



**PLANNING DEPARTMENT ADMINISTRATIVE PUBLIC HEARING
SUMMIT COUNTY, UTAH
April 18, 2024**

The Planning Department of Park City, Utah, will hold a Public Hearing in person at the Marsac Municipal Building, Planning Department Conference Room, at 445 Marsac Avenue, Park City, Utah 84060. Meetings will also be available online and may have options to listen, watch, or participate virtually.

1. REGULAR AGENDA - 12:00PM

- 1.A. **1061 Lowell Avenue - Extension of Approval** - The Applicant Seeks an Extension of Approval for a Conditional Use Permit (PL-22-05491) and Historic District Design Review (PL-22-05444) to Construct a New Duplex in the Historic Residential - 1 Zoning District. PL-24-06069
(A) Public Hearing; (B) Action
- 1.B. **402 and 410 Ontario Avenue - Extension of Approval** - The Applicant Requests an Extension to the 402 and 410 Ontario Plat Amendment Approved on March 9, 2023 (PL-22-05331). PL-24-06064
(A) Public Hearing; (B) Action
- 1.C. **1294 Rothwell Road - Administrative Conditional Use Permit** - The Applicant Proposes to Construct a Retaining Wall Over Six Feet in the Rear and Side Setbacks in the Recreation Commercial Zoning District. PL-24-06041
(A) Public Hearing; (B) Action

Pursuant to the Americans with Disabilities Act, individuals needing special accommodations during the meeting should notify the Planning Department at 435-615-5060 or planning@parkcity.org at least 24 hours prior to the meeting.

***Parking is available at no charge for meeting attendees who park in the China Bridge parking structure.**



Planning Department

April 18, 2024

Lowell Project, LLC
c/o Stacy Head

CC: stacyhead08@yahoo.com

NOTICE OF PLANNING DEPARTMENT ACTION

Description

Address: 1061 Lowell Avenue

Zoning District: Historic Residential– 1

Application: Extension of Approval

Project Number: PL-24-06069

Action: APPROVED WITH CONDITIONS (See Below)

Date of Final Action: April 18, 2024

Project Summary: Extension of Approval request for a Conditional Use Permit (PL-22-05491) and a Historic District Design Review (PL-22-05444) for the construction of a new Duplex Dwelling in the Historic Residential – 1 Zoning District.

Action Taken

On April 18, 2024, the Planning Director held a public hearing and approved an Extension of Approval for a Conditional Use Permit (PL-22-05491) and a Historic District Design Review (PL-22-05441) for a new Duplex Dwelling at 1061 Lowell Avenue subject to the following Findings of Fact, Conclusions of Law, and Conditions of Approval:

Findings of Fact

1. 1061 Lowell Avenue is Lot 1B of the Northstar Subdivision Lot 1 Amended Plat and is a 9,742-square-foot Lot.
2. 1061 Lowell Avenue is within the Historic Residential – 1 (HR – 1) Zoning District.
3. On July 19, 1977, a Declaration of Protective Covenants for the Northstar Subdivision was recorded.



Planning Department

4. The 1980s Land Management Code permitted a Two-Unit Dwelling as an Allowed Use in the HR – 1 Zoning District.
5. In 1983 the City issued a building permit for a Duplex on Lot 1 of the Northstar Subdivision.
6. In 1985, the property owners recorded a Party Wall Agreement for the shared wall of the Duplex with the Summit County Recorder's Office.
7. At some point a deed was recorded with Summit County to bifurcate the originally platted Lot along the shared wall of the Duplex.
8. On February 2, 2010, the Northstar Homeowners Association recorded a Notice of Removal of Protective Covenants to remove Lot 1 from the Northstar Homeowners Association.
9. On August 19, 2021, the City received a complete application for the Northstar Subdivision – Lot 1 Amended Plat to create two Lots – Lots 1A and 1B.
10. The Planning Commission reviewed the Plat Amendment Application to subdivide Lot 1 into Lots 1A and 1B on September 22, 2021, and forwarded a positive recommendation to City Council.
11. The City Council reviewed the Plat Amendment on October 21, 2021, and approved the amendment (Ordinance 2021-42).
12. On March 8, 2022, the Applicant recorded the Plat Amendment with the Summit County Recorder's Office (Entry No. 1184843).
13. On December 21, 2022, the City received a Conditional Use Permit application for the construction of a new Duplex on 1061 Lowell Avenue, Lot 1B of the Northstar Subdivision Lot 1 Amended Plat.
14. A Duplex is a Conditional Use in the HR – 1 Zoning District for Lots with a minimum area of 3,750 square feet.
15. On March 22, 2023, the Planning Commission reviewed the Conditional Use Permit, held a public hearing, and approved the Conditional Use Permit for a new Duplex at 1061 Lowell Avenue.
16. Pursuant to Land Management Code Section 15-1-10(G), a Conditional Use Permit expires one year from the date of Planning Commission approval unless the Conditional Use has commenced on the project, or a Building Permit for the Use has been issued. The Planning Director may grant an extension of a Conditional Use Permit for one additional year when the Applicant demonstrates no change in circumstance results in an unmitigated impact or a finding of non-compliance with the review criteria in Section 15-1-19(E) or other provisions of the Land Management Code in effect at the time of the extension request.



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17. Since the Planning Commission's March 22, 2023 approval of the Conditional Use Permit for the Duplex, on October 26, 2023, the City Council enacted Ordinance No. 2023-50 establishing a maximum lot size for Duplexes in the HR-1 Zoning District of 7,500 square feet. Lot 1B is a 9,742-square-foot Lot.
18. The City Council approved the Northstar Subdivision Lot 1 Amended Plat on October 21, 2021, prior to the establishment of a maximum lot size for Duplexes in the HR-1 Zoning District. The Applicant recorded the Northstar Subdivision Lot 1 Amended Plat on March 8, 2022, prior to the establishment of a maximum lot size for Duplexes in the HR-1 Zoning District.
19. Land Management Code Section 15-15-1 defines Non-Compliances as legally existing before current zoning designation and because of subsequent zoning changes, do not conform to the zoning regulation's setback, height restrictions, or other regulations that govern. Lot 1B is therefore a Non-Complying Lot.
20. Existing on the Lot is a fifteen-foot non-exclusive Access easement to Lot 1A, Lot 2, and parts of Lot 3 of the Northstar Subdivision.
21. The maximum building footprint allowed on the Lot is 2,818 square feet. The proposed building has a footprint of 2,815 square feet.
22. The HR-1 Zoning District requires Front and Rear Setbacks of 15 feet each, totaling a minimum of 30 feet. The proposed Front Setback is approximately 31 feet from the property line and the proposed Rear Setback is approximately 29 feet from the rear property line.
23. The HR-1 Zoning District requires a Side Setback of 5 feet, totaling a minimum of 18 feet. The proposed northern Side Setback is 5 feet, and the proposed southern Side Setback is 13 feet.
24. The HR-1 Zoning District maximum Building Height is 27 feet. The proposed Structure is 27 feet in height.
25. The HR-1 Zoning District requires a maximum interior height of 35 feet from the lowest finish floor plane to the top of the highest wall plate. The proposed Structure is 35 feet from the lowest finish floor plane to the top of the highest wall plate.
26. On May 4, 2023, the Planning Director conducted a public hearing and approved the Historic District Design Review for the proposed Duplex at 1061 Lowell Avenue.
27. Pursuant to Condition of Approval 2 of the May 4, 2023 Final Action Letter, the Historic District Review approval expires May 4, 2024.



Planning Department

28. Land Management Code Section 15-11-12(E) authorizes the Planning Director to grant an extension of Historic District Review approval for one additional year when the Applicant is able to demonstrate no change in circumstance that would result in an unmitigated impact or that would result in a finding of non-compliance with the Park City General Plan or the Land Management Code in effect at the time of the extension request. Change of circumstance includes physical changes to the Property or surroundings.
29. The Applicant filed an Extension of Approval request on March 14, 2024.
30. This Extension of Approval request does not include any proposed changes to the approved plans.
31. Notice for extension requests must be provided consistent with the original approvals.
32. On April 4, 2024, City staff provided a courtesy notice to all property owners within 300 feet of the proposed property and posted public notice to the property.
33. On April 4, 2024, City staff published a public hearing notice to the City Website and to the Utah Public Notice Website.

Conclusions of Law

1. The extension complies with Land Management Code Section 15-1-10(G).
2. The extension complies with Land Management Code Section 15-11-12(E) .

Conditions of Approval

1. Final building plans and construction details shall comply with the plans approved on March 22, 2023 (CUP) and May 4, 2023 (HDDR). Any changes, modifications, or deviations from the approved design that have not been approved in advance by the Planning and Building Departments may result in a stop work order.
2. All Conditions of Approval required by the Planning Commission's Conditional Use Permit approval on March 22, 2023, and Historic District Review approval on May 4, 2023, remain in full effect.

If you have questions regarding your application or the action taken, please contact Caitlyn Tubbs at 435-615-5063 or caitlyn.tubbs@parkcity.org.

Sincerely,

Rebecca Ward
Planning Director



Planning Department

Cc: Caitlyn Tubbs, AICP
Senior Historic Preservation Planner

Project File – PL-24-06069

Planning Department Staff Report



Subject: 402 and 410 Ontario Avenue
Application: PL-24-06064
Author: Lillian Zollinger, Planner II
Date: April 18, 2024
Type of Item: Extension of Plat Amendment Approval

Recommendation

(I) Review the proposed 402 and 410 Ontario Avenue Plat Amendment Extension; (II) conduct a public hearing; and (III) consider approving the Extension for one year based on the Draft Findings of Fact, Conclusions of Law, and Conditions of Approval (Exhibit A).

Description

Applicant: Sean Kelleher and Brad Bars
Location: 402 and 410 Ontario Avenue
Zoning District: Historic Residential - 1
Adjacent Land Uses: Residential
Reason for Review: The Planning Director may consider a Plat extension.¹

LMC Land Management Code
HDDR Historic District Design Review
HR - 1 Historic Residential - 1
SFD Single-Family Dwelling

Terms that are capitalized as proper nouns throughout this staff report are defined in LMC [§ 15-15-1](#).

Background

On March 9, 2023, the City Council approved [Ordinance No. 2023-11](#), approving the 402 and 410 Ontario Avenue Plat Amendment. Condition of Approval 2 states, "The Applicant shall record the plat at the County within one (1) year from the date of City Council approval. If recordation has not occurred within one (1) years' time, this Plat approval will be void, unless a request for an extension is made in writing prior to the expiration date..."

On March 6, 2024, the Applicants requested an extension to their Plat Amendment in writing, prior to the March 9, 2024, expiration date.

¹ LMC [§ 15-7.1-5\(H\)](#)

Analysis

LMC [§ 15-7.1-5\(H\)](#) states, “Applicants may request time extensions of the approval of a Preliminary Plat by submitting a request in writing to the Planning Department prior to expiration of the approval. The Planning Director shall review all requests for time extensions of Preliminary Plat approvals and may consider the request when the Applicant is able to demonstrate no change in circumstance that would result in an unmitigated impact or that would result in a finding of non-compliance with the Park City General Plan or the Land Management Code in effect at the time of the extension request. Change in circumstance includes physical changes to the Property or surroundings. Notice shall be provided consistent with the requirements for Preliminary Plat in Section 15-1-12.”

The Applicants noted that there is a new owner of 410 Ontario Avenue, however there are no proposed modifications from the original approval.

See Exhibit A for full Findings and Conditions.

Notice

Staff published notice on the City’s website and the Utah Public Notice website and posted notice to the property on April 4, 2024. Staff mailed courtesy notice to property owners within 300 feet on April 4, 2024.²

Exhibits

Exhibit A: Draft Final Action Letter

Attachment 1: Plat Approved March 9, 2023

² LMC [§ 15-1-21](#)



Planning Department

April 18, 2024

Sean Kelleher and Brad Bars
402 and 410 Ontario Avenue
Park City, UT 84060

NOTICE OF PLANNING DEPARTMENT ACTION

Description

Address: 402 and 410 Ontario

Zoning District: Historic Residential – 1

Application: Extension of Approval

Project Number: PL-24-06064

Action: APPROVED WITH CONDITIONS (See Below)

Date of Final Action: April 18, 2024

Project Summary: The Applicant Requests an Extension for the 402 and 410 Ontario Plat Amendment approved on March 9, 2023.

