



**PLANNING DEPARTMENT ADMINISTRATIVE PUBLIC HEARING
SUMMIT COUNTY, UTAH
December 5, 2024**

The Planning Department of Park City, Utah, will hold a Public Hearing in person at the Marsac Municipal Building, Planning Department Conference Room, at 445 Marsac Avenue, Park City, Utah 84060. Meetings will also be available online and may have options to listen, watch, or participate virtually.

Zoom Link: <https://us02web.zoom.us/j/88167820277>

1. REGULAR AGENDA - 12:00PM

- 1.A. **430 Deer Valley Loop Road – Administrative Conditional Use Permit** – The Applicant Proposes a 10-Foot Retaining Wall within the Side Setbacks in the Residential-Medium Density Zoning District. PL-24-06321.
(A) Public Hearing; (B) Action

Pursuant to the Americans with Disabilities Act, individuals needing special accommodations during the meeting should notify the Planning Department at 435-615-5060 or planning@parkcity.org at least 24 hours prior to the meeting.

***Parking is available at no charge for meeting attendees who park in the China Bridge parking structure.**

Planning Department Staff Report



Subject: 430 Deer Valley Loop
Application: PL-24-06321
Author: Jacob Klopfenstein, Planner I
Date: December 5, 2024
Type of Item: Administrative Conditional Use Permit

Recommendation

(I) Review the Administrative Conditional Use Permit (ACUP) for 430 Deer Valley Loop Road, (II) conduct a public hearing, and (III) consider approving the ACUP based on the Findings of Fact, Conclusions of Law, and Conditions of Approval outlined in the Draft Final Action Letter (Exhibit A).

Description

Applicant: Shane Valente
Hayden Sill, Applicant Representative

Location: 430 Deer Valley Loop

Zoning District: Residential – Medium Density (RM)

Adjacent Land Uses: Residential, Open Space

Reason for Review: Retaining walls over six feet in height require an ACUP in the Residential – Medium Density (RM) Zoning District.¹

ACUP Administrative Conditional Use Permit
LMC Land Management Code
RM Residential – Medium Density Zoning District
SFD Single-Family Dwelling

Terms that are capitalized as proper nouns throughout this staff report are defined in LMC [§ 15-15-1](#).

Summary

430 Deer Valley Loop has a failing wooden retaining wall in the rear of the site behind the existing Single-Family Dwelling (SFD). The Applicant proposes to replace the retaining wall with a new concrete block wall reaching a maximum height of 10 feet and a length of approximately 81 feet. Portions of the proposed retaining wall are within the Side Setbacks.

¹ LMC [§ 15-2.15-2](#)

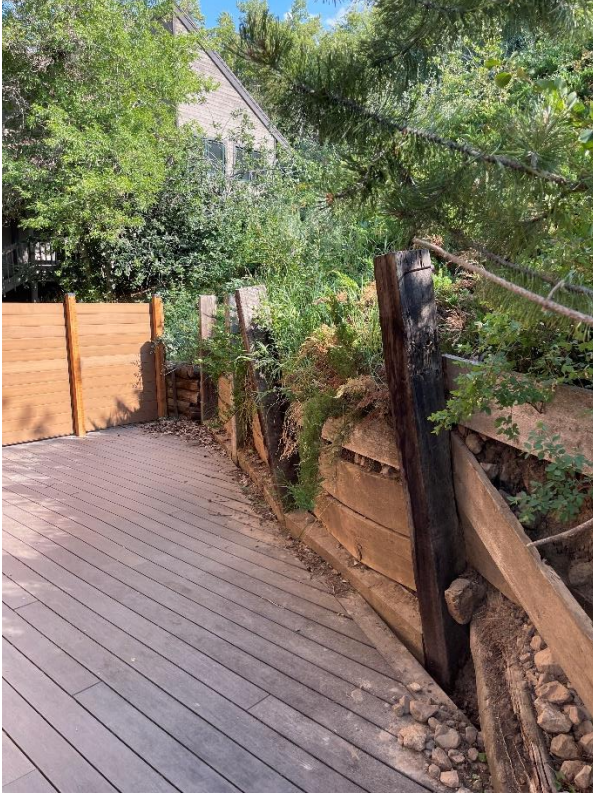


Figure 1 & 2: Applicant's photos showing existing failing wood retaining wall at 430 Deer Valley Loop.

The Applicant's proposed retaining wall plans are shown below:

