



**PARK CITY BOARD OF ADJUSTMENT MEETING
SUMMIT COUNTY, UTAH
March 19, 2024**

The Board of Adjustment of Park City, Utah, will hold its regular meeting in person at the Marsac Municipal Building, City Council Chambers, at 445 Marsac Avenue, Park City, Utah 84060. Meetings will also be available online and may have options to listen, watch, or participate virtually.

- 1. MEETING CALLED TO ORDER AT 5:00PM**
- 2. ROLL CALL**
- 3. MINUTES APPROVAL**
 - 3.A. Consideration to Approve the Board of Adjustment Meeting Minutes from January 9, 2024
- 4. STAFF AND BOARD COMMUNICATIONS AND DISCLOSURES**
- 5. PUBLIC COMMUNICATIONS**
- 6. CONTINUATION**
 - 6.A. **844 Empire Avenue - Variance** - The Applicant Requests a Variance from Front Yard Setbacks to Allow the Construction of a Detached Structure. PL-24-06051
(A) Continuation to a Date Uncertain
- 7. REGULAR AGENDA**
 - 7.A. **317 Ontario Avenue – Variance** – The Applicant Requests a Variance from the Tandem Parking Requirements Outlined in LMC § 15-3-4(A)(1). PL-24-06038
(A) Public Hearing; (B) Action

8. ADJOURNMENT

Pursuant to the Americans with Disabilities Act, individuals needing special accommodations during the meeting should notify the Planning Department at 435-615-5060 or planning@parkcity.org at least 24 hours prior to the meeting.

***Parking is available at no charge for meeting attendees who park in the China Bridge parking structure.**



**PARK CITY MUNICIPAL CORPORATION
BOARD OF ADJUSTMENT MEETING
SUMMIT COUNTY, UTAH
MINUTES OF JANUARY 9, 2024**

BOARD MEMBERS IN ATTENDANCE: Ruth Gezelius - Chair, Beth Armstrong, Jennifer Franklin, Mary Wintzer, John Stafsholt

STAFF: Planning Director, Rebecca Ward; Planner II, Spencer Cawley

1. ROLL CALL

Chair Ruth Gezelius called the Park City Board of Adjustment Meeting to order at 5:00 p.m. and referenced the Board Members who were present.

2. MINUTES APPROVAL

A. Consideration to Approve the Board of Adjustment Meeting Minutes from December 12, 2023.

Planning Director, Rebecca Ward, reported that there was a recommended addition for the Board of Adjustment Meeting Minutes from December 12, 2023. There was a recommendation to reference the Closed Session. There was a motion by Board Member Armstrong to move into a Closed Session to discuss the Deployment of Security Personnel, Devices, or Systems. Board Member Franklin seconded the motion. The motion passed with the unanimous consent of the Board. The Board was in Closed Session from 4:00 p.m. to 4:43 p.m. Board Member Franklin moved to adjourn from the Closed Session at 4:43 p.m. and Board Member Armstrong seconded the motion.

MOTION: Board Member Armstrong moved to APPROVE the Board of Adjustment Meeting Minutes from December 12, 2023, as amended. Board Member Franklin seconded the motion. The motion passed with the unanimous consent of the Board.

3. STAFF AND BOARD COMMUNICATIONS AND DISCLOSURES

There were no Staff or Board communications and disclosures.

4. PUBLIC COMMUNICATIONS

No comments were submitted.

5. REGULAR AGENDA

A. 948 Woodside Avenue - Variance - The Applicant Requests a Variance to the Historic Residential - 1 Zoning District Maximum Building Footprint to Increase the Footprint of An Existing Single-Family Dwelling by 51 Square Feet. PL-23-05967.

Planner II, Spencer Cawley, presented the Staff Report and stated that the application was for a variance for property located at 948 Woodside Avenue. Following his presentation, the applicant and the applicant's representative would share information with the Board. Planner Cawley reported that 948 Woodside Avenue is a non-historic single-family dwelling. The request was to increase the building footprint from 909 to 960 feet. This would increase the building footprint beyond the allowed zoning maximum. The variance would allow the applicant to construct an additional bathroom at the basement level. Currently, there is one bathroom and three bedrooms on that level. The variance would allow an increase in the maximum building footprint in the HR-1 Zone.

Planner Cawley shared an image of the existing structure. He reported that the building was constructed in 1992 and approved through the Historic District Design Review ("HDDR"). On the basement level, there is an area that was not enclosed, which is outside of the building footprint. That was the area the variance wanted to address. The footprint has remained unchanged since it was originally constructed in 1992. Additional images were shared to highlight the indentation that had been referenced previously. The applicant was looking to enclose that section to add another bathroom. At the time the house was constructed, there was not a maximum building footprint. The governing Land Management Code ("LMC") at that time had a floor area ratio instead. Based on the information from the original building plans, there was a floor area ratio of 1.09. The maximum floor area ratio for the zone at that time was 0.9. There was no indication from Staff at the time if there was an exception made or if there was a different way to calculate the floor area ratio, but the 1.09 floor area ratio included the allowance for the garage.

Currently, the LMC defined the Building Footprint with the following language:

- The total area of the foundation of the structure, or the furthest exterior wall of the structure projected to natural grade, not including exterior stairs, patios, decks, and accessory buildings listed on the Park City Historic Structures Inventory that are not expanded, enlarged, or incorporated into the main building.

Planner Cawley reported that it is not a historic structure. What was being examined was the existing building footprint. The maximum building footprint was determined under the current LMC. It was possible to determine the maximum building footprint based on the lot size. This was a standard Old Town lot with 1,875 square feet, which resulted in a maximum building footprint of 843.75 square feet. What was currently built and existing was 909 square feet, which was already in excess of what is currently allowed. The proposal would further exceed that for a total excess of 116.25 square feet.

Regarding non-complying structures, the LMC states that when a structure is in compliance it may not be moved, enlarged, or altered, except in the manner provided in that section of Code or unless required by law. Specifically, non-complying structures may undergo changes provided that the changes do not further increase the degree of the existing non-compliance of all or any part of such structure. Planner Cawley explained that the request would, under the LMC definition, increase the existing non-compliance.

In the Staff Report and the Draft Final Action Letter, there were drafted Findings of Fact for each of the five variance criteria. The first criterion stated that “Literal enforcement of the LMC would cause an unreasonable hardship for the applicant that is not necessary to carry out the general purpose of the LMC.” This is a typical Old Town lot that is 25 feet wide and 75 feet deep and 1,875 square feet in size. There is an established maximum building footprint under the current Code and the existing building footprint is already in excess of that. The requested variance would increase the building footprint further. Literal enforcement of the LMC would not cause an unreasonable hardship for the applicant as the structure has an available bathroom for the basement bedrooms.

The second criterion states that “There are special circumstances attached to the property that do not generally apply to other properties in the same zone.” Planner Cawley explained that the site is not a steep slope as defined by the LMC, which is anything greater than 15%. The site has a slope that was less than 14%. It is not near a wetland or stream, is not designated as a Historic Structure, and there were no special circumstances attached to the property that do not generally apply to other properties in the same zone.

The third criterion states that “Granting the variance is essential to the enjoyment of a substantial property right possessed by other property in the same zone.” The structure has three bathrooms with one in the basement level. There is also one on the first floor and one on the second floor. An additional bathroom is not essential to the enjoyment of a substantial property right possessed by other property in the same zone.

The fourth criterion states that “The variance will not substantially affect the General Plan and will not be contrary to the public interest.” Planner Cawley explained that the historic character of the Old Town neighborhood is one of the core community values in the General Plan. Goal #15 of the General Plan was to “preserve the integrity, mass, scale, compatibility, and historic fabric of the nationally and locally designated historic resources and districts for future generations.” Increasing the non-conformity was contrary to the General Plan and did not preserve integrity, mass, scale, compatibility, or historic fabric.

The fifth criterion states that “The spirit of the LMC is observed and substantial justice done.” As outlined in the LMC, the purpose of the HR-1 Zoning District included preserving the present land uses and character of the historic residential areas of the City, encouraging the construction of historically compatible structures that contribute to the character and scale of the Historic District, and maintaining existing residential neighborhoods.

The Draft Final Action Letter attached to the Staff Report made a reference to being “approved with conditions.” Staff asked that as part of the recommendation the Draft Final Action Letter be amended to state that it was denied to align with Findings of Fact and Conclusions of Law. The Board of Adjustment could review the proposed variance, conduct a public hearing, and consider denial of the variance according to the Findings of Fact and Conclusions of Law outlined in the amended Draft Final Action Letter.

Board Member Stafsholt noted that reference was made to three bedrooms and two bathrooms on the basement level. Later there was a reference to one bathroom on the basement level. He asked for clarification about what currently exists in the home. Planner Cawley clarified that there are three bedrooms in the basement and one bathroom. The request for the variance would make it possible to add another. There is also one bathroom on the main level and one bathroom on the second level.

Board Member Stafsholt discussed the drawings that were submitted. On the basement level, it showed a family room. He wondered if that had been converted into a bedroom. Planner Cawley noted that the reference to a family room was incorrect and that it is actually a bedroom. That was mislabeled on the drawing that was referenced.

The applicant, Rick Schach, reported that he and his wife, Susie Schach, purchased the home in 2019. Work had been done with Planner Cawley and the Planning Department in 2020. An HDDR application was submitted and that process was moving ahead. The variance request was part of that process. Mr. Schach commissioned professionals to assist with the work over the last few years, including Mike Sweeney who assisted with the City Hall process, Contractor Justin Layton, and Architect Michael Anderson. Mr. Schach shared an image of the home and stated there were some main objectives for the remodel, which included addressing the fact that the house is an exact duplicate of the neighboring home, the small galley kitchen, the lack of storage, and lack of space for a dining area or table. There was also a desire to add a second bathroom to the basement level as three bedrooms were on that level and there was only one bathroom available. He had also contemplated a roof deck and the addition of heating technology for the driveway and the back patio.

Mr. Schach reviewed the proposed design and compared that to the existing design. He next shared example images with the Board for reference. On the left side of the screen, there was the original floor plan, which showed the three bedrooms and one full bathroom. The nook was cut out in the foundation. It was unclear why that nook existed, but it might have been to accommodate an outside air conditioning unit. On the right side of the screen, there was the proposed floor plan. The intention was to fill in that nook and make it a small bathroom. The three bedrooms would then be supported by two bathrooms. Mr. Schach shared some example views from the street to illustrate the impacts on others.

Mr. Schach next reviewed the variance criteria and explained that an applicant response had been provided for each one. For example, for variance criteria one, related to hardship, it stated: “The hardship caused to 948 Woodside would be the limited availability of bathrooms in the basement level. Currently, one bathroom serves three lower-level bedrooms. To cure this hardship, there is the availability of a small indentation

in the current ground-level footprint that enables the betterment of the home's livability, while not increasing the ground-level footprint. This indentation fills in an area at grade that should have been originally enclosed in the 1993 build of the structure. As stated above, we do not know the original reason for this indentation, because the second level and third level of the house are built over the indentation and used as living space."

The second variance had to do with special circumstances on the property. Mr. Schach explained that there was a unique footprint and the house was on the downhill side of the mountain. It was a narrow lot and it did not support itself well for a lot of amenities. This variance would make it possible to add an amenity to a more challenging lot. The third criteria response stated that the variance was essential to the enjoyment of the property. For the fourth criteria response, he pointed out that the area in question was a fairly inconspicuous part of the property. It was an indentation that likely should have been filled in when it was originally built. He did not believe a change there would impact the integrity, scale, compatibility, or historic fabric for future generations. As for the last criterion, he did not believe addressing the indentation would break the spirit of the LMC.

Board Member Stafsholt noted that this was the first time that the Board had been able to review the proposed plan for the whole home. It looked like the applicant also wanted to fill in the entryway, which was currently open. He believed that would add more square footage to the structure, which would increase the total beyond the current variance request. There were also other ideas shown that would increase the total square footage. Chair Gezelius pointed out that what had been mentioned was not under the purview of the current Board of Adjustment discussion. Currently, only one variance has been requested. Board Member Stafsholt explained that he wanted to understand what the applicant intended. Mr. Schach clarified that the top gable would be removed and that square footage would be available. With regards to the entryway, it was his understanding that additional square feet would not be added when that was filled in.

Mr. Layton clarified that the location of the front door was recessed from the front of the house. There was an open walkway. The intention was to keep the front door in the current location but enclose that in, so there was a proper entry. A new front door would be added and there would be more of a storm door where the current front door was. It would not technically count toward living space as it was being enclosed to have a double entry instead of a single-door entry. As for the space above the proposed bathroom, that was the walkway. Above that was the master bedroom. The sides, length, and width of the house would not be increased. It was simply a matter of filling in the existing space. Board Member Stafsholt stated that the footprint was based on enclosed space, whether it was living space or not. The type of enclosed space was irrelevant to the code.

Additional discussions were had about the walkway and other elements that had been contemplated. Chair Gezelius reminded Board Members what was currently before the Board of Adjustment and noted that the application related to the requested variance.

Chair Gezelius opened the public hearing. There were no comments. The public hearing was closed.

It was noted that both Staff and the applicant had presented their interpretations of the five criteria that must be found in order to justify a variance. Chair Gezelius asked if any of the Board Members had an issue with the Staff interpretation of the five criteria. This was denied. She asked for discussion regarding the request for the variance. Board Member Wintzer appreciated the position of the applicant, but she believed the assessment from Staff was correct. She did not feel the application met the criteria. As a result, she felt it was appropriate to uphold the Staff recommendation to deny the application for a variance. Board Member Stafsholt did not think it was appropriate to add to an already non-conforming structure. Board Member Armstrong and Board Member Franklin both agreed with the position that had been shared by Staff during the meeting.

Board Member Franklin did not believe the application met any of the five criteria. While there was a desire to look at the livability of the homes for people who lived in Park City full-time, she felt it would be possible to do something different within the envelope.

Board Member Stafsholt made a motion to deny the application. The motion was seconded by Board Member Wintzer. Discussions were had about the motion and the application. Board Member Franklin felt it might be necessary to make clear that the non-conforming use could continue to be non-conforming, but the envelope and ratio could not increase. She wondered whether that needed to be listed in the Final Action Letter. Director Ward explained that there would be Findings of Fact and Conclusions of Law in the Final Action Letter, but LMC § 15-9 would continue to apply. The applicant still needed to go through the HDDR process. As part of that, no alterations to the building footprint would be allowed. It was clarified that the matter would be addressed during the HDDR.

MOTION: Board Member Stafsholt moved to DENY the variance request at 948 Woodside Avenue in the HR-1 Zoning District, subject to the Findings of Fact and Conclusions of Law outlined in the Draft Final Action Letter, with the amendment that the Draft Final Action Letter action item be updated to reflect the decision of the Board:

Findings of Fact

1. The property is located at 948 Woodside Avenue in the Historic Residential – 1 Zoning District.
2. The site contains a non-historic Single-Family Dwelling constructed in 1993.
3. The City approved a Historic District Design Review application for a Single-Family Dwelling at 948 Woodside Avenue on March 2, 1992.
4. The Applicant requests a Variance to the LMC to increase the Building Footprint to 960 square feet.
5. The basement level was constructed with an exterior carve-out area of approximately 51 square feet, and excluded from the Building Footprint calculation.

6. The Applicant proposes to enclose this area to construct a new bathroom.
7. The governing Land Management Code (LMC) in 1992 did not establish a Maximum Building Footprint, rather the LMC required new Structures to comply with a maximum Floor Area Ratio (FAR).
8. In 1992, the Floor Area of all new Structures constructed within the HR-1 Zoning District was limited by the FAR. For Lots up to 1,875 square feet, the maximum FAR was 0.9.
9. In 1992, the LMC defined Floor Area as: “[t]he area of a building that is enclosed by surrounding exterior walls, excluding a 600 square foot allowance for garages. Walkout basements will be considered floor areas whether finished or unfinished. Basements that are more than 80% below natural and finished grade will not be included in the floor area calculation. Porches, balconies, patios, and decks will not be considered floor area.”
10. The 1992 Building Permit plans for 948 Woodside Avenue indicate the gross Floor Area as 2,048 square feet (1,139 square feet of main and upper Floor Area; 909 square feet of finished basement Floor Area; 287 square feet of garage Floor Area).
11. The FAR for 948 Woodside Avenue is 1.09, exceeding the 1992 0.9 FAR allowance.
12. The Building Footprint has never been altered from its original, approved layout.
13. On July 27, 2006, the City Council adopted Ordinance No. 06-56 to mitigate infill development in the Historic Zoning Districts. This Ordinance established a Maximum Building Footprint, which is still used to determine Building Footprint size in the HR-1 Zoning District.
14. The 948 Woodside Avenue Lot is 25 feet wide by 75 feet deep.
15. The LMC defines Building Footprint as: “[t]he total Area of the foundation of the Structure, or the furthest exterior wall of the Structure project to Natural Grade, not including exterior stairs, patios, decks, and Accessory Buildings listed on the Park City Historic Structures Inventory that are not expanded, enlarged, or incorporated into the Main Building.”
16. Pursuant to LMC § 15-2.2-3(E), the Maximum Building Footprint for this site is 843.75 square feet.
17. The existing Structure has a Building Footprint of 909 square feet, an excess of 65.25 square feet.

