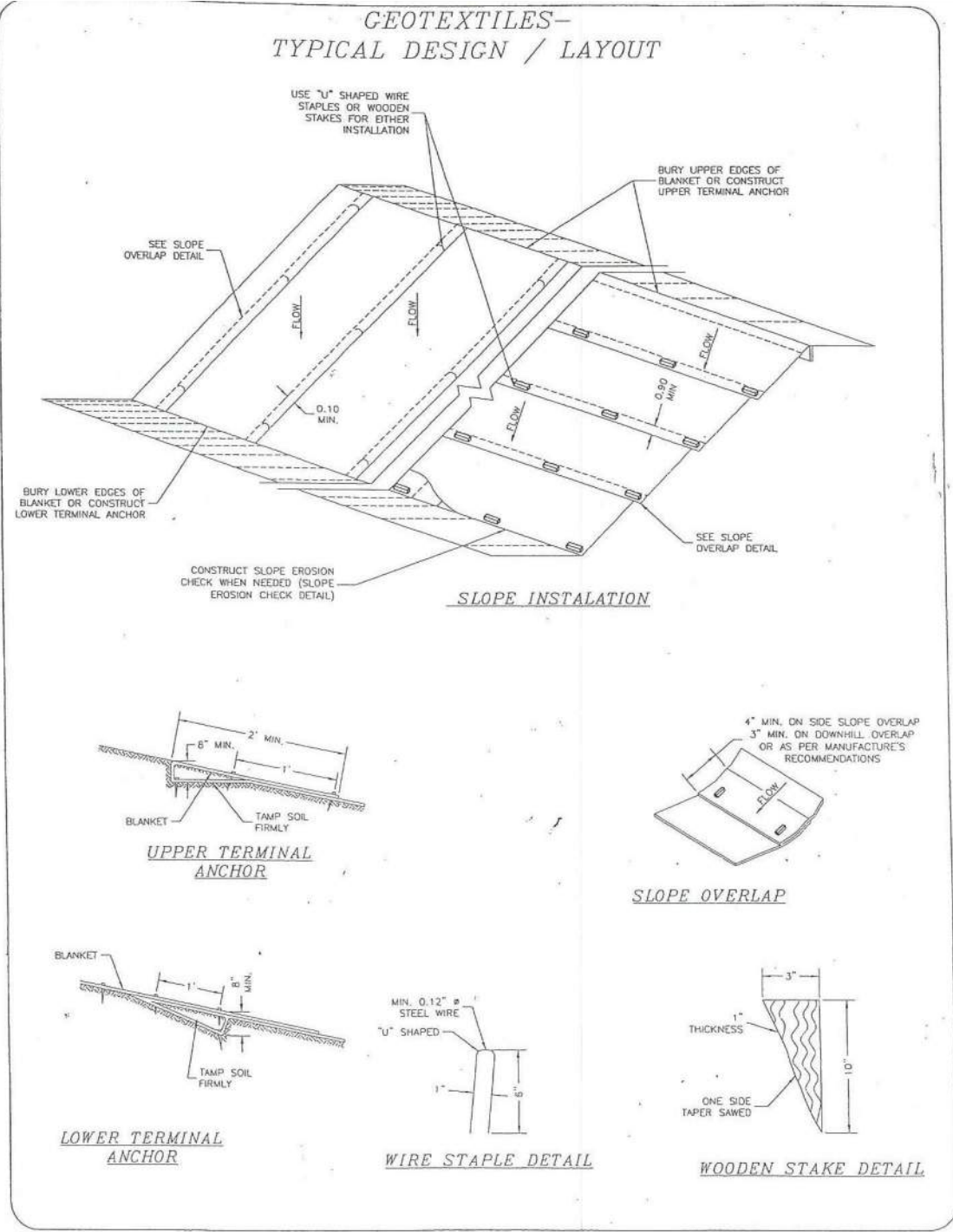
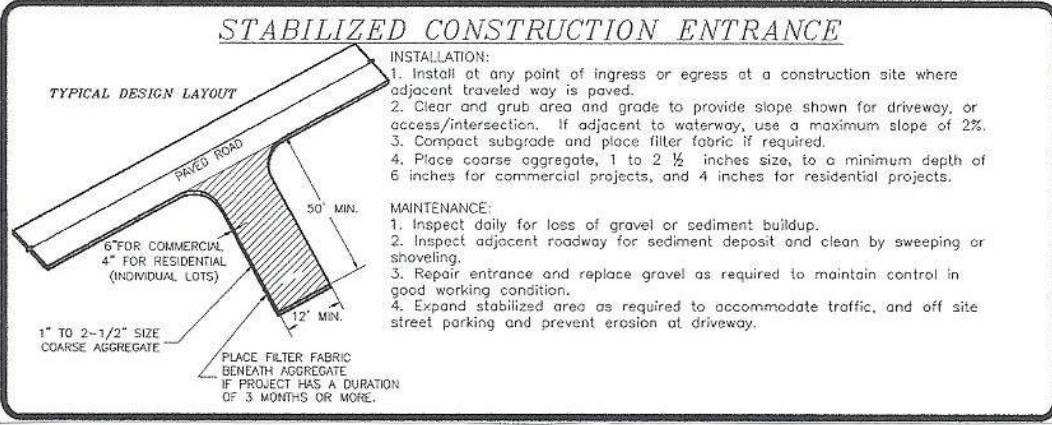
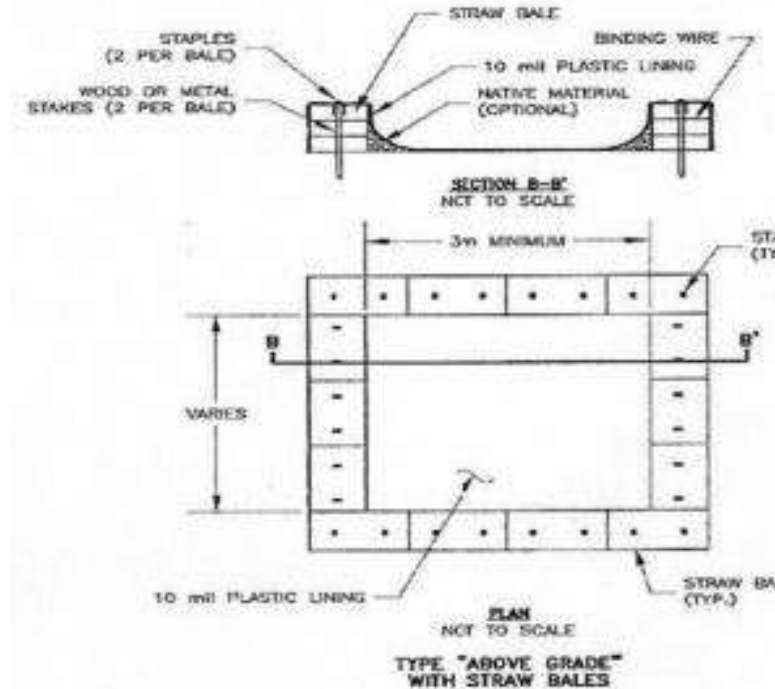
|                     |           |
|---------------------|-----------|
| TOTAL LOD           | XXXX SQFT |
| HOUSE/GARAGE/PATIOS | XXXX SQFT |
| DRIVEWAY            | XXXX SQFT |
| LOD                 | XXXX SQFT |

### DEFERRED SUBMITTALS

|                          |           |
|--------------------------|-----------|
| GAS PIPING SCHEMATIC     | ARCHITECT |
| FIREPLACE APPROVAL       | ARCHITECT |
| TRUSS DRAWINGS           | ENGINEER  |
| RETAINING WALLS          | ARCHITECT |
| CERTIFICATE OF SURVEY    | ARCHITECT |
| CERTIFICATE OF ELEVATION | ARCHITECT |



- A WASHOUT AREA shall be provided for concrete and other waste.
1. Temporary concrete washout area shall be provided by digging a hole with a 12" berm or staked straw bales above grade and then lining with 10 mil plastic. Provide a minimum width of 10 feet.
  2. The washout area shall be a minimum of 50 feet from storm drain inlets.
  3. Plastic lining shall be free of holes, tears or other defects that compromise the impermeability of the material.
  4. The washout area shall be inspected daily to ensure that all the waste washing is being discharged into the washout area, no leaks or tears are present and to identify when wastes need to be removed.
  5. The washout area shall be cleaned out once the area is filled to 75 percent of the holding capacity. Once the area's holding capacity has been reached, the wastes shall be allowed to harden, then broken up and removed. The plastic lining may need replaced if tears occur during the removal of the wastes from the area.



### EROSION CONTROL BLANKET

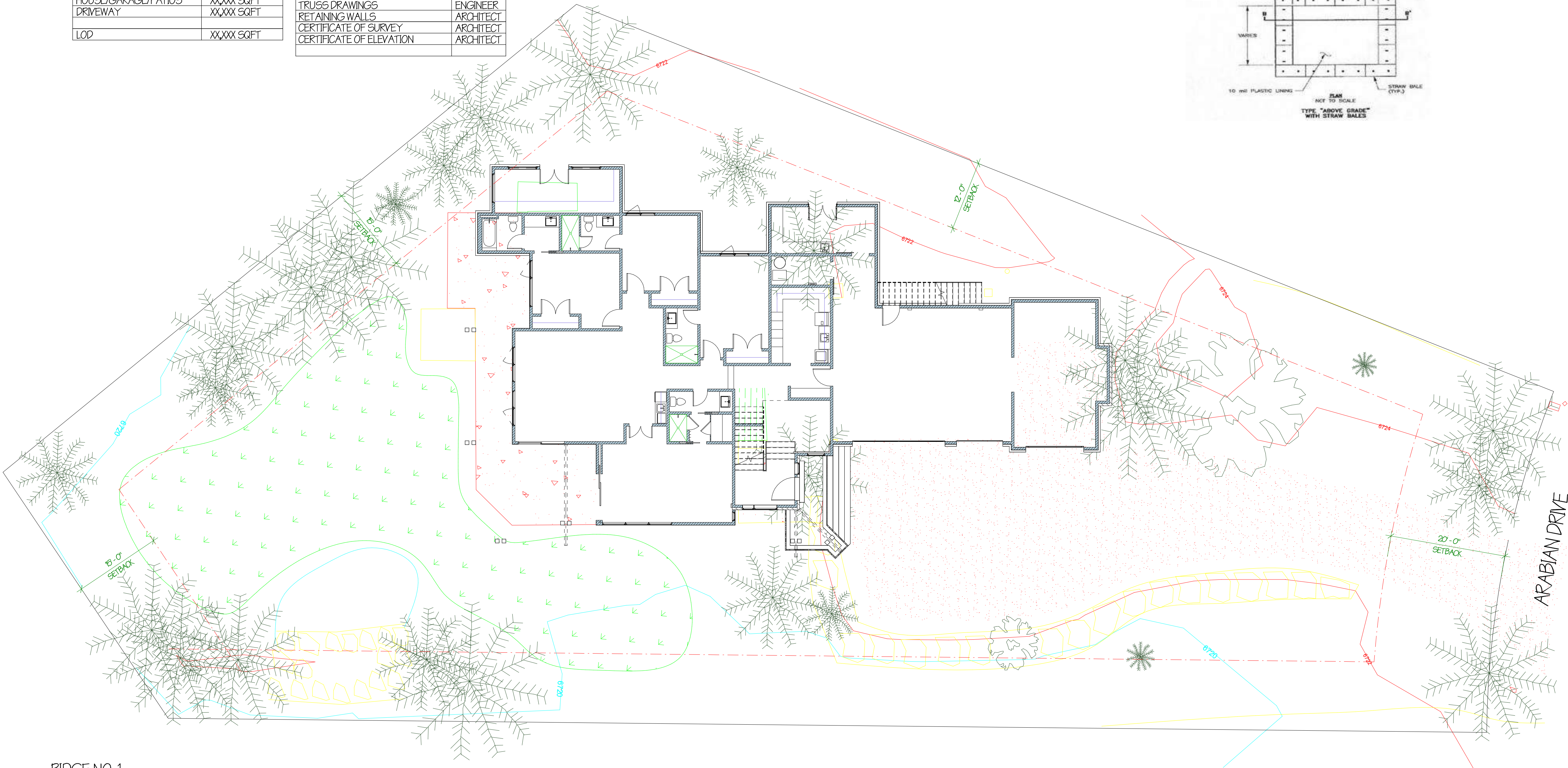
REQUIRED FOR ALL SLOPES STEEPER THAN 3:1