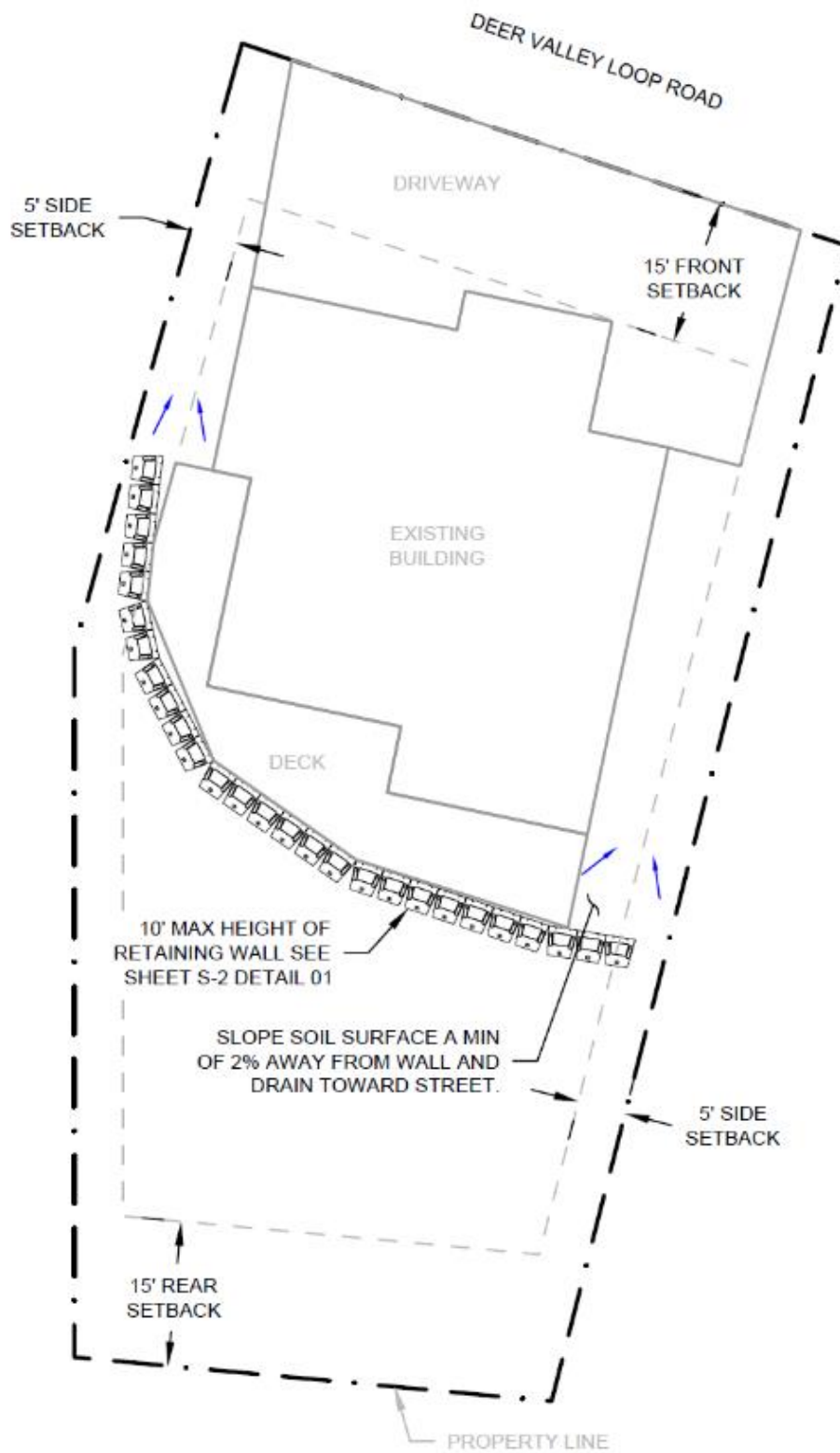


Figure 2: Applicant's submittal (Exhibit B) showing proposed new concrete block retaining wall to replace the failing wood retaining wall in the rear of the structure at 430 Deer Valley Loop.

Background

430 Deer Valley Loop (also known as 430 Deer Valley Loop Road) is developed with a SFD constructed in 1977. The Site is a 0.19-acre metes-and-bounds parcel and abuts City-owned property on the west side, the platted but unbuilt Provo Avenue and Swift Street.

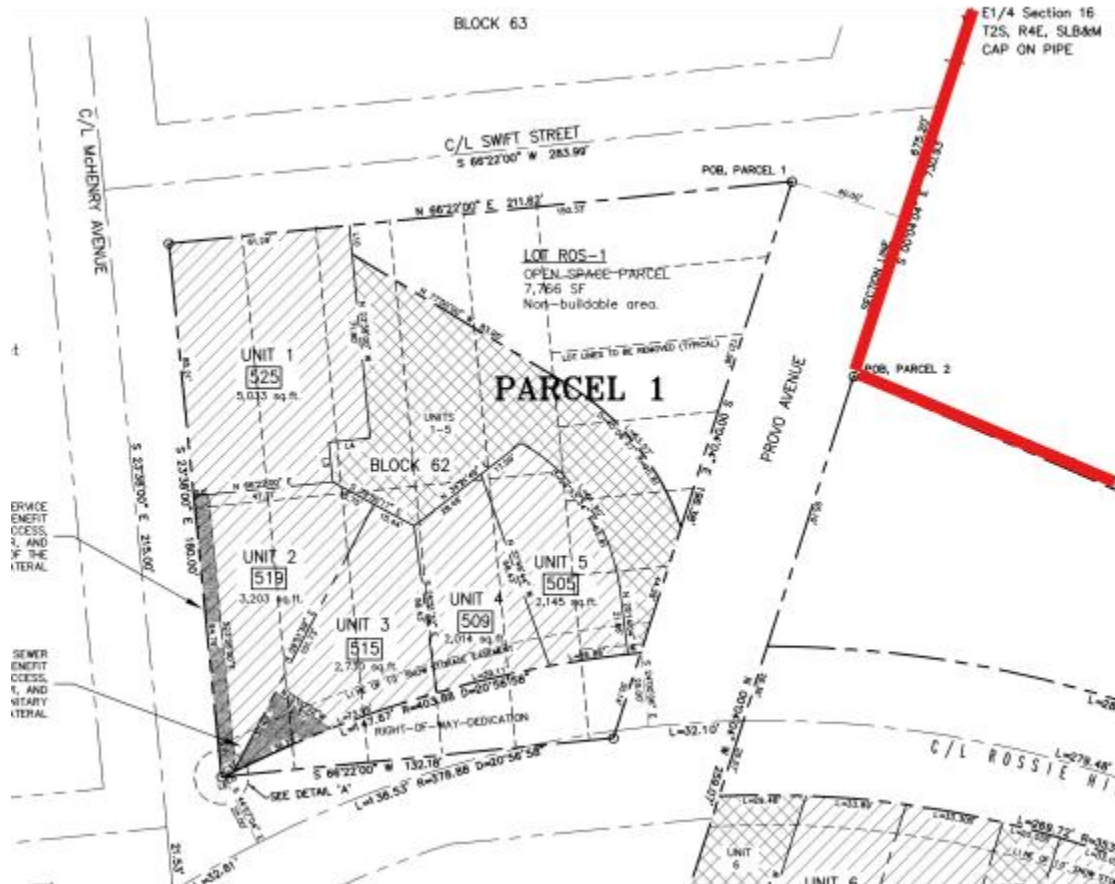


Figure 3: Excerpt from the Silver Pointe Condos Plat showing platted but unbuilt Provo Avenue and Swift Street. 430 Deer Valley Loop is not shown on this plat but is outlined in red adjacent to the platted areas.