18. The existing Structure does not comply with the 1992 LMC FAR nor the current LMC for Maximum Building Footprint. The Structure is therefore considered Non-Complying. LMC § 15-9-6 states, "No Non-Complying Structure may be moved, enlarged or altered, except in the manner provided in this Section or unless required by law." Regarding the repair, maintenance, alteration, and enlargement of a Non-Complying Structure, Non-Complying Structures may undergo such changes provided that such changes neither create any new non-compliance nor increase the degree of the existing non-compliance of all or any part of such Structure.
19. The proposal for a basement bathroom addition will increase the Non-Complying Structure by an additional 51 square feet.
20. To grant the requested Variance to the HR – 1 Maximum Building Footprint regulations, the Board of Adjustment must find that all five criteria outlined in LMC § 15-10-8(C) are met.
21. The Applicant bears the burden of proving that all the conditions justifying a Variance have been met.
22. In determining whether enforcement of the Zoning Ordinance will cause unreasonable hardship under LMC § 15-10-8(C)(1), the Board of Adjustment may not find an unreasonable hardship unless the alleged hardship is located on or associated with the Property for which the Variance is sought and comes from circumstances peculiar to the Property, not from conditions that are general to the neighborhood. In determining whether enforcement of the LMC would cause unreasonable hardship, the Board of Adjustment may not find an unreasonable hardship if the hardship is self-imposed or economic.
23. The following outlines the Variance criteria and Findings:

- a. **Literal enforcement of the Land Management Code would cause an unreasonable hardship for the Applicant that is not necessary to carry out the general purpose of the Land Management Code.**

The Applicant proposes a Variance from the Maximum Building Footprint to construct a 51-square-foot bathroom addition, however, this Lot is not unusual in the HR – 1 Zoning District. Rather, Woodside Avenue is a typical Old Town Lot: 25 feet wide by 75 feet deep, with a total Lot Area of 1,875 square feet.

The Maximum Building Footprint Formula established in the LMC for an HR – 1 Zoning District Lot containing 1,875 square feet is 843.75 square feet and is applied to all HR – 1 Zoning District Lots. The existing Building Footprint is 909 square feet, already exceeding the

Maximum Building. Footprint by 65.25 square feet. The requested Variance would increase the excess Building Footprint to 116.25 square feet. Literal enforcement of the Land Management Code would not cause an unreasonable hardship for the Applicant. The existing Structure has three bathrooms.

- b. There are special circumstances attached to the Property that do not generally apply to other Properties in the same zone.**

948 Woodside Avenue has a slope of less than 14%. LMC § 15-15-1 defines a Steep Slope as a slope greater than 15%. 948 Woodside Avenue is, therefore, not impacted by Steep Slope considerations. The Property is not near a wetland or stream. The Structure is not designated a Historic Structure on the Park City Historic Sites Inventory. As a result, no special circumstances are attached to the Property that does not generally apply to other Properties in the same zone.

- c. Granting the Variance is essential to the enjoyment of a substantial Property right possessed by other Property in the same zone.**

The Structure has three bathrooms – one on the basement level, one on the first floor, and one on the second floor. An additional bathroom is not essential to the enjoyment of a substantial Property right possessed by other Property in the same zone.

- d. The Variance will not substantially affect the General Plan and will not be contrary to the public interest.**

Historic Character is one of the core community values outlined in the General Plan. Goal 15 of the General Plan is to preserve the integrity, mass, scale, compatibility, and historic fabric of the nationally and locally designated historic resources and districts for future generations. Objective 15B is to maintain the character, context, and scale of local historic districts with compatible infill development and additions. The HR-1 Zoning District maximum Building Footprint is established in part to support compatible infill in the City's Historic Districts. Allowing a Building Footprint that already exceeds what is allowed to increase the non-conformity is contrary to Goal 15 of the General Plan and does not preserve the integrity, scale, compatibility, and historic fabric for future generations.

- e. The spirit of the Land Management Code is observed, and substantial justice done.**

LMC § 15-2.2-1 outlines the purpose of the HR – 1 Zoning District, which includes preserving present land uses and character of the Historic residential areas of the City, encouraging the construction of Historically Compatible Structures that contribute to the character and scale of the Historic District, and maintain existing residential neighborhoods. The spirit of the LMC is not observed.

24. Staff published notice on the City's website and the Utah Public Notice website, and posted a notice to the property on December 26, 2023.
25. Staff mailed courtesy notices to property owners within 300 feet on December 26, 2023.
26. The Park Record published notice on December 26, 2023.

Conclusions of Law

1. Literal enforcement of the Land Management Code for this Property does not cause an unreasonable hardship and is not necessary to carry out the general purpose of the Land Management Code.
2. No special circumstances are attached to the Property that does not generally apply to other properties in the same district.
3. Granting the Variance is not essential to the enjoyment of a substantial property right possessed by other Property in the same Zone.
4. The proposal is not consistent with the General Plan.
5. The spirit of the Zoning Ordinance is not observed, and substantial justice is not met by the requested Variance.

Board Member Wintzer seconded the motion.

VOTE: The motion passed with the unanimous consent of the Board.

- B. 2724 Creek Drive - Variance - On December 12, 2023, the Board of Adjustment Conducted a Public Hearing and Directed Planning Staff to Draft a Final Action Letter Denying the Requested Variance to the Front Setback Requirements in the Single-Family Zoning District to Extend the Existing Front-Facing Garage. PL-23-05853.**

Chair Gezelius explained that the application was a variance request for 2724 Creek Drive. On December 12, 2023, the Board of Adjustment reviewed the applicant's request for a variance from the Single-Family Zoning District minimum front setback for front-facing garages of 25 feet. The Board determined that the requested variance did not meet the five required criteria outlined in LMC Section 15-10-8 and unanimously voted to

deny the variance. The Board directed Staff to make findings for their decision. Board Member Wintzer noted that she had not been present for the original discussion. As a result, she would recuse herself from the discussion and vote on the variance application.

Planner Cawley stated that Findings of Fact #12 had been added to the materials, which included the following language: "The Board of Adjustment determined the Applicant did not meet its burden to demonstrate that the application meets the five criteria outlined in LMC Section 15-10-8(C), specifically finding that the Applicant's explanation confirmed another construction option was possible, negating any argument for unreasonable hardship, special circumstances or necessity to enjoy a substantial property right."

MOTION: Board Member Armstrong moved to DENY the variance request at 2724 Creek Drive, subject to the Findings of Fact and Conclusions of Law outlined in the Final Action Letter, as amended:

Findings of Fact

1. The Property is located at 2724 Creek Drive in the Single-Family (SF) Zoning District.
2. 2724 Creek Drive is Lot 1 of the McLeod Creek Subdivision and is 0.31 acres or 13,507 square feet.
3. The City approved a building permit in 1987 for the construction of the existing Single-Family Dwelling at 2724 Creek Drive.
4. Land Management Code (LMC) § 15-2.11-3(B), Single-Family Zoning District Front Setback Requirements, establishes a 25-foot Front Setback for Front-Facing Garages.
5. The Applicant requests a Variance to:
 - a. Extend the garage 7 feet 6 inches to encroach five feet into the required 25-foot Front Setback for Front-Facing Garages to provide additional space in the laundry room and garage.
 - b. Construct a rooftop deck above the proposed garage extension to encroach five feet into the required 25-foot Front Setback for Front-Facing Garages.
6. LMC § 15-10-8(C) outlines five required criteria that the Board of Adjustment evaluates to grant a variance. The five criteria and Findings are outlined below:
 - a. **Literal enforcement of the Land Management Code would cause an unreasonable hardship for the Applicant that is not**

necessary to carry out the general purpose of the Land Management Code.

Expansion of the existing Single-Family Dwelling is achievable to the north, west, southwest, and southeast of the existing Single-Family Dwelling in compliance with code-required setbacks.

- b. There are special circumstances attached to the Property that do not generally apply to other Properties in the same Zone.**

2724 Creek Drive is within the McLeod Creek Subdivision. There are eight corner lots within the McLeod Creek Subdivision. Lot 1 (2724 Creek Drive approved in 1987), Lot 5 (2706 Creek Drive approved in 1988), Lot 23 (2418 Creek Drive approved in 1994), Lot 24 (2419 Creek Drive approved in 1997), Lot 27 (2471 Creek Drive approved in 1989), Lot 28 (2501 Creek Drive approved in 1984), Lot 37 (2697 Creek Drive approved in 1992), and Lot 47 (2731 Creek Drive approved in 2005). At the time of the Building Permit review, each of the eight corner lots within the McLeod Creek Subdivision were required to comply with the Front-Facing Setback requirements for Front-Facing Garages in the SF Zoning District.

- c. Granting the Variance is essential to the enjoyment of a substantial Property right possessed by other Property in the same zone.**

As noted above, at the time of the Building Permit review, each of the eight corner lots within the McLeod Creek Subdivision were required to comply with the Front-Facing Setback requirements for Front-Facing Garages in the SF Zoning District.

- d. The Variance will not substantially affect the General Plan and will not be contrary to the public interest.**

2724 Creek Drive is within the Park Meadows neighborhood, Neighborhood 2 of the General Plan. General Plan Section 2.4 states “[t]o maintain the aesthetic of the individual pockets of development, limitations on building pads should be adopted.” The SF Zoning District regulations establish limitations on where buildings may be sited within a property.

- e. The spirit of the Land Management Code is observed, and substantial justice done.**

- LMC Section 15-2.11-1 establishes the purposes of the SF Zoning District:

- A. Maintain existing predominately Single Family detached residential neighborhoods;
 - B. Allow for Single Family Development Compatible with existing Developments;
 - C. Maintain the character of mountain resort neighborhoods with Compatible residential design; and
 - D. Require Streetscape design that minimizes impacts on existing residents and reduces architectural impacts of the automobile.
- The Front Setback Requirements for the SF Zoning District established in LMC Section 15-2.11-3(B) require the minimum Front Setback for Front-Facing Garages for Single Family Dwellings to maintain a minimum of twenty-five feet (25') from Front Lot Line. The eight corner lots within the McLeod Creek Subdivision were required to comply with this standard and consistent application within the McLeod Creek Subdivision maintains the character with compatible residential design with a streetscape design that minimizes impacts on existing residents and reduces architectural impacts of the automobile.
7. Staff mailed notice to property owners within 300 feet on November 22, 2023.
 8. Staff published notice to the City's website and the Utah Public Notice Website on November 22, 2023.
 9. Staff posted notice to 2427 Creek Drive on November 22, 2023.
 10. *The Park Record* published a courtesy notice on November 28, 2023.
 11. On December 12, 2023, the Board of Adjustment reviewed the Applicant's request for a Variance from the Single-Family Zoning District's minimum Front-Setback for Front-Facing Garages of 25 and conducted a public hearing.
 12. The Board of Adjustment determined the Applicant did not meet its burden to demonstrate that the application meets the five criteria outlined in LMC Section 15-10-8(C), specifically finding that the Applicant's explanation confirmed another construction option was possible, negating any argument for unreasonable hardship, special circumstances or necessity to enjoy a substantial property right.
 13. The Board of Adjustment determined that maintaining the Front Setback, primarily in a neighborhood without sidewalks and with historic build-out honoring the Front Setback, was consistent with the General Plan and spirit of the LMC.

Conclusions of Law

1. Literal enforcement of the Land Management Code for this Property does not cause an unreasonable hardship that is not necessary to carry out the general purpose of the Land Management Code.
2. There are no special circumstances attached to the Property that do not generally apply to other properties in the same district.
3. Denying the Variance does not diminish the enjoyment of a substantial property right possessed by other Property in the same Zone.
4. The proposal is inconsistent with the General Plan.
5. The spirit of the Land Management Code is not observed by the application.

Board Member Franklin seconded the motion.

VOTE: The motion passed with the unanimous consent of the Board.

6. ADJOURN

Director Ward reported that the next Board of Adjustment Meeting was scheduled to take place on Tuesday, February 20, 2024, at 5:00 p.m.

MOTION: Board Member Franklin moved to ADJOURN the Park City Board of Adjustment Meeting. Board Member Armstrong seconded the motion.

VOTE: The motion passed with the unanimous consent of the Board.

The Board of Adjustment Meeting adjourned at 5:37 p.m.

Approved by _____
Ruth Gezelius, Board of Adjustment Chair

948 WOODSIDE AVENUE

VARIANCE



948 WOODSIDE

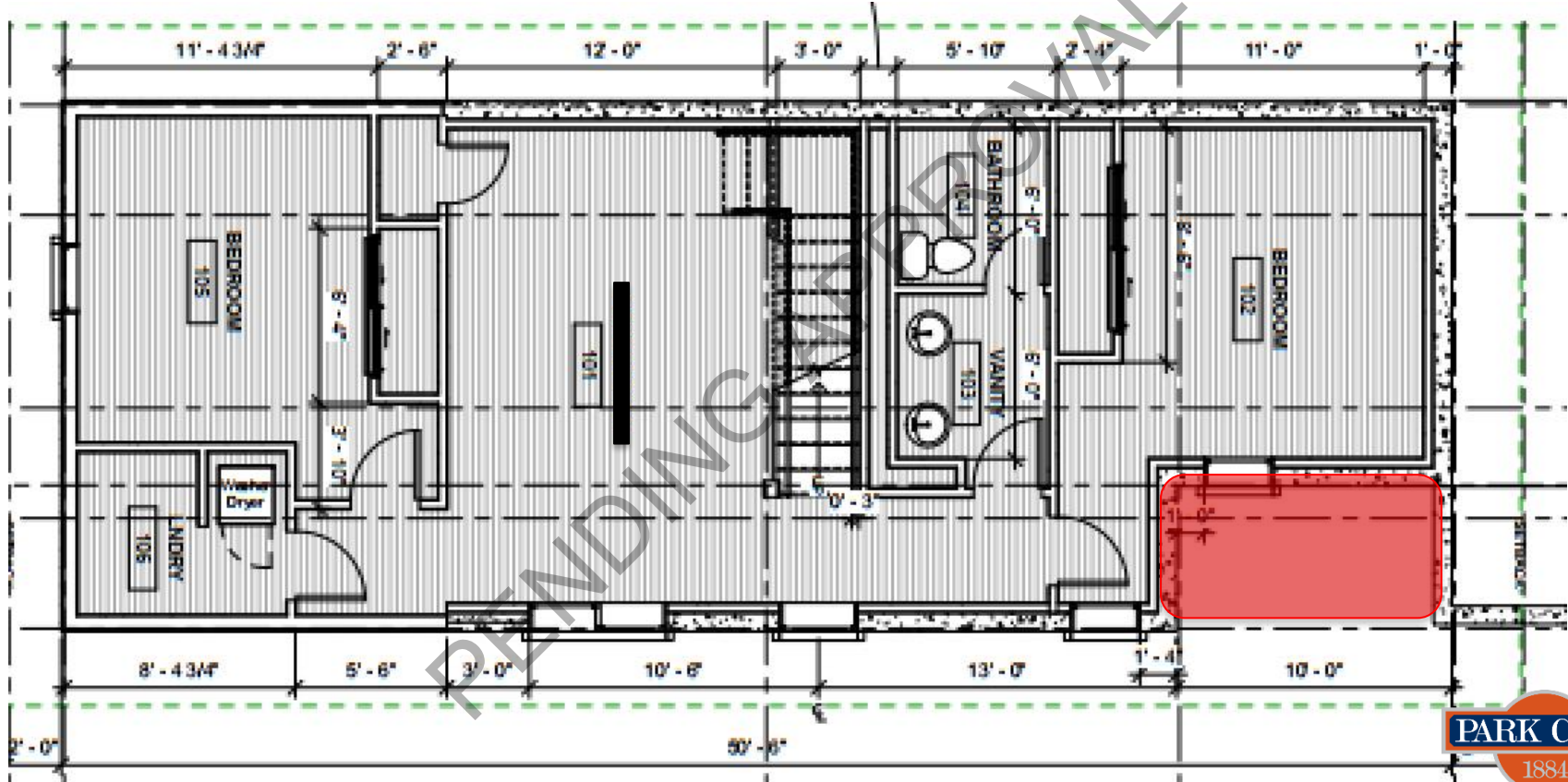
- Non-historic Single-Family Dwelling
- Increase Building Footprint from 909 to 960 square feet
- Construction of an additional bathroom on basement level
- Two bathrooms and three bedrooms – Existing
- Variance to increase the Maximum Building Footprint in HR – 1