| Inspection                             | Description/Requirements                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | Contact     |
|----------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------|
| Driveway Site Staking                  | Required prior to issuance of a Building Permit. Locate stake the driveway at the street and at the road right of way/property line and locate/stake all property corners with a 4 foot steel fence post.                                                                                                                                                                                                                                                                                                                                                                                                                                                                              | Engineering |
| Rough Grading                          | Required prior to scheduling a Footing Inspection. Site Erosion Control measures must be installed and driveway must be roughly graded according to plan.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              | Engineering |
| Footing                                | Schedule after steel is in place and before the concrete is poured.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    | Building    |
| Foundation                             | Schedule after steel is in place in the forms and before concrete is placed.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           | Building    |
| Under Slab Plumbing & Heating          | Before concrete is poured or plumbing has been backfilled.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             | Building    |
| Certificate of Elevation and/or Survey | Performed by a licensed surveyor. Required prior to scheduling a Floor Framing Inspection. See requirements below.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | Building    |
| Floor Framing Inspection               | Required prior to placing floor sheathing and includes Footing/Drain inspection.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | Building    |
| Shear Wall                             | After the building is up to "the square" and all shear walls have been nailed and all the tie downs and shear wall connections have been installed.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    | Building    |
| Fire Sprinklers                        | Required prior to four-way inspection, when required by the local Fire District.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | Building    |
| Four-Way                               | This inspection is performed after all rough electrical, plumbing, and mechanical has been installed. All framing is complete, shear walls previously inspected, and mass specifications are on the job for the inspector to read. Plumbing shall have either an air or water pressure test on them when the inspector arrives.                                                                                                                                                                                                                                                                                                                                                        | Building    |
| Weather Barrier/Stucco Lath            | Weather barrier shall be inspected prior to applying veneer. Approved stucco I.C.C. research reports on site.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          | Building    |
| Gas Meter Set                          | Required before gas meter clearance is given to Questar.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | Building    |
| Masonry wall/bond beam                 | Steel in masonry and before concrete/grout is poured.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  | Building    |
| Insulation                             | Pre Sheetrock insulation certificate required.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         | Building    |
| Drywall Nailing                        | This is done before drywall is taped.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  | Building    |
| Power to Panel                         | Building must be up with permanent roof installed.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | Building    |
| Driveway pre-surfacing                 | Site Erosion Control measures must be installed and driveway graded to its final configuration.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        | Engineering |
| Final Driveway and Site Inspection     | Required prior to Certificate of Occupancy and/or Bond Release. Driveway must be surfaced and site must be revegetated (inspections may be scheduled separately). If the site is not revegetated, the erosion control measures must be in place and installed correctly.                                                                                                                                                                                                                                                                                                                                                                                                               | Engineering |
| Flood Plain Elevation Certificate      | FEMA Elevation Certificate (if applicable) required prior to Certificate of Occupancy. Form must be filed with FEMA and a copy provided to the Engineering Department.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 | Engineering |
| Final                                  | All work is DONE and building complete. Final clearances from the waste water district for sewer, County Health Department for septic, and fire district for sprinkler systems must be on the project for this inspection. Required for Certificate of Occupancy.                                                                                                                                                                                                                                                                                                                                                                                                                      | Building    |
| Certificate of Occupancy               | Required prior to anyone occupying the structure. A Certificate of Occupancy will be issued once the final clearances have been obtained by the builder and brought to the Building Department's office in Coalville.<br>1) Snyderville Basin Residential: Final from Building Department, Final from Engineering Department, Final letter from Snyderville Basin Water Reclamation District, Final water concurrency letter from appropriate water company, Final from Park City Fire District (in required subdivisions).<br>2) Eastern Summit County: Final from Building Department, Final from Engineering Department, Final from Fire District and Final from Health Department. | Building    |
| BCP Bond Release Inspection            | Required to verify that the site has been fully stabilized (revegetated). Inspection is required prior to applicant receiving a release of their Erosion Control Bond. Applicant must provide a written request for the release of the bond.                                                                                                                                                                                                                                                                                                                                                                                                                                           | Engineering |

RIDGE NO. 1  
RIDGE HEIGHT: 6747'-5"  
EXISTING GRADE: 22'-9"  
BUILDING HEIGHT: 24'-8"

RIDGE NO. 2  
RIDGE HEIGHT: 6747'-1"  
EXISTING GRADE: 22'-9"  
BUILDING HEIGHT: 23'-7"

RIDGE NO. 3  
RIDGE HEIGHT: 6739'-0"  
EXISTING GRADE: 22'-9"  
BUILDING HEIGHT: 15'-6"



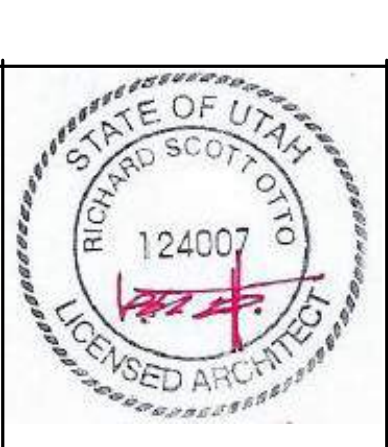
DRAINAGE NOTE:  
SURFACE WATER SHALL DRAIN AWAY FROM THE HOUSE AT ALL POINTS. DIRECT THE DRAINAGE WATER TO THE STREET OR TO AN APPROVED DRAINAGE COURSE BUT NOT ONTO NEIGHBORING PROPERTIES. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET.

NOTE:  
HAVE 3' OF SEPARATION FROM OUTSIDE WALL OF THE WATER VAULT

NOTE: ANY TOWER CRANES REQUIRE CITY APPROVAL PRIOR TO INSTALLATION. SUBMIT SITE PLAN AND AIR SPACE EASEMENT WITH ANY ADJACENT OWNERS IMPACTED.

NOTE:  
LOCATE POWER & GAS METERS BELOW ROOF OVER-HANG FOR PROTECTION FROM SNOW & ICE. MAINTAIN 3' MIN. SEPARATION.

NOTE:  
ALL NEW CONSTRUCTION MUST BE ON NATIVE SOIL OR APPROVED COMPACTED FILL.



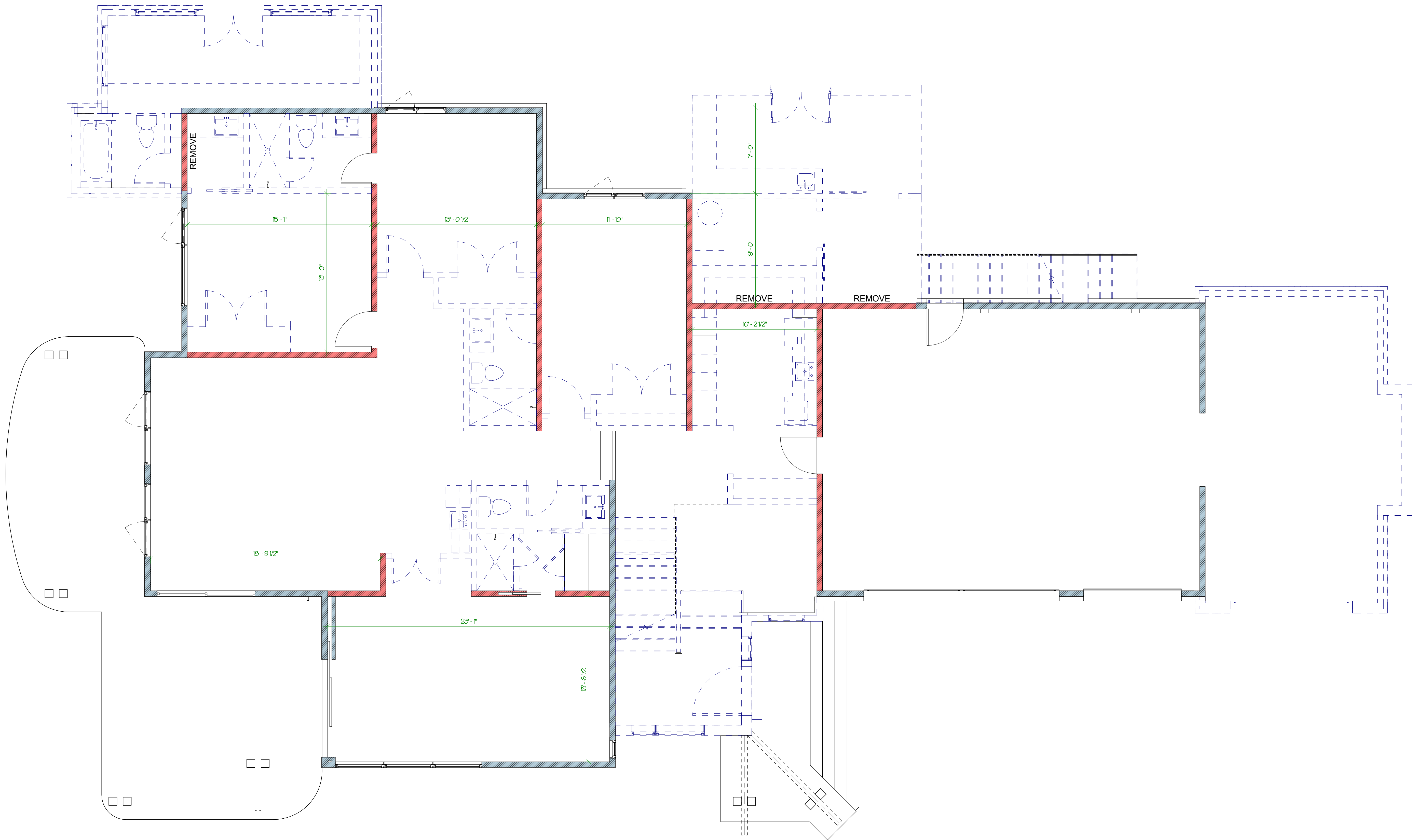
OTTO  
WALKER  
architect  
2200 Park Ave., Suite c201, Park City, Utah 84060 (435) 649-6373

Project:  
Private Residence  
2979 Arabian Drive, Park City, UT

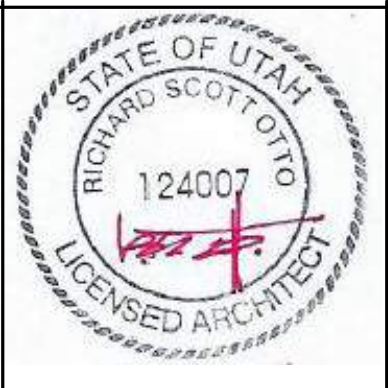
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Revisions:

Sheet No:

A1.0



| WALL LEGEND |                        |
|-------------|------------------------|
|             | Existing Exterior Wall |
|             | Existing Interior Wall |
|             | Future Wall            |
|             | Future Wall            |