An existing wooden retaining wall at 430 Deer Valley Loop is failing. The Applicant indicated that the failing wall is causing a wooden deck on the property to push up against the foundation of the SFD, creating a risk of damage to the SFD. There are no Building Permit records establishing when the retaining wall was constructed.

On October 29, 2024, the Applicant submitted an ACUP application to replace the failing wood retaining wall with a concrete block retaining wall.

Analysis

The proposed retaining wall is composed of five two-foot concrete blocks stacked on top of each other. The wall reaches a maximum height of 10 feet from Final Grade, as shown in the profile view below:

Rear Setback: 10 feet for SFDs	Complies: The proposed retaining wall is set back a minimum of 45 feet from the rear property line.
Side Setbacks: 5 feet for SFDs	Condition of Approval recommended: The proposed retaining wall is set back approximately six inches from the west side property line, and approximately three feet, six inches from the east side property line. Pursuant to LMC § 15-2.15-3(H), retaining walls not more than six feet in height from Final Grade are permitted within the Side Setback. Retaining walls exceeding six feet in height from Final Grade within the Side Setback require an ACUP. A retaining wall within the Side Setback may have multiple steps, but each exposed face cannot exceed six feet in height, and the horizontal distance between the walls from front face to rear face must be at least three feet and planted with approved vegetation. Condition of Approval 1 requires the Applicant to comply with this requirement. The proposed retaining wall includes stacked concrete blocks. Individual blocks are two feet in height. As shown in Figure 4, the stacked blocks are offset by about two horizontal inches, creating the effect of a single uniform wall without multiple steps and faces.

(II) The proposal, as conditioned, complies with the Conditional Use Permit criteria outlined in LMC [§ 15-1-10\(E\)](#).

LMC [§ 15-1-10](#) states there are certain Uses that, because of unique characteristics or potential impacts on the municipality, surrounding neighbors, or adjacent land Uses, may not be Compatible in some Areas or may be Compatible only if certain conditions are required that mitigate or eliminate the detrimental impacts.

The Planning Department shall approve a Conditional Use if reasonable conditions are proposed, or can be imposed, to mitigate the reasonably anticipated detrimental effects of the proposed Use in accordance with applicable standards. The Planning Department may deny the Conditional Use if the proposed Use cannot be substantially mitigated by the proposal or imposition of reasonable conditions to achieve compliance with applicable standards.

1. Size and location of the Site: *Condition of approval recommended*

As noted above, the retaining wall is proposed in the Side Setback and is approximately 81 feet long and a maximum of 10 feet tall. Per the Applicant, the new retaining wall is proposed to be in the same location as the existing wood retaining wall on a Steep Slope

The property abuts City right-of-way on the west side. Condition of Approval 2 requires the Applicant to work with the Engineering Department regarding an access agreement for work within five feet of City right-of-way and for work proposed on a Steep Slope.

2. Traffic considerations including capacity of the existing Streets in the Area:
No unmitigated impacts

No changes are proposed. The proposed retaining wall will not generate any additional traffic beyond the Use of the property as a SFD.

3. Utility capacity, including Storm Water run-off: *Condition of Approval recommended*

The proposed retaining wall includes a 4-inch perforated drainpipe below the bottom tier to provide drainage at both ends of the wall. Staff recommends Condition of Approval 3 requiring that drainage behind the new retaining wall be maintained such that water drains away from the walls to abate retaining wall failure and that all drainage is captured on the site.

4. Emergency vehicle Access: *No unmitigated impacts*

5. Location and amount of off-Street parking: *No unmitigated impacts*

6. Internal vehicular and pedestrian circulation system: *No unmitigated impacts*

The retaining wall is proposed in the rear of the property and will not impact emergency vehicle access to the Site, generate any additional off-Street parking needs, or impact circulation.

7. Fencing, Screening, and landscaping to separate the Use from adjoining Uses: *Condition of Approval recommended*

The property is adjacent to the Olive Branch Condos on the east side. Staff recommends Condition of Approval 4 requiring additional landscaping to screen the proposed retaining wall from the adjacent residential Use on the east side. Condition of Approval 3 requires that new landscaping be Water Wise and comply with Park City Municipal Code [Chapter 11-21](#), Utah Wildland-Urban Interface Code.

8. Building mass, bulk, and orientation, and the location of Buildings on the

Site; including orientation to Buildings on adjoining Lots: *Condition of Approval recommended*

Condition of Approval 5 requires the Applicant to confirm property lines prior to construction to ensure the retaining wall installation does not encroach onto neighboring properties.

The Engineering Department requires an [access agreement](#) during the Building Permit phase when a new structure is proposed to be 5 feet or less from a lot line or if the proposed site is considered a steep slope. Condition of Approval 2 requires the applicant to negotiate an access agreement with the Engineering Department due to these requirements.

9. Usable Open Space: *No unmitigated impacts*

The proposed retaining wall will not impact usable Open Space at the Site. Per the Applicant, the new retaining wall is proposed to be in the same location as the existing wood retaining wall. The vegetated area south of the proposed retaining wall will not be impacted.