948 WOODSIDE

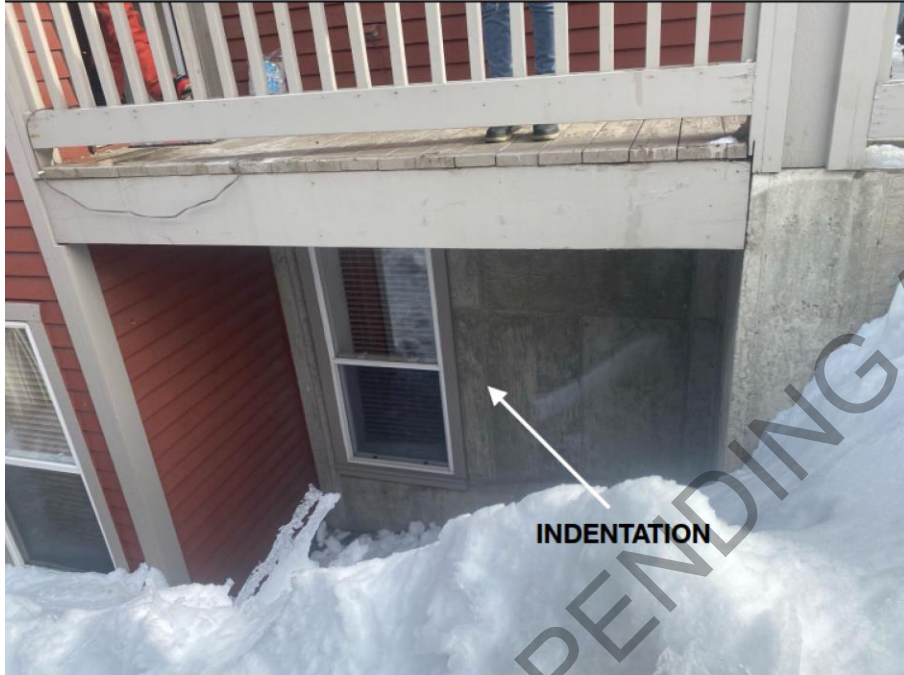
- Building approved in 1992 – HDDR
- Basement level constructed with an area outside Building Footprint
- Footprint unchanged



948 WOODSIDE



948 WOODSIDE



948 WOODSIDE

Floor Area Ratio. The floor area of all new structures constructed within the HR-1 District shall be limited by the Floor Area Ratio (FAR) which shall be the Floor Area as defined in Chapter 2, divided by the total area of the lot or parcel. For lots up to 1875 square feet, the maximum FAR shall be .9. For lots from 1876 square feet to 3750 square feet in area, the maximum FAR shall be .75. For lots larger than 3750 square feet in area, the maximum FAR shall be .6. In calculating the FAR for a single family structure, 400 square feet may be added to the total floor area for a two-car garage after calculating the FAR. For duplexes, triplexes and multi-unit structures, the garage addition shall be 400 square feet for each residential unit.

1,139 sq. ft. main and upper floor

909 sq. ft. finished basement

287 sq. ft. garage

2,048 sq. ft. gross floor area || FAR = 1.09

948 WOODSIDE

Building Footprint: The total Area of the foundation of the Structure, or the furthest exterior wall of the Structure projected to Natural Grade, not including exterior stairs, patios, decks, and Accessory Buildings listed on the Park City Historic Structures Inventory that are not expanded, enlarged, or incorporated into the Main Building.

$$\text{MAXIMUM FP} = (A/2) \times 0.9^{A/1875}$$

Maximum Building Footprint is 843.75 square feet

Existing = 909 square feet | Proposed = 960 square feet (excess of 116.25 square feet)

948 WOODSIDE

LMC § 15-9-6: No Non-Complying Structure may be moved, enlarged, or altered except in the manner provided in this Section or unless required by law.

Non-Complying Structures may undergo changes provided that these changes shall neither create any new non-compliance nor shall increase the degree of the existing non-compliance of all or any part of such Structure

948 WOODSIDE

1. Literal enforcement of the LMC would cause an unreasonable hardship for the Applicant that is not necessary to carry out the general purpose of the LMC.

The Applicant proposes a Variance from the Maximum Building Footprint to construct a 51-square-foot bathroom addition, However, this Lot is not an unusual lot in the HR – 1 Zoning District. Rather, Woodside Avenue is a typical Old Town Lot: 25 feet wide by 75 feet deep, with a total Lot Area of 1,875 square feet.

The Maximum Building Footprint Formula established in the LMC for an HR – 1 Zoning District Lot containing 1,875 square feet is 843.75 square feet and is applied to all HR – 1 Zoning District Lots. The existing Building Footprint is 909 square feet, already exceeding the Maximum Building Footprint by 65.25 square feet. The requested Variance would increase the excess Building Footprint to 116.25 square feet. Literal enforcement of the Land Management Code would not cause an unreasonable hardship for the Applicant. The existing Structure has three bathrooms.

948 WOODSIDE

2. There are special circumstances attached to the Property that do not generally apply to other Properties in the same zone.

948 Woodside Avenue has a slope of less than 14%. LMC § 15-15-1 defines Steep Slope as a slope greater than 15%. 948 Woodside Avenue is, therefore, not impacted by Steep Slope considerations. The Property is not near a wetland or stream. The Structure is not designated a Historic Structure on the Park City Historic Sites Inventory. As a result, no special circumstances are attached to the Property that do not generally apply to other Properties in the same zone.

948 WOODSIDE

3. Granting the Variance is essential to the enjoyment of a substantial Property right possessed by other Property in the same zone.

The Structure has three bathrooms – one in the basement level, one on the first floor, and one on the second floor. An additional bathroom is not essential to the enjoyment of a substantial Property right possessed by other Property in the same zone.

948 WOODSIDE

4. The Variance will not substantially affect the General Plan and will not be contrary to the public interest.

Historic Character is one of the core community values outlined in the General Plan. Goal 15 of the General Plan is to preserve the integrity, mass, scale, compatibility, and historic fabric of the nationally and locally designated historic resources and districts for future generations.

Objective 15B is to maintain the character, context, and scale of local historic districts with compatible infill development and additions. The HR – 1 Zoning District maximum Building Footprint is established in part to support compatible infill in the City's Historic Districts. Allowing a Building Footprint that already exceeds what is allowed to increase the non-conformity is contrary to Goal 15 of the General Plan and does not preserve the integrity, scale, compatibility, and historic fabric for future generations.

948 WOODSIDE

5. The spirit of the Land Management Code is observed, and substantial justice done.

LMC § 15-2.2-1 outlines the purpose of the HR – 1 Zoning District, which includes preserving present land uses and character of the Historic residential areas of the City, encouraging the construction of Historically Compatible Structures that contribute to the character and scale of the Historic District, and maintain existing residential neighborhoods. The spirit of the LMC is not observed.

PENDING APPROVAL

948 WOODSIDE

Amend the Final Action Letter to “Denied” to align with the Findings of Fact and Conclusions of Law.

RECOMMENDATION

Review the proposed Variance, conduct a public hearing, and consider denying the Variance according to the Findings of Fact and Conclusions of Law outlined in the amended draft Final Action Letter.

PENDING APPROVAL

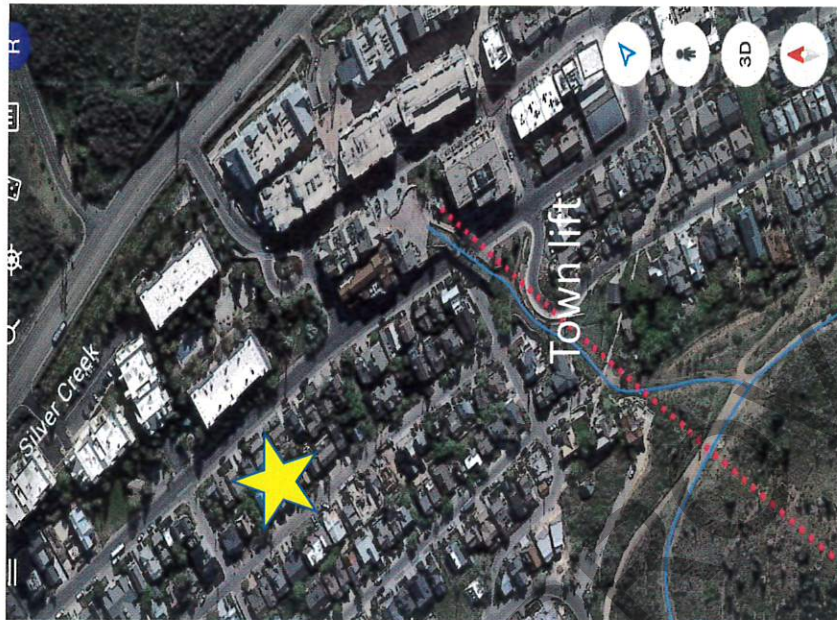
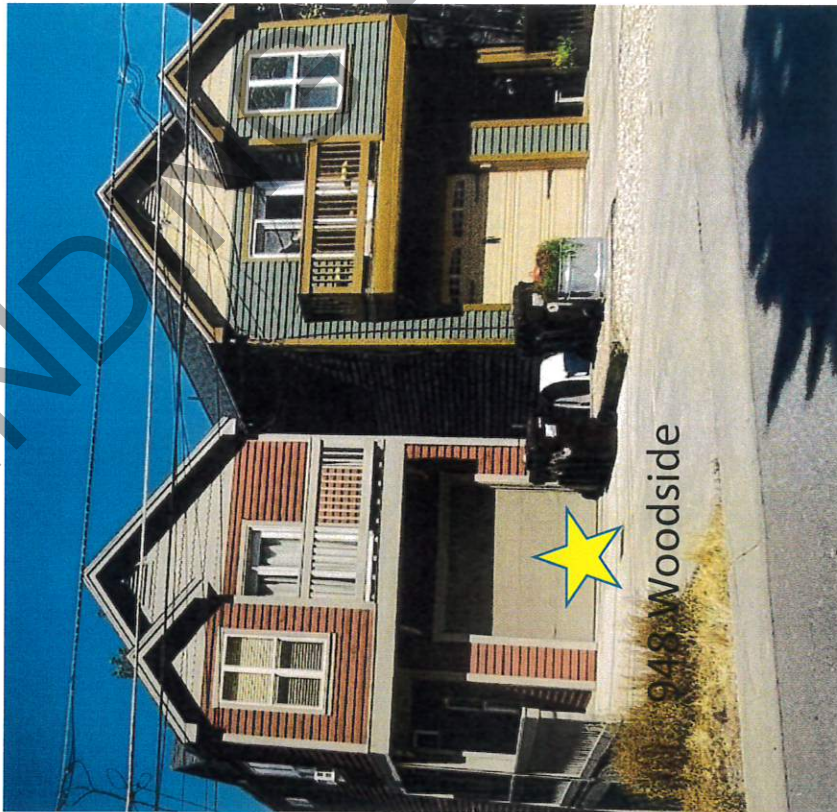
948 Woodside Ave

Old Town, Park City
January 09, 2024
Variance Request

Introductions

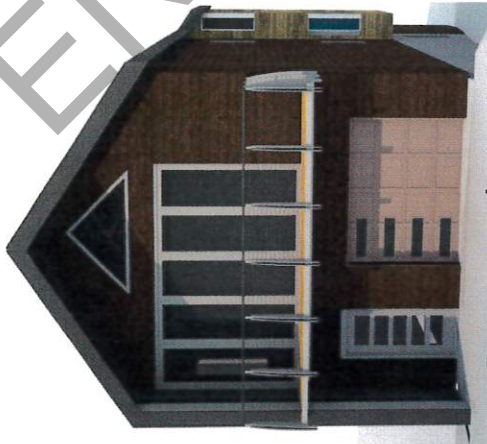
- Owner – Rick and Susie Schach, Evansville Indiana
- We purchased 948 Woodside in Spring 2019
- Our 5th winter in Park City
- Initial remodel plan – live in home for awhile to determine needs
- Started working with Park City Planning in 2020 to gain remodel approval
 - Current status - HDDR Application submitted; February 1 mtg scheduled
- Commissioned friend, Mike Sweeney, for assistance navigating City Hall
- Commissioned contractor Justin Layton, Back Country Services for build
- Commissioned Architect Michael Anderson, Arqui-Tectonics

948 Woodside Ave



Main objectives of remodel:

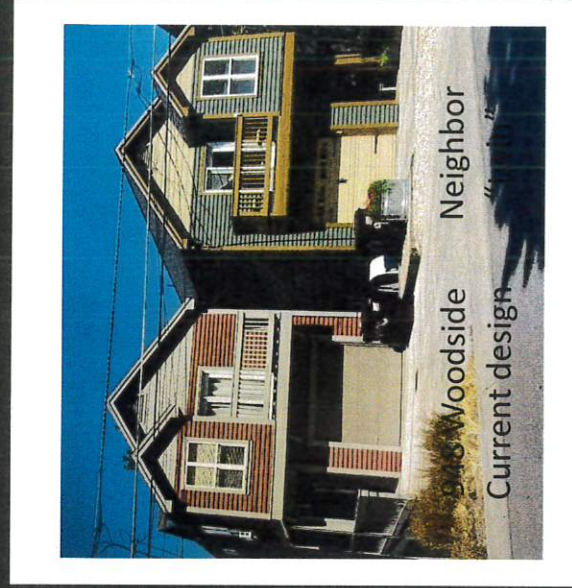
- Exterior dated, need to compensate for poor design representation within Old Town – is an exact “twin” of neighbor’s house
- Improve small galley kitchen
- Improve very narrow front entry with no storage space for coats, boots, ski apparel, etc
- Add dining area or space for a dinner table
- Add lower level bathroom – currently, three bedrooms in basement living area with only one bathroom
- Provide outdoor gathering space via a roof deck
- Add heating technology to driveway and back patio



Proposed Design



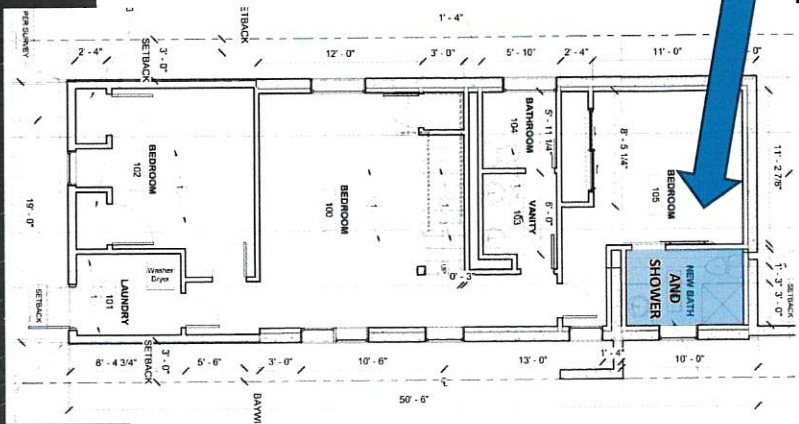
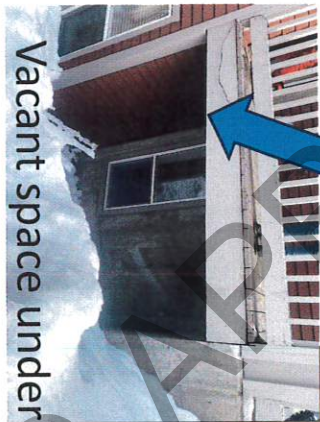
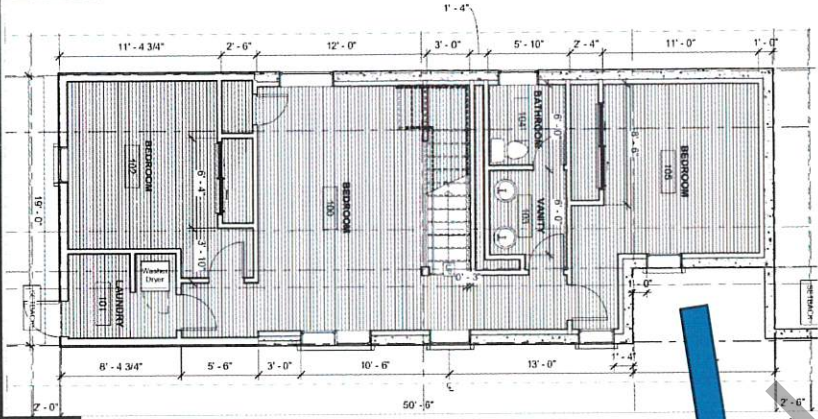
Proposed Design



Main Objectives – update exterior and eliminate “twin” of neighbor

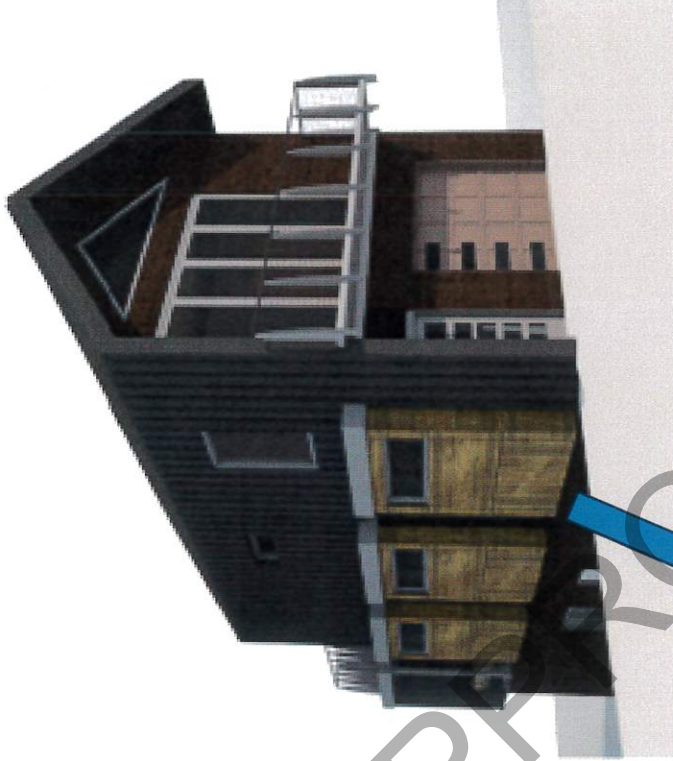
Improve “livability” with minor space saving changes throughout

Add New Bathroom - Build in vacant space/"indentation"



Variance Request

Views from Street for Foundation Indentation



Indentation/nor proposed build
are not visible from the street

Variance Criteria #1

- Literal enforcement of the Land Management Code would cause an unreasonable hardship for the Applicant that is not necessary to carry out the general purpose of the Land Management Code.