Action Taken

On April 18, 2024, the Planning Director held a public hearing and approved an Extension of Approval for the 402 and 410 Ontario Avenue Plat Amendment subject to the following Findings of Fact, Conclusions of Law, and Conditions of Approval:

Findings of Fact

1. The properties are located at 402 and 410 Ontario Avenue.
2. The properties are identified as Lots 1, 2, and 3 of Block 58 of the Park City Survey.
3. 402 Ontario consists of Lot 1 and the southerly half of Lot 2 of Block 58 of the Park City Survey and is vacant.
4. 410 Ontario consists of the northerly half of Lot 2 and Lot 3 of Block 58 of the Park City Survey and has a non-conforming and non-complying duplex, with one unit on the upper floor and one unit on the lower floor.
5. The 402 and 410 Ontario Avenue Plat Amendment creates two Lots, removing existing internal Lot lines. Lot A (402 Ontario Avenue) is 2,812.5 square feet. Lot B (410 Ontario Avenue) is 2,812.5 square feet.



Planning Department

6. The properties are within the Historic Residential – 1 Zoning District.
7. The existing non-historic structure at 410 Ontario Avenue was built in 1970.
8. On August 18, 1997, the Historic District Commission approved a Design Review of the non-historic structure at 410 Ontario Avenue to replace a failing foundation and to re-construct the rear of the structure.
9. On September 18, 1997, the City Council approved a plat amendment for 410 Ontario Avenue to combine 1.5 Old Town Lots into one 2,812.5 square foot Lot. The plat was never recorded.
10. On November 7, 1997, the City issued a Building Permit for 410 Ontario Avenue with the following relevant Condition of Approval:
 - a. This building is non-conforming. It is a duplex on a parcel less than 3,750 square feet. No expansion or additions may be made under this permit, only improvements of a structural or cosmetic nature.
11. In 1997, the City determined that the 1970 structure is non-conforming/non-complying and allowed the property owner to maintain the structure and duplex use.
12. Two railroad tie retaining walls and concrete steps to 410 Ontario Avenue encroach into the Public Right of Way. The Applicant entered into an Encroachment Agreement with the City. The Encroachment Agreement is recorded with the Summit County Recorder's Office, Entry No. 1198229.
13. The property owner of 410 Ontario Avenue has an Encroachment Agreement with the property owner of 402 Ontario Avenue for the encroachment of the existing deck and staircase. The Encroachment Agreement is recorded with the Summit County Recorder's Office, Entry No. 1200015.
14. No easement is vacated or amended because of the Plat Amendment.
15. The LMC regulates Lot and Site Requirements for the HR – 1 Zoning District pursuant to LMC § 15-2.2-3.
16. A Single-Family Dwelling is an Allowed Use in the HR – 1 Zoning District and requires a minimum Lot size of 1,875 square feet and a maximum Lot size of 3,750 square feet. The proposed Lot size for Lot A (402 Ontario Avenue) is 2,812.5 square feet.
17. A Duplex Dwelling is a Conditional Use in the HR – 1 Zoning District and requires a minimum Lot size of 3,750 square feet. The proposed Lot size for Lot B (410 Ontario Avenue) is 2,812.5 square feet. The existing Duplex is a non-conforming Use and Structure.
18. The minimum Lot width in the HR – 1 Zoning District is 25 feet. The proposed width of both Lots is 37.5 feet.
19. The required front Setback for Lot depths of 75 feet is ten feet (10').
20. The required Side Setback is three feet (3').



Planning Department

21. In the HR – 1 Zoning District, the Maximum Building Footprint = $(\text{Lot Area}/2) \times 0.9^{\text{Lot Area}/1875}$.
22. The Maximum Building Footprint for Lot A (402 Ontario Avenue) is 1,200 square feet.
23. The Maximum Building Footprint for Lot B (410 Ontario Avenue) is 1,200 square feet.
24. Building Height in the HR – 1 Zoning District is 27 feet. The existing non-complying structure is 28 feet and exceeds building height.
25. The average slope on Lot A (402 Ontario Avenue) is 36%. Future development will require a Steep Slope Conditional Use Permit prior to Building Permit submittal.
26. Duplex Dwellings require four (4) parking spaces. No parking exists for the existing non-complying/non-conforming Duplex at 410 Ontario Avenue.
27. On March 9, 2023, the City Council reviewed the Plat Amendment, conducted a public hearing, and approved the Plat Amendment (Ordinance No. 2023-11).
28. Pursuant to LMC § 15-7.1-6(C)(4) and Ordinance No. 2023-11 Condition of Approval 2, the Plat Amendment approval expired on March 9, 2024, one year later.
29. On March 6, 2024, the Applicant submitted an Extension of Approval Application to the Planning Department, prior to the March 9, 2024, the date of expiration.
30. LMC Section 15-7.1-6(C)(4) states Applicants may request time extensions of plat approvals by submitting a request in writing to the Planning Department prior to expiration of the approval. The Planning Director may grant an extension to the expiration date when the Applicant is able to demonstrate no change in circumstance that would result in an unmitigated impact or that would result in a finding of non-compliance with the Park City General Plan or the Land Management Code in effect at the time of the extension request. Changes in circumstance include physical changes to the Property or surroundings.
31. The Applicant is not proposing any modifications to the original proposal.
32. Since the March 9, 2023 approval of the plat, the City Council enacted Ordinance No. 2023-50 establishing a maximum lot size for residential uses within the Historic Districts. 402 and 410 Ontario Avenue are within the Historic Residential – 1 Zoning District. Land Management Code Section 15-2.2-3(A) now establishes a maximum lot size of 3,750 square feet for a Single-Family Dwelling. Lot A (402 Ontario Avenue) contains a maximum lot size of 2,812.5 square feet. Lot B (410 Ontario Avenue) contains a maximum lot size of 2,812.5 square feet. As a result, the lots comply with the new maximum lot size regulations adopted since the approval of the plat.



Planning Department

33. Notice shall be provided consistent with the requirements for a Final Plat in Section 15-1-12.
34. Staff published a courtesy notice on the Park City website on April 4, 2024, and posted a notice to the property on April 4, 2024. Staff mailed courtesy notice to property owners within 300 feet on April 4, 2024.

Conclusions of Law

1. The Plat Amendment is consistent with the Land Management Code, including Chapter 15-2.2 *Historic Residential (HR-1) Zoning District*, and § 15-7.1-6, *Final Subdivision Plat*.
2. Neither the public nor any person will be materially injured by the proposed Plat Amendment.
3. Approval of the Plat Amendment, subject to the conditions stated below, does not adversely affect the health, safety, and welfare of the citizens of Park City.
4. The Applicant demonstrated that the proposal was the same and that there was no change in circumstance that would result in an unmitigated impact or that would result in a finding of non-compliance with the Park City General Plan or the Land Management Code, pursuant to LMC § 15-7.1-6(C)(4).

Conditions of Approval

1. The Planning Department, City Attorney, and City Engineer will review and approve the final form and content of the Plat for compliance with State law, the Land Management Code, and the conditions of approval, prior to recordation of the plat.
2. The Applicant shall record the plat at the County within one (1) year from the date of Planning Director approval. If recordation has not occurred within one (1) years' time, this Plat approval will be void, unless a request for an extension is made in writing prior to the expiration date and an extension is granted by the Planning Director.
3. The plat shall note that fire sprinklers are required for all new construction on Lot A (402 Ontario) to be approved by the Chief Building Official.
4. A non-exclusive ten foot (10') public snow storage easement on Ontario Avenue shall be dedicated on the Plat.
5. Any new development on Lot A, 402 Ontario Avenue, must comply with the Land Management Code, requires Historic District Review, and a Steep Slope Conditional Use Permit. A geotechnical report and storm drain analysis shall be submitted prior to a building permit application. It should be noted that a water line running up 4th Street may require additional attention from the owner planning to build at 402 Ontario Avenue.



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6. The Owner of 410 Ontario Avenue may repair or maintain the existing Structure provided that such repair or maintenance shall neither create any new non-compliance nor shall increase the degree of the existing non-compliances with the LMC. The Owner may maintain and remodel the existing Duplex Dwelling. Should more than 50% of the Gross Floor Area of the Structure be demolished, the Structure shall be brought into compliance with the Land Management Code at the time of application. As this site does not meet the minimum Lot Size requirements or Parking requirements for a Duplex Dwelling, the Use will also need to be brought into compliance with the LMC at the time of application. The Owner may maintain the existing Use of the site as a Duplex, but any deviation, expansion, or demolition of the existing Structure from this Use will need to come into compliance with the requirements of the HR-1 Zoning District at the time of the application. Redevelopment of this lot will require a Steep Slope Conditional Use Permit.
7. If 410 Ontario Avenue remodels more than 50% of the existing structure or redevelops the site as a Single-Family Dwelling, parking requirements outlined in the LMC at the time of building permit application shall be met.
8. The City Engineer shall review and approve all Lot grading, utility installation, public improvement, and drainage plans for compliance with City standards prior to issuance of any building permits. A geotechnical report and storm drain analysis will be required at Building Permit.
9. The Plat shall note that these Lots are subject to Ordinance No. 2023-11.

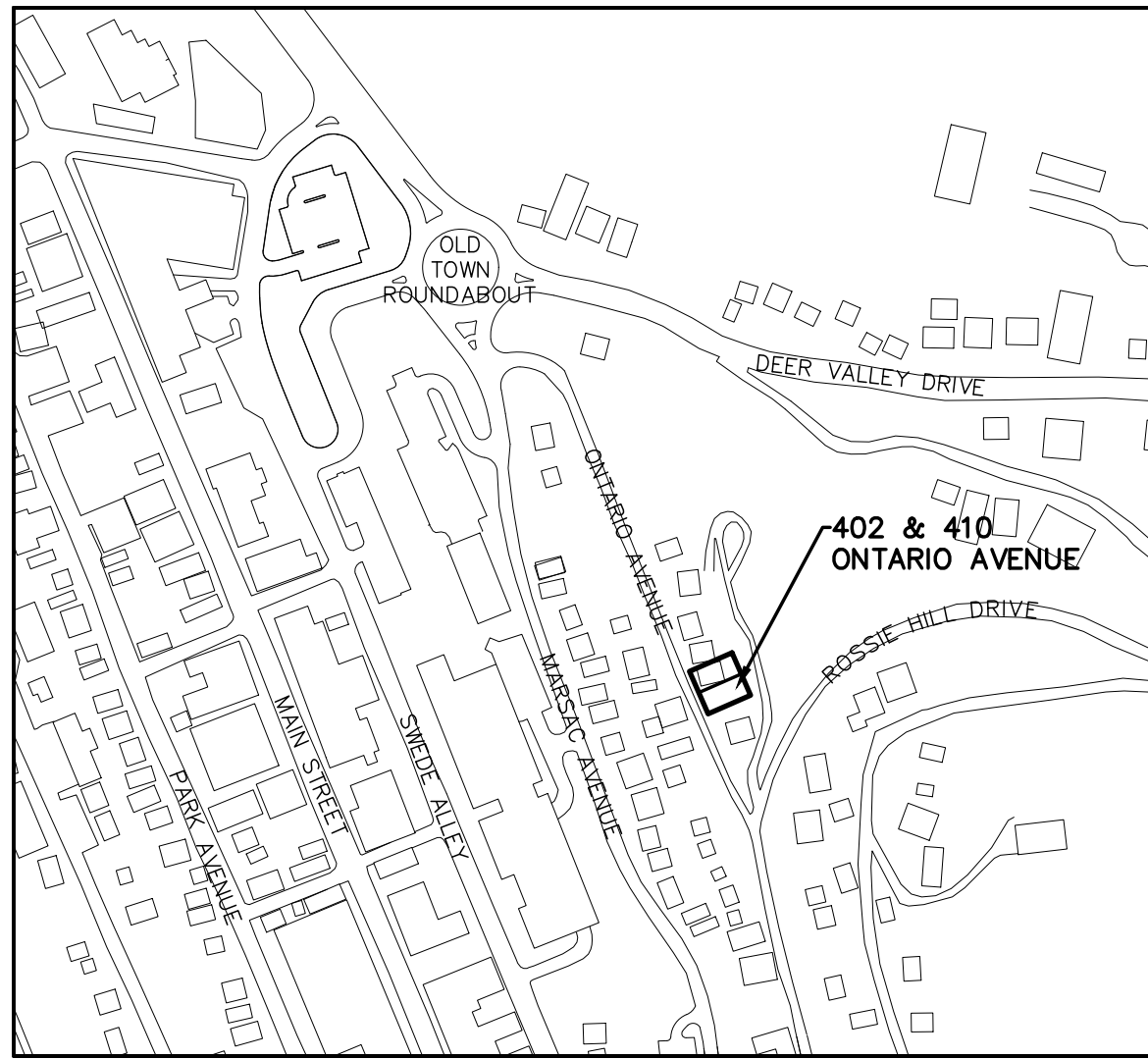
If you have questions regarding your application or the action taken, please don't hesitate to contact Lillian Zollinger at 435-615-5068 or lillian.zollinger@parkcity.org.