10. Signs and lighting: *No unmitigated impacts*

No signs or lighting are proposed.

11. Physical design and Compatibility with surrounding Structures in mass, scale, style, design, and architectural detailing: *No unmitigated impacts*

The proposed retaining wall is composed of stacked concrete blocks filled with 1-inch crushed stone.

The proposed retaining wall will be compatible with Structures in the surrounding area, including several stone and concrete retaining walls at nearby properties. The front area of 430 Deer Valley Loop includes a stacked stone retaining wall, and the adjacent properties at 440 and 472 Deer Valley Loop also include stacked stone retaining walls.



Figure 5: Google Maps screenshot showing existing stacked stone and concrete retaining walls at nearby properties along Deer Valley Loop Road.

12. Noise, vibration, odors, steam, or other mechanical factors that might affect people and Property Off-Site: *No unmitigated impacts*

Operationally, no changes are proposed that would affect noise, vibration, odors, steam, or other mechanical factors that might affect people and Property Off-Site. During construction of the wall, the Contractor must not exceed the noise levels and construction hours established in Municipal Code of Park City [Chapter 6-3](#).

13. Control of delivery and service vehicles, loading and unloading zones, and Screening of trash and recycling pickup Areas: *No unmitigated impacts*

No changes are proposed that would affect control of delivery and service vehicles.

14. Expected Ownership and management of the project as primary residences, Condominiums, time interval Ownership, Nightly Rental, or commercial tenancies, how the form of Ownership affects taxing entities: *No unmitigated impacts*

430 Deer Valley Loop is privately owned. Business License records indicate that the property owner applied for a Nightly Rental Business License in 2023, but the license was cancelled and there are currently no active Nightly Rental Business Licenses for the property. The Applicant indicated that the property will be used as a Nightly Rental

in the future.

Condition of Approval 6 requires the Applicant to obtain an active Nightly Rental business license to operate the property as a Nightly Rental.

15. Within and adjoining the Site, Environmentally Sensitive Lands, Physical Mine Hazards, Historic Mine Waste and Park City Soils Ordinance, Steep Slopes, and appropriateness of the proposed Structure to the existing topography of the Site: *No unmitigated impacts*

430 Deer Valley Loop is not within the Sensitive Land Overlay and is outside the Park City Soils Ordinance boundary. However, the retaining wall is proposed to be constructed on a Steep Slope. Condition of Approval 2 requires the Applicant to work with the Engineering Department to negotiate an access agreement for work proposed on a Steep Slope prior to Building Permit issuance.

16. Reviewed for consistency with the goals and objectives of the Park City General Plan; however such review for consistency shall not alone be binding: *Conditions of Approval recommended*

The [Park City General Plan](#) considers the Deer Valley Loop area part of the Old Town Neighborhood. Old Town Goal 6.4 notes that the character of Historic Sites should be retained and preserved and notes that stone retaining walls can contribute to the character of the Old Town Historic District, though 430 Deer Valley Loop is neither a Historic Site nor located within the Historic District.

[Natural Setting Goal 6](#) of the General Plan indicates that Park City will implement strategies to enhance the City's resilience to the future impacts of climate change. Objective 6A notes that implementation of climate adaptation strategies is necessary to become more resilient to flooding. Implementation of quality retaining walls may prevent flooding damage to the property.

(III) The Development Review Committee reviewed the proposal on November 19, 2024 and requires Conditions of Approval.²

The Engineering Department required Condition of Approval 4, which states that the applicant must provide engineered plans for any portions of the retaining wall that exceed 4 feet to the Engineering Department for review.

Department Review

The Planning Department reviewed this report.

² The Development Review Committee meets the first and third Tuesday of each month to review and provide comments on Planning Applications, including review by the Building Department, Engineering Department, Sustainability Department, Transportation Planning Department, Code Enforcement, the City Attorney's Office, Local Utilities including Rocky Mountain Power and Dominion Energy, the Park City Fire District, Public Works, Public Utilities, and the Snyderville Basin Water Reclamation District (SBWRD).

Notice

Staff published notice on the City's website and the Utah Public Notice website and posted notice to the property on November 20, 2024. Staff mailed courtesy notice to property owners within 300 feet on November 20, 2024. The *Park Record* published courtesy notice on November 20, 2024.³

Public Input

Staff did not receive any public input at the time this report was published.

Alternatives

- The Planning Director Designee may approve the ACUP;
- The Planning Director Designee may deny the ACUP and direct staff to make Findings for the denial; or
- The Planning Director Designee may request additional information and continue the ACUP discussion a date certain or uncertain.

Exhibits

Exhibit A: Draft Final Action Letter

Exhibit B: Applicant's Narrative and Plans

³ LMC [§ 15-1-21](#)



Planning Department

December 5, 2024

Hayden Sill
h.sill@konistoco.com

CC: Shane Valente

NOTICE OF PLANNING DEPARTMENT ACTION

Description

Address: 430 Deer Valley Loop Road

Zoning District: Residential-Medium Density

Application: Administrative Conditional Use Permit

Project Number: PL-24-06321

Action: APPROVED WITH CONDITIONS (See Below)

Date of Final Action: December 5, 2024

Project Summary: The Applicant proposes a retaining wall that is a maximum of 10 feet tall and approximately 81 feet long in the rear of the property and within the Side Setback.

Action Taken

On December 5, 2024, the Planning Director Designee conducted a public hearing and approved the Administrative Conditional Use Permit according to the following findings of fact, conclusions of law, and conditions of approval.