- Applicant's Response: The hardship caused [to] 948 Woodside would be the limited availability of bathrooms in the basement level (Level 1) – currently one bathroom serves three lower-level bedrooms. To cure this hardship there is the availability of a small indentation in the current ground-level footprint that enables the betterment [of] the home's livability, while not increasing the ground level footprint. This indentation actually fills-in an area at grade that should have been originally enclosed in the 1993 build [of the structure]. See attached exhibit of original architectural plans of 1993. As stated above, we don't know the original reason for this indentation because the second level and third level of the house [are built] over the indentation and is used as living space

Variance Criteria #1 - continued

- Recommended Finding: The Applicant proposes a Variance from the Maximum Building Footprint to construct a 51- square-foot bathroom addition, However, this Lot is not an unusual lot in the HR – 1 Zoning District. Rather, Woodside Avenue is a typical Old Town Lot: 25 feet wide by 75 feet deep, with a total Lot Area of 1,875 square feet. The Maximum Building Footprint Formula established in the LMC for an HR – 1 Zoning District Lot containing 1,875 square feet is 843.75 square feet and is applied to all HR – 1 Zoning District Lots. The existing Building Footprint is 909 square feet, already exceeding the Maximum Building Footprint by 65.25 square feet. The requested Variance would increase the excess Building Footprint to 116.25 square feet. Literal enforcement of the Land Management Code would not cause an unreasonable hardship for the Applicant. The existing Structure has three bathrooms.

Counter argument to department's Findings – 948 only has 2 full baths; 1 in basement which has 3 bedrooms

Variance Criteria #2

- There are special circumstances attached to the Property that do not generally apply to other Properties in the same zone
- Applicant's Response: The Applicant's request is to create a bathroom where the indentation exists in the grade-level foundation [which is] unique to 948 and 946 Woodside (mirrored homes built at the same time) and differs from other homes in the neighborhood. One goal is no longer to have twin and differs from other lots in the area due to the individual lot's narrow dimensions. Currently the building footprint for 948 Woodside is a rectangle that includes a small "indentation" below grade on the front left side of the house (5' x 10'). The original reason of the indentation is unknown; however, it is speculated that it may have been intended for the addition of an outdoor A/C condenser. The requested modification will not extend the footprint however it will "fill-in" the "indentation" and make the footprint a perfect rectangle. By enclosing the below grade indentation [the Applicant] will be adding ~50 square feet to the footprint square footage. The enclosed space will be used to provide a small basement bathroom to service one of the three basement bedrooms but differentiate the two homes. The grade-level foundation is unique to both 948 and 946 Woodside

Variance Criteria #2 - continued

- Recommended Finding: 948 Woodside Avenue has a slope of less than 14%. LMC § 15-15-1 defines Steep Slope as a slope greater than 15%. 948 Woodside Avenue is, therefore, not impacted by Steep Slope considerations. The Property is not near a wetland or stream. The Structure is not designated a Historic Structure on the Park City Historic Sites Inventory. As a result, no special circumstances are attached to the Property that do not generally apply to other Properties in the same zone.

Counter Argument to Department's Findings

Our response is simply that this narrow lot/house has a unique “indentation” in its foundation that other properties (besides the twin neighbor) do not.

Variance Criteria #3

- Granting the Variance is essential to the enjoyment of a substantial Property right possessed by other Property in the same zone.
- Applicant's Response: Other properties do not have this anomaly of an "indentation" in the footprint and thus have utilized the full space of their specific footprints for proper [bathroom-to-bedroom] "livability" ratios.
- Recommended Finding: The Structure has three bathrooms – one in the basement level, one on the first floor, and one on the second floor. An additional bathroom is not essential to the enjoyment of a substantial Property right possessed by other Property in the same zone.

Counter Argument to Department's Findings

Yes we have 3 bathrooms, however only 2 bathrooms are full; AND the basement has 3 bedrooms with only one full bathroom. We believe it is essential to add a second full bathroom to the basement. Because we are unique to other properties with this "indentation", other properties have had no trouble adding bathrooms to support their bedrooms.

Variance Criteria #4

The Variance will not substantially affect the General Plan and will not be contrary to the public interest.

Applicant's Response: This small indentation in the footprint is below grade and not seen from the road or other properties. The second and third floors of the home have already been built above this "indentation", so it appears from the street view that the space is already being utilized where the indentation exists. Again, since the home's levels above the "indentation" are over said "indentation" the casual observer assumes it does not exist.

Recommended Finding: Historic Character is one of the core community values outlined in the General Plan. Goal 15 of the General Plan is to preserve the integrity, mass, scale, compatibility, and historic fabric of the nationally and locally designated historic resources and districts for future generations. Objective 15B is to maintain the character, context, and scale of local historic districts with compatible infill development and additions. The HR – 1 Zoning District maximum Building Footprint is established in part to support compatible infill in the City's Historic Districts. Allowing a Building Footprint that already exceeds what is allowed to increase the nonconformity is contrary to Goal 15 of the General Plan and does not preserve the integrity, scale, compatibility, and historic fabric for future generations

Variance Criteria #4 – continued

Counter Argument to Department’s Findings

We contend that by our filling in this inconspicuous, small foundation “indentation” has no affect on impugning the “integrity, scale, compatibility, and historic fabric for future generations”.

Variance Criteria #5

The spirit of the Land Management Code is observed, and substantial justice done.

Applicant's Response: The spirit of the Land Management Code is observed because of the explanation on Level 1 above related to this space is already being used for all floors above it. In particular, it complies with [LMC Section] 15-2.22 Uses and does not require any Conditional Uses and does not have any Prohibited Uses.

Recommended Finding: LMC § 15-2.2-1 outlines the purpose of the HR – 1 Zoning District, which includes preserving present land uses and character of the Historic residential areas of the City, encouraging the construction of Historically Compatible Structures that contribute to the character and scale of the Historic District, and maintain existing residential neighborhoods. The spirit of the LMC is not observed

Counter Argument to the Departments Findings

We are asking for the committee's consideration that our filling in the foundation "indentation" does not rise to the level of breaking the spirit of the Land Management Code HR-1 Zoning District.

PENDING APPROVAL

Board of Adjustment Continuation Report

Subject: 844 Empire Avenue
Application: PL-24-06051
Author: Caitlyn Tubbs, Senior Planner
Date: March 19, 2024
Type of Item: Variance – Front Setbacks



Recommendation

The Applicant has requested the Continuation of this Item to a date uncertain to provide adequate time to update the project exhibits.

Board of Adjustment Staff Report



Subject: 317 Ontario Avenue
Application: PL-24-06038
Author: Caitlyn Tubbs, Senior Planner
Date: March 19, 2024
Type of Item: Variance – Tandem Parking Requirement

Recommendation

(I) Review the requested Variance from the requirement for a Tandem Parking configuration in the Historic Residential – 1 Zoning District when additional height is allowed for a garage on a downhill Lot, (II) conduct a public hearing, and (III) consider approving the Variance based on the Findings of Fact, Conclusions of Law, and Conditions of Approval outlined in the draft Final Action Letter (Exhibit A).

Description

Applicant: Jonathan DeGray on behalf of Mary Louden
Location: 317 Ontario Avenue
Zoning District: Historic Residential – 1
Adjacent Land Uses: Residential
Reason for Review: Pursuant to Land Management Code (LMC) [§ 15-1-8](#) the Board of Adjustment takes Final Action on Variance requests.

BOA Board of Adjustment
DRC Development Review Committee
DRT Design Review Team
HDDR Historic District Design Review
HPB Historic Preservation Board
HR-1 Historic Residential – 1
LMC Land Management Code
SSCUP Steep Slope Conditional Use Permit

Terms that are capitalized as proper nouns throughout this staff report are defined in LMC [§ 15-15-1](#).

Summary

317 Ontario Avenue includes a Significant Historic Structure that fronts the north-south pathway between Marsac Avenue and Ontario Avenue accessed by Shorty’s Stairs. The rear of the Significant Historic Structure is at the base of a steep slope that leads up to Ontario Avenue. The Applicant proposes constructing an addition to the rear of the Significant Historic Structure to provide additional living space with a garage accessed from Ontario Avenue.

The Land Management Code (LMC) establishes a Conditional Use process to increase height for a single-car-wide garage on a downhill Lot like this Ontario Avenue property

when Tandem Parking is provided. On September 13, 2023, the Planning Commission approved a Conditional Use Permit for additional height ([Minutes](#), p. 3) for the single-car-wide garage. The Applicant now requests a Variance from the Tandem Parking requirement to meet the requirements of the Land Management Code, described below, because due to a limited front Setback, the Applicant is not able to provide a code-compliant parking space in the driveway.

Background

317 Ontario Avenue is designated a Significant Historic Structure¹ on Park City's Historic Sites Inventory (HSI). On November 11, 2022, the Planning Department received a Historic District Design Review Pre-application for an addition to the rear of the Significant Historic Structure. This request was reviewed by the Design Review Team (DRT) on November 23, 2022, where the DRT found the proposed addition met the requirements of the Regulations for Historic Residential Sites outlined in LMC Section [15-13-2](#). On March 29, 2023, the Planning Department received a complete Historic District Design Review application for the addition to the Significant Historic Structure at 317 Ontario Avenue, which is still pending final staff-level review and final action and is dependent upon the Board of Adjustment's determination regarding the Variance.



Figure 1: Southwestern oblique, 1983 - Utah State Historical Society

¹ LMC [§ 15-11-10\(D\)\(2\)\(ct\)](#)

317 Ontario Avenue is within the HR -1 Zoning District and is known as the A. W. Webster home. It was originally constructed in c. 1885 and is a one-and-a-half-story Hall-Parlor Structure built in a Victorian-Vernacular style. The Structure was built during the Settlement & Mining Boom Era (1868 – 1893) The rear of the Historic Structure faces Ontario Avenue and is set far below the grade of the public right-of-way.



Figure 2: View of rear showing modified roof form and balcony

On July 5, 2023, the Historic Preservation Board approved the Applicant’s request for Material Deconstruction of approximately 140 square feet of the rear façade to facilitate the connection of the addition to the Significant Historic Structure ([Staff Report](#); [Minutes](#), p. 8).

On September 13, 2023, the Planning Commission approved a Steep Slope Conditional Use Permit to construct an addition to the Structure on a Very Steep Slope with an allowance for an increase in Building Height of five feet seven inches (5’ 7”) for a total of 32 feet 7 inches from Existing Grade to the ridgeline of the proposed addition ([Staff Report](#); [Minutes](#), p. 3). The Planning Commission required several Conditions of Approval (COA),² including:

- COA #6 – The Applicant shall secure access agreements for any work, construction, storage, and/or permanent improvement located five feet or less from a Lot/property line or otherwise encroaching onto an adjacent property prior to the issuance of a building permit.
- COA #17 – The owner shall demonstrate compliance with all adopted Nightly Rental regulations, including off-street parking, and obtain a License per Section 4-5-3 of the Municipal Code of Park City, Utah prior to using the property as a Nightly Rental. **Off-Street parking for a Nightly Rental shall be provided within the proposed garage³.**
- COA #20 – There shall be no habitable space above the garage area.

² See SSCUP Final Action Letter (Exhibit E)

³ Emphasis added

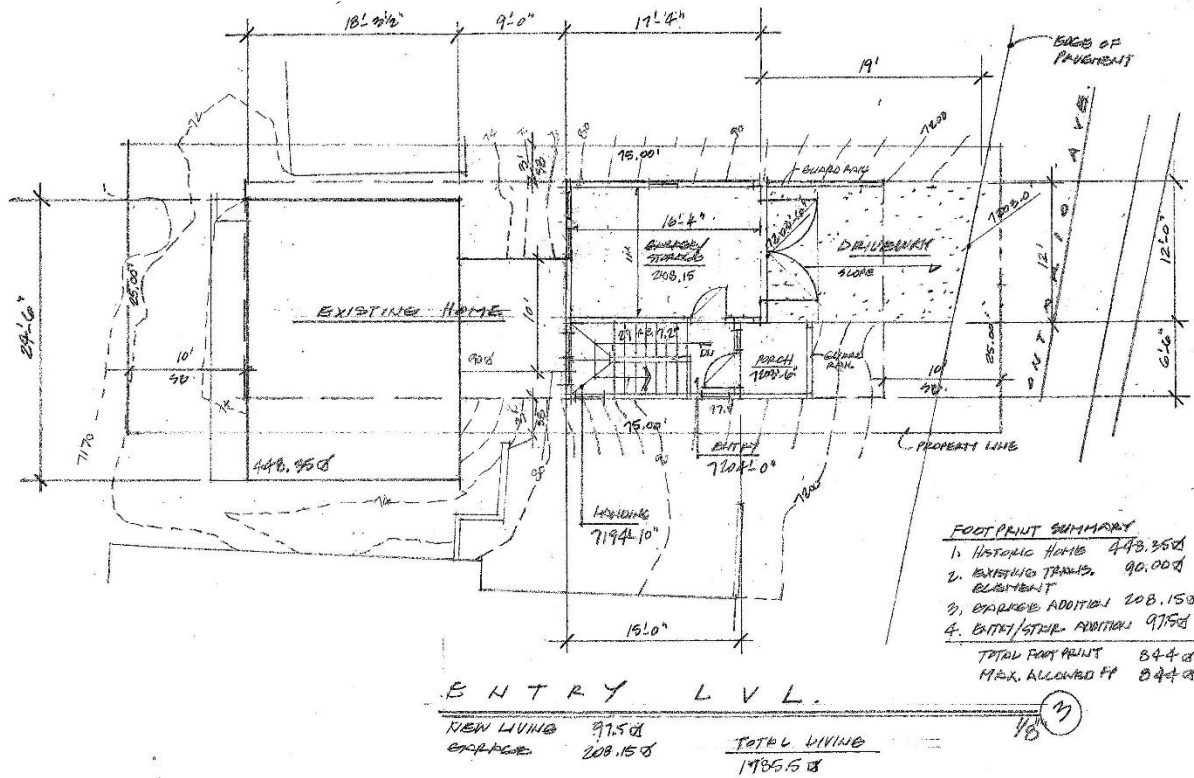


Figure 3: Applicant's Site Plan showing internal dimensions of proposed garage addition.

Analysis

LMC [Section 15-2.2-5\(D\)\(4\)](#) establishes the following exception for Building Height in the HR-1 Zoning District for garages on downhill lots:

The Planning Commission may allow additional Building Height (see entire Section 15-2.2-5) on a downhill Lot to accommodate a single car wide garage in a Tandem Parking configuration; to accommodate circulation, such as stairs and/or an ADA elevator; and to accommodate a reasonably sized front entry area and front porch that provide a Compatible streetscape design. The depth of the garage may not exceed the minimum depth for internal Parking Space(s) as dimensioned within this Code, Chapter 15-3. The additional Building Height may not exceed thirty-five feet (35') from Existing Grade.