**OTTO  
WALKER  
architect**

2200 Park Ave., Suite c201, Park City, Utah 84060 (435) 649-6373

Project: Private Residence  
2979 Arabian Drive, Park City, UT

DEMO PLAN

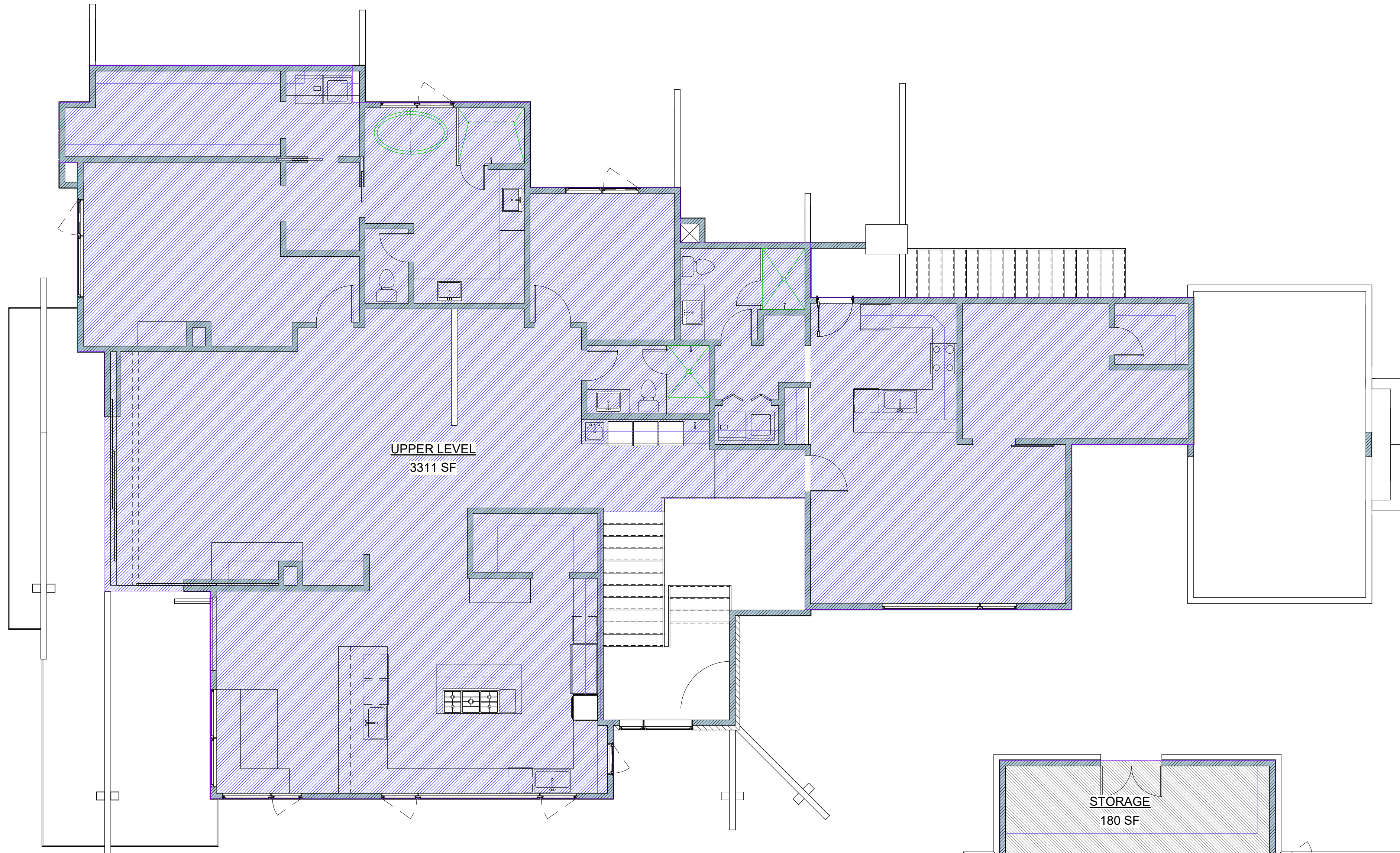
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Revisions:

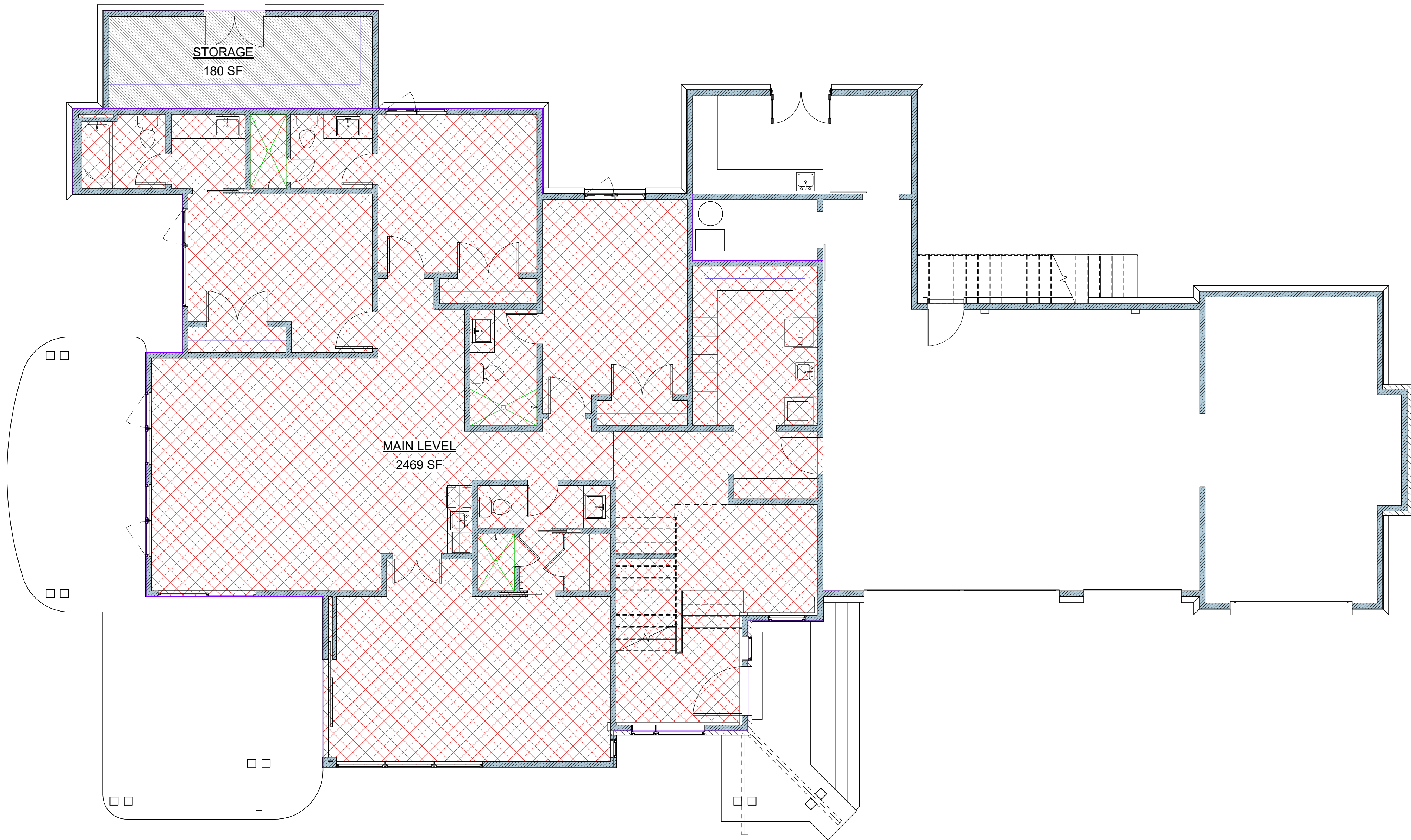
Sheet No:

A1.4

1 05 ML DEMO PLAN  
SCALE: 1/4" = 1'-0"



2 UPPER LEVEL FLOOR PLAN



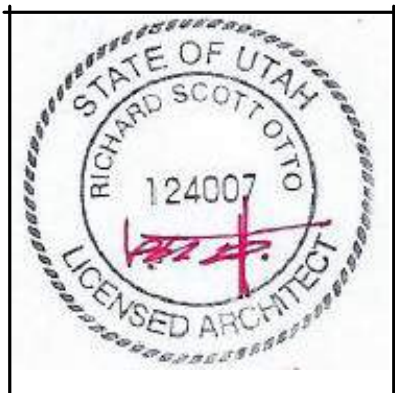
1 MAIN LEVEL FLOOR PLAN

NOTE!  
FOOTAGE NUMBERS REFLECT  
OUTSIDE OF FRAMING

| FOOTAGE CALCULATIONS |         |
|----------------------|---------|
| NAME                 | AREA    |
| STORAGE              | 180 SF  |
| MAIN LEVEL           | 2469 SF |
| UPPER LEVEL          | 3311 SF |
| TOTAL FLOOR AREA     | 5960 SF |

FOOTAGES

- MAIN LEVEL
- STORAGE
- UPPER LEVEL



OTTO  
WALKER  
architect

2200 Park Ave., Suite c201, Park City, Utah 84060 (435) 649-6373

Project:  
Private Residence  
2979 Arabian Drive, Park City, UT

AREA PLANS

Issue Date:  
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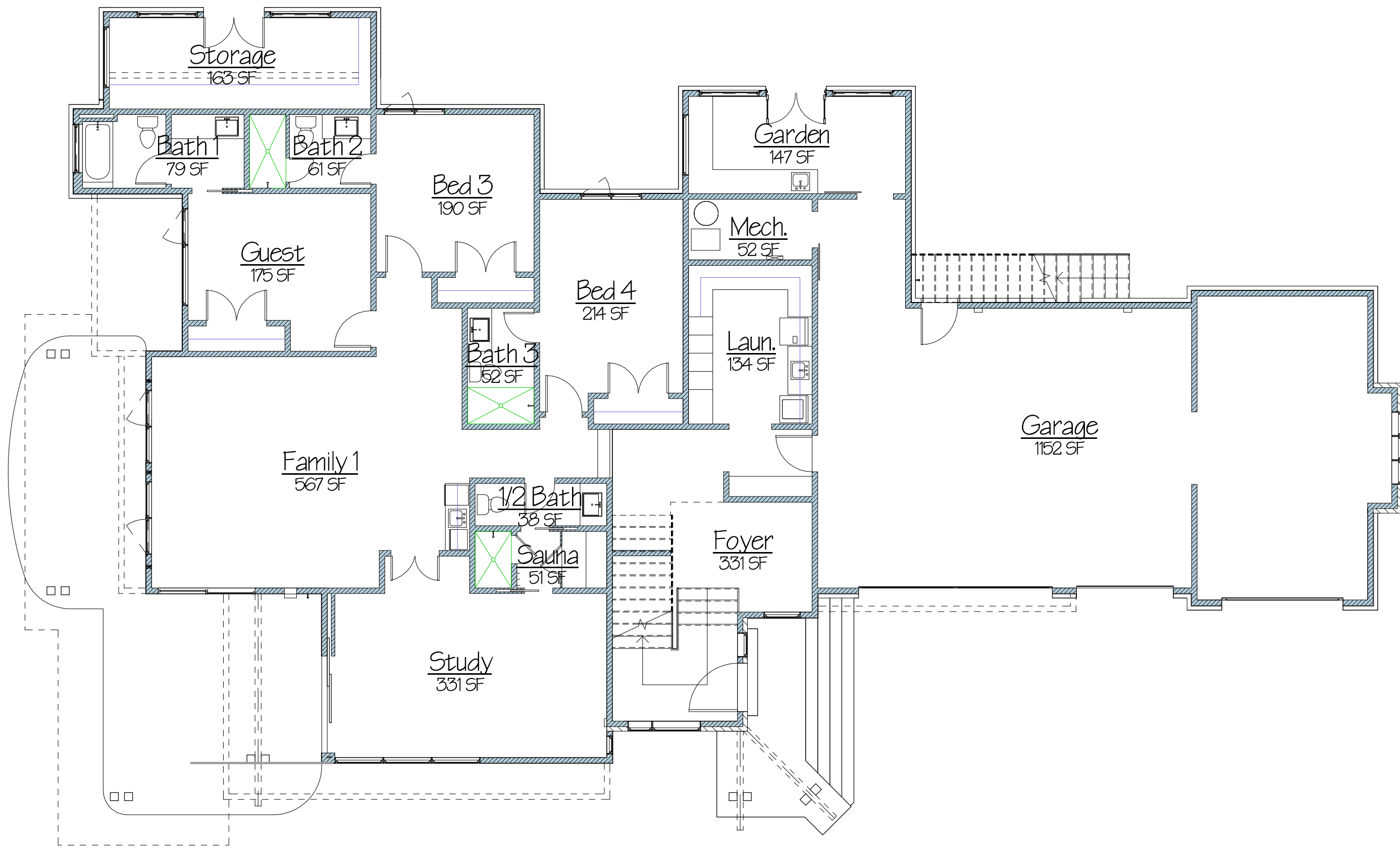
Revisions:

Sheet No:

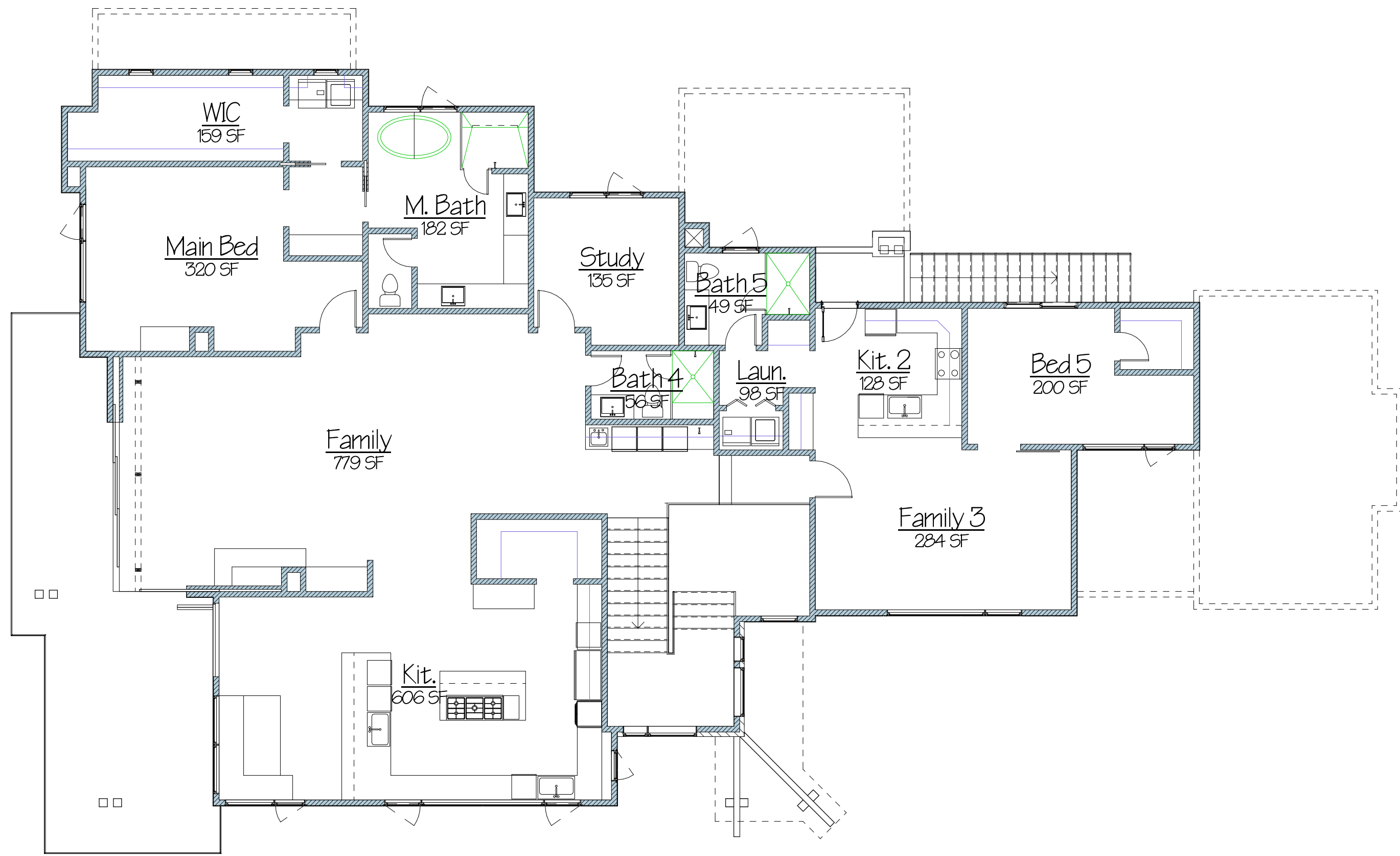
A2.0

| Door Schedule |        |        |             |      |          |                  |                     |  |       |
|---------------|--------|--------|-------------|------|----------|------------------|---------------------|--|-------|
| NUMBER        | WIDTH  | HEIGHT | THICKNESS   | JAMB | MATERIAL | HARDWARE         | DESCRIPTION         |  | COUNT |
| 01            | 4'-0"  | 8'-0"  | 0'-2"       | FIR  | GLASS    | LOCK & DEAD BOLT | INSULATED COLONIAL  |  | 1     |
| 02            | 3'-0"  | 8'-0"  | 0'-1 1/2"   | FIR  | MOOD     | LOCK & DEAD BOLT | INSULATED COLONIAL  |  | 4     |
| 03            | 5'-0"  | 8'-0"  | 0'-2"       | FIR  | GLASS    | LOCK & DEAD BOLT | INSULATED GLASS     |  | 1     |
| 04            | 8'-0"  | 8'-0"  | 0'-2"       | FIR  | GLASS    | LOCK & DEAD BOLT | INSULATED GLASS     |  | 2     |
| 05            | 6'-0"  | 8'-0"  | 0'-2 11/32" | FIR  | GLASS    | LOCK             | MULTI PANEL SLIDING |  | 1     |
| 06            | 6'-6"  | 8'-0"  | 0'-2"       | FIR  | GLASS    | LOCK & DEAD BOLT | INSULATED GLASS     |  | 1     |
| 07            | 14'-3" | 8'-0"  | 0'-2"       | FIR  | GLASS    | LOCK & DEAD BOLT | INSULATED GLASS     |  | 1     |
| 08            | 3'-0"  | 8'-0"  | 0'-2"       | FIR  | GLASS    | LOCK             | INSULATED GLASS     |  | 1     |
| 09            | 3'-0"  | 8'-0"  | 0'-1 1/2"   | FIR  | WOOD     | KNOB             | COLONIAL            |  | 3     |
| 10            | 5'-0"  | 8'-0"  | 0'-1"       | FIR  | WOOD     | KNOB             | COLONIAL            |  | 3     |
| 11            | 4'-0"  | 8'-0"  | 0'-1"       | FIR  | WOOD     | KNOB             | DOUBLE PANEL        |  | 1     |
| 12            | 3'-6"  | 8'-0"  | 0'-1 1/2"   | FIR  | WOOD     | KNOB             | BARN DOOR           |  | 1     |
| 13            | 4'-0"  | 8'-0"  | 0'-1 1/2"   | FIR  | WOOD     | KNOB             | BI-FOLD             |  | 1     |
| 14            | 3'-0"  | 8'-0"  | 0'-1 1/2"   | FIR  | WOOD     | KNOB             | BARN DOOR           |  | 2     |
| 15            | 2'-6"  | 8'-0"  | 0'-1 1/2"   | FIR  | WOOD     | KNOB             | COLONIAL            |  | 5     |
| 16            | 2'-4"  | 8'-0"  | 0'-1 1/2"   | FIR  | WOOD     | KNOB             | POCKET DOOR         |  | 2     |
| 17            | 2'-6"  | 8'-0"  | 0'-1 1/2"   | FIR  | WOOD     | KNOB             | POCKET DOOR         |  | 3     |
| 18            | 2'-6"  | 6'-8"  | 0'-1 1/2"   | FIR  | WOOD     | KNOB             | COLONIAL            |  | 1     |
| 19            | 2'-4"  | 8'-0"  | 0'-1 1/2"   | FIR  | WOOD     | KNOB             | COLONIAL            |  | 3     |
| 20            | 5'-0"  | 8'-0"  | 0'-1 1/2"   | FIR  | WOOD     | LOCK & DEAD BOLT | DOUBLE PANEL        |  | 1     |
| 21            | 2'-0"  | 8'-0"  | 0'-1 1/2"   | FIR  | WOOD     | KNOB             | GLASS SHOWER        |  | 4     |
| 22            | 2'-4"  | 6'-8"  | 0'-1 1/2"   | FIR  | WOOD     | KNOB             | COLONIAL            |  | 1     |
| 23            | 3'-0"  | 8'-0"  | 0'-1 1/2"   | FIR  | WOOD     | LOCK & DEAD BOLT | GARAGE DOOR         |  | 1     |
| 24            | 8'-0"  | 9'-0"  | 0'-1 1/2"   | FIR  | METAL    | LOCK             | GARAGE ROLL UP      |  | 1     |
| 25            | 10'-0" | 11'-6" | 0'-2"       | FIR  | METAL    | LOCK             | GARAGE ROLL UP      |  | 1     |
| 26            | 16'-0" | 9'-0"  | 0'-1 1/2"   | FIR  | METAL    | LOCK             | GARAGE ROLL UP      |  | 1     |
| Grand total   |        |        |             |      |          |                  |                     |  | 47    |

| Window Schedule |         |        |       |         |                         |  |       |
|-----------------|---------|--------|-------|---------|-------------------------|--|-------|
| NUMBER          | WIDTH   | HEIGHT | FRAME | GLAZING | DESCRIPTION             |  | COUNT |
| aa              | 3'- 0"  | 4'- 0" | VINYL | LOW-E   | INSULATED, WHITE, CLEAR |  | 1     |
| bb              | 3'- 0"  | 4'- 0" | VINYL | LOW-E   | INSULATED, WHITE, CLEAR |  | 2     |
| cc              | 3'- 0"  | 5'- 0" | VINYL | LOW-E   | INSULATED, WHITE, CLEAR |  | 1     |
| dd              | 6'- 0"  | 2'- 0" | VINYL | LOW-E   | INSULATED, WHITE, CLEAR |  | 1     |
| ee              | 3'- 0"  | 2'- 0" | VINYL | LOW-E   | INSULATED, WHITE, CLEAR |  | 1     |
| A               | 3'- 0"  | 3'- 0" | VINYL | LOW-E   | INSULATED, WHITE, CLEAR |  | 4     |
| B               | 2'- 0"  | 8'- 0" | VINYL | LOW-E   | INSULATED, WHITE, CLEAR |  | 1     |
| C               | 4'- 0"  | 3'- 0" | VINYL | LOW-E   | INSULATED, WHITE, CLEAR |  | 6     |
| D               | 2'- 0"  | 3'- 0" | VINYL | LOW-E   | INSULATED, WHITE, CLEAR |  | 6     |
| E               | 1'- 6"  | 5'- 0" | VINYL | LOW-E   | INSULATED, WHITE, CLEAR |  | 1     |
| F               | 4'- 0"  | 8'- 0" | VINYL | LOW-E   | INSULATED, WHITE, CLEAR |  | 3     |
| G               | 3'- 0"  | 2'- 0" | VINYL | LOW-E   | INSULATED, WHITE, CLEAR |  | 5     |
| H               | 3'- 0"  | 5'- 6" | VINYL | LOW-E   | INSULATED, WHITE, CLEAR |  | 2     |
| I               | 3'- 0"  | 5'- 6" | VINYL | LOW-E   | INSULATED, WHITE, CLEAR |  | 2     |
| J               | 5'- 0"  | 5'- 0" | VINYL | LOW-E   | INSULATED, WHITE, CLEAR |  | 2     |
| K               | 3'- 0"  | 5'- 0" | VINYL | LOW-E   | INSULATED, WHITE, CLEAR |  | 3     |
| L               | 4'- 0"  | 2'- 0" | VINYL | LOW-E   | INSULATED, WHITE, CLEAR |  | 1     |
| M               | 5'- 0"  | 2'- 0" | VINYL | LOW-E   | INSULATED, WHITE, CLEAR |  | 3     |
| N               | 5'- 0"  | 2'- 0" | VINYL | LOW-E   | INSULATED, WHITE, CLEAR |  | 4     |
| O               | 2'- 6"  | 5'- 0" | VINYL | LOW-E   | INSULATED, WHITE, CLEAR |  | 2     |
| P               | 2'- 6"  | 5'- 0" | VINYL | LOW-E   | INSULATED, WHITE, CLEAR |  | 2     |
| Q               | 2'- 0"  | 2'- 0" | VINYL | LOW-E   | INSULATED, WHITE, CLEAR |  | 6     |
| R               | 2'- 6"  | 5'- 6" | VINYL | LOW-E   | INSULATED, WHITE, CLEAR |  | 2     |
| S               | 5'- 0"  | 5'- 6" | VINYL | LOW-E   | INSULATED, WHITE, CLEAR |  | 2     |
| T               | 3'- 0"  | 6'- 0" | VINYL | LOW-E   | INSULATED, WHITE, CLEAR |  | 1     |
| U               | 8'- 0"  | 2'- 0" | VINYL | LOW-E   | INSULATED, WHITE, CLEAR |  | 1     |
| V               | 8'- 0"  | 6'- 0" | VINYL | LOW-E   | INSULATED, WHITE, CLEAR |  | 1     |
| W               | 3'- 0"  | 4'- 6" | VINYL | LOW-E   | INSULATED, WHITE, CLEAR |  | 2     |
| X               | 10'- 0" | 4'- 6" | VINYL | LOW-E   | INSULATED, WHITE, CLEAR |  | 1     |
| Y               | 2'- 6"  | 4'- 6" | VINYL | LOW-E   | INSULATED, WHITE, CLEAR |  | 1     |
| Z               | 4'- 0"  | 4'- 6" | VINYL | LOW-E   | INSULATED, WHITE, CLEAR |  | 3     |
| Grand total     |         |        |       |         |                         |  | 72    |