Findings of Fact

1. 430 Deer Valley Loop Road is a Single-Family Dwelling (SFD) that was constructed in 1977.
2. The Site is not platted or subdivided as a legal Lot of record and abuts City-owned property on the west side. This City-owned property is platted but unbuilt Provo Avenue and Swift Street, according to the current recorded condominium plat for Silver Pointe Condominiums, which is directly to the southwest of 430 Deer Valley Loop Road.



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3. The Applicant proposes a retaining wall that is a maximum of 10 feet tall and approximately 81 feet long in the rear of the site and within the Side Setbacks.
4. The current wood retaining wall is failing and the Applicant indicated that the failing wall is causing a wood deck on the property to push up against the foundation. The Applicant indicated that this is creating a risk of severe damage to the home at the site.
5. Existing Building Permit records do not indicate when the existing wood retaining wall on the site was constructed.
6. The proposal for a new retaining wall complies, as conditioned, with Land Management Code (LMC) Chapter 15-2.15 Residential-Medium Density (RM) District.
 - a. Fences and retaining walls greater than 6 feet in height from Final Grade require an Administrative Conditional Use Permit in the RM District, pursuant to LMC § 15-2.15-2(B).
 - b. The minimum Front Setback is 15 feet for Single Family and Duplex Dwellings, and Accessory Buildings. The proposed retaining wall is set back a minimum of 43 feet from the front property line.
 - c. The minimum Rear Setback is 10 feet for Single Family and Duplex Dwellings. The proposed retaining wall is set back a minimum of 45 feet from the rear property line.
 - d. The minimum Side Setback is 5 feet for Single Family Dwellings, Duplex Dwellings, and Accessory Buildings. The proposed retaining wall is set back approximately 6 inches from the west side property line, and approximately 3 feet, 6 inches from the east side property line.
 - i. Pursuant to LMC § 15-2.15-3(H), Fences and retaining walls within the Side Setback in the RM District may have multiple steps, but each exposed face cannot exceed 6 feet in height, and the horizontal distance between the walls from front face to rear face must be at least 3 feet and planted with approved vegetation.
 - ii. Condition of Approval 1 prohibits exposed faces of the proposed retaining wall that encroach into the Side Setback from exceeding 6 feet and requires 3 feet of space between each face that is planted with approved vegetation.
7. The proposal, as conditioned, complies with the Conditional Use Permit criteria outlined in LMC Section 15-1-10(E).
 - a. Size and location of the Site



Planning Department

- i. The retaining wall is proposed in the Side Setback of the property and is approximately 81 feet long and a maximum of 10 feet tall.
 - ii. Condition of Approval 1 prohibits exposed faces of the proposed retaining wall that encroach into the Side Setback from exceeding 6 feet and requires 3 feet of space between each face that is planted with approved vegetation.
 - iii. The property abuts City-owned property on the west side. Condition of Approval 2 requires the applicant to work with the Engineering Department to negotiate a construction agreement for any work within 5 feet of the City-owned property.
- b. Traffic considerations including capacity of the existing Streets in the Area
 - i. The proposed retaining wall will not generate any additional traffic needs beyond the Use of the property as a SFD.
- c. Utility capacity, including Storm Water run-off
 - i. Condition of Approval 3 requires that drainage behind the new retaining wall be maintained such that water drains away from the walls in order to abate retaining wall failure.
- d. Emergency vehicle Access
 - i. The retaining wall is proposed in the rear of the property and will not impact emergency vehicle access to the Site.
- e. Location and amount of off-Street parking
 - i. The retaining wall is proposed in the rear of the property and will not impact off-Street parking at the Site or generate any additional off-Street parking needs.
- f. Internal vehicular and pedestrian circulation system
 - i. The retaining wall is proposed in the rear of the SFD on the property and will not impact circulation.
- g. Fencing, Screening, and landscaping to separate the Use from adjoining Uses
 - i. The property is adjacent to the Olive Branch Condos on the east side.
 - ii. Condition of Approval 4 requires additional landscaping to screen the proposed retaining wall from the adjacent residential Use on the east side.



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- iii. Condition of Approval 1 requires landscaping in the required 3-foot buffer area between any retaining wall faces that exceed 6 feet and encroach in the Side Setback.
- h. Building mass, bulk, and orientation, and the location of Buildings on the Site; including orientation to Buildings on adjoining Lots
 - i. Condition of Approval 5 requires the Applicant to confirm property lines prior to construction to ensure the retaining wall installation does not encroach onto existing property.
 - ii. Recordation of a plat is not required prior to installing the retaining wall. Condition of Approval 6 requires the property to be platted prior to any substantive changes to the property.
- i. Usable Open Space: No unmitigated impacts
 - i. The proposed retaining wall will not impact usable Open Space at the Site.
- j. Signs and lighting: No unmitigated impacts
 - i. No signs or lighting are proposed.
- k. Physical design and Compatibility with surrounding Structures in mass, scale, style, design, and architectural detailing: No unmitigated impacts
 - i. The retaining wall is proposed to be constructed out of concrete.
- l. Noise, vibration, odors, steam, or other mechanical factors that might affect people and Property Off-Site: No unmitigated impacts
 - i. No changes are proposed that would affect noise, vibration, odors, steam, or other mechanical factors that might affect people and Property Off-Site
- m. Control of delivery and service vehicles, loading and unloading zones, and Screening of trash and recycling pickup Areas: No unmitigated impacts
 - i. No changes are proposed that would affect control of delivery and service vehicles.
- n. Expected Ownership and management of the project as primary residences, Condominiums, time interval Ownership, Nightly Rental, or commercial tenancies, how the form of Ownership affects taxing entities
 - i. 430 Deer Valley Loop is privately owned.
 - ii. Business License records indicate that the property owner applied for a Nightly Rental Business License in 2023, but the license was cancelled and there are currently no active Nightly Rental Business Licenses for the property.