Sincerely,

Rebecca Ward
Planning Director

CC: Lillian Zollinger, Planner II

Attachment 1: Plat Approved March 9, 2023



VICINITY MAP

OWNER'S DEDICATION AND CONSENT TO RECORD

KNOW ALL BY THESE PRESENTS that Cameron M. Stacy, an unmarried man, as to Parcel 2, hereby certifies that he has caused this plat amendment to be prepared, together with easements as set forth to be hereafter known as 402 & 410 ONTARIO AVENUE PLAT AMENDMENT and does hereby dedicate for the perpetual use of the public areas shown on this plat as intended for public use. The undersigned owner also hereby conveys any other easements as shown on this plat to the parties indicated and for the purposes shown hereon.

In witness whereof, the undersigned set his hand this ____ day of _____, 2022.

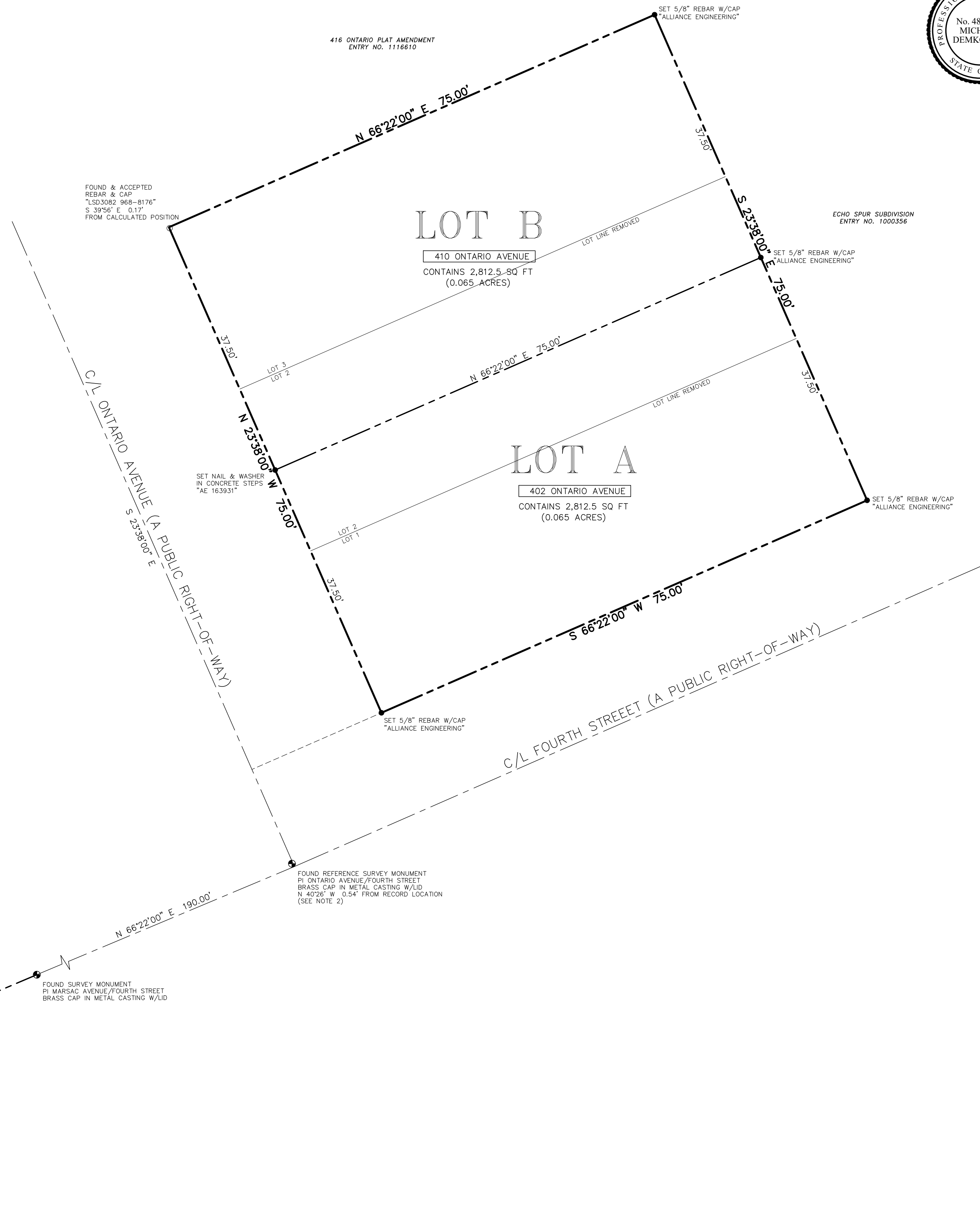
By: _____
Cameron M. Stacy

ACKNOWLEDGMENT

STATE OF _____)
: ss.
COUNTY OF _____)

On this ____ day of _____, 2022, Cameron M. Stacy personally appeared before me, whose identity is personally known to me or proven on the basis of satisfactory evidence, and who by me duly sworn/affirmed, that he acknowledged to me that he executed the 402 & 410 ONTARIO AVENUE PLAT AMENDMENT.

By: _____
Notary Public
Printed Name _____
Residing in: _____
My commission expires: _____
Commission No. _____



SURVEYOR'S CERTIFICATE

I, Michael Demkowicz, do hereby certify that I am a Professional Land Surveyor and that I hold License No. 4857264 as prescribed under the laws of the State of Utah. I further certify that by authority of the owner, I have made a survey of the land shown on this plat and described hereon to hereafter to be known as 402 & 410 ONTARIO AVENUE PLAT AMENDMENT and that the same has been correctly surveyed and monumented on the ground as shown on this plat.

LEGAL DESCRIPTION

Parcel 1

Lot 1 and the southerly one-half of Lot 2, Block 58, AMENDED PLAT OF THE PARK CITY SURVEY, according to the official plat thereof on file and of record in the Summit County Recorder's Office.

Parcel 2

Lot 3 and the north one half of Lot 2, Block 58, PARK CITY SURVEY, according to the official plat thereof on file and of record in the Summit County Recorder's Office.

OWNER'S DEDICATION AND CONSENT TO RECORD

KNOW ALL BY THESE PRESENTS that Green Monster, LLC, a Utah limited liability company, as to Parcel 1, hereby causes this plat amendment to be prepared, together with easements as set forth to be hereafter known as 402 & 410 ONTARIO AVENUE PLAT AMENDMENT and does hereby dedicate for the perpetual use of the public the areas shown on this plat as intended for public use. The undersigned owner also hereby conveys any other easements as shown on this plat to the parties indicated and for the purposes shown hereon.

In witness whereof, the undersigned set his hand this ____ day of _____, 2022.

Green Monster, LLC, a Utah limited liability company

By: JGC Beach Properties, LLC, a Utah limited liability company

By: _____
S. Sean Kelleher, Managing Member

ACKNOWLEDGMENT

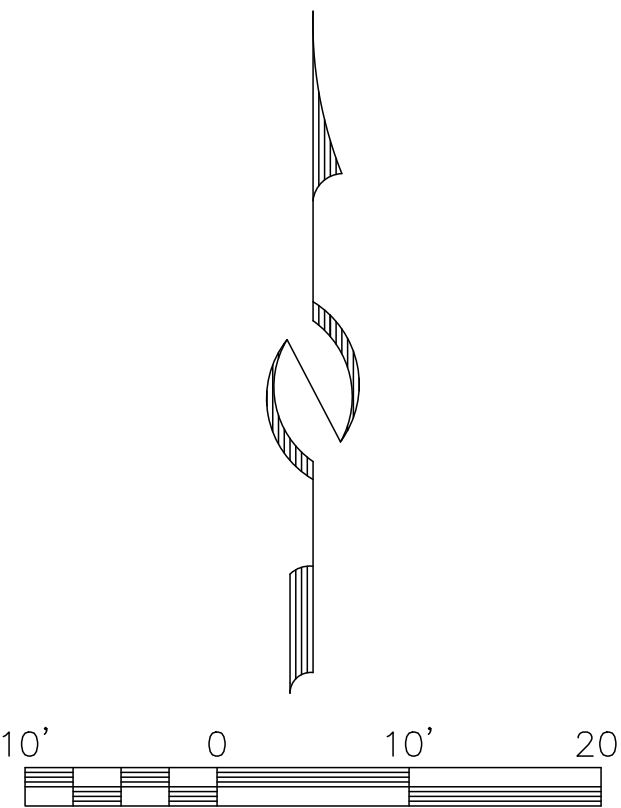
STATE OF _____)
: ss.
COUNTY OF _____)

On this ____ day of _____, 2022, S. Sean Kelleher personally appeared before me, whose identity is personally known to me or proven on the basis of satisfactory evidence, and who by me duly sworn/affirmed, did say that he is the Managing Member of JGC Beach Properties LLC, a Utah limited liability company, Manager of Green Monster, LLC, a Utah limited liability company, and that said document was signed by him on behalf of said limited liability company by authority of its Operating Agreement or Resolution of its Members, and he acknowledged to me that he executed the 402 & 410 ONTARIO AVENUE PLAT AMENDMENT.

By: _____
Notary Public
Printed Name _____
Residing in: _____
My commission expires: _____
Commission No. _____

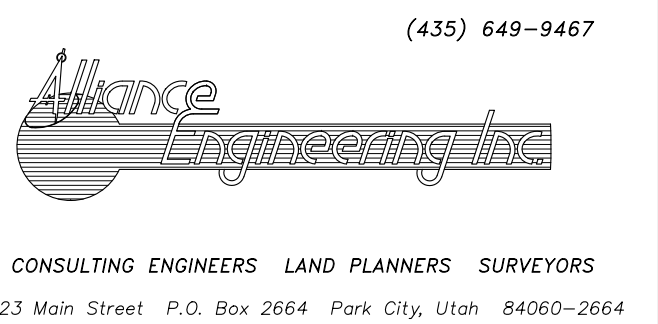
NOTES

- This plat amendment is subject to the Conditions of Approval in Ordinance 2022-_____.
- The original survey monument at Fourth Street and Ontario Avenue was destroyed by construction in 1996 and re-set. The current location does not match the original location as shown on this survey and is determined to be a witness corner.
- An Agreement addressing encroachments recorded December 3, 1976, as Entry No. 135043 in Book M87 at Page 506 affects this property.



402 & 410 ONTARIO AVENUE PLAT AMENDMENT

LOCATED IN PARK CITY SURVEY, BLOCK 58,
IN THE SOUTHEAST QUARTER OF SECTION 16
TOWNSHIP 2 SOUTH, RANGE 4 EAST, SALT LAKE BASE AND MERIDIAN
PARK CITY, SUMMIT COUNTY, UTAH



SHEET 1 OF 1							
8/2/22 JOB NO.: 12-3-22 FILE: X:\ParkCitySurvey\dwg\sr\plat2022\120322.dwg							
SNYDERVILLE BASIN WATER RECLAMATION DISTRICT REVIEWED FOR CONFORMANCE TO SNYDERVILLE BASIN WATER RECLAMATION DISTRICT STANDARDS ON THIS ____ DAY OF _____, 2022 BY _____ ENGINEERING DEPARTMENT	PLANNING COMMISSION RECOMMENDED BY THE PARK CITY PLANNING COMMISSION THIS ____ DAY OF _____, 2022 BY _____ CHAIR	ENGINEER'S CERTIFICATE I FIND THIS PLAT TO BE IN ACCORDANCE WITH INFORMATION ON FILE IN MY OFFICE THIS ____ DAY OF _____, 2022 BY _____ PARK CITY ENGINEER	APPROVAL AS TO FORM APPROVED AS TO FORM THIS ____ DAY OF _____, 2022 BY _____ PARK CITY ATTORNEY	COUNCIL APPROVAL AND ACCEPTANCE APPROVAL AND ACCEPTANCE BY THE PARK CITY COUNCIL THIS ____ DAY OF _____, 2022 BY _____ MAYOR	CERTIFICATE OF ATTEST I CERTIFY THIS PLAT WAS APPROVED BY PARK CITY COUNCIL THIS ____ DAY OF _____, 2022 BY _____ PARK CITY RECORDER	PUBLIC SAFETY ANSWERING POINT APPROVAL APPROVED THIS ____ DAY OF _____, 2022 BY _____ SUMMIT COUNTY GIS COORDINATOR	RECORDED STATE OF UTAH, COUNTY OF SUMMIT, AND FILED AT THE REQUEST OF _____ FEE _____ RECORDER _____ TIME _____ DATE _____ ENTRY NO. _____

Planning Department Staff Report



Subject: 1294 Rothwell Road
Application: PL-24-06071
Authors: Lillian Zollinger, Planner II
Jason Berntson, Planning Technician
Date: April 18, 2024
Type of Item: Administrative Conditional Use Permit

Recommendation

(I) Review the Administrative Conditional Use Permit for the retaining wall greater than six feet in the Rear and Side Setbacks, (II) conduct a public hearing, and (III) consider approving the Administrative Conditional Use Permit based on the Findings of Fact, Conclusions of Law, and Conditions of Approval outlined in the Draft Final Action Letter (Exhibit A).