The Planning Commission approved the additional Building Height. However, the Applicant now requests an exception from the requirement that the Building Height exception for a single-car-wide garage provide a Tandem Parking configuration. The proposed single-car-wide garage only provides one interior garage parking space of eleven feet in width and sixteen feet four inches in depth. The driveway is twelve feet in width and nineteen feet in depth and cannot provide the required Tandem Parking configuration.

Pursuant to LMC [§ 15-1-8](#), the Board of Adjustment takes Final Action on Variance requests. The Board of Adjustment may only grant a Variance if all five of the following

criteria are met:

- 1) Literal enforcement of the Land Management Code would cause an unreasonable hardship for the Applicant that is not necessary to carry out the general purpose of the Land Management Code;
- 2) There are special circumstances attached to the Property that do not generally apply to other Properties in the same zone;
- 3) Granting the Variance is essential to the enjoyment of a substantial Property right possessed by other Property in the same zone;
- 4) The Variance will not substantially affect the General Plan and will not be contrary to the public interest; and
- 5) The spirit of the Land Management Code is observed and substantial justice done.

Each criterion is outlined below with staff analysis. Pursuant to LMC [§ 15-10-8\(E\)](#), “the Applicant shall bear the burden of proving that all of the conditions justifying a Variance have been met.”

(I) Literal enforcement of the Land Management Code would cause an unreasonable hardship for the Applicant that is not necessary to carry out the general purpose of the Land Management Code.

The purposes of the LMC are outlined in LMC [§ 15-1-2](#):

- A. To promote the general health, safety, and welfare of the present and future inhabitants, Businesses, and visitors of the City;
- B. To protect and enhance the vitality of the City’s resort-based economy, the overall quality of life, the Historic character, and unique mountain town community;
- C. To protect and preserve peace and good order, comfort, convenience, and aesthetics of the City;
- D. To protect the tax base and to secure economy in governmental expenditures;
- E. To allow Development in a manner that encourages the preservation of environmentally sensitive lands, Historic Structures, the integrity of Historic Districts, and the unique urban scale of original Park City;
- F. To provide for well-planned commercial and residential centers, safe and efficient traffic and pedestrian circulation, preservation of night skies and efficient delivery of municipal services;
- G. To prevent Development that adds to existing Geologic Hazards, erosion, flooding, degradation of air quality, wildfire danger or other conditions that create potential dangers to life and safety in the community or that detracts from the quality of life in the community;
- H. To protect and ensure access to sunlight for Solar Energy Systems; and
- I. To protect or promote moderate income housing.

Further, LMC [§ 15-10-8\(D\)](#) requires the following in determining whether literal

enforcement of the ordinance would cause an unreasonable hardship:

- A. The alleged hardship is located on or associated with the Property for which the Variance is sought and comes from circumstances peculiar to the Property, not from conditions that are general to the neighborhood; and
- B. The alleged hardship is self-imposed or economic.

The Applicant states: *“Literal enforcement of the code would restrict garage depth to no less than 20’. A 16’ deep garage is usable as a vehicle parking space. It is unreasonable to require the owner to park in the street when the site can accommodate off-street parking in a garage. The garage adds benefit to the neighborhood by getting a car off the street. It also provides storage and thereby increases livability of the home.”*

Ontario Avenue is a narrow and steep Right-of-Way with minimal opportunity for on-street parking. Pursuant to LMC [§ 15-2.2-4](#) existing Historic Buildings are not required to provide Off-Street Parking, however, if a property owner chooses to provide parking on their property it must comply with the provisions of LMC [§ 15-3-4](#), including minimum interior dimensions.

On September 13, 2023, the Planning Commission reviewed the Applicant’s request for a Steep Slope Conditional Use Permit (SSCUP) requesting approval to construct an addition on a Steep Slope and additional height pursuant to LMC [§ 15-2.2-5\(D\)\(4\)](#). Following a public hearing, the Planning Commission approved the Applicant’s request, granting them the ability to construct the addition to a height of thirty-two feet and seven inches (32’ 7”) from Existing Grade.

In this approval, the Planning Commission required several Conditions, including:

- Off Street parking would be utilized before on-street parking; and
- The area above the garage would be limited to storage only, no livable space was permitted.

The subject property is partially occupied by the Ontario Avenue public right-of-way which restricts the Applicant’s ability to provide a second tandem off-street parking space on the proposed driveway. The depth of the driveway does not provide the required dimensions before it meets the Ontario Avenue right-of-way, and is not enough space to accommodate the minimum parking dimension for a tandem space.

In accordance with the above findings, Staff has determined that literal enforcement of the LMC does not allow the Applicant to provide on-site parking for a residence that is located on a narrow, steep, substandard right-of-way.

(II) There are special circumstances attached to the Property that do not generally apply to other Properties in the same zone.

The Applicant states: *“The existing historic home footprint limits the ability of the addition to meet the minimum code requirements of garage area. If the site was*

unincumbered by the historic home, it would be possible to meet the code requirements for minimum garage area.”

The subject property is designated as a Significant Historic Site on Park City’s Historic Sites Inventory (HSI) and directly abuts another Historic Site (323 Ontario Avenue). The existing Historic Structure on the subject property encroaches onto the neighboring property (303 Ontario Avenue) by approximately four feet eight inches (4’ 8”), as permitted by LMC [§ 15-2.2-4](#) as follows:

“Significant and Landmark Historic Sites that exceed the maximum Lot Area, and Historic Buildings and/or Structures that do not comply with Building Footprint, Building Height, Building Setbacks, Off-Street Parking, and driveway location standards are valid Non-Complying Structures. Additions must comply with Building Setbacks, Building Footprint, driveway location standards and Building Height. Additions to Historic Buildings and/or Structures are exempt from Off-Street Parking requirements provided the addition does not create a Lockout Unit or Accessory Apartment.”

Additionally, the neighboring Historic Structure to the north encroaches by approximately two feet ten inches (2’ 10”) into the side of the subject property, and approximately eighty-seven square feet of the Lot is occupied by the Ontario Avenue Public Right-of-Way.

In conjunction with the lot and height standards required by the HR – 1 Zoning District, the property is subject to further dimensional restrictions because of its designation as a Significant Historic Structure. LMC [§ 15-13-2\(B\)\(4\)](#) requires a transitional element between a Historic Structure and a new addition to maintain the character of the Historic Structure and provide a visual separation from the historic materials and the new construction. The required transitional element precludes the Applicant’s ability to increase the depth of the garage. Further, the location of the Ontario Avenue right-of-way impacts the Applicant’s ability to lengthen the driveway to accommodate a second tandem parking space.

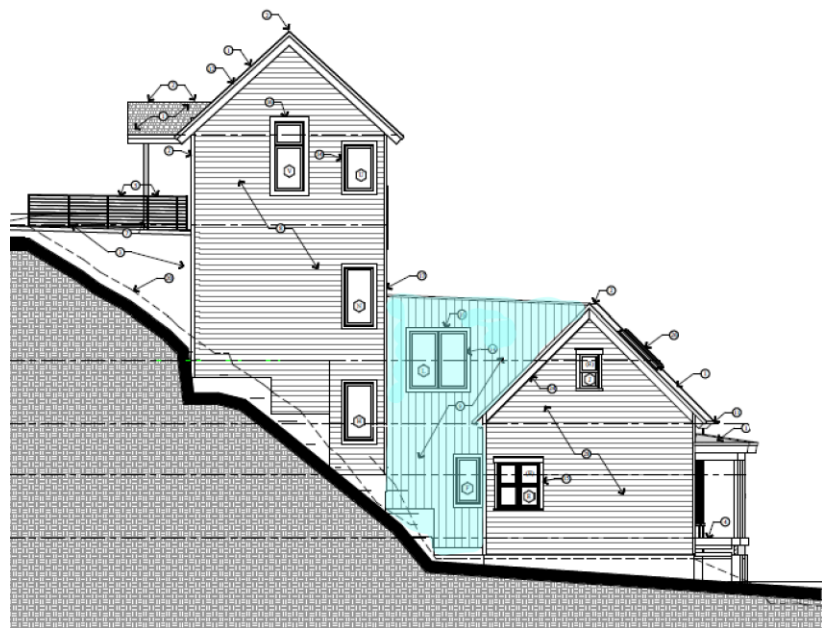


Figure 4: North elevation of Historic Structure and proposed addition, showing transitional element in blue.

(III) Granting the Variance is essential to the enjoyment of a substantial Property right possessed by other Property in the same zone.

The Applicant states: *“There are just a few historic homes on the west side of Ontario Avenue, so most homes have the flexibility to provide a main entry, garage, and off-street parking. By allowing a garage at 317 Ontario it will allow the owners to enjoy similar benefits as their neighbors.”*

As stated previously, there are very few locations along Ontario Avenue that can safely and legally be utilized as on-street parking. As a result, the majority of new infill construction along Ontario Avenue has included either a garage or a parking pad for the use of their respective owners. Many Historic Structures on Ontario Avenue were traditionally accessed by assorted stairways before vehicles became prevalent in Park City. Often, these Historic Structures face away from Ontario Avenue and “front” looking over Old Town. Some of these Historic Structures have also been remodeled over time to provide additional living space and off-street parking in keeping with the more contemporary construction in the neighborhood.

The subject property is partially occupied by the Ontario Avenue public right-of-way which restricts the Applicant’s ability to provide a second tandem off-street parking space on the proposed driveway. The depth of the driveway reaches a maximum of nineteen feet before it meets the Ontario Avenue right-of-way, which is not enough space to accommodate the minimum parking dimension for a tandem space.

(IV) The Variance will not substantially affect the General Plan and will not be contrary to the public interest.

The Applicant states: *“Allowing the garage will be a benefit to the neighborhood by providing off-street parking and storage. It will be in character with surrounding properties that also have garages and main entries off the street. These attributes are all supportive of the General Plan and are not contrary to the public interest.”*

The subject property is located within the [Old Town Neighborhood](#) shown in the General Plan and is recognized as the densest neighborhood of the City. Section 6.1 of the Neighborhoods document states: “Infill and new additions should be compatible in the neighborhood context and subordinate to existing historic structures.” The Section continues “[c]ompatibilty regulations should be created to limit lot size, massing, siting, and height in order to guide compatible neighborhood development.” Regulations were adopted, and are regularly updated, based upon this concept, including provisions in which additional height may be granted (as in this case).

Further, the General Plan outlines goals and objectives regarding the preservation of historic resources in Park City:

[Goal 15](#) – Preserve the integrity, mass, scale, compatibility and historic fabric of the

nationally and locally designated historic resources and districts for future generations.

- Objective 15A: Maintain the integrity of historic resources within Park City as a community asset for future generations, including historic resources locally designated on the Park City Historic Sites Inventory (HSI) and its two National Register Historic Districts – the Main Street Historic District and the Mining Boom Era Residences Thematic District.
- Objective 15B: Maintain character, context, and scale of local historic districts with compatible infill development and additions.

As discussed in the General Plan’s [Detailed Strategies for Historic Preservation](#), “[w]hile historic structures represent their era of significance, the district as a whole is not frozen in time. It is necessary to create appropriate infill, spur investment, and promote the economic vitality of the community.” Allowing compatible infill construction that also addresses parking and safety concerns is supported by the General Plan.

The regulations set forth in the [Historic Residential – 1 Zoning District](#) and the [Regulations for Historic Residential Sites](#) have likewise been adopted and updated to reflect the City’s objective of preserving the local historic resources while also allowing for compatible infill development. As noted previously, the Historic Preservation Board has approved the removal of 62 square feet of historic material to accommodate the addition, and the Planning Commission has approved additional building height for the purpose of constructing a garage after finding the proposal complies with the applicable regulations.

(V) The spirit of the Land Management Code is observed and substantial justice done.

The Applicant states: *“The existing home has no street connection. Creation of an addition that adds connectivity of the home to the street through a new entrance and garage access is encouraged by the code. Allowing this to occur through a minor variance to the minimum garage size seems a just solution.”*

The preservation of the existing Historic Structure and the inclusion of the transitional element maintains the Historic Character of Old Town as is widely supported in the General Plan. The keeping of vehicles out of the front yard setback areas allows for a more traditional streetscape that is consistent with the purpose of the standards adopted in the HR – 1 Zoning District and the Regulations for Historic Residential Sites. Providing parking within the proposed garage while also not requiring a second tandem parking space further advances the maintenance of the Historic Character of the Site.

Department Review

The Planning Department and City Attorney’s Office reviewed this report.

Notice

Staff published notice on the City’s website and the Utah Public Notice website and posted notice to the property on March 4, 2024. Staff mailed courtesy notice to property

owners within 300 feet on March 4, 2024. The *Park Record* published courtesy notice on March 6, 2024.⁴

Public Input

Staff did not receive any public input at the time this report was published.

Alternatives

- The Board of Adjustment may approve the requested Variance;
- The Board of Adjustment may deny the requested Variance and direct staff to make findings for the denial;
- The Board of Adjustment may request additional information and continue the item to a date certain or uncertain.

Exhibits

Exhibit A: Draft Final Action Letter

Exhibit B: Applicant's Narrative and Exhibits

Exhibit C: Proposed Plans

Exhibit D: HSI Form

Exhibit E: Steep Slope Conditional Use Permit Final Action Letter

Exhibit F: Material Deconstruction Final Action Letter

⁴ LMC [§ 15-1-21](#)



Planning Department

March 19, 2024

Jonathan DeGray
degrayarch@qwestoffice.net
(435)-649-6279

CC: Mary Loudon

NOTICE OF BOARD OF ADJUSTMENT ACTION

Description

Address: 317 Ontario Avenue
Zoning District: Historic Residential – 1 (HR – 1)
Application: Variance
Project Number: PL-24-06038
Action: APPROVED WITH CONDITIONS (See Below)
Date of Final Action: March 19, 2024
Project Summary: The Applicant Seeks a Variance from the Required Minimum Internal Depth of a Single-Family Dwelling’s Garage from Twenty Feet (20’) to Sixteen Feet (16’).

Action Taken

On March 19, 2024, the Board of Adjustment conducted a public hearing and approved the Variance from the Required Tandem Parking configuration in the Historic Residential – 1 Zoning District when additional height is allowed for a garage on a downhill Lot according to the following findings of fact, conclusions of law, and conditions of approval.

Findings of Fact

1. The Site is located at 317 Ontario Avenue.
2. The Site is located within the Historic Residential – 1 (HR – 1) Zoning District.
3. The existing Structure is designated to the Park City Historic Sites Inventory as a Significant Historic Structure.
4. The existing Structure was constructed c. 1885.



Planning Department

5. The Site is located on a Steep Slope.
6. On November 11, 2022, the Planning Department received a Historic District Design Review Pre-Application for a proposed addition to the rear of 317 Ontario Avenue.
7. On March 28, 2023, the Planning Department received a complete Steep Slope Conditional Use Permit Application and Historic District Design Review Standard Application.
8. On July 5, 2023, the Historic Preservation Board conducted a public hearing and approved the Material Deconstruction of sixty-two (62) square feet of historic materials at the rear of the Structure to accommodate a connection to the proposed addition.
9. On September 13, 2023, the Planning Commission conducted a public hearing and approved the Steep Slope Conditional Use Permit allowing for the construction of an addition on a Steep Slope and granting additional Building Height up to thirty-two feet seven inches (32' 7") from Existing Grade.
10. On February 20, 2024, the Planning Department received a complete Variance Application to reduce the minimum internal garage depth from twenty feet (20') to sixteen feet (16').
11. To grant the requested Variance from the required Tandem Parking configuration in the Historic Residential – 1 Zoning District for additional building height on downhill Lots, the Board of Adjustment must find that all five criteria outlined in LMC § 15-10-8(C) are met.
12. The Applicant bears the burden of proving that all the conditions justifying a Variance have been met.
13. In determining whether enforcement of the Zoning Ordinance will cause unreasonable hardship under LMC § 15-10-8(C)(1), the Board of Adjustment may not find an unreasonable hardship unless the alleged hardship is located on or associated with the Property for which the Variance is sought and comes from circumstances peculiar to the Property, not from conditions that are general to the neighborhood. In determining whether enforcement of the LMC would cause unreasonable hardship, the Board of Adjustment may not find an unreasonable hardship if the hardship is self-imposed or economic.
14. The following outlines the Variance criteria and Findings:
 - a. **Literal enforcement of the Land Management Code would cause an unreasonable hardship for the Applicant that is not necessary to carry out the general purpose of the Land Management Code.**

Ontario Avenue is a narrow and steep Right-of-Way with minimal opportunity for on-street parking. Pursuant to LMC § 15-2.2-4 existing Historic Buildings are not required to provide Off-Street Parking, however, if a property owner chooses to provide parking on their property it must comply with the provisions of LMC § 15-3-4, including minimum interior dimensions.