Planning Department

- o. Within and adjoining the Site, Environmentally Sensitive Lands, Physical Mine Hazards, Historic Mine Waste and Park City Soils Ordinance, Steep Slopes, and appropriateness of the proposed Structure to the existing topography of the Site
 - i. 430 Deer Valley Loop Road is not within the Sensitive Land Overlay and is outside the Park City Soils Ordinance boundary.
- p. Reviewed for consistency with the goals and objectives of the Park City General Plan; however such review for consistency shall not alone be binding
 - i. The Park City General Plan considers the Deer Valley Loop Road area part of the Old Town Neighborhood. Old Town Goal 6.4 notes that the character of Historic Sites should be retained and preserved and notes that stone retaining walls can contribute to the character of the Old Town Historic District, though 430 Deer Valley Loop Road is neither a Historic Site nor located within the Historic District.
 - ii. Natural Setting Goal 6 of the General Plan indicates that Park City will implement strategies to enhance the City's resilience to the future impacts of climate change. Objective 6A notes that implementation of climate adaptation strategies is necessary to become more resilient to flooding. Implementation of quality retaining walls may prevent flooding damage to the property.
 - iii. Staff also recommends Conditions of Approval 7, 8, and 9, which require the Applicant to obtain a Building Permit for the retaining wall, to notify the Planning Department prior to making any changes to the approved retaining wall, and notifying the Applicant that any changes, modifications, or deviations from the approved scope of work that have not been approved in advance by the Planning Department may result in a stop work order.
- 8. Staff published notice on the City's website and the Utah Public Notice website and posted notice to the property on November 20, 2024. Staff mailed courtesy notice to property owners within 300 feet on November 20, 2024. The Park Record published courtesy notice on November 20, 2024.
- 9. The Development Review Committee reviewed the proposal on November 19, 2024 and did not require conditions of approval.

Conclusions of Law



Planning Department

1. The retaining wall over 6 feet in height and within the Side Setbacks complies, as conditioned, with the requirements of the LMC.
2. The retaining wall will be compatible with surrounding Structures in Use, scale, mass, and circulation.
3. The effects of any difference in Use or scale for the retaining wall has been mitigated through careful planning.

Conditions of Approval

1. Any portion of the proposed retaining wall that is within the Side Setbacks may have multiple steps, but each exposed face shall not exceed six feet in height, and the horizontal distance between the walls from front face to rear face shall be at least three feet and planted with approved vegetation.
2. The Applicant shall work with the Engineering Department to negotiate an access agreement for any construction within 5 feet of City-owned property and for work proposed on a Steep Slope prior to Building Permit issuance. The Applicant shall provide engineered plans for any portions of the retaining wall that exceed 4 feet to the Engineering Department for review prior to Building Permit issuance.
3. Drainage behind the new retaining wall shall be maintained such that water drains away from the wall in order to abate retaining wall failure, and all drainage shall be captured on site. The Applicant shall verify drainage plans for the proposed wall with the Engineering Department during the Building Permit phase to ensure there is sufficient drainage for the proposed wall.
4. The Applicant shall implement additional landscaping in compliance with Land Management Code Section 15-5-5(N) to screen the proposed retaining wall from the adjacent residential Use on the east side. New landscaping shall comply with Park City Municipal Code Chapter 11-21, *Utah Wildland-Urban Interface Code* and new landscaping shall utilize the concept of Water Wise Landscaping for selecting plants, plant location, irrigation methods, and mulching of all Landscaped Areas.
5. Prior to construction, the Applicant shall confirm property lines and ensure the retaining wall installation does not encroach onto adjacent property.
6. The applicant shall obtain a Nightly Rental business license to operate the premises as a Nightly Rental.
7. The Applicant shall obtain a Building Permit for the retaining wall and complete Engineering Department review for the retaining wall prior to construction.
8. The Applicant is responsible for notifying the Planning Department prior to making any changes to the approved retaining wall. Any changes, modifications,



Planning Department

or deviations from the approved scope of work shall be submitted in writing for review in accordance with the applicable standards by the Planning Director or designee prior to construction.

9. Any changes, modifications, or deviations from the approved scope of work that have not been approved in advance by the Planning Department may result in a stop work order.

If you have questions or concerns regarding this Final Action Letter, please call (385) 481-2037 or email jacob.klopfenstein@parkcity.org.