Description

Applicant: Rory Murphy, CRH Partners LLC
Location: 1294 Rothwell Road
Zoning District: Recreation Commercial (RC)
Adjacent Land Uses: Recreation and Open Space; Condominium; Multi-Family Dwelling
Reason for Review: The Planning Department reviews and takes Final Action on Administrative Conditional Use Permits.¹

ACUP Administrative Conditional Use Permit
RC Recreation Commercial

Terms that are capitalized as proper nouns throughout this staff report are defined in LMC § [15-15-1](#).

Summary

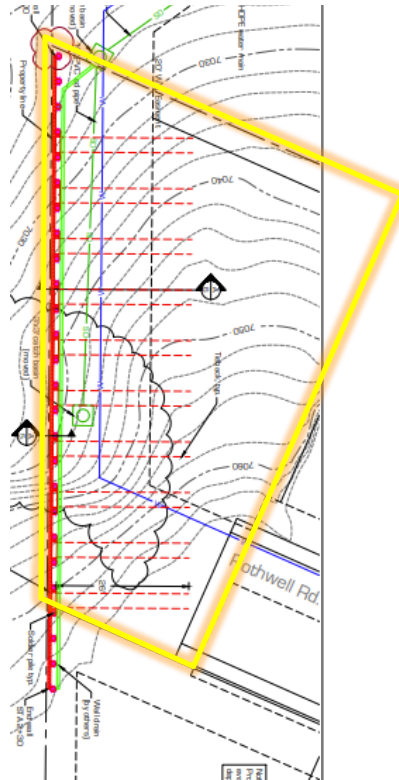
The Applicant proposes to construct a retaining wall with a height up to 15 feet in the Rear and Side Setbacks at 1294 Rothwell Road, Lot 21 and 1291 Rothwell Road, Lot 22 of the King's Crown Re-Subdivision in the Recreation Commercial (RC) Zoning District. The site is located at the end of Rothwell Road on a hillside. The property immediately adjacent to Lot 21 to the west is undeveloped land owned by Vail Resorts. To the north and west of the Vail Resorts property, at the bottom of the hillside, are the Mountainside Condominiums.

The Applicant provided the following site plan showing

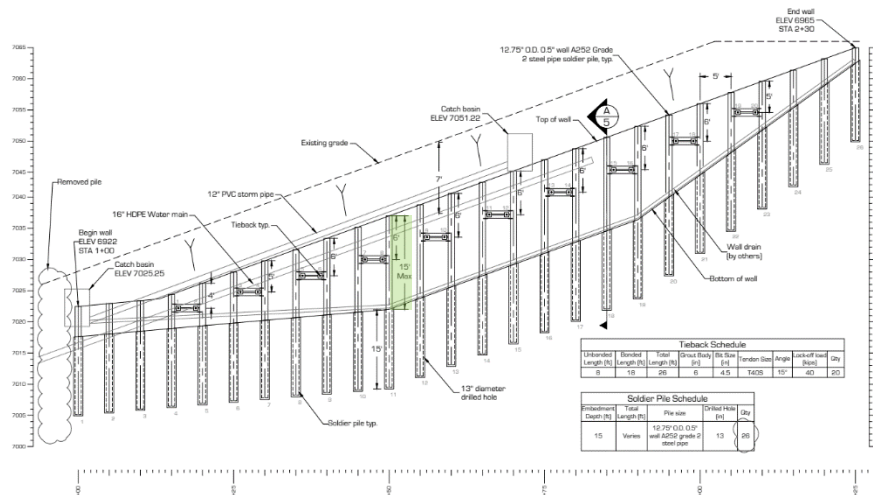


¹ LMC [§ 15-1-8\(E\)](#)

the location of the proposed retaining wall. Lot 21 is highlighted in yellow, and the proposed retaining wall is in red. The Applicant shall record an easement or encroachment agreement with the owner of Lot 21 and Lot 22 for the portion of wall that encroaches on the Lots (see Condition of Approval 5).



The Applicant provided the following drawing showing the height at various points of the wall, with a minium of four foot retaining walls and a maximum of 15 feet highlighted in green.



The full analysis of the proposed retaining wall is outlined in the Draft Final Action Letter

(see Exhibit B).

The Development Review Committee reviewed the proposed retaining wall on April 2, 2024, and requires Conditions of Approval.²

- No more than 4 vehicles may occupy the hammerhead during construction at any one time.
- The Applicant shall provide an updated plan of the water and storm drain lines disconnection at the time of building permit submittal.
- The Applicant shall obtain signed agreements (temporary or otherwise) establishing permission to access and/or cross all adjacent properties to complete construction.
- The Applicant shall obtain an easement or encroachment agreement with Lot 21 and 22 of the King's Crown Subdivision for the retaining wall at the time of Building Permit issuance. The easement language shall clearly define the structural limitations of what can be built within the easement; expected considerations would include setbacks from the retaining wall, cover requirements above the tie-backs, and bearing pressure/load limitations.
- Within six months from Building Permit issuance, the Applicant shall submit plans to the Planning Department for the design of the retaining wall to comply with the Land Management Code requirements for materials. The retaining wall shall be brought into compliance with the Land Management Code material requirements within one year of construction.

Department Review

The Planning, Engineering, and Building Department reviewed this report.

Notice

Staff published notice on the City's website and the Utah Public Notice website and posted notice to the property on April 1, 2024. Staff mailed courtesy notice to adjacent property owners on March 29, 2024.

Public Input

Staff did not receive any public input at the time this report was published.

Alternatives

- The Planning Director may approve the Administrative Conditional Use Permit;

² The Development Review Committee meets the first and third Tuesday of each month to review and provide comments on Planning Applications, including review by the Building Department, Engineering Department, Sustainability Department, Transportation Planning Department, Code Enforcement, the City Attorney's Office, Local Utilities including Rocky Mountain Power and Dominion Energy, the Park City Fire District, Public Works, Public Utilities, and the Snyderville Basin Water Reclamation District (SBWRD).

- The Planning Director may deny the Administrative Conditional Use Permit and direct staff to make Findings for the denial; or
- The Planning Director may request additional information and continue the discussion to a date certain.

Exhibits

Exhibit A: Draft Final Action Letter

Exhibit B: Proposed Plans



Planning Department

April 18, 2024

CRH Partners, LLC, represented by Rory Murphy
PO Box 3599
Park City, UT 84060

NOTICE OF PLANNING DIRECTOR ACTION

Description

Address: 1294 Rothwell Road

Zoning District: Recreation Commercial

Application: Administrative Conditional Use Permit

Project Number: PL-24-06071

Action: APPROVED WITH CONDITIONS (See Below)

Date of Final Action: April 18, 2024

Project Summary: The Applicant proposes to construct a retaining wall over six feet in the Rear and Side Setbacks in the Recreation Commercial Zoning District.

Action Taken

On April 18, 2024, the Planning Director conducted a public hearing and approved the Administrative Conditional Use Permit according to the following Findings of Fact, Conclusions of Law, and Conditions of Approval:

Findings of Fact

1. 1294 Rothwell Road is Lot 21 of the King's Crown Re-Subdivision. 1291 Rothwell Road is Lot 22 of the King's Crown Re-Subdivision. Both properties are in the Recreation Commercial (RC) Zoning District.
2. Lot 21 contains a 20-foot-wide waterline easement on the west side of the property, running north to south.
3. On March 15, 2024, the Planning Department received an Administrative Conditional Use Permit Application to construct retaining walls greater than six feet in height from Final Grade within the Rear and Side Setbacks.
4. Land Management Code (LMC) § 15-4-2 and § 15-16.2-3 establishes that retaining walls greater than six feet in height from Final Grade in the Rear and Side Setbacks require an Administrative Conditional Use Permit.

5. The Planning Director reviewed the proposal based on the following Conditional Use Permit criteria as outlined in LMC § 15-1-10(E):
 1. **Size and Location of Site**
 - The proposed retaining wall is located on the upper end of a slope at the end of Rothwell Road, adjacent to Recreation and Open Space property, overlooking the Mountainside Condominiums.
 2. **Traffic**
 - Condition of Approval 2 states that no more than four vehicles may be allowed to park in the turn-around area of Rothwell Road at any one-time during construction of the retaining wall.
 3. **Utility Capacity**
 - The retaining wall is located within a utility easement for a water line. The Water and Sewer Departments require the Applicant to provide updated plans for the disconnection of the water and storm drain lines at the time of building permit submittal (see Condition of Approval 3).
 4. **Emergency Vehicle Access**
 - Adequate turn-around space will be provided for emergency vehicles (see Condition of Approval 2).
 5. **Off-Street Parking**
 - Condition of Approval 2 states that no more than four vehicles may be allowed to park in the turn-around area of Rothwell Road at any one-time during construction of the retaining wall.
 6. **Internal Vehicle and Pedestrian Circulation**
 - Staging equipment will be set up on the hammerhead above the slope. As this is the natural turn-around spot for the subdivision, Condition of Approval 2 states that no more than four vehicles may be allowed to park in the turn-around area at any one time.
 7. **Fencing, Screening, and Landscaping**
 - The proposed retaining wall is at the top of a steep slope. The Applicant states that the area will be seeded with natural grass. No irrigation is proposed for the landscaping.
 8. **Building Mass, Bulk, and Orientation**
 - The retaining wall will be a minimum of four feet tall and a maximum of 15 feet tall.
 9. **Useable Open Space**
 - No unmitigated impacts.
 10. **Signs and Lighting**
 - No signs or lighting are proposed or approved with this plan.
 11. **Physical Design and Compatibility with Surrounding Structures**

- Within six months of Building Permit issuance, the Applicant shall submit plans to the Planning Department with materials for the retaining wall that comply with the Land Management Code (see Condition of Approval 6).

12. Noise, Vibration, Odors, Steam, or Other Mechanical Factors

- No unmitigated impacts.

13. Expected Ownership and Management

- The applicant is responsible for the construction and maintenance of the wall. The applicant is responsible for obtaining an encroachment agreement for the retaining wall with the owner of Lots 21 and 22 of the King's Crown Subdivision (see Condition of Approval 5).

14. Within and Adjoining the Site, Environmentally Sensitive Lands, Physical Mine Hazards, Historic Mine Waste, and Park City Soils Ordinance, Steep Slopes, and Appropriateness of the Proposed Structure to the Existing Topography of the Site

- The retaining wall is proposed to stabilize the slope and open space behind the King's Crown development (see Condition of Approval 5).

15. Reviewed for Consistency with the Goals and Objectives of the Park City General Plan

- The King's Crown Subdivision is part of the Old Town neighborhood and adjacent to the Resort Center neighborhood and is a transition between the two. The Old Town neighborhood in the General Plan notes that, "New development must fit within the historic context while meeting the needs of the residents." The retaining wall protects open space, allows for a Single-Family Dwelling to be built on the Lot, and stabilizes the slope behind the development.

6. Staff published notice on the City and Utah Public Notice websites and posted notice to the property on April 2, 2024. Courtesy notice was mailed to adjacent property owners on March 29, 2024.
7. On April 11, 2024, the Planning Director opened a public hearing for this item and continued it to April 18, 2024.