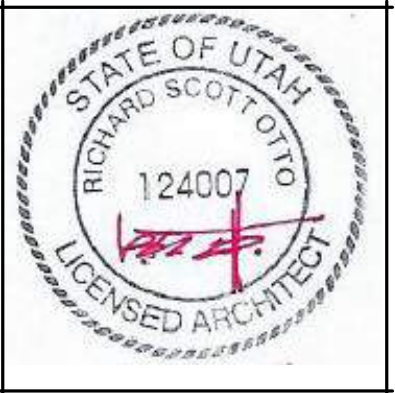


1 MAIN LEVEL FLOOR PLAN  
SCALE: 1/8" = 1'-0"



2 UPPER LEVEL FLOOR PLAN  
SCALE: 1/8" = 1'-0"

| ROOM SCHEDULE |         |             |              |
|---------------|---------|-------------|--------------|
| Name          | Area    | Level       | Floor Finish |
| 1/2 Bath      | 38 SF   | Main Level  | HARDWOOD     |
| Sauna         | 51 SF   | Main Level  | HARDWOOD     |
| Bath 3        | 52 SF   | Main Level  | TILE         |
| Mech.         | 52 SF   | Main Level  | CONC.        |
| Bath 2        | 61 SF   | Main Level  | TILE         |
| Bath 1        | 79 SF   | Main Level  | TILE         |
| Laun.         | 134 SF  | Main Level  | HARDWOOD     |
| Garden        | 147 SF  | Main Level  | CONC.        |
| Storage       | 163 SF  | Main Level  | CONC.        |
| Guest         | 175 SF  | Main Level  | HARDWOOD     |
| Bed 3         | 190 SF  | Main Level  | HARDWOOD     |
| Bed 4         | 214 SF  | Main Level  | HARDWOOD     |
| Study         | 331 SF  | Main Level  | HARDWOOD     |
| Foyer         | 331 SF  | Main Level  | TILE         |
| Family 1      | 567 SF  | Main Level  | HARDWOOD     |
| Garage        | 1152 SF | Main Level  | CONC.        |
| Bath 5        | 49 SF   | Upper Level | TILE         |
| Bath 4        | 56 SF   | Upper Level | TILE         |
| Laun.         | 98 SF   | Upper Level | HARDWOOD     |
| Kit. 2        | 128 SF  | Upper Level | HARDWOOD     |
| Study         | 135 SF  | Upper Level | HARDWOOD     |
| WIC           | 159 SF  | Upper Level | HARDWOOD     |
| M. Bath       | 182 SF  | Upper Level | TILE         |
| Bed 5         | 200 SF  | Upper Level | HARDWOOD     |
| Family 3      | 284 SF  | Upper Level | HARDWOOD     |
| Main Bed      | 320 SF  | Upper Level | HARDWOOD     |
| Kit.          | 606 SF  | Upper Level | HARDWOOD     |
| Family        | 779 SF  | Upper Level | HARDWOOD     |



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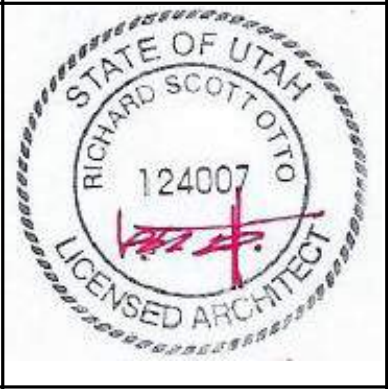
Project:  
Private Residence  
2979 Arabian Drive, Park City, UT  
ROOM AREAS

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4/8/2025 4:24:53 PM  
Revisions:

Sheet No:  
A2.1

SEE SHEET A2.3 FOR NOTES  
FIELD VERIFY ALL DIMENSIONS

| WINDOW HEAD HEIGHTS |           |
|---------------------|-----------|
| LOWER LEVEL         | N/A       |
| MAIN LEVEL          | 8'-0" UNO |
| UPPER LEVEL         | 8'-0" UNO |



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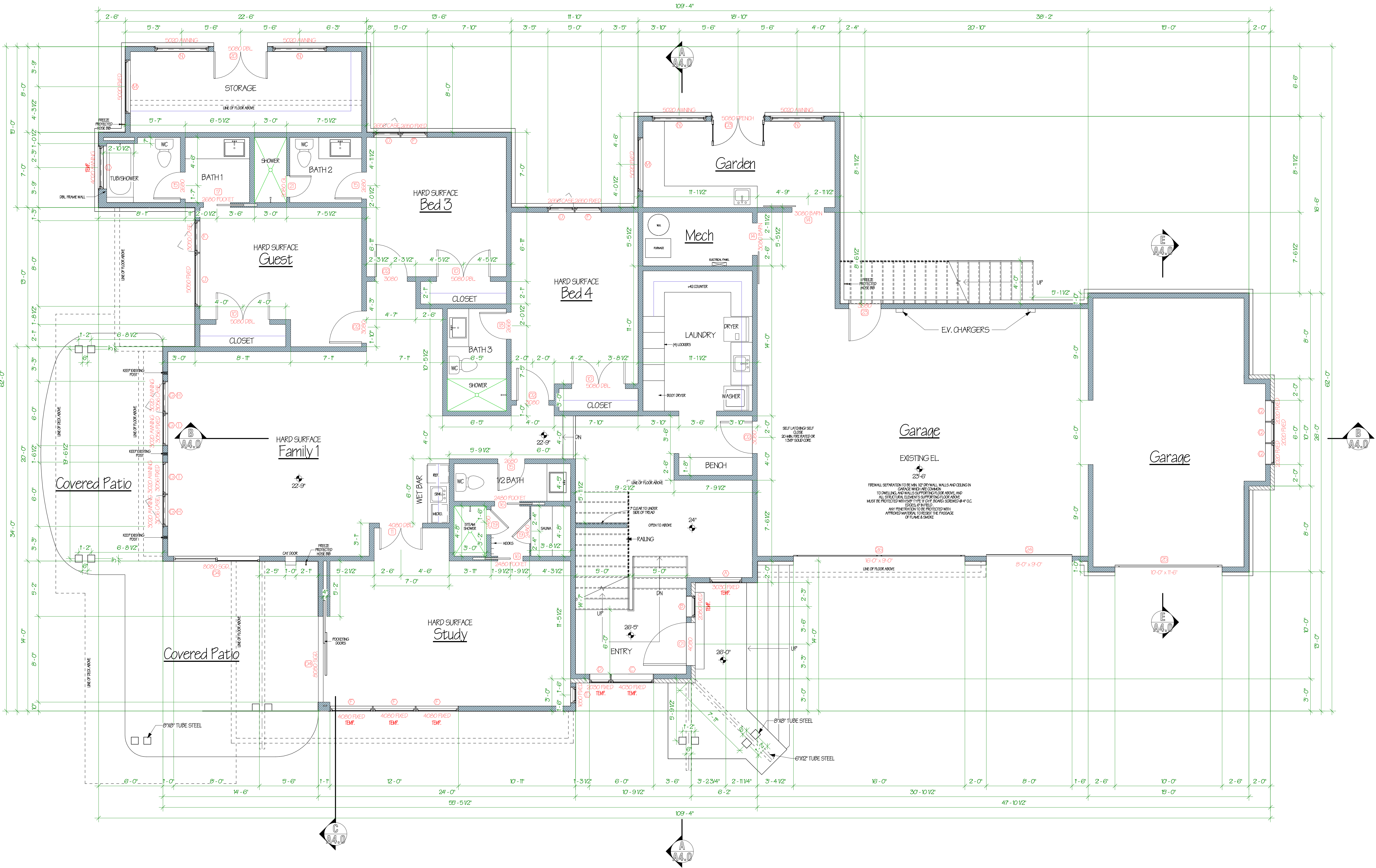
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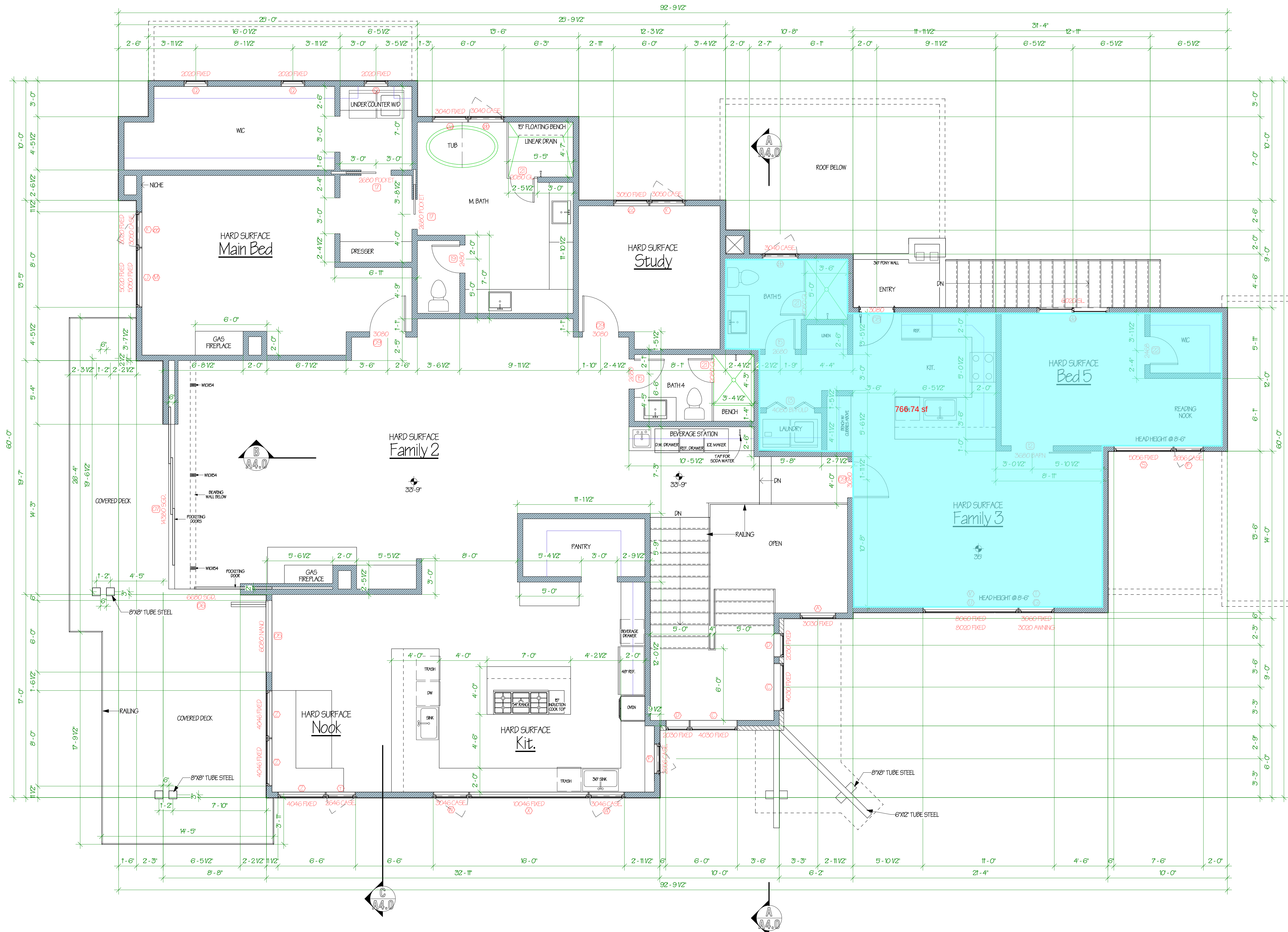
Sheet No:

A2.2



1 MAIN LEVEL FLOOR PLAN  
SCALE: 1/4" = 1'-0"

| WINDOW HEAD HEIGHTS |           |
|---------------------|-----------|
| LOWER LEVEL         | N/A       |
| MAIN LEVEL          | 8'-0" UNO |
| UPPER LEVEL         | 8'-0" UNO |