On September 13, 2023, the Planning Commission reviewed the Applicant's request for a Steep



Planning Department

Slope Conditional Use Permit (SSCUP) requesting approval to construct an addition on a Steep Slope and additional height pursuant to LMC § 15-2.2-5(D)(4). Following a public hearing, the Planning Commission approved the Applicant's request, granting them the ability to construct the addition to a height of thirty-two feet and seven inches (32' 7") from Existing Grade.

In this approval, the Planning Commission required several Conditions, including:

- Off Street parking would be utilized before on-street parking; and
- The area above the garage would be limited to storage only, no livable space was permitted.

The subject property is partially occupied by the Ontario Avenue public right-of-way which restricts the Applicant's ability to provide a second tandem off-street parking space on the proposed driveway. The depth of the driveway does not provide the required dimensions before it meets the Ontario Avenue right-of-way, and is not enough space to accommodate the minimum parking dimension for a tandem space.

In accordance with the above findings, the Board has determined that literal enforcement of the LMC does not allow the Applicant to provide on-site parking for a residence that is located on a narrow, steep, substandard right-of-way.

b. There are special circumstances attached to the Property that do not generally apply to other Properties in the same zone.

The subject property is designated as a Significant Historic Site on Park City's Historic Sites Inventory (HSI) and directly abuts another Historic Site (323 Ontario Avenue). The existing Historic Structure on the subject property encroaches onto the neighboring property (303 Ontario Avenue) by approximately four feet eight inches (4' 8"), as permitted by LMC § 15-2.2-4.

Additionally, the neighboring Historic Structure to the north encroaches by approximately two feet ten inches (2' 10") into the side of the subject property, and approximately eighty-seven square feet of the Lot is occupied by the Ontario Avenue Public Right-of-Way.

In conjunction with the lot and height standards required by the HR – 1 Zoning District, the property is subject to further dimensional restrictions because of its designation as a Significant Historic Structure. LMC § 15-13-2(B)(4) requires a transitional element between a Historic Structure and a new addition to maintain the character of the Historic Structure and provide a visual separation from the historic materials and the new construction. The required transitional element precludes the Applicant's ability to increase the depth of the garage. Further, the location of the Ontario Avenue right-of-way impacts the Applicant's ability to lengthen the driveway to accommodate a second tandem parking space.

c. Granting the Variance is essential to the enjoyment of a substantial Property right possessed by other Property in the same zone.



Planning Department

There are very few locations along Ontario Avenue that can safely and legally be utilized as on-street parking. As a result, the majority of new infill construction along Ontario Avenue has included either a garage or a parking pad for the use of their respective owners. Many Historic Structures on Ontario Avenue were traditionally accessed by assorted stairways before vehicles became prevalent in Park City. Often, these Historic Structures face away from Ontario Avenue and “front” looking over Old Town. Some of these Historic Structures have also been remodeled over time to provide additional living space and off-street parking in keeping with the more contemporary construction in the neighborhood.

The subject property is partially occupied by the Ontario Avenue public right-of-way which restricts the Applicant’s ability to provide a second tandem off-street parking space on the proposed driveway. The depth of the driveway reaches a maximum of nineteen feet before it meets the Ontario Avenue right-of-way, which is not enough space to accommodate the minimum parking dimension for a tandem space.

d. The Variance will not substantially affect the General Plan and will not be contrary to the public interest.

The subject property is located within the Old Town Neighborhood shown in the General Plan and is recognized as the densest neighborhood of the City. Section 6.1 of the Neighborhoods document states: “Infill and new additions should be compatible in the neighborhood context and subordinate to existing historic structures.” The Section continues “[c]ompatibility regulations should be created to limit lot size, massing, siting, and height in order to guide compatible neighborhood development.” Regulations were adopted, and are regularly updated, based upon this concept, including provisions in which additional height may be granted (as in this case).

Further, the General Plan outlines goals and objectives regarding the preservation of historic resources in Park City:

Goal 15 – Preserve the integrity, mass, scale, compatibility and historic fabric of the nationally and locally designated historic resources and districts for future generations.

- Objective 15A: Maintain the integrity of historic resources within Park City as a community asset for future generations, including historic resources locally designated on the Park City Historic Sites Inventory (HSI) and its two National Register Historic Districts – the Main Street Historic District and the Mining Boom Era Residences Thematic District.
- Objective 15B: Maintain character, context, and scale of local historic districts with compatible infill development and additions.

As discussed in the General Plan’s Detailed Strategies for Historic Preservation, “[w]hile historic structures represent their era of significance, the district as a whole is not frozen in time. It is necessary to create appropriate infill, spur investment, and promote the economic vitality of the



Planning Department

community.” Allowing compatible infill construction that also addresses parking and safety concerns is supported by the General Plan.

The regulations set forth in the Historic Residential – 1 Zoning District and the Regulations for Historic Residential Sites have likewise been adopted and updated to reflect the City’s objective of preserving the local historic resources while also allowing for compatible infill development. As noted previously, the Historic Preservation Board has approved the removal of 62 square feet of historic material to accommodate the addition, and the Planning Commission has approved additional building height for the purpose of constructing a garage after finding the proposal complies with the applicable regulations.

e. The spirit of the Land Management Code is observed, and substantial justice done.

The preservation of the existing Historic Structure and the inclusion of the transitional element maintains the Historic Character of Old Town as is widely supported in the General Plan. The keeping of vehicles out of the front yard setback areas allows for a more traditional streetscape that is consistent with the purpose of the standards adopted in the HR – 1 Zoning District and the Regulations for Historic Residential Sites. Providing parking within the proposed garage while also not requiring a second tandem parking space further advances the maintenance of the Historic Character of the Site.

15. Staff published notice on the City’s website and the Utah Public Notice website, and posted notice to the property on March 4, 2024.
16. Staff mailed courtesy notices to property owners within 300 feet on March 5, 2024.
17. The Park Record published notice on March 2, 2024.

Conclusions of Law

1. Literal enforcement of the required Tandem Parking configuration in the Historic Residential -1 Zoning District when additional building height is allowed on a downhill Lot causes an unreasonable hardship that is not necessary to carry out the general purpose of the Land Management Code.
2. There are special circumstances attached to the property that do not generally apply to other properties in the same district.
3. Granting the Variance is essential to the enjoyment of a substantial property right possessed by other properties in the same zone.
4. The proposal is consistent with the General Plan.
5. The spirit of the Land Management Code is observed and substantial justice is done through this approval.

Conditions of Approval



Planning Department

1. The Variance is limited to the Tandem Parking configuration in the Historic Residential – 1 Zoning District when additional building height is allowed on downhill Lots.
2. The Applicant is responsible for notifying the Planning and Building Departments prior to proposing any changes to this approval. The Applicant shall submit in writing any changes, modifications, or deviations from the approved scope of work for Planning review and approval/denial in accordance with the applicable standards prior to construction.
3. The Conditions of Approval of the Steep Slope Conditional Use Permit approval (PL-23-05600) and the Material Deconstruction approval (PL-22-05451) are incorporated herein.
4. The Applicant shall obtain Historic District Design Review approval prior to issuance of a building permit.
5. The Applicant shall provide the City with a Financial Guarantee to ensure compliance with the conditions and terms of the Historic Preservation Plan prior to the issuance of a building permit. Instruments or documents associated with the Financial Guarantee must be recorded with the Summit County Recorder's Office prior to the issuance of a building permit.

If you have questions or concerns regarding this Final Action Letter, please call (435)-615-5063 or email caitlyn.tubbs@parkcity.org.

Sincerely,

Ruth Gezelius, Chair
Board of Adjustment
CC: Caitlyn Tubbs, Senior Historic Preservation Planner

Jonathan DeGray - Architect

January 31, 2024

Park City Municipal Corporation
443 Marsac Avenue
Park City, Utah 84060

Attn: Caitlyn Tubbs, Planner

Re: Garage depth variance request
317 Ontario Avenue

Dear Caitlyn,

Per your direction I am forwarding the accompanying variance application and supporting documentation. We are requesting relief from the 20' depth requirement for a single car garage in the HR-1 zone. The requested variance is for 3'-9 1/2".

The property at 317 Ontario is a single old town lot, 25'x75' (1,875 sq. ft.). It has a maximum footprint of 844 sq. ft. The existing home is a landmark structure. As a landmark home it is not required to provide off-street parking, 15-2.2-4. Even though this is the case, Ontario Avenue is a difficult street to park on due to the limited street width. On-street parking is only available on the east side of the street. Providing off street parking, of any kind, must be viewed as a benefit to the neighborhood, especially on the west side of the street.

I've included floor plans in the application, Exhibit "A", sheet A1.1, that shows the footprint of the existing home, the required transition element, and the proposed addition. When the existing home and transition element footprint is subtracted from the allowable 844 sq. ft. footprint the remaining area equals 305.65 sq. ft. This addition needs to incorporate the main entry, a stair, and garage area as it will be adjacent to Ontario Avenue and is the entry to the home and connection to the public way. Once the stairs and entry are subtracted from the 305.65 sq. ft. the remaining area yields a garage of 11'-1" in width and 16'-2 1/4" in depth. Since the required depth of a single car garage is 20', we need a variance of 3'-9 1/2". It should be noted that the code does allow compact spaces as small as 9'x16', see 15-3-3, section F, for surface parking spaces.

There are quite a few cars that will fit comfortably in a 16' (192") garage. Some examples are.

1. Toyota Corolla, 172"
2. Range Rover Evoque, 172"
3. Mercedes-Benz GLA, 173.6"
4. Jeep Compass, 173.4"
5. Mini Countryman, 170.6"
6. Volvo XC40, 174.2"

LMC 15-10-8, Section C, addresses the requirements that must be met for approval of a variance. Below are the code requirements followed by a response in **bold italic** type.

1. Literal enforcement of the land management code would cause an unreasonable hardship for the applicant that is not necessary to carry out the general purpose of the Land Management Code.

Literal enforcement of the code would restrict garage depth to no less than 20'. A 16' deep garage is usable as a vehicle parking space. It is unreasonable to require the owner to park in the street when the site can accommodate off street parking in a garage. The garage adds benefit to the neighborhood by getting a car off the street. It also provides storage and thereby increases livability of the home.

2. There are special circumstances attached to the property that do not generally apply to other properties in the same zone.

The existing historic home footprint limits the ability of the addition to meet the minimum code requirements of garage area. If the site was unincumbered by the historic home, it would be possible to meet the code requirements for minimum garage area.

3. Granting the variance is essential to the enjoyment of a substantial property right possessed by other property in the same zone.

There are just a few historic homes on the west side of Ontario Avenue, so most homes have the flexibility to provide a main entry, garage, and off-street parking. By allowing a garage at 317 Ontario it will allow the owners to enjoy similar benefits as their neighbors.

4. The variance will not substantially affect the General Plan and will not be contrary to the public interest; and

Allowing the garage will be a benefit to the neighborhood by providing off-street parking and storage. It will be in character with surrounding properties that also have garages and main entries off the street. These attributes are all supportive of the General Plan and are not contrary to the public interest.

5. The spirit of the Land Management Code is observed, and substantial justice done.

The existing home has no street connection. Creation of an addition that adds connectivity of the home to the street through a new main entrance and garage access is encouraged by the code. Allowing this to occur through a minor variance to the minimum garage size seems a just solution.

Attached documents include the application form, HDDR application Set, Exhibit A (Floor plan with areas), Exhibit B (Historic District Design Guidelines for Transition Elements).

Please let me know if you have any questions regarding this request.

Sincerely,



Jonathan DeGray - Architect

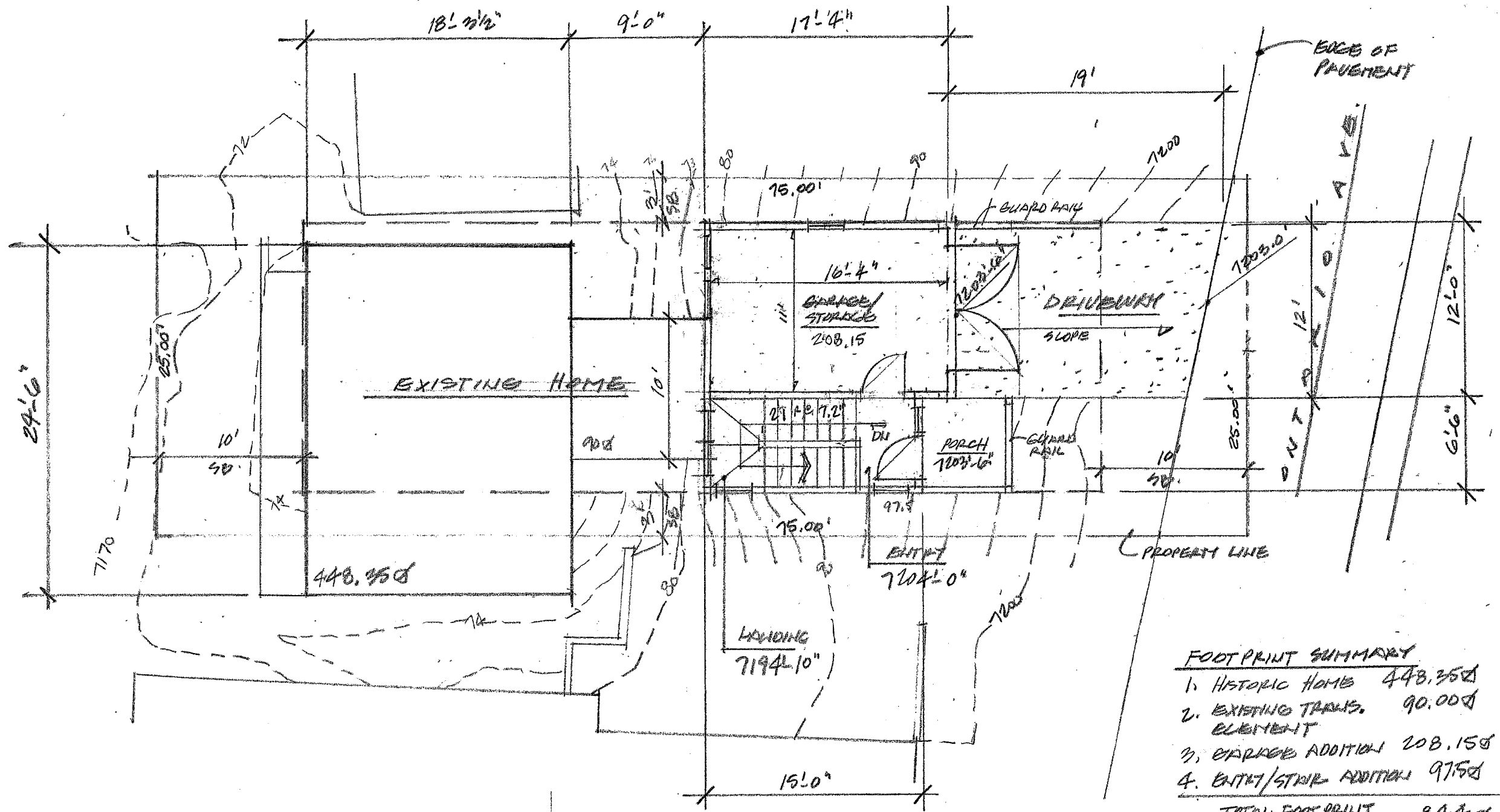
1.

1. Transitional Elements

1. In-line additions should be avoided generally are not appropriate.
2. A transitional element shall be required for any addition to a historic structure where the footprint of the addition is 50% or greater than the footprint of the historic structure. The historic structure's footprint may include additions to the historic structure made within the historic period that have gained historic significance in their own right.
3. When an addition to a historic structure is less than 50% of the historic structure's footprint but exceeds the height of the historic structure due to either the greater height of the addition, site topography (e.g., an uphill addition), or both, a transitional element shall be required.
4. On a rear addition, the width of the transitional element shall not exceed two-thirds (2/3) the width of the elevation to which the transitional element is connected. The transitional element shall be set in from the corners of the affected historic elevation by a minimum of two feet (2').
5. In the case of additions to the secondary façade, visible from the primary public right-of-way, the transitional element shall be setback a minimum of five feet (5') from the primary façade. All other previous guidelines apply.
6. The depth of the transitional element (i.e., the distance between the affected historic elevation and the addition) shall be a minimum of one-third (1/3) the length of the least wide historic elevation adjacent to the impacted historic elevation.
7. The highest point of the transitional element shall be a minimum of two feet (2') lower than the highest ridgeline of the historic structure.
8. Balconies and decks may be attached to the secondary facades of a transitional element; however, no roof deck is permitted on the transitional element.
9. When an existing non-historic or non-contributory addition is used as a transitional element, the preceding guidelines for transitional elements shall not apply.