Conclusions of Law

1. The proposal complies with Land Management Code § 15-1-10 *Conditional Use Review Process*, Chapter 15-2.16 *Recreation Commercial (RC) District*, and § 15-4-2 *Fences and Retaining Walls*.
2. The Use is compatible with surrounding Structures in Use, scale, mass, and circulation.

3. The effects of any differences in use or scale have been mitigated through careful planning.

Conditions of Approval

1. The Applicant is responsible for notifying the Planning Department in writing of any changes, modifications, or deviations from the approved scope of work and shall be reviewed and approved or denied by the Planning Director or their designee in accordance with applicable development standards.
2. No more than four vehicles may occupy the hammerhead during construction at any one time.
3. The Applicant shall provide updated plan of the water and storm drain lines disconnection at the time of building permit submittal.
4. The Applicant shall obtain signed agreements (temporary or otherwise) establishing permission to access and/or cross all adjacent properties to complete construction.
5. The Applicant shall obtain an easement or encroachment agreement with Lot 21 and 22 of the King's Crown Subdivision for the retaining wall at the time of Building Permit issuance. The easement language shall clearly define the structural limitations of what can be built within the easement; expected considerations would include setbacks from the retaining wall, cover requirements above the tie-backs, and bearing pressure/load limitations.
6. Within six months of Building Permit issuance, the Applicant shall submit plans to the Planning Department with materials for the retaining wall that comply with the Land Management Code.
7. Final building plans and construction details shall reflect substantial compliance with the plans reviewed by the Planning Department submitted with this application. Any changes, modifications, or deviations from the approved design that have not been approved in advance by the Planning Department may result in a Stop Work Order.

If you have questions or concerns regarding this Final Action Letter, please call (435) 615-5068 or email lillian.zollinger@parkcity.org.

Sincerely,

Rebecca Ward
Planning Director

CC: Lillian Zollinger & Jason Berntson, Project Planners

Kings Crown Slide Mitigation
Rothwell Road, Park City, Utah
Permanent Retaining Wall

Drawing Index

<u>Sheet #</u>	<u>Drawing Title</u>
Sheet 1	Drawing Index
Sheet 2	General Notes
Sheet 3	Site Plan
Sheet 4	Wall Profile
Sheet 5	Soldier Pile Cross Section
Sheet 6	Tieback Cross Section
Sheet 7	Testing Detail

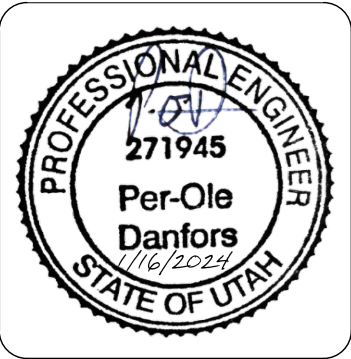
DESIGN:
801-908-7664



CONTRACTOR:
801-908-7664



Kings Crown Slide Mitigation Rothwell Road, Park City, Utah Permanent Retaining Wall				Drawing Index			
NO.	DATE:	DRAWN:	REVISION:	NO.	DATE:	DRAWN:	REVISION:
1	4/10/2024	MJH	Adjusted beginning of shoring wall				



DATE: 1/16/2024	DESIGNED: MJH
SHEET NUMBER: 1 of 7	DRAWN: RDC
	CHECKED: POD
	APPROVED: POD

General Notes

1. GENERAL

- 1.1 The scope of work is outlined by these general notes and specifications as defined below and includes the installation of permanent soldier retaining wall.
- 1.2 All utilities must be potholed and visually located prior to the shoring system installation or excavation.
- 1.3 All soldier pile and tieback lengths and sizes will be in accordance with drawing details.
- 1.4 All materials, workmanship and construction will be in accordance with this sheet.
- 1.5 The General Contractor is responsible for field locating all utilities.
- 1.6 The General Contractor is responsible for maintaining stable slopes above and below the shoring.
- 1.7 Any signs of instability of the soil nail wall will be immediately brought to PDA Engineering's attention at 801-908-7664 or 801-330-0527. All work below the soldier pile retaining wall shall be halted.
- 1.8 These drawings are the property of PDA Engineering Inc. for the proprietatry and sole installation by Advanced Shoring & Underpinning, Inc. and cannot be duplicated without written permission.
- 1.9 Ground water to be maintained a minimun of 2 feet below bottom of shoring.
- 1.10 All loads and/or stockpiles to be a maintained a minimum of 15 feet from egde of shoring.

2. Excavation

- 2.1 Excavation MUST be coordinated with ASU.
- 2.2 Backfill shall be performed without damaging soldier piles and shotcrete facing.
- 2.3 Divert all surface run-off away from excavation.
- 2.4 All unsupported excavated slopes should conform to OSHA regulations.

3. Structural Steel - Soldier Piles

- 3.1 All soldier piles shall be bare12.75 O.D. 0.5 wall A252 Grade 2 steel pipe or engineered approved equal, as specified in these drawings.
- 3.2 Welding shall be in accordance to the most current edition of AWS D1.1.
- 3.3 Walers shall be double MC9 x 25.4 grade 36 channel or an engineered approved equal.

4. Tieback Anchors

- 4.1 Tieback tendons shall consits of bare T40S grade 90 all-thread hollow bars or #11 grade 75 all-thread solid bar, or approved engineered equivalent.
- 4.2 All bars shall be straight and undamaged.
- 4.3 Tieback size and lengths shall be according to plans and installed 15° ±5° down from horizontal and vertical/horizontal location within ±6" as specified in the drawings.
- 4.4 Holes shall be drilled using a min diameter drill bit to obtain a 6" grout body.
- 4.5 Tiebacks will have a min bond zone as specified in the tieback schedule and shall be grouted with neat cement grout.
- 4.6 All nuts and washers will conform to the tendon manufacturer's recommendations.
- 4.7 All coupers will match the selected tieback reinforcing tendon.
- 4.8 All tiebacks to be locked off per the tieback schedule.

5. Grout

- 5.1 Neat cement grout will consist of Portland type 1 & 2 cement conforming to AASHTOO M85/ASTM C150.
- 5.2 The grout shall be mixed to a water cement ratio of 0.45 to 0.55 and shall have a minimum 28 day compression strength of 3,000 psi.

6. Drainage geotextile

- 6.1 Pre-fabricated geotextile will conform to AASHTOO M288 Class 3 with a minimum permittivity of 0.2 per second and a maximum AOS of 0.25mm.
- 6.2 Pre-fabricated vertical geocomposite drain strips shall consist of Miradrain 6000, Amerdrain 500, or Sitedrain Sheet 180 and be a minimum of 12" wide, spaced no greater than 5' on center horizontally. Other equivalent drain strips shall be approved by PDA Engineering prior to installation.
- 6.3 Drain strips shall be connected to drain pipe at bottom of wall, by others.

7. Shotcrete reinforcement

- 7.1 Shotcrete reinforcement will consist of bare welded wire mesh ASTM standard A185. See WWM schedule for size and placement.
- 7.2 Overlap mesh a minimum of 12".

8. Shotcrete

- 8.1 Shotcrete will be Portland 1 & 2 cement, 7-8 bag mix with a minimum 28-day strength of 4000 psi. Apply the shotcrete wet with shotcrete application equipment.
- 8.2 The shotcrete will have a minimum thickness of 6 inches and shall be a nozzle and/or gun finish.

9. Injection Bore Method

- 9.1 When using injection bore method, grout should always be observed spilling out of hole during drilling. Drill bit will be sized to obtain a 6" grout body as specified in tieback section.
- 9.2 When using injection bore technique, hole will be drilled to the depths specified while maintaining a constant flow of neat cement grout.
- 9.3 Re-grout the hole with neat cement grout as necessary to fill hole to top.
- 9.4 Place reinforcing for shotcrete facing.
- 9.5 Place shotcrete facing.

10. Open Hole Method

- 10.1 When using open hole technique, drill an open hole to the depths specified. Inspect hole and ensure hole is clean from loose debris before installing tieback tendon and grout. Size drill bit at 6".
- 10.2 Attach PVC centralizers to bar spaced at no more than 8' apart and no more and 2' from each end. Insert bar in hole with tremie tube attached.
- 10.3 Fill drilled hole with neat cement grout using a tremie tube. End of tremie tube will extend to 1 foot from the bottom of the hole for the full duration of the grouting process. After grouting tremie tube can be removed.
- 10.4 Re-grout the hole with neat cement grout as necessary to fill hole to top.
- 10.8 Place reinforcing for shotcrete facing.
- 10.9 Place shotcrete facing.

11. Construction Sequence

- 11.1 Field verify shoring layout based on actual property line, retaining wall location, structures and utility locations.
- 11.2 Probe vertically to determine depth of bedrock. Based on PDA Engineering inspection.
- 11.3 Excavate wall alignment to bottom of wall, ensure working platform for drill is of sufficient size.
- 11.4 Install soldier piles in designated locations to design depths verifying they remain plumb and fill with 4000 PSI concrete.
- 11.5 Place reinforcing and shotcrete to tieback.
- 11.6 Backfill and compact to tieback elevation after shotcrete has reached 3000 PSI.
- 11.7 Install tieback and waler.
- 11.8 Repeat 11.5 to top of wall.
- 11.9 Repeat 11.6 to top of wall.
- 11.10Lock off tieback.
- 11.11Cut piles to required elevation based on finish grade determined by general contractor.

12. Monitoring

- 12.1 Daily inspection of the earth shoring system shall be performed by a qualified person as defined by OSHA prior to entry into excavation. PDA Engineering should be notified immediately if significant movement of the soldier piles is observed.

12. Special inspections (to be performed by owners 3rd party representative)

- 12.1 Wall reinforcing as per IBC 2018 Paragraph 110.3.1
- 12.2 Shotcrete as per IBC 2018 Paragraph 1705.8 and Table 1805.8. Record shotcrete and grout volumes.
- 12.3 Shotcrete Placement. Verify proper placement technique of shotcrete.

DESIGN:

801-908-7664

PDA

ENGINEERING

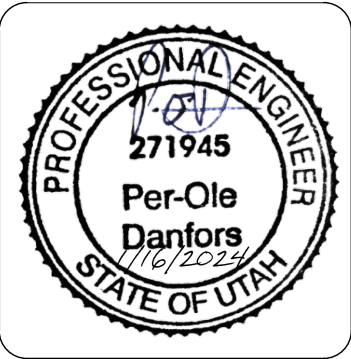
CONTRACTOR:

801-908-7664

ADVANCED

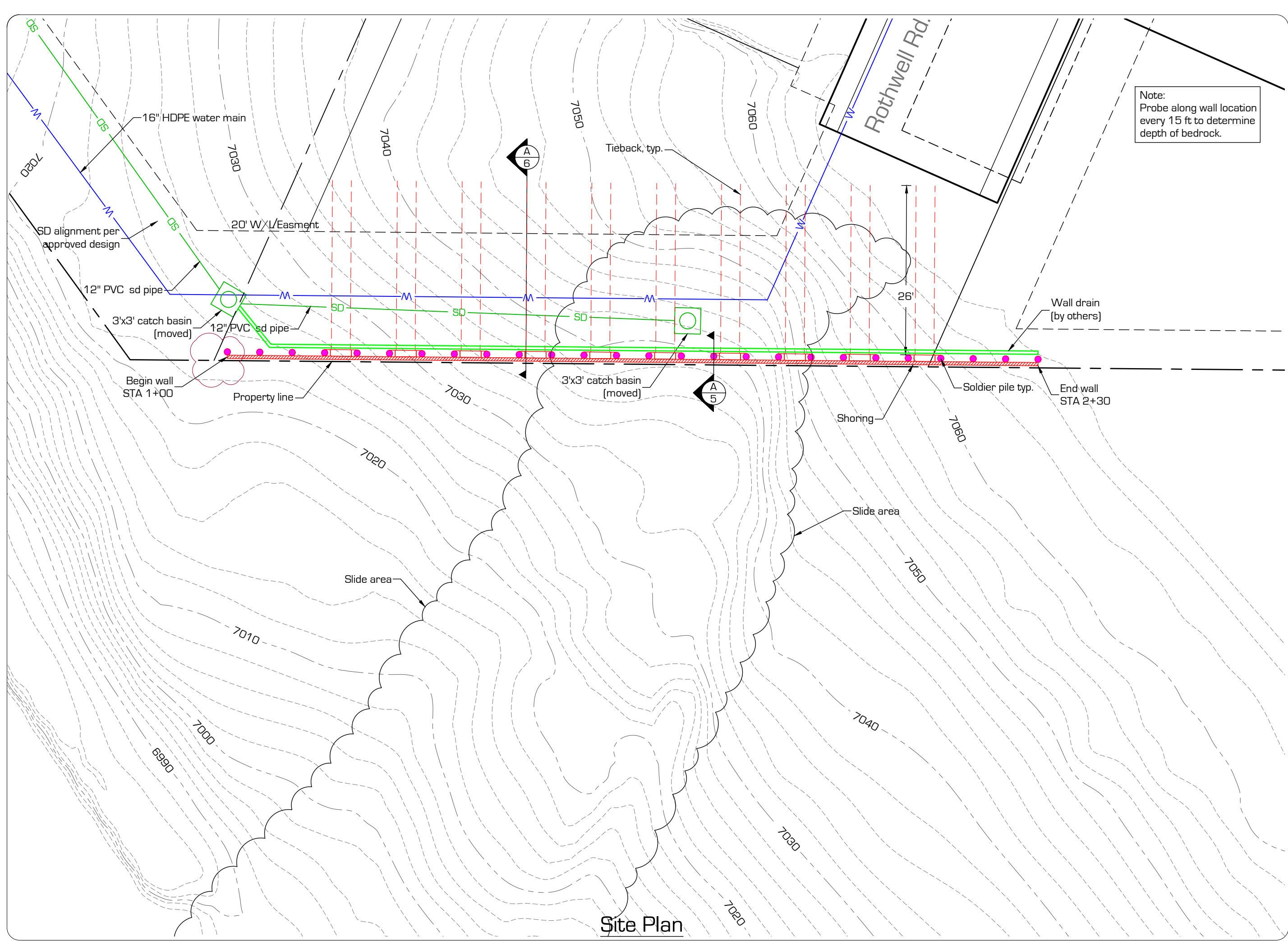
SHORING+UNDERPINNING

Kings Crown Slide Mitigation Rothwell Road, Park City, Utah Permanent Retaining Wall General Notes	NO.	DATE:	DRAWN:	REVISION:
	1	4/10/2024	MJH	Adjusted beginning of shoring wall



DATE: 1/16/2024	DESIGNED: MJH
SHEET NUMBER: 2 of 7	DRAWN: RDC
	CHECKED: POD
	APPROVED: POD

Page 24 of 29



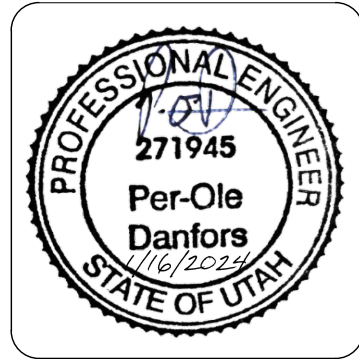
DESIGN: 801-908-7664
PDA
ENGINEERING

CONTRACTOR: 801-908-7664
ADVANCED
SHORING+UNDERPINNING

Kings Crown Slide Mitigation
Rothwell Road, Park City, Utah
Permanent Retaining Wall

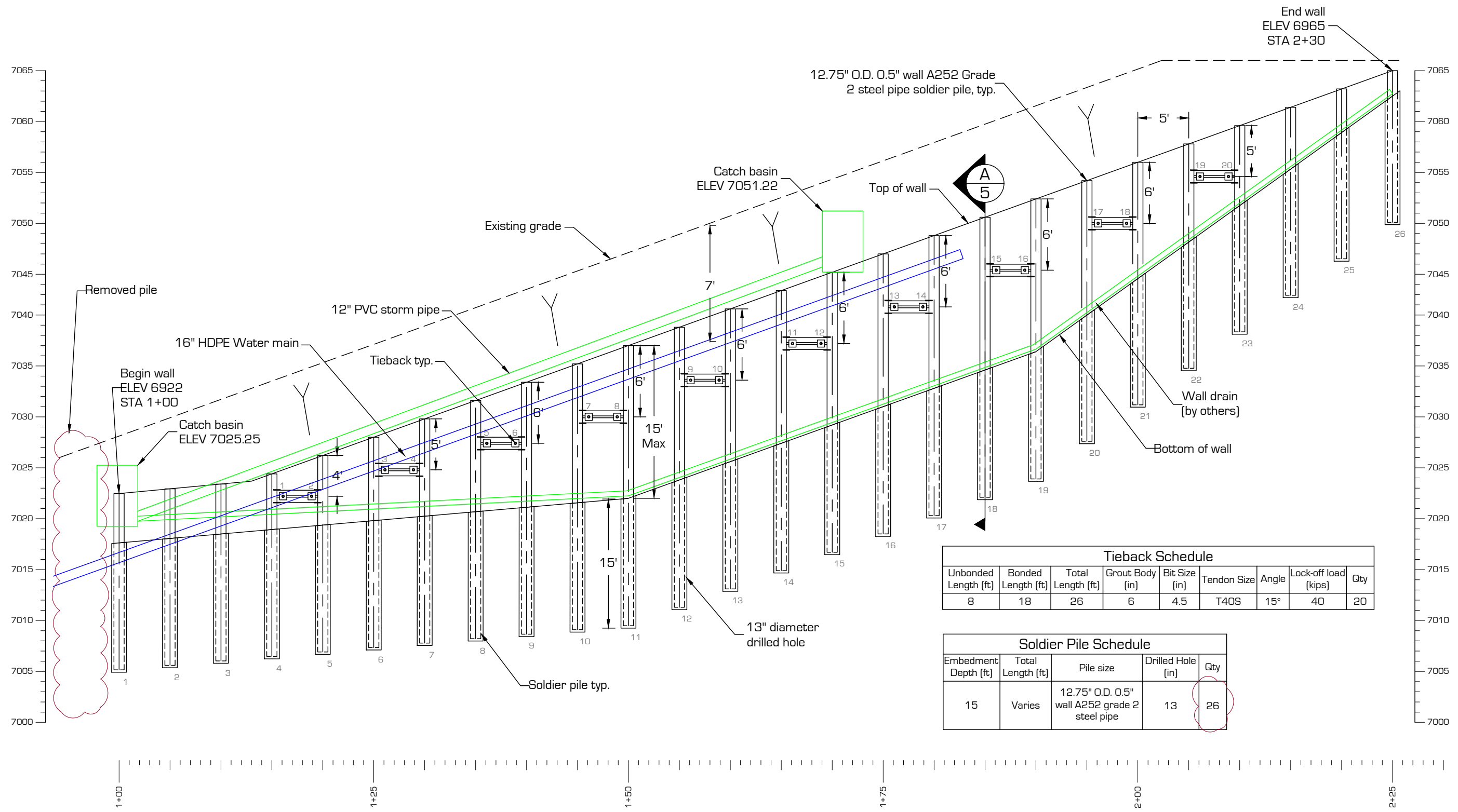
Site Plan

NO.	DATE:	DRAWN:	REVISION:
1	4/10/2024	MJH	Adjusted beginning of shoring wall



DATE: 1/16/2024	DESIGNED: MJH
SHEET NUMBER: 3 of 7	DRAWN: RDC
	CHECKED: POD
	APPROVED: POD

Page 25 of 29



Note:
Bottom of wall to be determined
by PDA Engineering during rock
probing.

Tieback Schedule								
Unbonded Length (ft)	Bonded Length (ft)	Total Length (ft)	Grout Body (in)	Bit Size (in)	Tendon Size	Angle	Lock-off load (kips)	Qty
8	18	26	6	4.5	T40S	15°	40	20

Soldier Pile Schedule				
Embedment Depth (ft)	Total Length (ft)	Pile size	Drilled Hole (in)	Qty
15	Varies	12.75" O.D. 0.5" wall A252 grade 2 steel pipe	13	26

Wall Profile
~1,340 SF

DESIGN:

801-908-7664

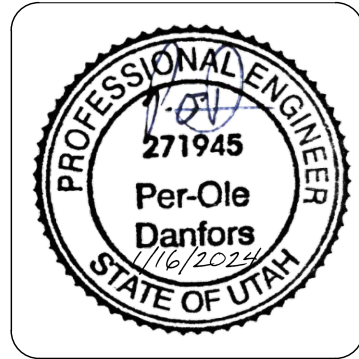
CONTRACTOR:

801-908-7664

Kings Crown Slide Mitigation
Rothwell Road, Park City, Utah
Permanent Retaining Wall