1 UPPER LEVEL FLOOR PLAN  
SCALE: 1/4" = 1'-0"

- NOTES:
1. THE WATER HEATER SHALL BE ANCHORED OR STRAPPED IN THE UPPER THIRD AND LOWER ONE-THIRD OF THE APPLIANCE TO RESIST A HORIZONTAL FORCE EQUAL TO ONE THIRD OF THE OPERATING WEIGHT. PROVIDE DRAIN BY WATER HEATER AND PAN UNDER EQUIPMENT ON WOOD FLOORS.
  2. ALL SHOWER HEADS TO HAVE A FLOW RATE OF 2.5 G.P.M. (TYP).
  3. ALL SHOWER/TUB WALLS TO BE TILED TO 7'-0" MIN (TYP) UNO. (NO GREEN BOARD).
  4. ALL TOILETS TO BE TANK TYPE W/ FLUSH RATE OF 1.6 GALLONS PER FLUSH (TYP) WITH 30" WIDE FINISHED CLEARANCE.
  5. ALL GAS PIPING SYSTEMS ARE TO BE 40Z. OR LESS ALL AFEAG.
  6. PROVIDE GAS SHUT-OFF VALVE WITHIN 6'-0" OF APPLIANCE.
  7. PROVIDE OUTSIDE AIR TO MECHANICAL EQUIPMENT AS REQUIRED.
  8. FRAME ALL DOORS MIN 6" OFF INTERSECTION OR CENTER FRAME IN SPACE AVAILABLE.
  9. ALL EXTERIOR DOORS AND WINDOWS ARE TO BE DOUBLE INSULATED GLASS W/ U VALUE OF 0.35 OR LESS.
  10. PROVIDE A COMFORT HEATING SYSTEM CAPABLE OF MAINTAINING 68 DEGREES FAHRENHEIT @ 36" A.F.F. ALL ROOMS.
  11. PROVIDE 30" CLEARANCE FROM RANGE TOP TO COMBUSTIBLE MATERIAL.
  12. ALL DECK AREAS ARE TO BE 2" NOMINAL THICK DECKING OR BETTER UNO.
- WALL NOTE:  
ALL EXTERIOR WALLS ARE TO BE 2x6 @ 16'  
O.C. ALL INTERIOR WALLS ARE TO BE 2x4 @ 16" O.C. UNO.

FIREPLACE NOTE: (UL APPROVED TYPICAL)  
COMBUSTION MATERIAL SHALL NOT BE PLACED WITHIN 2" OF FIREPLACE SMOKE CHAMBER OR CHIMNEY WALLS. COMBUSTION MATERIAL SHALL NOT BE PLACED WITHIN 6" OF THE FIREPLACE OPENING. NO SUCH MATERIAL WITHIN 12" OF THE FIREPLACE OPENING SHALL PROJECT MORE THAN 1/8" FOR 1" CLEARANCE FROM SUCH OPENINGS.

PROVIDE EMERGENCY EGRESS FOR BASEMENTS WITH HABITABLE SPACE AND EACH SLEEPING ROOM. AN EXTERIOR DOOR OF WINDOW WITH A FINISHED SILL HEIGHT WITHIN 44" OF THE FLOOR. MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQFT. MINIMUM NET CLEAR OPENABLE WIDTH OF 20" AND MINIMUM NET CLEAR OPENABLE HEIGHT OF 24". GRADE FLOOR OPENINGS MAY HAVE A MINIMUM NET CLEAR OPENING OF 5 SQFT.

PLUMBING NOTE:  
ALL PLUMBING INSTALLATIONS SHALL COMPLY WITH 2015 IBC.



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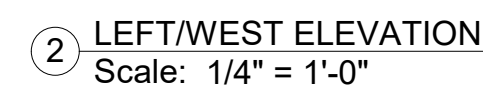
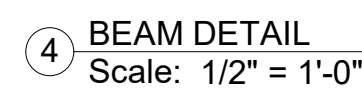
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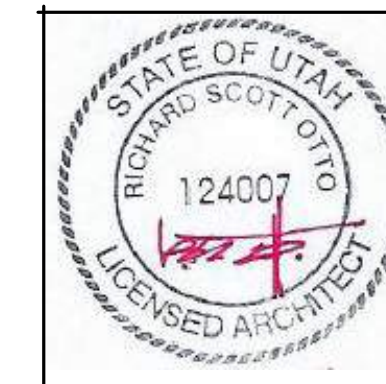
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Sheet No: A2.3

UPPER LEVEL FLOOR PLAN

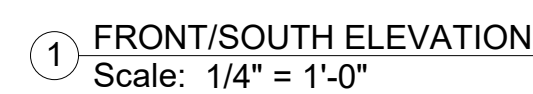
48"

| WINDOW HEAD HEIGHTS |           |
|---------------------|-----------|
| LOWER LEVEL         | N/A       |
| MAIN LEVEL          | 8'-0" UNO |
| UPPER LEVEL         | 8'-0" UNO |



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Project:

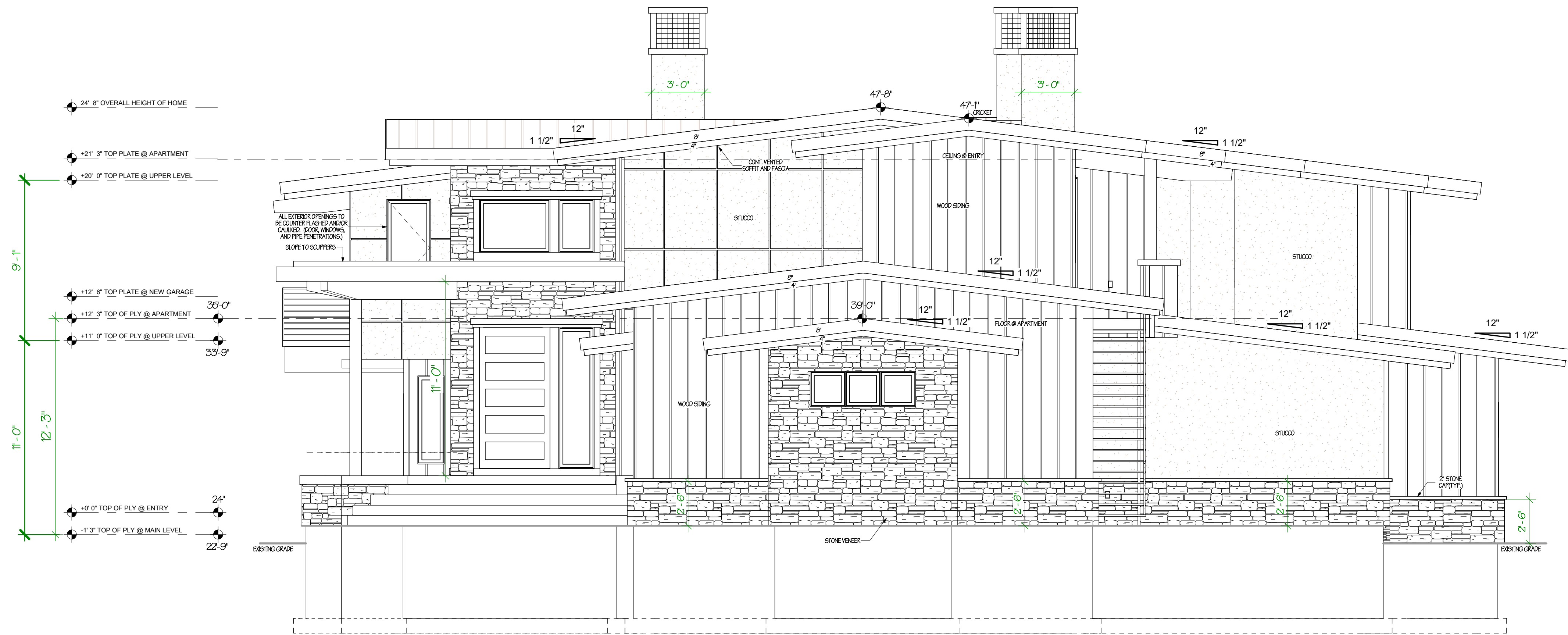
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EVALUATIONS

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Revisions:

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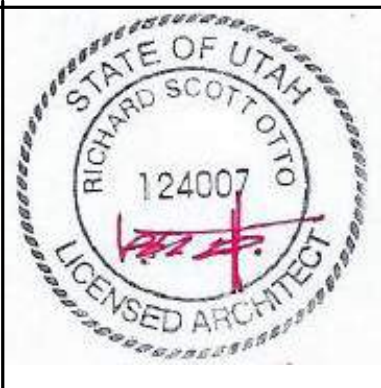
A3.0



2 RIGHT/EAST ELEVATION  
Scale: 1/4" = 1'-0"

| TYPICAL OVERHANG |  |
|------------------|--|
| 48"              |  |

| WINDOW HEAD HEIGHTS |           |
|---------------------|-----------|
| LOWER LEVEL         | N/A       |
| MAIN LEVEL          | 8'-0" UNO |
| UPPER LEVEL         | 8'-0" UNO |



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1 REAR/NORTH ELEVATION  
Scale: 1/4" = 1'-0"

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ELEVATIONS

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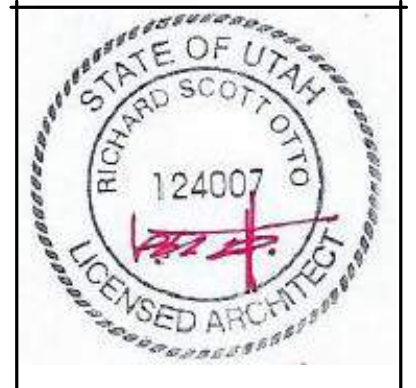
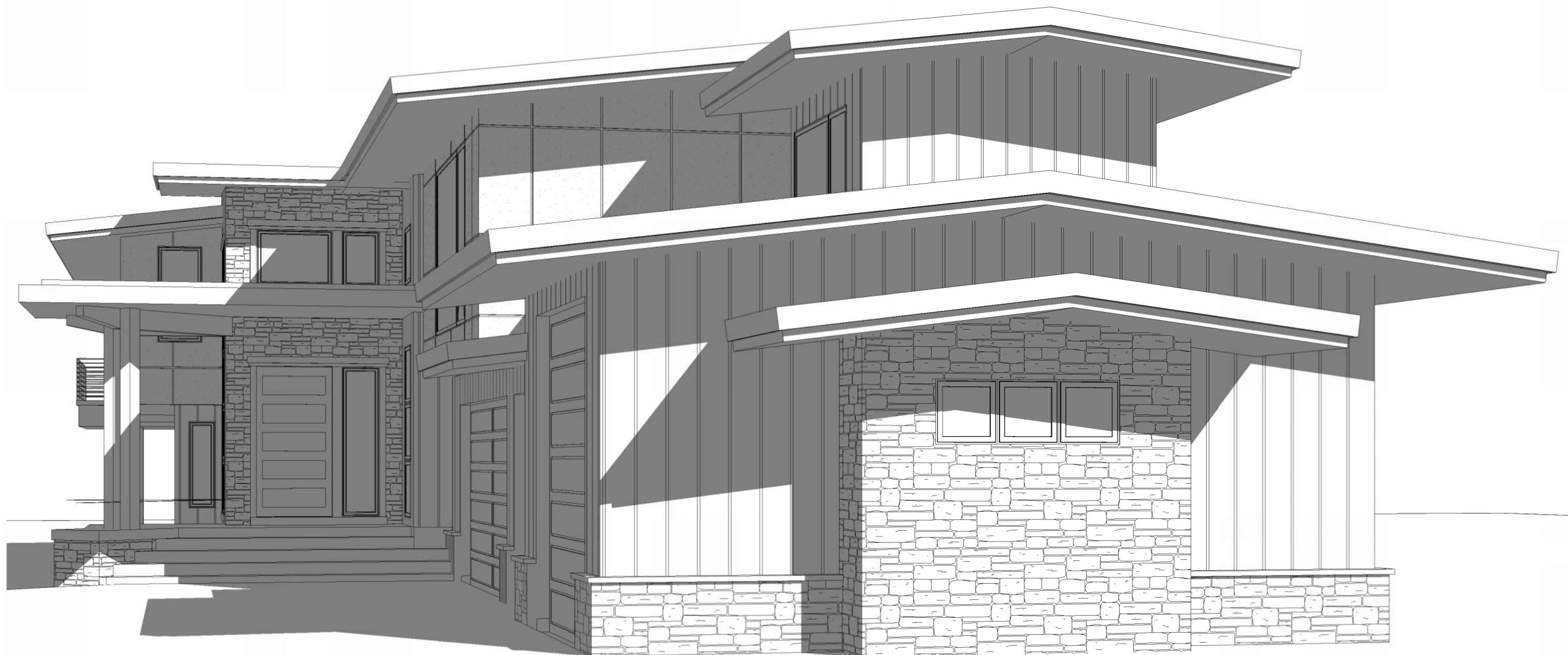
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A3.2