2. General Compatibility

1. Additions shall complement the visual and physical qualities of the historic building. An addition shall not be designed to be an exact copy of the existing style or imply an earlier period or more ornate style than that of the historic building.
2. The addition shall be a contemporary interpretation of the historic structure's architecture style. The addition shall not be designed to contrast starkly with the historic structure; an acceptable design shall



FOOT PRINT SUMMARY

1. HISTORIC HOME	448.35
2. EXISTING TRAMS. ELEMENT	90.00
3. GARAGE ADDITION	208.15
4. ENTRY/STAIR ADDITION	97.5
TOTAL FOOT PRINT	844
MAX. ALLOWED FP	844

ENTRY LVL.

NEW LIVING	97.5	TOTAL LIVING
GARAGE	208.15	
		1985.5

3
1/8"

317 ONTARIO AVENUE

HISTORIC DISTRICT DESIGN REVIEW SET
 PARK CITY SURVEY, BLOCK 54 LOT 28
 PARK CITY, UTAH 84060

CONSULTANTS

STRUCTURAL
 SHEN ENGINEERING, INC.
 HENRY SHEN
 2225 EAST MURRAY HOLLADAY RD.
 SUITE 208, HOLLADAY, UTAH 84117
 TEL. (801) 466-2625
 FAX. (801) 466-2656
 EMAIL: sheneng@msn.com

CIVIL
 ALIANCE ENGINEERING
 MICHAEL DEMKOWICZ
 324 MAIN STREET
 P.O. BOX 2664, PARK CITY, UT 84060
 TEL. (435) 649-9467

LEGEND

	BRICK & STONE		OFFICE 103	ROOM NAME
	EARTH			ROOM NUMBER
	CONCRETE			FLOOR, POINT ELEV.
	CONCRETE MASONRY UNIT			CENTER LINE
	STEEL (LARGE SCALE)			ROUND, DIA.
	RIGID INSULATION			CHANNEL
	ROUGH WOOD			ANGLE
	BLOCKING			DETAIL
	ALUMINUM (LARGE SCALE)			SECTION CUT, DETAIL
	GRAVEL			BUILDING SECTION
	FINISHED WOOD			KEYED NOTES
	BATT OR BLOWN INSULATION			WINDOW TYPE
	PLASTER, SAND, GROUT, MORTAR			DOOR NUMBER
	STEEL (SMALL SCALE)			REVISION
	BITUMINOUS PAVING			INTERIOR WALL ELEV.
	PLYWOOD			WALL TYPE
	GYPSUM BOARD			

CODE ANALYSIS

AREA CALCULATIONS (S/F)		
	AREA	TOTAL
LOWER LEVEL EXISTING LIVING	540.8	
LOWER LEVEL NEW LIVING	303.2	
LOWER LEVEL TOTAL		844
MID LEVEL EXISTING LIVING	540.8	
MID LEVEL NEW LIVING	303.2	
MID LEVEL TOTAL		844
UPPER LEVEL NEW LIVING	303.2	
TOTAL LIVING	1991	
LOD/DISTURBED AREA		1,875
LOT AREA		1,875
ALLOWABLE FOOTPRINT		844
PROPOSED FOOTPRINT		844

APPLICABLE CODES
 2015 IRC 2018 IBC 2018 IPC 2018 IMC 2017 NEC
 2018 IFGC 2018 IECC 2018 IFC OCCUPANCY: R2

CONSTRUCTION TYPE: VB BUILDING TO BE
 FIRE SPRINKLED: CONTRACTOR TO PROVIDE
 APPROVALS PRIOR TO INSTALLATION.

INDEX TO DRAWINGS

SHEET #	SHEET DESCRIPTION
Aa	COVER SHEET
CIVIL	
1	SURVEY
RENDERINGS	
SD.1	STREET VIEW IMAGES
SD.2	CROSS CANYON IMAGES
SD.3	BIRDSEYE IMAGES
ARCHITECTURAL	
A0.1	ARCHITECTURAL SITE PLAN
A0.2	LANDSCAPE PLAN
A0.3	LOD & SWPPP PLAN
AB1.1	EXISTING FLOOR & ROOF PLANS
AB1.2	EXISTING ELEVATIONS
A1.1	LOWER & MID LEVEL FLOOR PLAN
A1.2	TOP LEVEL FLOOR & ROOF PLANS
A2.1	NORTH & EAST ELEVATIONS
A2.2	SOUTH & WEST ELEVATIONS
A3.1	BUILDING SECTION
A5.1	GENERAL NOTES & DETAILS
A5.2	ROOF DETAILS
A6.1	SCHEDULES

ABBREVIATIONS

A/C	AIR CONDITIONING	F.D.	FLOOR DRAIN	PR.	PAIR
ACOUS.T.	ACOUSTICAL	FND	FOUNDATION	R.D.	ROOF DRAIN
ADD.	ADDENDUM	FIN.	FINISH	REG.	REGULAR
ADJ.	ADJUSTABLE	FLR.	FLOOR	R.S.	ROUGH-SAWN
ALLOW.	ALLOWANCE	F.R.	FIRE RATED	RAD.	RADIUS
ALUM.	ALUMINUM	FTG.	FOOTING	REINF.	REINFORCING
APPROX.	APPROXIMATE	G	GAS	REQ'D.	REQUIRED
B.D.	BOARD	G.I.	GALVANIZED IRON	REV.	REVISED
B.U.	BUILT-UP	GA.	GUAGE	RM.	ROOM
B.W.	BOTH WAYS	GALV.	GALVANIZED	R.O.	ROUGH OPENING
BLDG.	BUILDING	GRD.	GRADE	S & R	SHELF AND ROD
BLK.	BLOCK	G.W.B.	GYPSUM WALL BOARD	S.C.	SOLID CORE
BRK.	BRICK	G.L.B.	GLU-LAM BEAM	SCHED.	SCHEDULE
C.I.	CAST IRON	H.B.	HOSE BIBB	SH.	SHEET
C.J.	CONTROL JOINT	HD.	HEAD	SIM.	SIMILAR
C.M.U.	CONCRETE MASONRY UNIT	H.M.	HOLLOW METAL	SPEC.	SPECIFICATION
CLG.	CEILING	HOR.	HORIZONTAL	STD.	STANDARD
COL.	COLUMN	I.D.	INSIDE DIAMETER	STL.	STEEL
COMP.	COMPACTED/COMPOSITE	INT.	INTERIOR	STRUCT.	STRUCTURAL
CONC.	CONCRETE	IRRIG.	IRRIGATION	SVS.	SYSTEM
CONST.	CONSTRUCTION	INSUL.	INSULATION	T & B	TOP AND BOTTOM
CONTR.	CONTRACTOR	JB.	JAMB	T & G	TONGUE AND GROOVE
CONT.	CONTINUOUS	JNT.	JOINT	T.O.	TOP OF
D.F.	DRINKING FOUNTAIN/DOUGLAS FIR	M.R.	MOISTURE RESISTANT	T.O.F.	TOP OF FOOTING
DIA.	DIAMETER	MANFR	MANUFACTURER	T.O.W.	TOP OF WALL
DIM.	DIMENSION	MAX.	MAXIMUM	TYP.	TYPICAL
DN.	DOWN	MECH.	MECHANICAL	T.S.	STEEL TUBE COLUMN
DWG.	DRAWING	MIN.	MINIMUM	U.N.O.	UNLESS NOTED OTHERWISE
DTL.	DETAIL	(N)	NEW	VERT.	VERTICAL
EA.	EACH	N.I.C.	NOT IN CONTRACT	V.T.R.	VENT THRU ROOF
E.F.	EXHAUST FAN	N.T.S.	NOT TO SCALE	W.	WATER
E.I.F.S.	EXT. INSUL. FINISH SYSTEM	NO.	NUMBER	WD.	WOOD
E.J.	EXPANSION JOINT	O.C.	ON CENTER	W/	WITH
ELEC.	ELECTRICAL/ELECTRICAL	O.D.	OUTSIDE DIAMETER	WP.	WATERPROOF
ELEV.	ELEVATION	OF.D.	OVERFLOW DRAIN	W.R.	WATER RESISTANT
EQ.	EQUAL	OPNG	OPENING	W.H.	WATER HEATER
E.T.	EXPANSION TANK	PLYWD.	PLYWOOD	W.S.	WATER SOFTNER
EXIST. (E)	EXISTING	PNT.	PAINT	W.W.F.	WELDED WIRE FABRIC
EXT.	EXTERIOR	PNTD.	PAINTED	W.W.M.	WOVEN WIRE MESH

GENERAL NOTES

- THIS DESIGN IS AN ORIGINAL UNPUBLISHED WORK AND MAY NOT BE DUPLICATED, PUBLISHED AND/OR USED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT/ENGINEER.
- THESE SHEETS - LISTED BY DRAWING INDEX, ALL ACCOMPANYING SPECIFICATIONS FOR MATERIALS, WORKMANSHIP QUALITY, AND NOTES HAVE BEEN PREPARED SOLELY FOR THE CONSTRUCTION AND FINISH OF PROJECT IMPROVEMENTS, COMPLETE AND READY FOR OCCUPANCY AND USE.
- ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH PERTINENT JURISDICTIONAL CODES, RESTRICTIONS, COVENANTS, AND/OR ORDINANCES. ANY CONFLICT BETWEEN DESIGN AND REQUIREMENT SHALL BE REPORTED TO THE ARCHITECT/ENGINEER BEFORE PROCEEDING.
- ANY AND ALL PROPOSED CHANGE, MODIFICATIONS AND/OR SUBSTITUTION SHALL BE REPORTED TO THE ARCHITECT/ENGINEER BEFORE PROCEEDING.
- IN THE EVENT OF CONFLICT BETWEEN THE DESIGN DOCUMENTS AND/OR JURISDICTIONAL REQUIREMENTS, THE MORE RESTRICTIVE FROM THE STANDPOINT OF SAFETY AND PHYSICAL SECURITY SHALL APPLY.
- ANY INSTALLATION, FINISH, OR COMPONENT INTENDED TO PROVIDE ENCLOSURE, WEATHER ABILITY OR APPEARANCE QUALITY SHALL BE PRODUCED AS A REPRESENTATIVE SAMPLE PRIOR TO PROCEEDING WITH COMPLETION. WORK PERFORMED WITHOUT WRITTEN APPROVAL OF SUCH SAMPLE BY THE ARCHITECT/ENGINEER SHALL BE DONE AT THE RISK OF THE CONTRACTOR. A MINIMUM OF TWO (2) WORKING DAYS NOTICE SHALL BE GIVEN.
- ALL WORK SHALL BE INSPECTED BY GOVERNING AGENCIES IN ACCORDANCE WITH THEIR REQUIREMENTS. JURISDICTIONAL APPROVAL SHALL BE SECURED BEFORE PROCEEDING WITH WORK.
- BUILDING DESIGN IS GENERALLY PREDICATED UPON PROVISIONS OF THE 2015 IRC AND AMENDMENTS AS MAY HAVE BEEN LOCALLY ENACTED. ALL REQUIREMENTS OF THE JURISDICTIONAL FIRE SAFETY/PREVENTION DISTRICT SHALL BE ACCOMMODATED BY THIS DESIGN AND ANY CONSEQUENT CONSTRUCTION.
- ALL 2 1/2" GAS PIPE SYSTEM METER SETS REQUIRES PRIOR APPROVAL FROM QUESTAR GAS COMPANY. PROVIDE A LETTER FROM QUESTAR APPROVING SYSTEM.
- ALL FIELD WELDING OR TORCH WORK, WILL REQUIRE A SEPARATE "HOT WORK" PERMIT PRIOR TO BEGINNING WORK. IFC 105.6.11.
- TOWER CRANES REQUIRE A SEPARATE PERMIT. CONTACT BUILDING DEPARTMENT FOR REQUIREMENTS.
- EXCAVATION NOT TO EXCEED 2:1 SLOPE WITH OUT A SOILS REPORT.
- BUILDING SHALL COMPLY WITH THE PROVISIONS IN THE (WUI) WILDLAND - URBAN INTERFACE CODE AS ADOPTED BY THE STATE OF UTAH AND AMENDED BY PARK CITY PER LMC 11-21.

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Jonathan DeGray
 Architect
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 Tel. 435-649-7263
 E-mail: deggrayarch@questaroffice.net

PROJECT DESCRIPTION:
Lot 28
Block 54 Park City Survey
 317 Ontario Avenue
 Park City, UT 84060

SHEET DESCRIPTION:
COVER SHEET

REVISIONS:

DATE/13/2023 11:39:12 PM

PROJECT NUMBER:
 Rossie Hill

SHEET NUMBER:
Aa

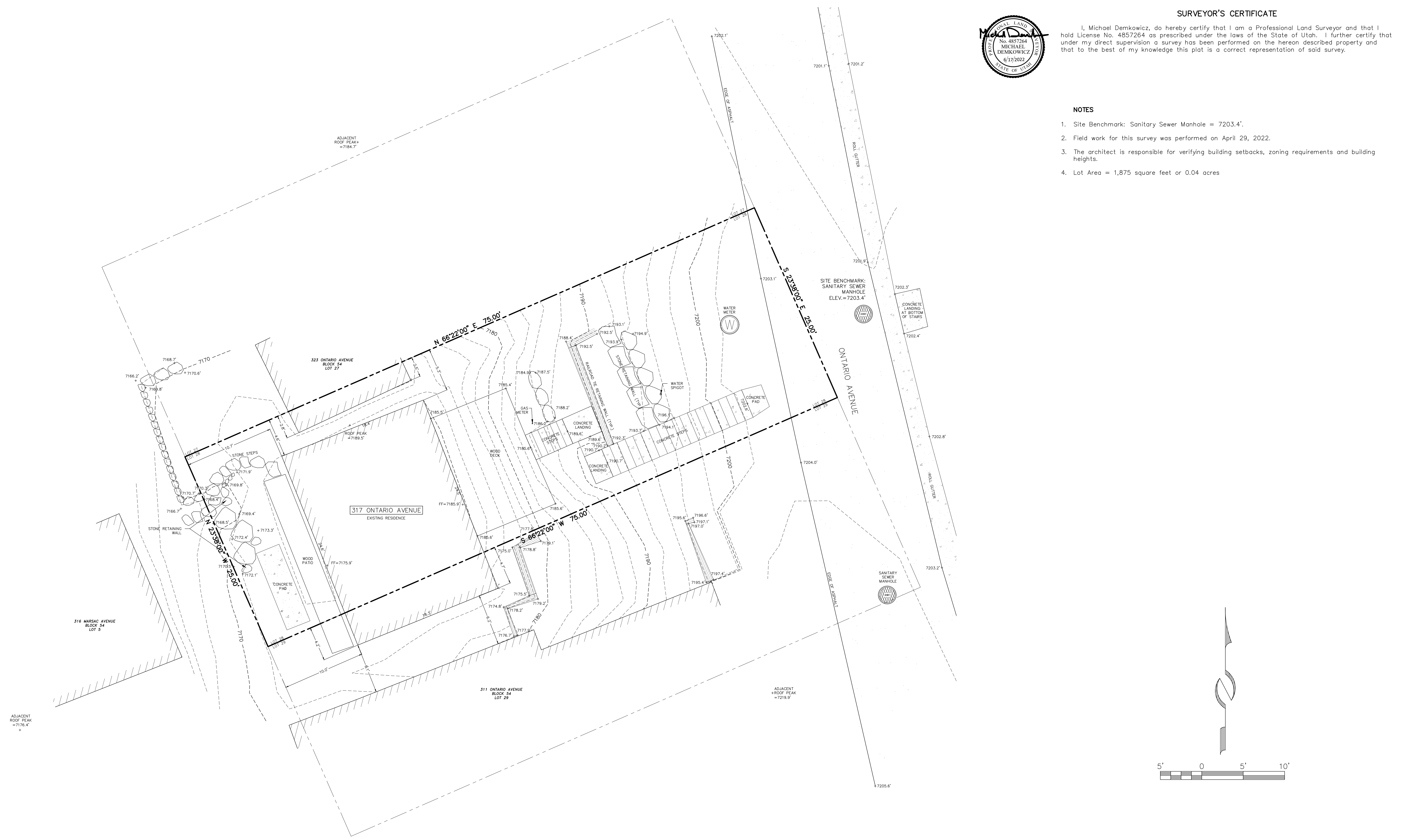
SURVEYOR'S CERTIFICATE

I, Michael Demkowicz, do hereby certify that I am a Professional Land Surveyor and that I hold License No. 4857264 as prescribed under the laws of the State of Utah. I further certify that under my direct supervision a survey has been performed on the hereon described property and that to the best of my knowledge this plot is a correct representation of said survey.