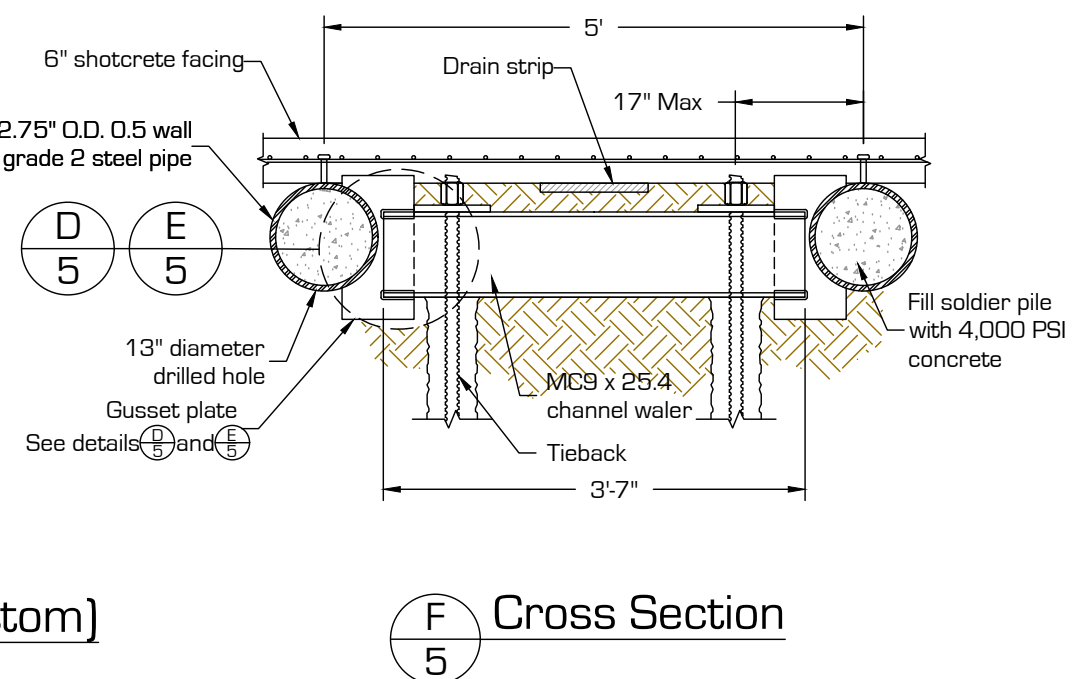
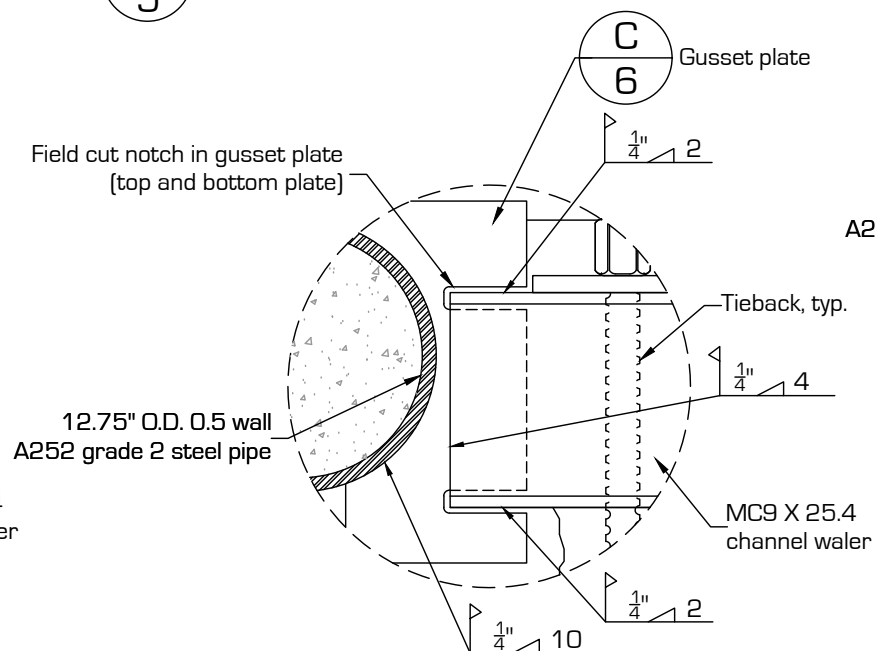
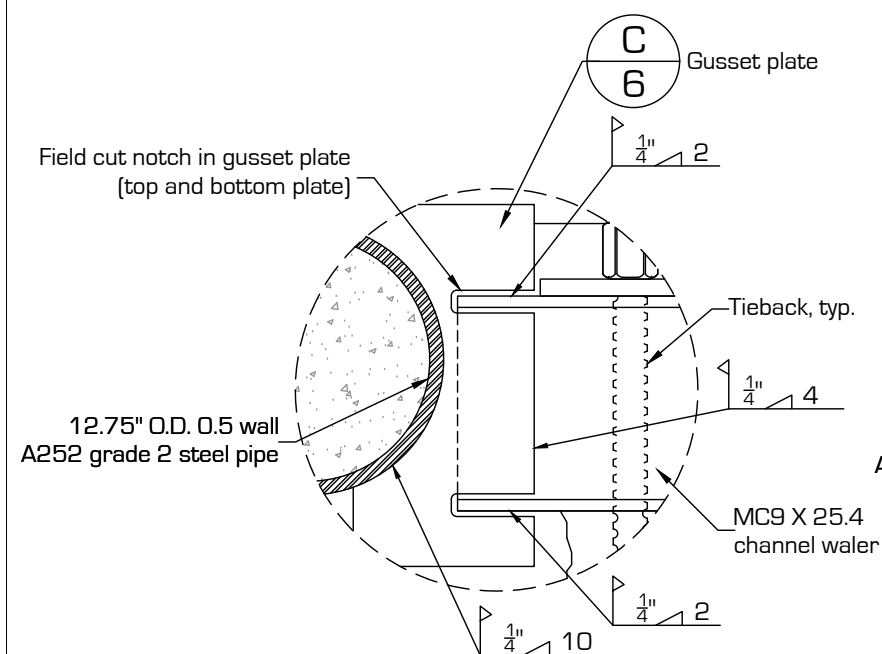
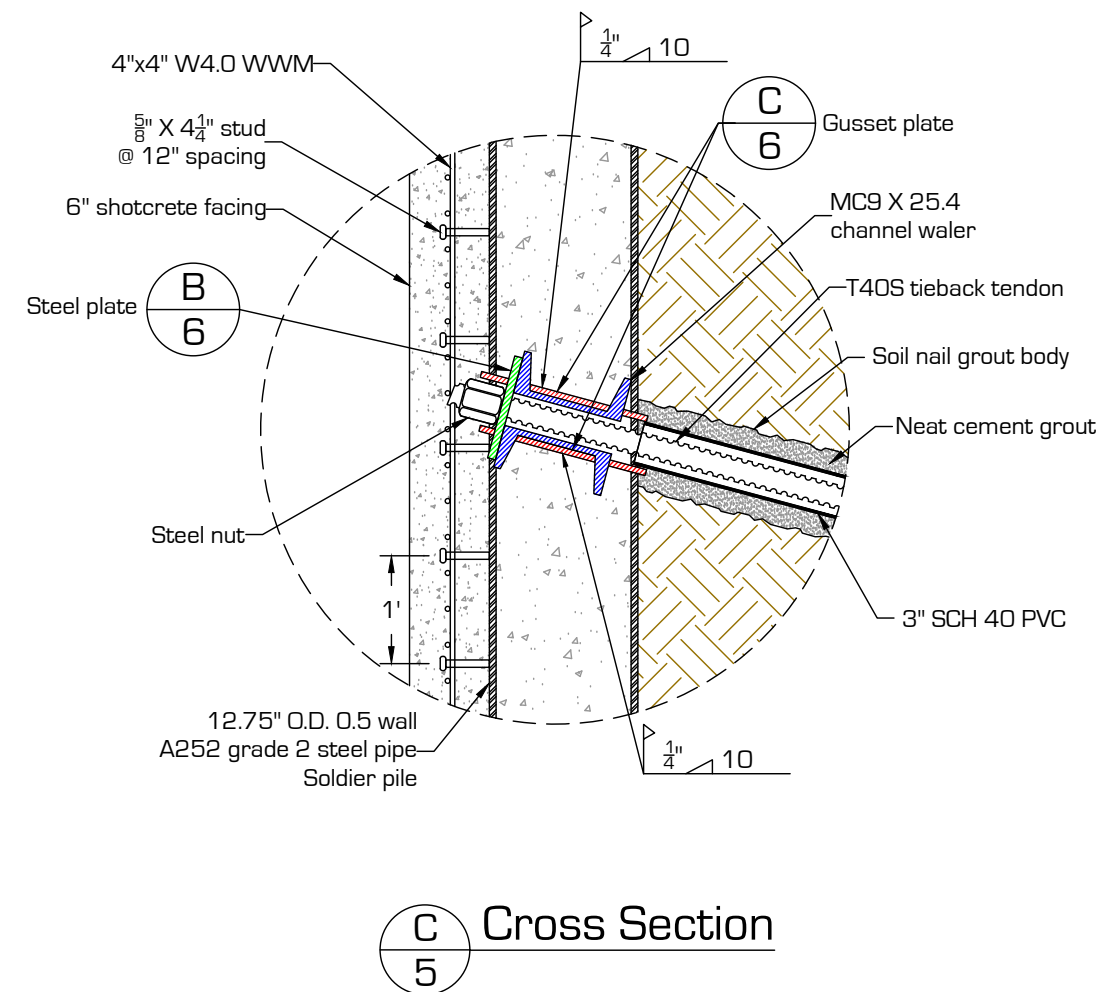
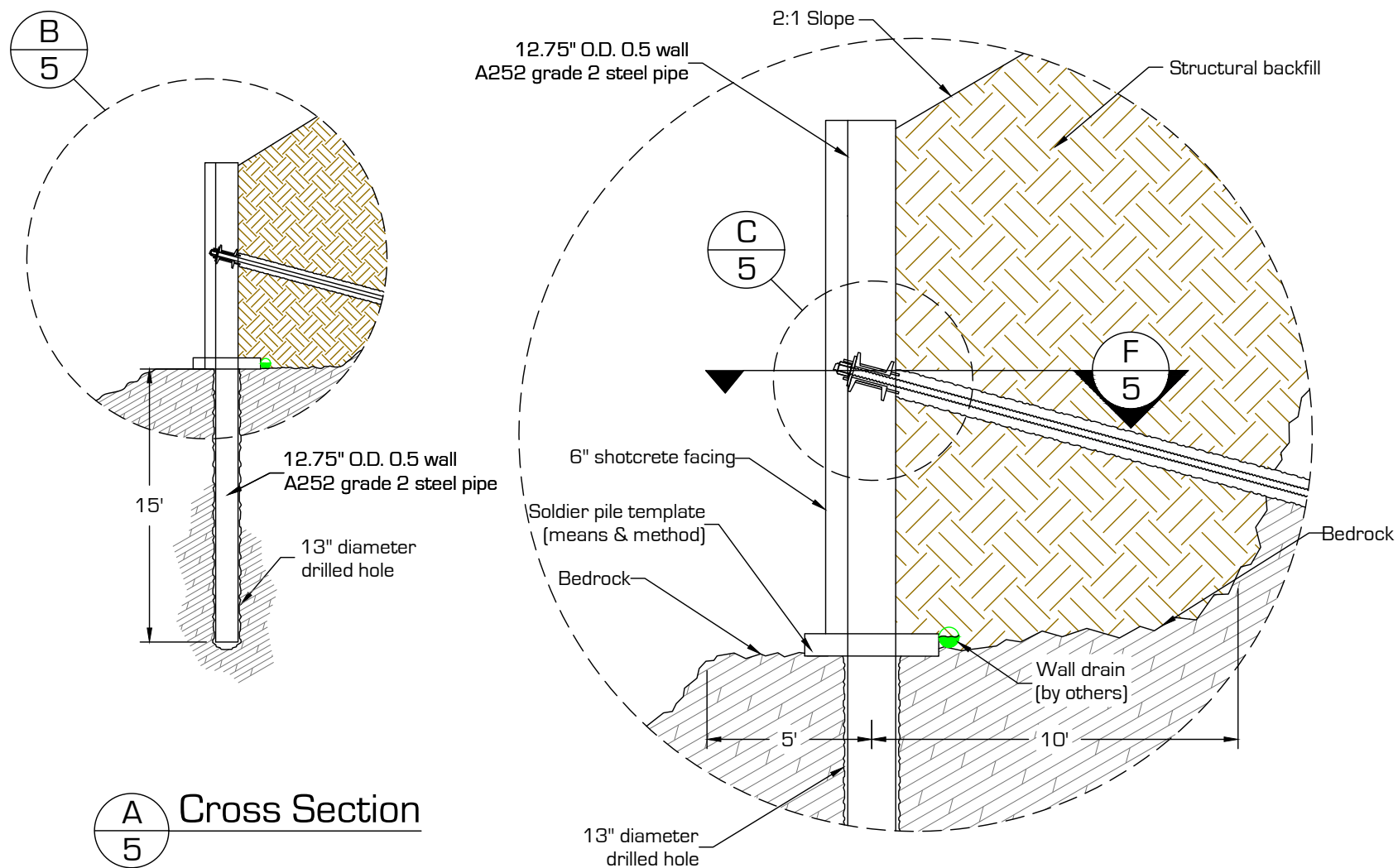
Wall Profile

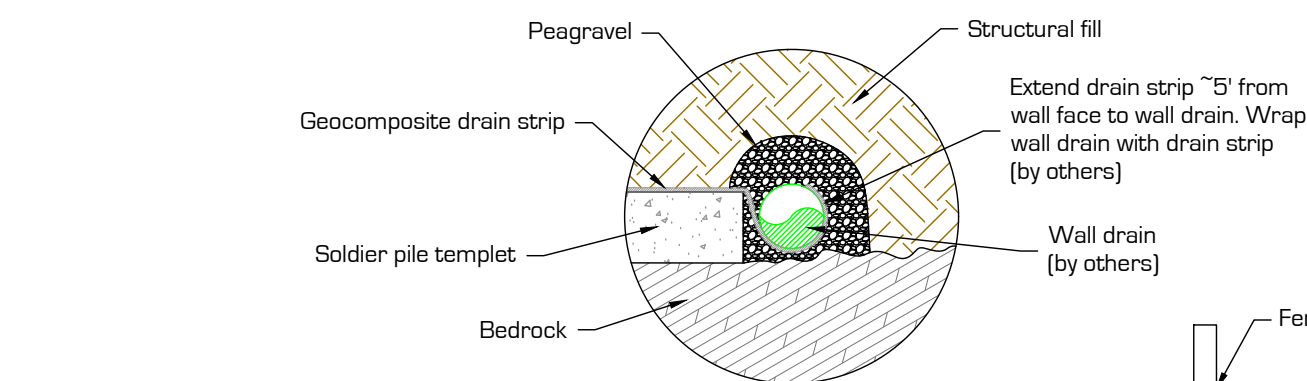
NO.	DATE:	DRAWN:	REVISION:
1	4/10/2024	MJH	Adjusted beginning of shoring wall



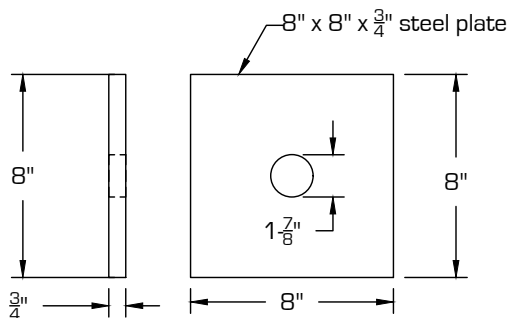
DATE: 1/16/2024	DESIGNED: MJH
SHEET NUMBER: 4 of 7	DRAWN: RDC
	CHECKED: POD
	APPROVED: POD