3D VIEWS



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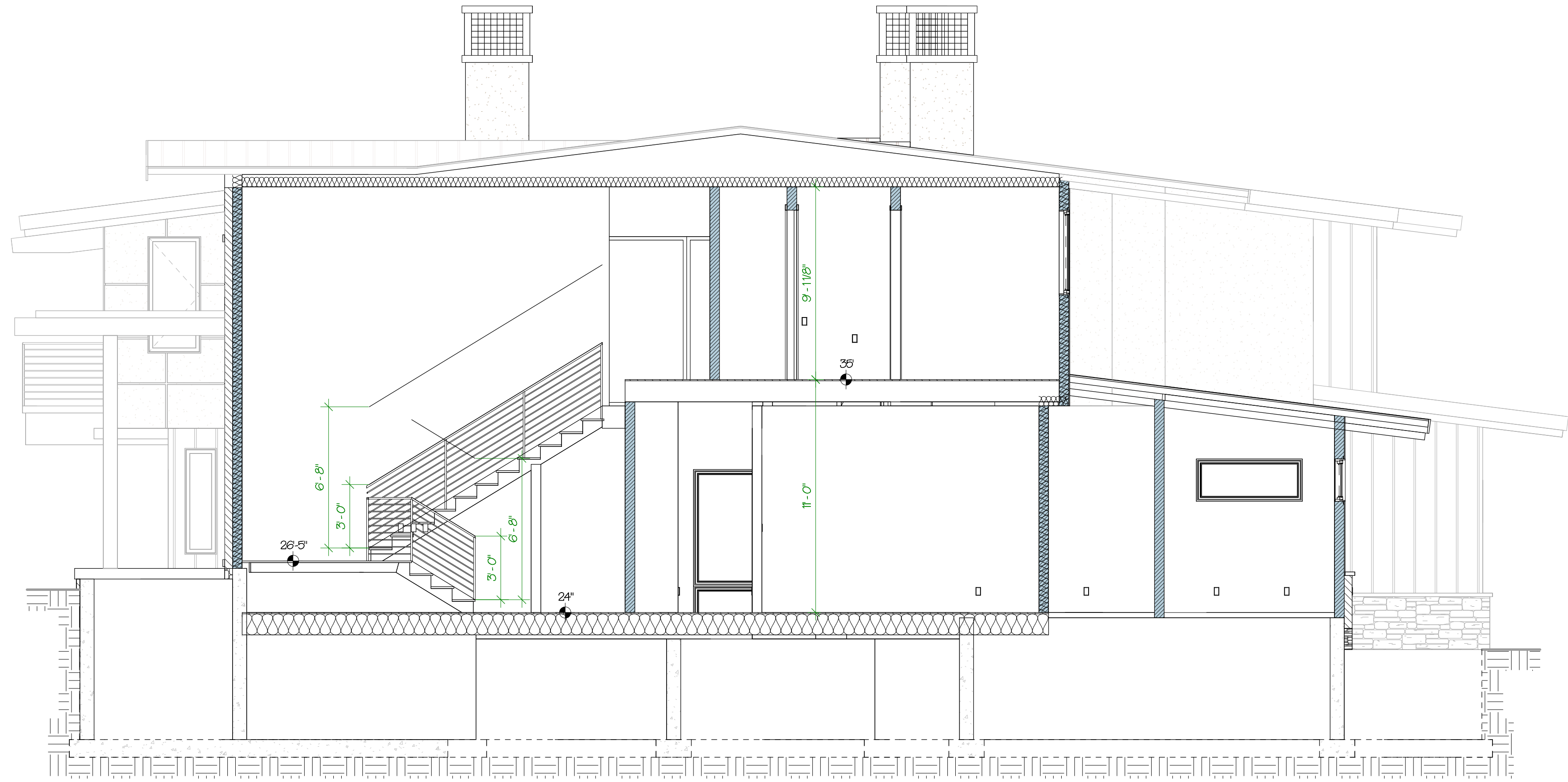
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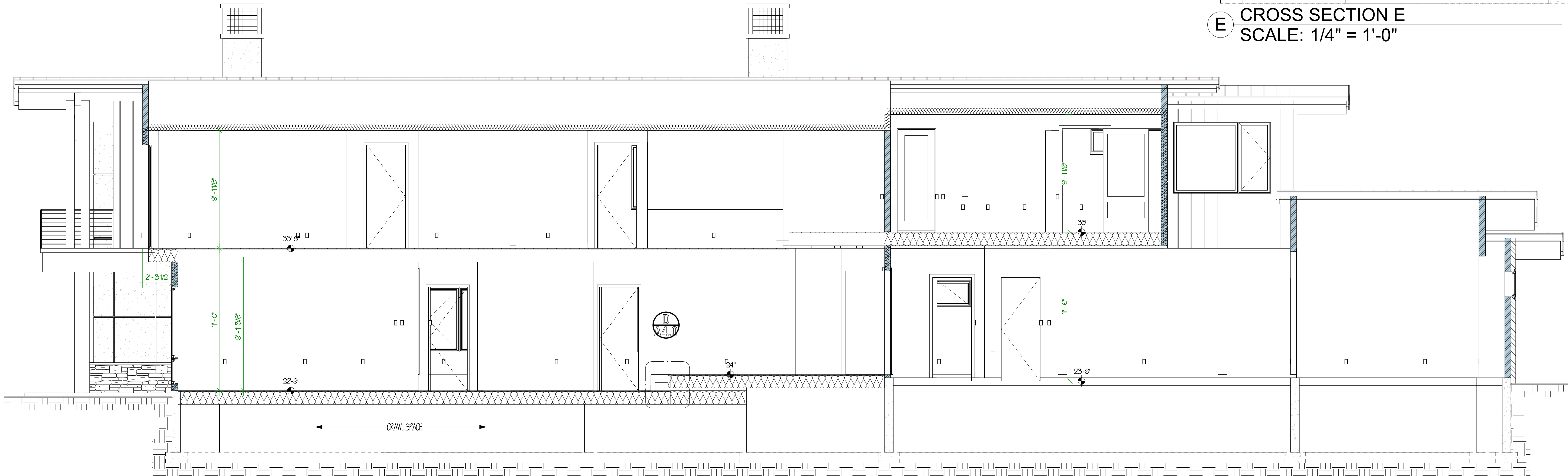
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Revisions:

Sheet No:  
**A3.3**

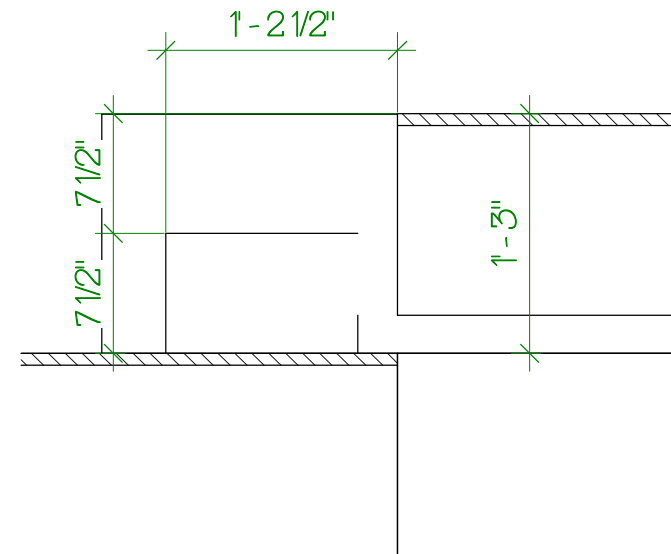
3D VIEWS



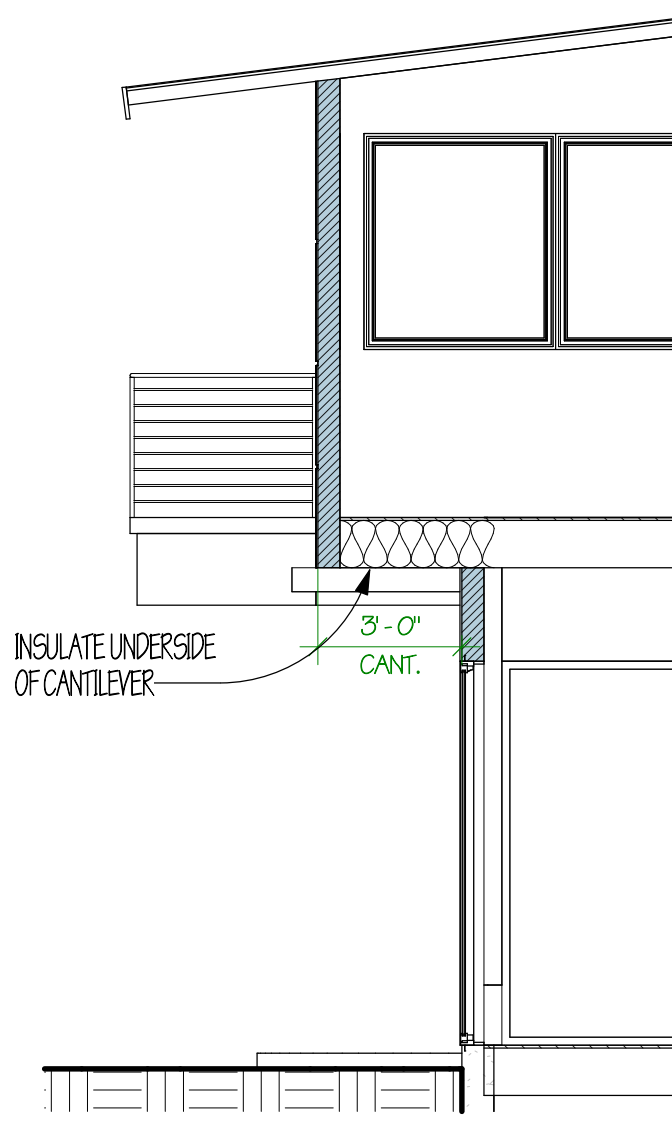
**A** CROSS SECTION A  
SCALE: 1/4" = 1'-0"



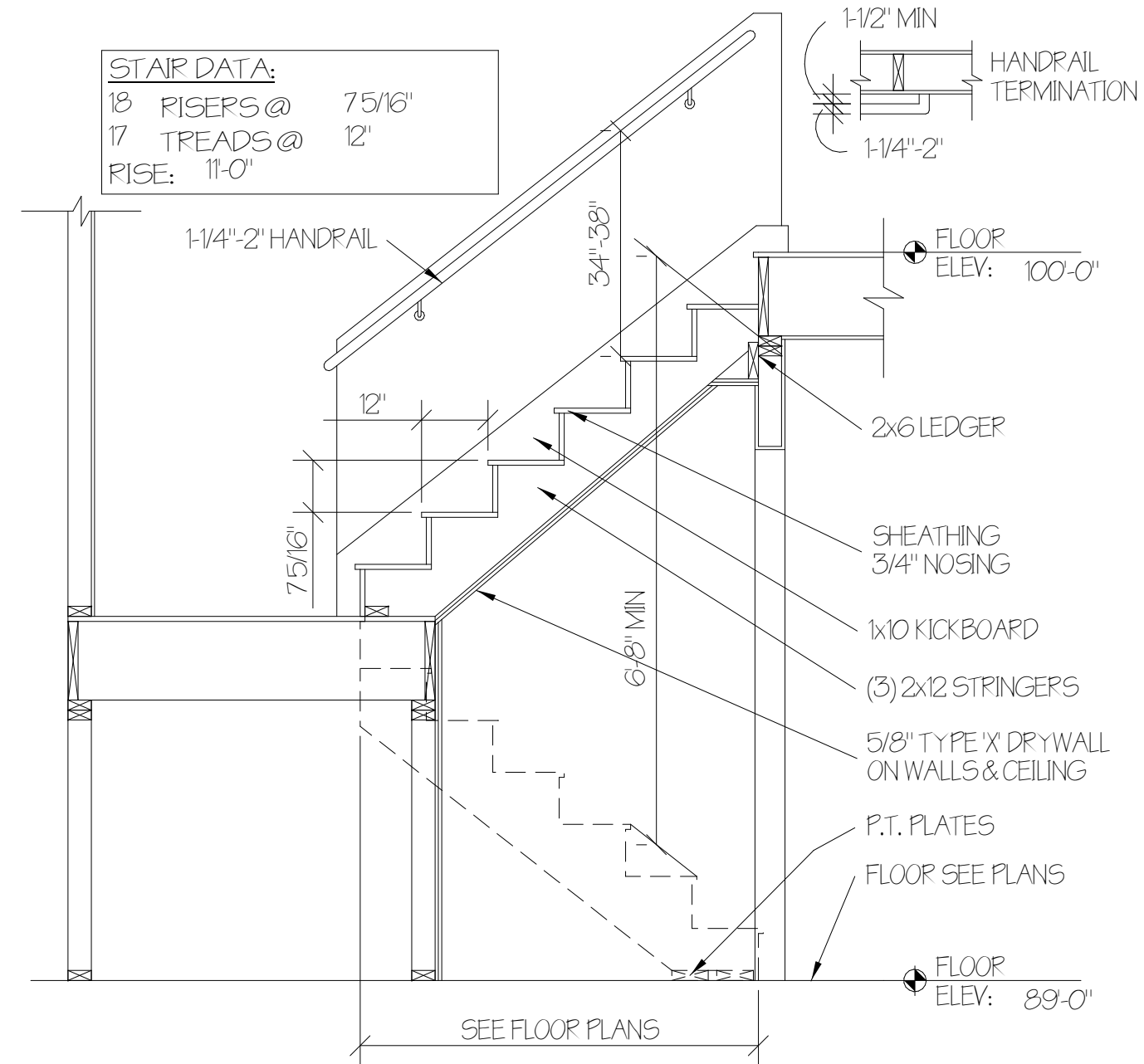
**B** CROSS SECTION B  
SCALE: 1/4" = 1'-0"