Sincerely,

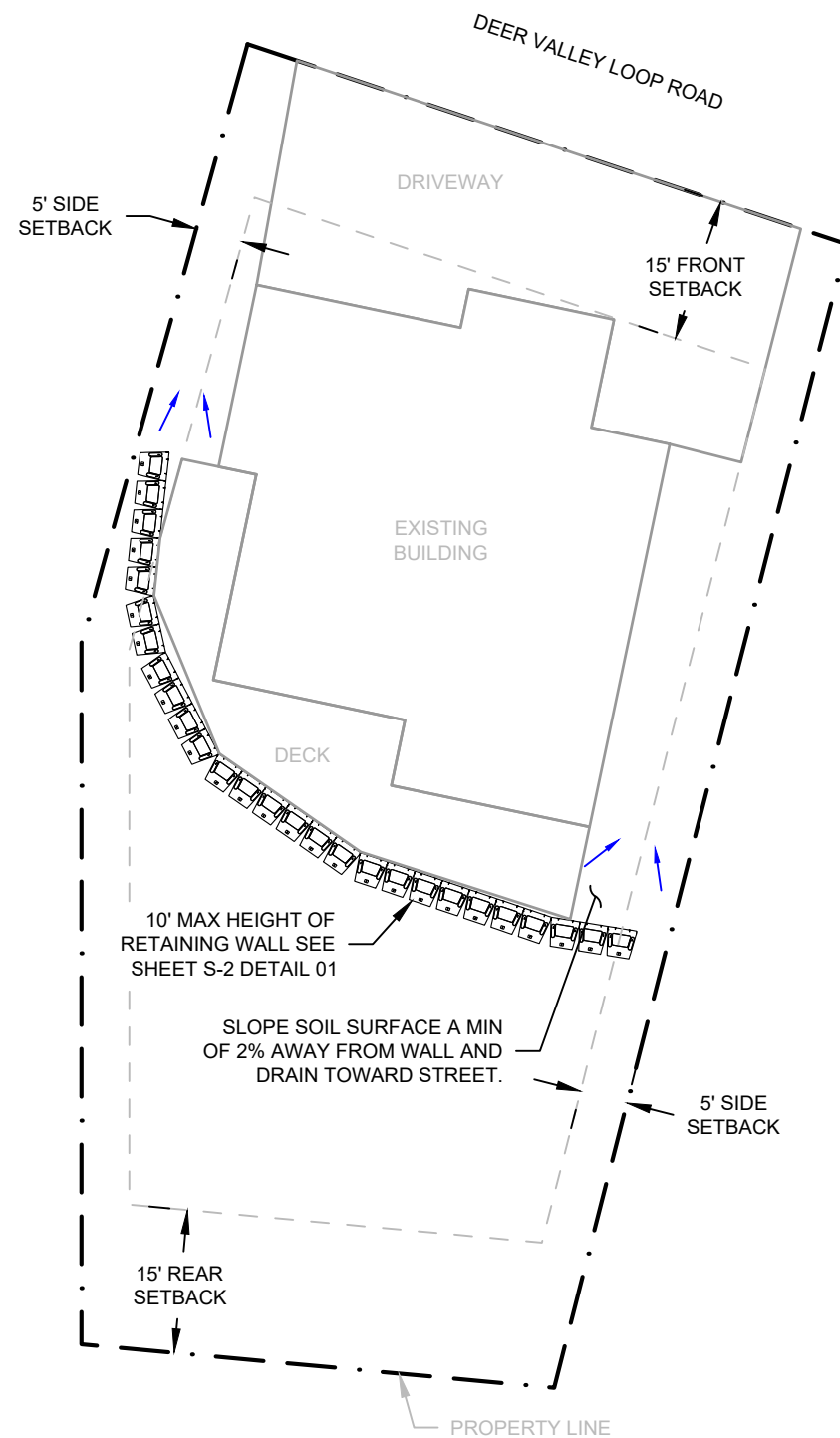
Elissa Martin
Planning Director Designee

CC: Jacob Klopfenstein

Homeowner has a 1:1 slope in his backyard, which is located against a wooden deck. The existing wooden retaining wall, supporting the hill, is failing, and as the hill is slowly sliding, it has resulted in the wooden deck pushing on the foundation of the house. Due to the high snowfall in the area, there is concern that additional snowfall will result in a total loss of the house. We are proposing the construction of a more sturdy retaining wall to shore up the hill behind the home.

Konisto Companies

C:\Users\Ryan\Documents\Anderson Engineering Co., Inc\Structures - General\503 - Hayden Sill - Park City Retaining Wall\5.0 Tasks\Drawings\Hayden Sill - PC Retaining Wall.dwg



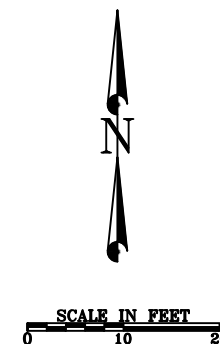
01 **RETAINING WALL PLAN VIEW**
SCALE - 1" = 20'

DESIGN CRITERIA:
RISK CATEGORY II
SOIL CLASS: D (DEFAULT)
WIND SPEED: 103 MPH
EXPOSURE: C
SEISMIC SITE CLASS: D
SS = 0.6
S1 = 0.19
SDS = 0.56
ELEVATION: 7106 FT
GROUND SNOW LOAD: 111 PSF

DESIGN BASED ON ASSUMED SOIL WEIGHT
(VERTICAL PRESSURE OF 127 PCF.)

FROST DEPTH = 30 INCHES

APPLICABLE CODES: IBC 2021, IRC 2021, ASCE 7-16



General Notes

- 1) CONTACT BLUE STAKES PRIOR TO STARTING CONSTRUCTION
- 2) THE LOT BOUNDARY LINE WAS TAKEN FROM THE DESCRIPTION PROVIDED ON THE COUNTY PLAT.