Page 26 of 29

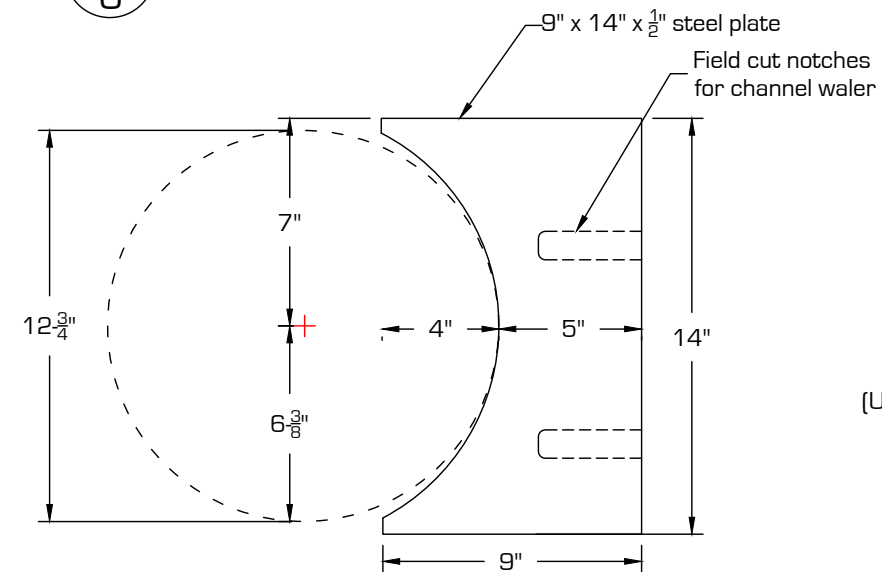




C
6 Wall Drain Detail



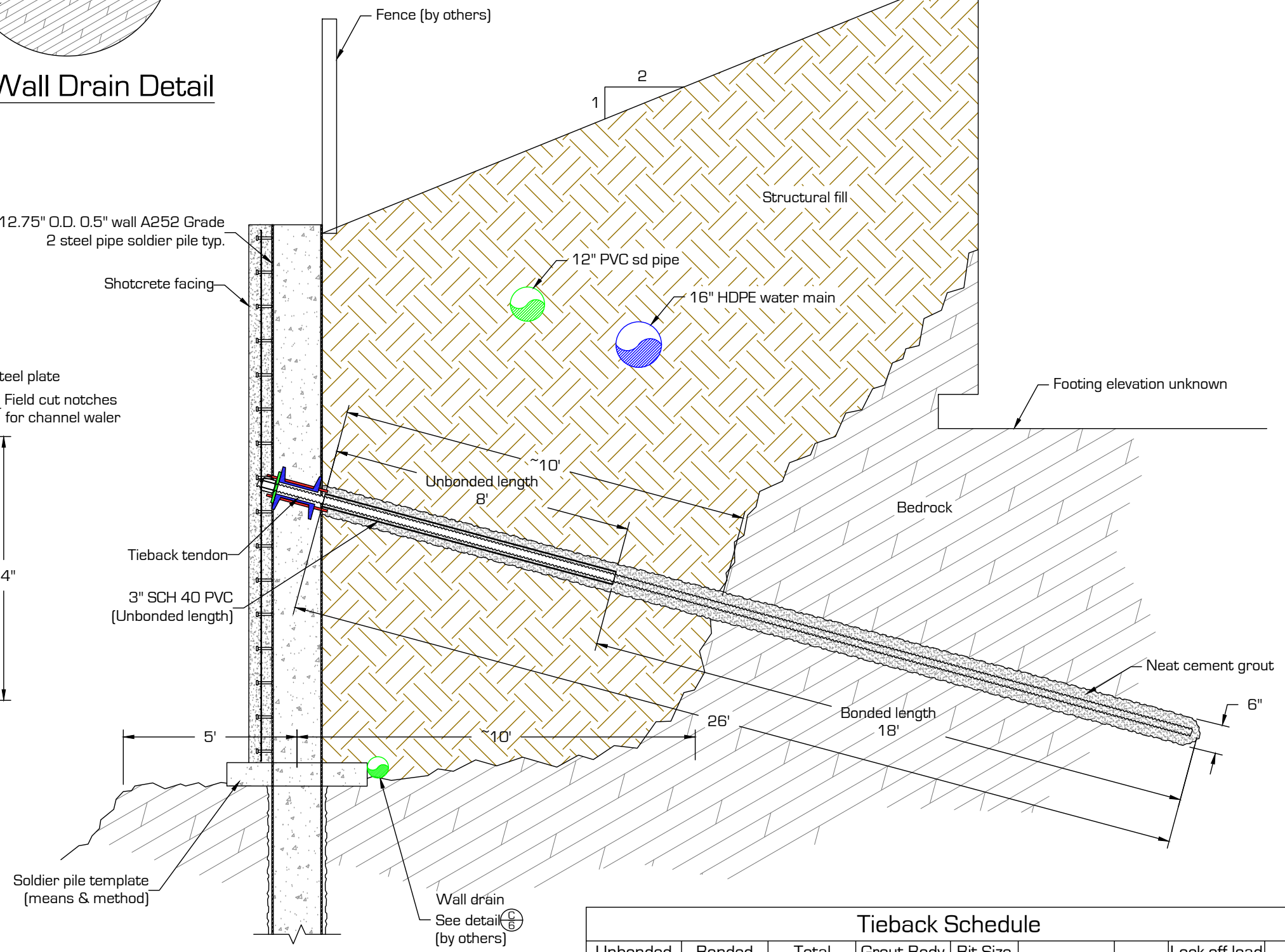
B
6 Plate Detail



C
6 Gusset Plate Detail

Note:
Measure gusset template prior to gusset manufacture for corect radius.

Note:
Bond length estimated for ~20 psi ult. soil/grout bond. Bond length may be reduced by 6 If if verification is proven at a 30 psi ult. soil/grout bond or reduced by 9 If if verification test is proven at a 40 psi ult. soil/grout bond.



A
6 Cross Section

Tieback Cross Sections

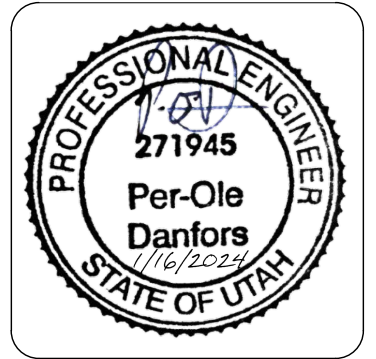
Tieback Schedule								
Unbonded Length (ft)	Bonded Length (ft)	Total Length (ft)	Grout Body (in)	Bit Size (in)	Tendon Size	Angle	Lock-off load (kips)	Qty
8	18	26	6	4.5	T40S	15°	40	20

DESIGN: 801-908-7664
PDA
ENGINEERING

CONTRACTOR: 801-908-7664
ADVANCED
SHORING+UNDERPINNING

Kings Crown Slide Mitigation
Rothwell Road, Park City, Utah
Permanent Retaining Wall
Tieback Cross Section

NO.	DATE	DRAWN	REVISION
1	4/10/2024	MJH	Adjusted beginning of shoring wall



DATE: 1/16/2024
DESIGNED: MJH
DRAWN: RDC
CHECKED: POD
APPROVED: RDC

SHEET NUMBER:
6 of 7

Page 28 of 29

Verification Test Load Schedule	
Test Load Increment	Hold Time (min)
AL (0.05 VTL)	10 MIN
0.13 VTL *	10 MIN
0.25 VTL	10 MIN
0.38 VTL	10 MIN
0.50 VTL	10 MIN
0.63 VTL	10 MIN
0.75 VTL (creep test)	60 MIN
0.88 VTL	10 MIN
1.0 VTL	10 MIN
To failure if possible without Exceeding 0.9*Fy*A	N/A

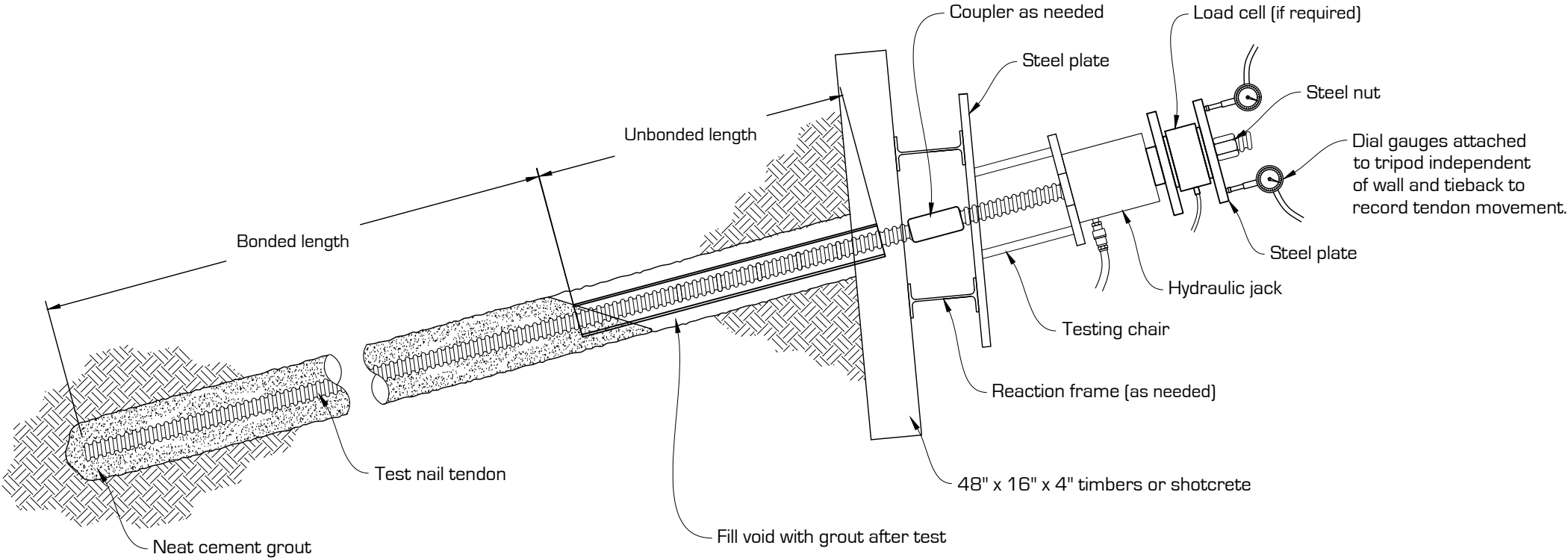
*VTL = Verified Test Load = BL x (RPO)
BL = Test nail bonded length (ft)
RPO = Nominal pullout Resistance (kips/ft)
AL = Alignment Load (Kips)
Creep test measurements will be taken at 1, 2, 3, 5, 6, 10, 20, 30, 50, and 60 minutes.

Proof Test Load Schedule	
Test Load Increment	Hold Time (min)
AL (0.05 DTL)	Until stable
0.17 PTL *	Until stable
0.33 PTL	Until stable
0.50 PTL	Until stable
0.67 PTL	Until stable
0.83 PTL	Until stable
1.0 PTL (creep test)	10 MIN
AL (0.05 PTL)	Until stable

*PTL = Verified Test Load = BL x (RPO) x (0.75)
BL = Test nail bonded length (ft)
RPO = Nominal pullout Resistance (kips/ft)
AL = Alignment Load (Kips)
Creep test measurements will be taken at 1, 2, 3, 5, 6, 10

Test Nail Acceptance Criteria:

- For verification tests the total creep movement is less than 0.08 in between the 6 and 60 minute reading and the creep rate is linear or decreasing throughout the creep test hold period.
- For proof tests, the total creep movement is less than 0.04 in. during the 1-10 minute reading.
- For both the verification and proof tests, the total measured movement exceeds 80% of the theoretical elastic elongation of the unbonded nail tendon and less than 100% of the theoretical elastic elongation of the unbonded nail tendon plus 50% of the theoretical elastic elongation of the bonded nail tendon.
- Pullout failure does not occur before max test load 1.0 VTL or 1.0 PTL. Failure is defined as the inability to further increase the test load while there is a continued pullout movement of the test nail.



Test Nail Schedule						
Test Type	Tendon Size	Grout Body (in)	Tendon Length	Bonded Length (BL) (ft)	Unbonded Length (UL) (ft)	RPO Kips/ft
Verification Test	T52N	6	Varies	5 max	Varies	4.52
Proof Test	T40S	6	Varies	Varies	8	4.52

Testing Detail

DESIGN: 801-908-7664

CONTRACTOR: 801-908-7664

Kings Crown Slide Mitigation

Rothwell Road, Park City, Utah

Permanent Retaining Wall

Testing Detail

NO.	DATE:	DRAWN:	REVISION:
1	4/10/2024	MJH	Adjusted beginning of shoring wall

DATE: 1/16/2024	DESIGNED: MJH
SHEET NUMBER: 7 of 7	DRAWN: RDC
	CHECKED: POD
	APPROVED: POD

Page 29 of 29