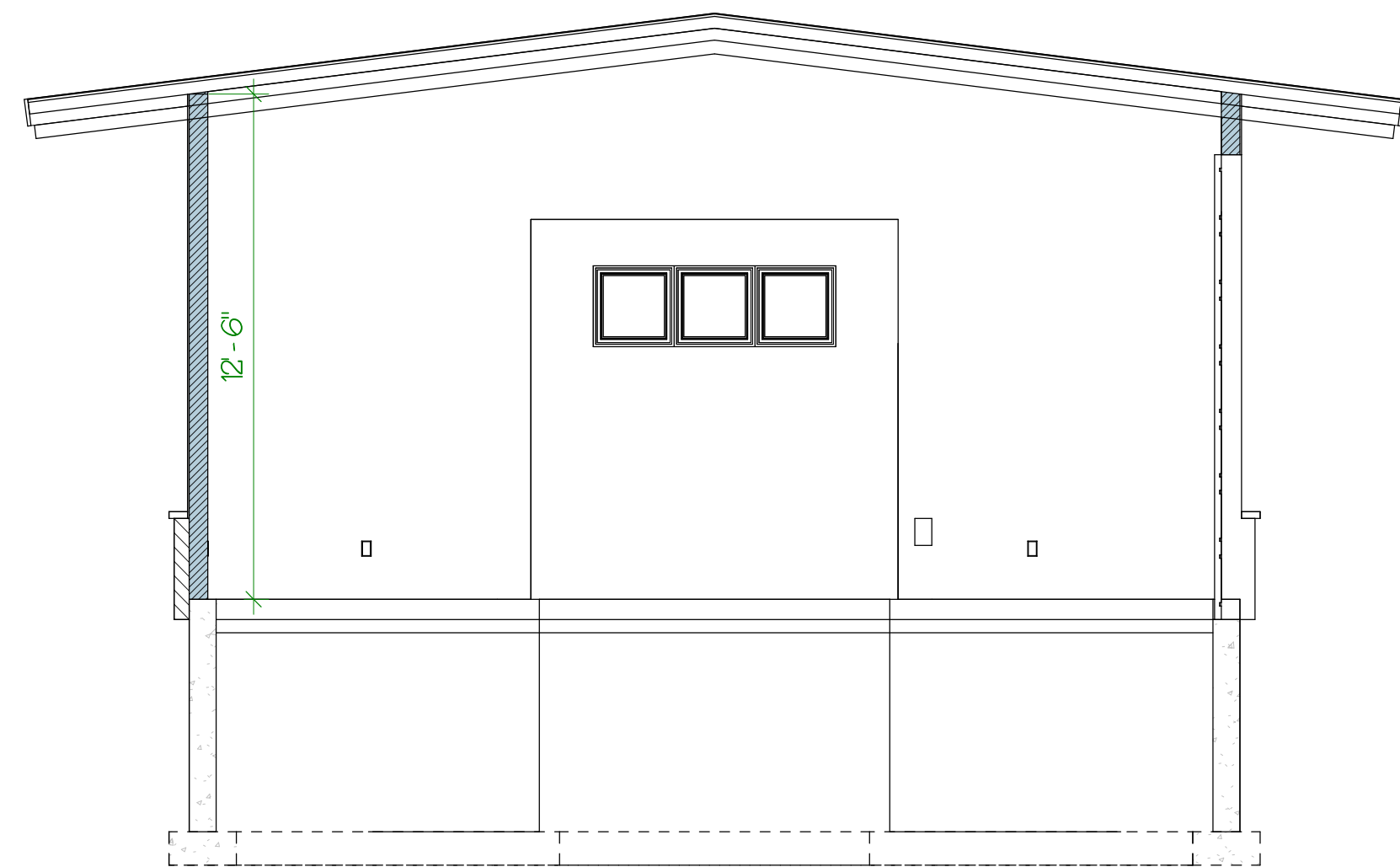
**D** INTERIOR STEP  
SCALE: 1" = 1'-0"



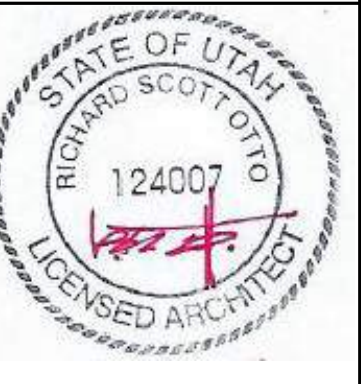
**C** CROSS SECTION C  
SCALE: 1/4" = 1'-0"



**S** TYPICAL STAIR INFORMATION  
SCALE: 1/2" = 1'-0"



**E** CROSS SECTION E  
SCALE: 1/4" = 1'-0"

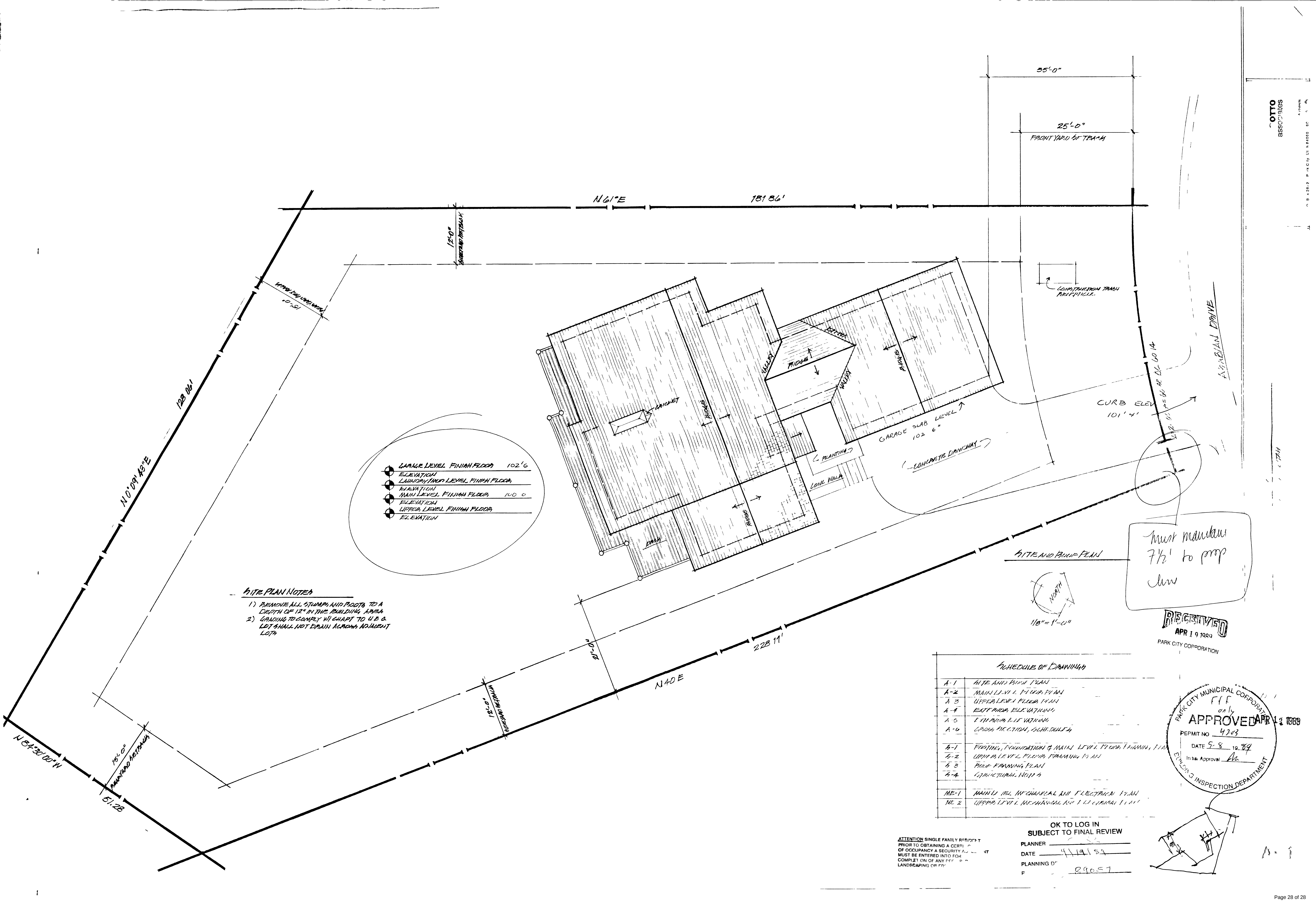


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**A4.0**



- LAMAR LEVEL FINISH FLOOR 102'6"
- ELEVATION
- LAUNDRY/MAIN LEVEL FINISH FLOOR
- ELEVATION
- MAIN LEVEL FINISH FLOOR 100'0"
- ELEVATION
- UPPER LEVEL FINISH FLOOR
- ELEVATION

**SITE PLAN NOTES**

- 1) REMOVE ALL STUMPS AND ROOTS TO A DEPTH OF 12" IN THE BUILDING AREA
- 2) GRADING TO COMPLY WITH CHART TO U.B. & LOT SHALL NOT DRAIN ACROSS ADJACENT LOTS

**SCHEDULE OF DRAWINGS**

|      |                                                     |
|------|-----------------------------------------------------|
| A-1  | SITE AND PLOT PLAN                                  |
| A-2  | MAIN LEVEL FLOOR PLAN                               |
| A-3  | UPPER LEVEL FLOOR PLAN                              |
| A-4  | EXTENSION ELEVATIONS                                |
| A-5  | EXISTING ELEVATIONS                                 |
| A-6  | SECTION, SLAB DETAILS                               |
| B-1  | FOOTING, FOUNDATION & MAIN LEVEL FLOOR FRAMING PLAN |
| B-2  | UPPER LEVEL FLOOR FRAMING PLAN                      |
| B-3  | POOR FRAMING PLAN                                   |
| B-4  | STRUCTURAL NOTES                                    |
| ME-1 | MAIN LEVEL MECHANICAL AND ELECTRICAL PLAN           |
| ME-2 | UPPER LEVEL MECHANICAL AND ELECTRICAL PLAN          |

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ATTENTION SINGLE FAMILY RESIDENT  
PRIOR TO OBTAINING A CERTIFICATE  
OF OCCUPANCY A SECURITY ASSESSMENT  
MUST BE ENTERED INTO FOX  
COMPLETION OF ANY REPAIRS OR  
LANDSCAPING OR FENCING

OK TO LOG IN  
SUBJECT TO FINAL REVIEW

PLANNER  
DATE 4/19/89  
PLANNING DEPT. 29057

OTTO  
associates