LEGEND

- UTILITY EASEMENT
- - - PROPERTY LINE
- CREATE DRAINAGE ALONG PATH SHOWN

No.	Revision/Issue	Date

HAYDEN SILL



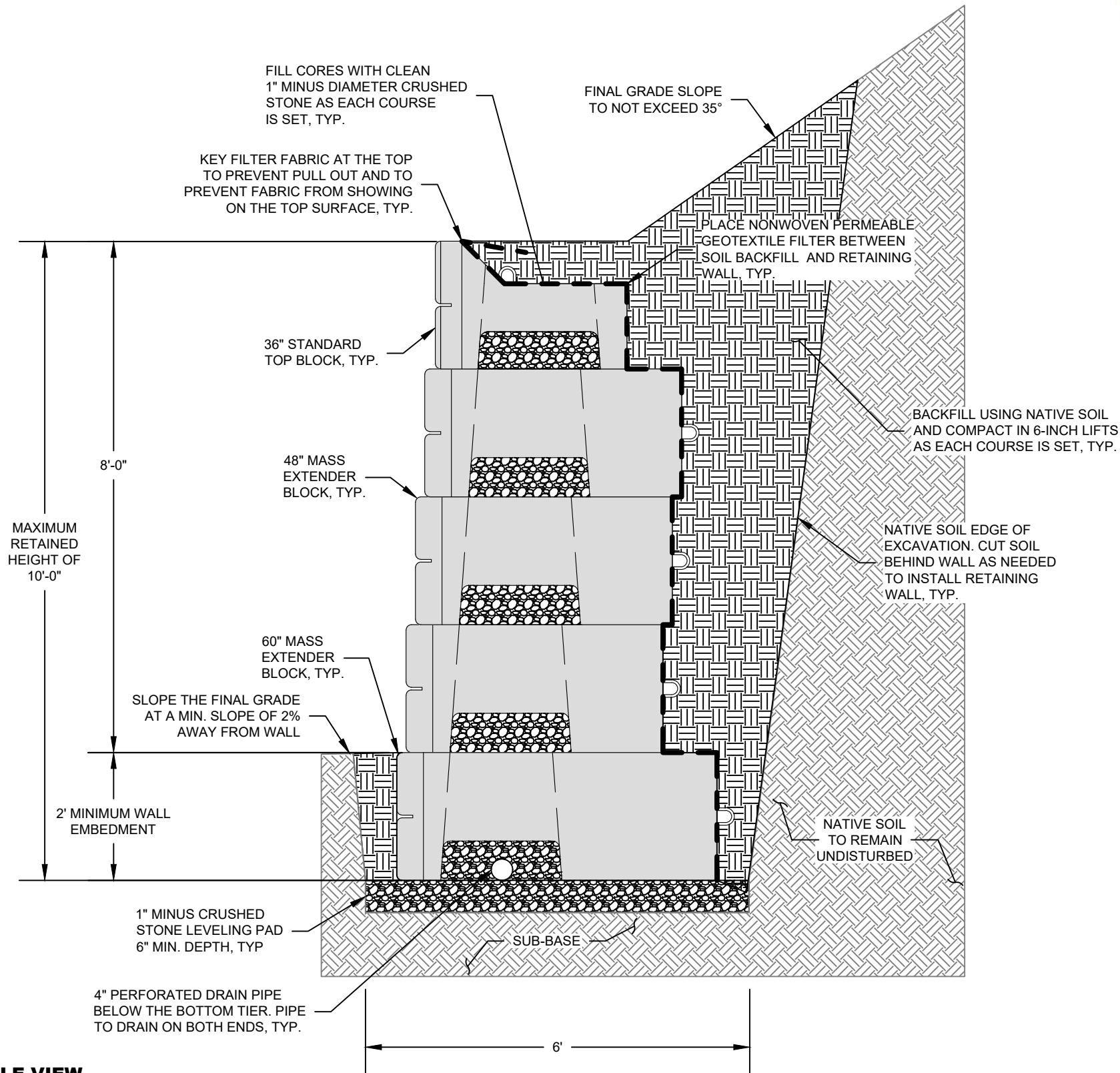
10'-0" RETAINING WALL
PLAN VIEW

430 DEER VALLEY LOOP ROAD
PARK CITY, UTAH 84060

DRAWN BY:	RCJ
ENGINEER:	MBD
APPROVED:	SCA

Project	503	Sheet	S-1
Date	03-Oct-2024		
Scale	1" = 20'		

C:\Users\Ryan\Documents\Anderson Engineering Co., Inc\Structures - General\503 - Hayden Sill - Park City Retaining Wall\5.0 Tasks\Drawings\Hayden Sill - PC Retaining Wall.dwg



01 RETAINING WALL PROFILE VIEW
SCALE - 1/2" = 1'

SCALE IN FEET
0 1 2

General Notes

1. THE BACKFILL MATERIALS SHALL BE PLACED IN MAXIMUM LIFTS OF 6" AND SHALL BE COMPACTED TO A MINIMUM 95% MODIFIED PROCTOR DENSITY.
2. INSTALL BLOCKS PER MANUFACTURER RECOMMENDATIONS
3. RETAINING BLOCKS TO BE VERTI BLOCK OR PREAPPROVED EQUAL
4. DRAINAGE AGGREGATES SHALL BE PLACED ON ALL UNIT VOIDS WITH UNIFORM PARTICLE SIZE LESS THAN 1" AND NOT MORE THAN 5% PASSING THROUGH THE NO. 200 SIEVE.
5. COMPACT SUB BASE TO 95% STANDARD PROCTOR DENSITY OR GREATER. DO NOT OVER-EXCAVATE. OVER-EXCAVATED AREAS SHALL BE FILLED WITH AN ENGINEERED APPROVED ENGINEERING FILL MATERIAL AND COMPACTED PRIOR TO PLACEMENT OF LEVELING PAD.
6. ONLY HAND-OPERATED COMPACTION EQUIPMENT SHALL BE USED WITHIN 3 FEET OF THE FRONT AND BACK OF THE WALL.
7. THE GRANULAR LEVELING PAD SHALL BE A MINIMUM OF 6 INCHES THICK AND 1 FOOT WIDER THAN THE WALL UNIT AND SHALL BE PLACED AND COMPACTED TO A MINIMUM OF 95% MODIFIED PROCTOR DRY DENSITY OR GREATER.

No.	Revision/Issue	Date

HAYDEN SILL

ANDERSON
ENGINEERING COMPANY INC.

10'-0" RETAINING WALL

PROFILE VIEW

430 DEER VALLEY LOOP ROAD
PARK CITY, UTAH 84060

DRAWN BY:	RCJ
ENGINEER:	MBD
APPROVED:	SCA

Project	503	Sheet	S-2
Date	03-Oct-2024		
Scale	1/2" = 1'		