NOTES

1. Site Benchmark: Sanitary Sewer Manhole = 7203.4'.
2. Field work for this survey was performed on April 29, 2022.
3. The architect is responsible for verifying building setbacks, zoning requirements and building heights.
4. Lot Area = 1,875 square feet or 0.04 acres



<p>(435) 649-9467 CONSULTING ENGINEERS LAND PLANNERS SURVEYORS 323 Main Street P.O. Box 2664 Park City, Utah 84060-2664</p>	<p>STAFF: BRAYLON ROSE MARSHALL KING CHIP TOMSUDEN TYLER LEPORE NICK BENTLEY</p>	<p>EXISTING CONDITIONS & TOPOGRAPHIC MAP 317 ONTARIO AVENUE PARK CITY SURVEY, BLOCK 54 LOT 28</p>	<p>SHEET 1 OF 1</p>
	<p>DATE: 6/17/22</p>	<p>FOR: SCOTT BEVAN JOB NO.: 6-4-22 FILE: X:\ParkCitySurvey\dwg\srv\topo2022\060422.dwg</p>	

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PROJECT DESCRIPTION:

ONTARIO
317 Ontario Ave.
Park City, UT

SHEET DESCRIPTION:

STREET VIEW IMAGES

REVISIONS:

DATE:

PROJECT NUMBER:

SHEET NUMBER:

3D.1

Jonathan DeGray
A r c h i t e c t

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ONTARIO
317 Ontario Ave.
Park City, UT

PROJECT DESCRIPTION:

CROSS CANYON IMAGES

SHEET DESCRIPTION:

REVISIONS:

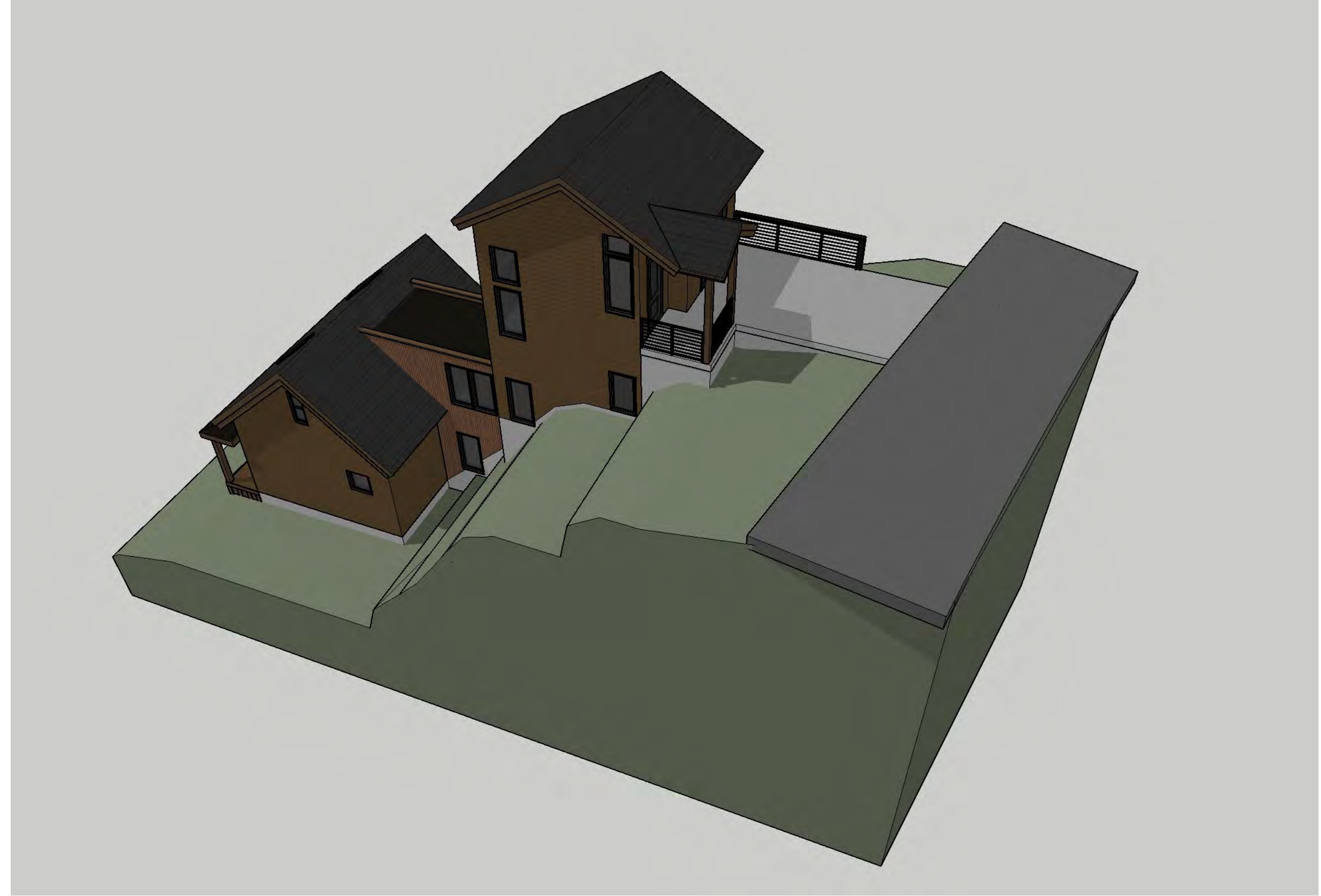
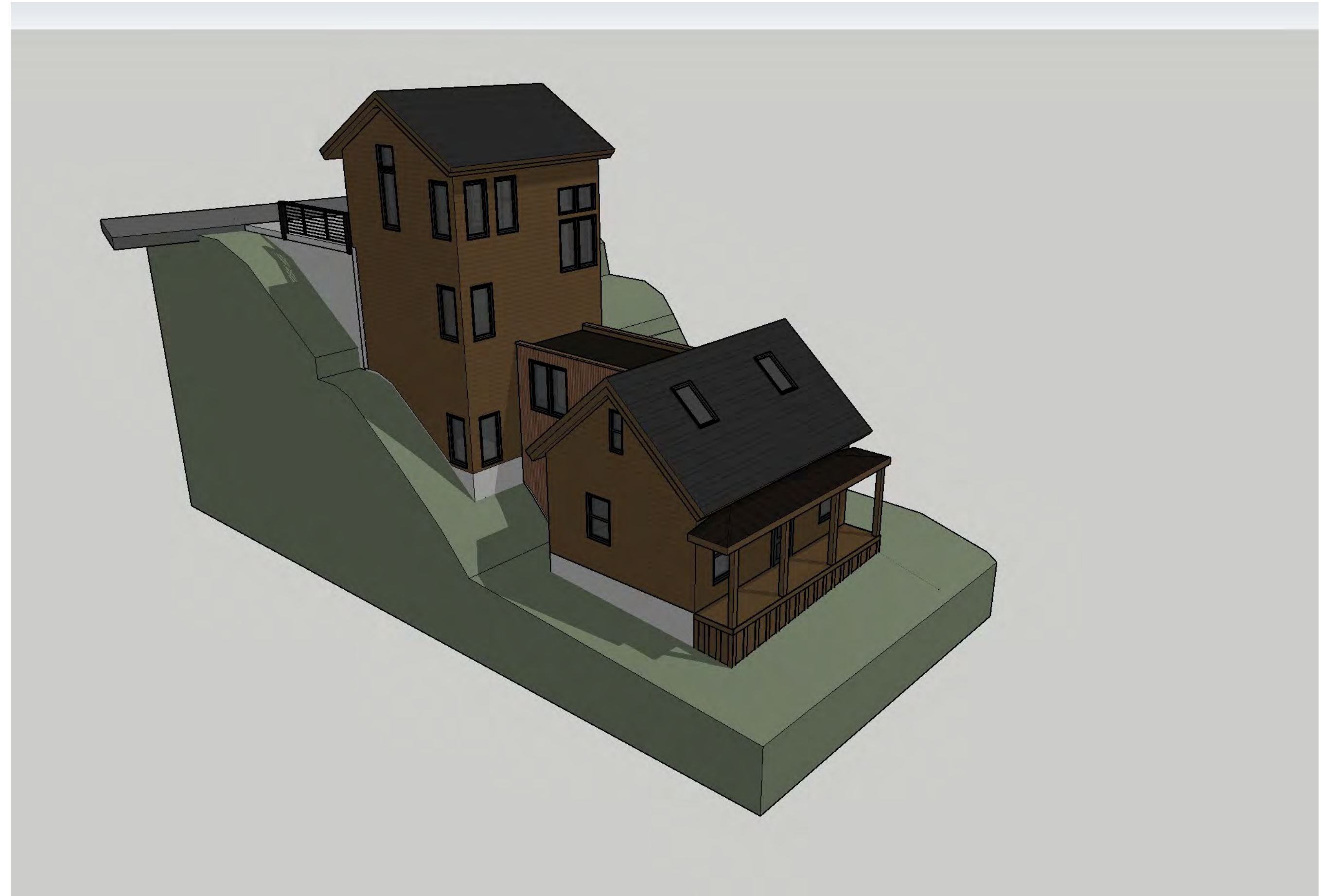
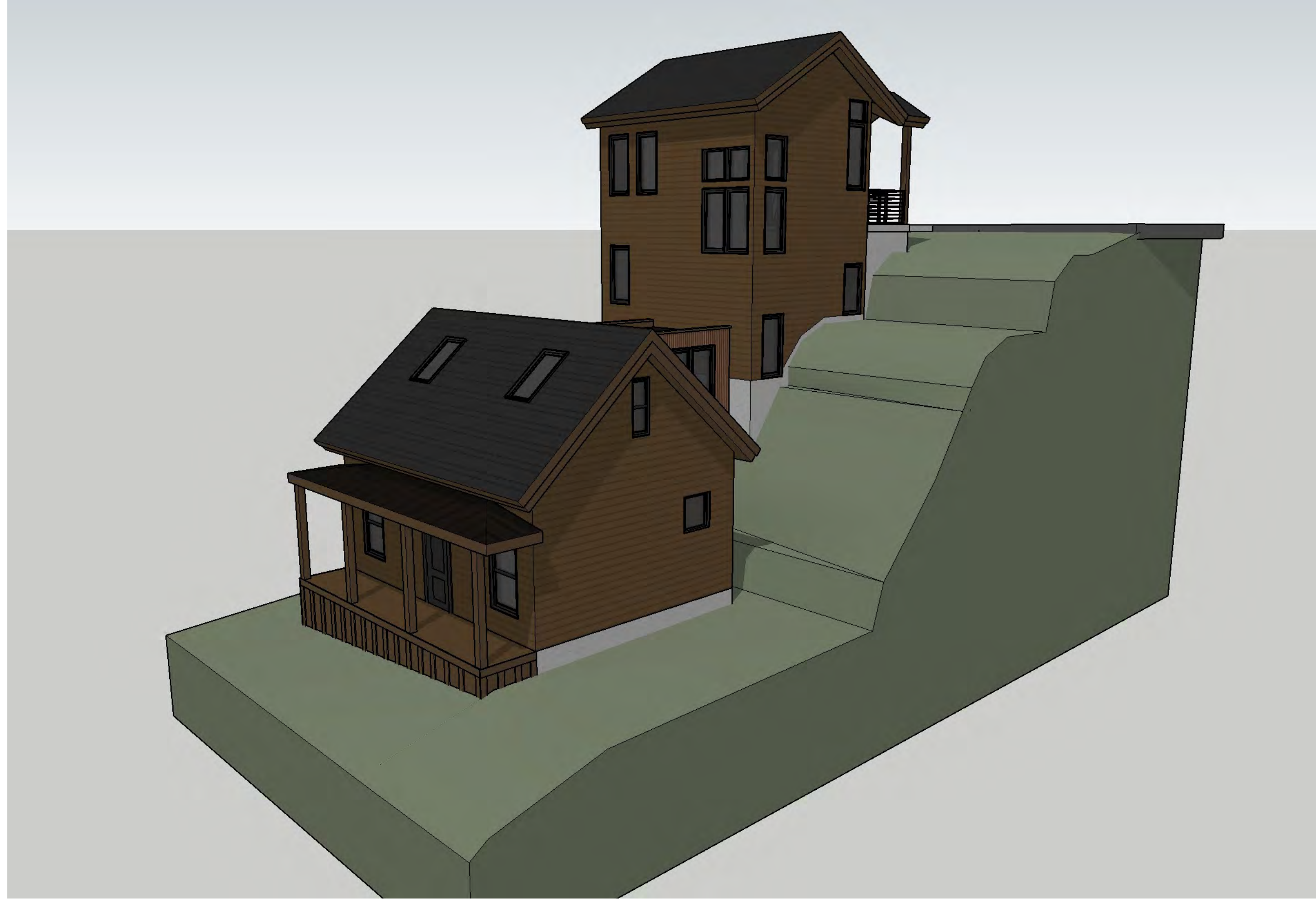
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PROJECT NUMBER:

SHEET NUMBER:

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BIRDSEYE IMAGES

PROJECT DESCRIPTION:

ONTARIO
317 Ontario Ave.
Park City, UT

REVISIONS:

DATE:

PROJECT NUMBER:

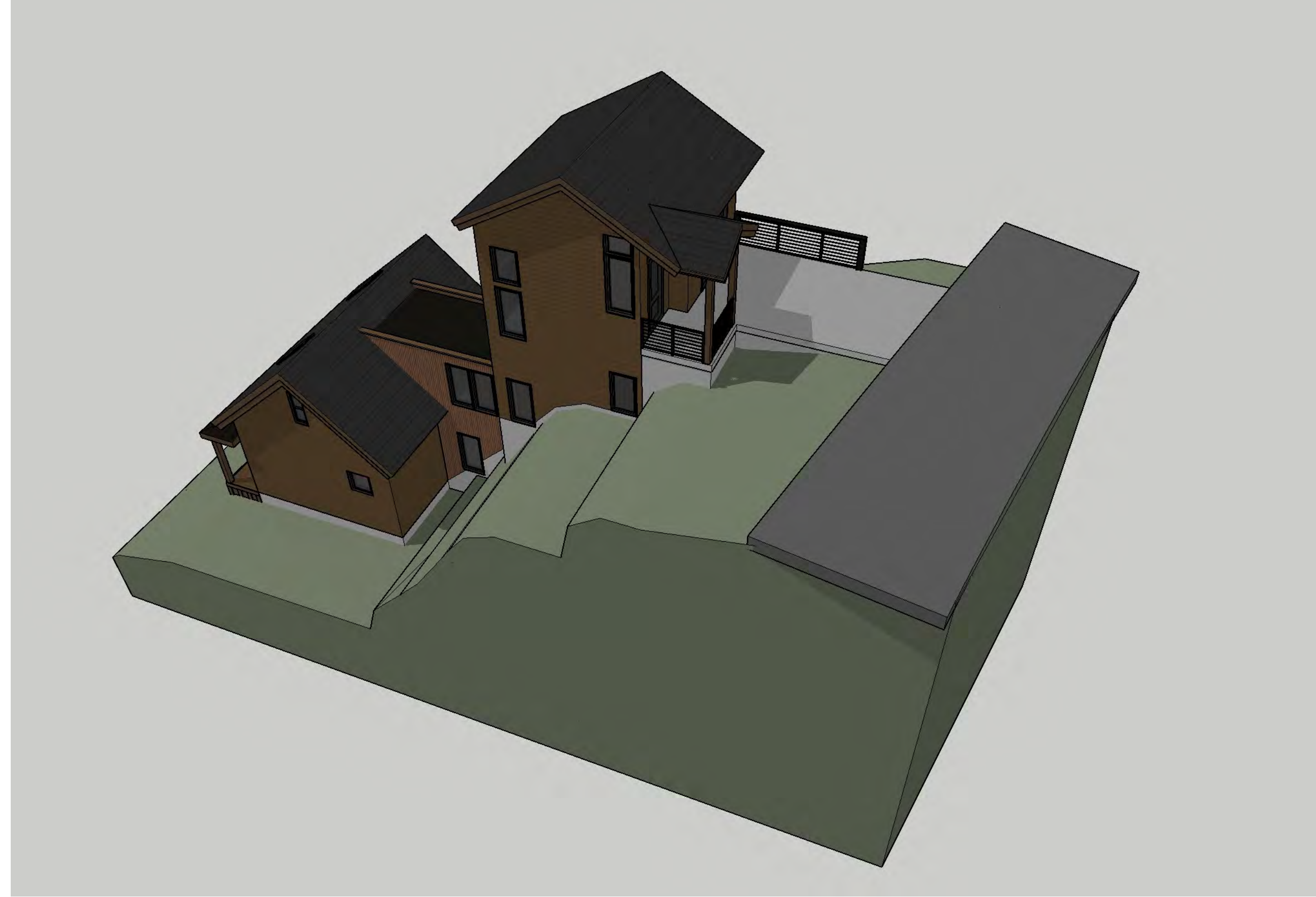
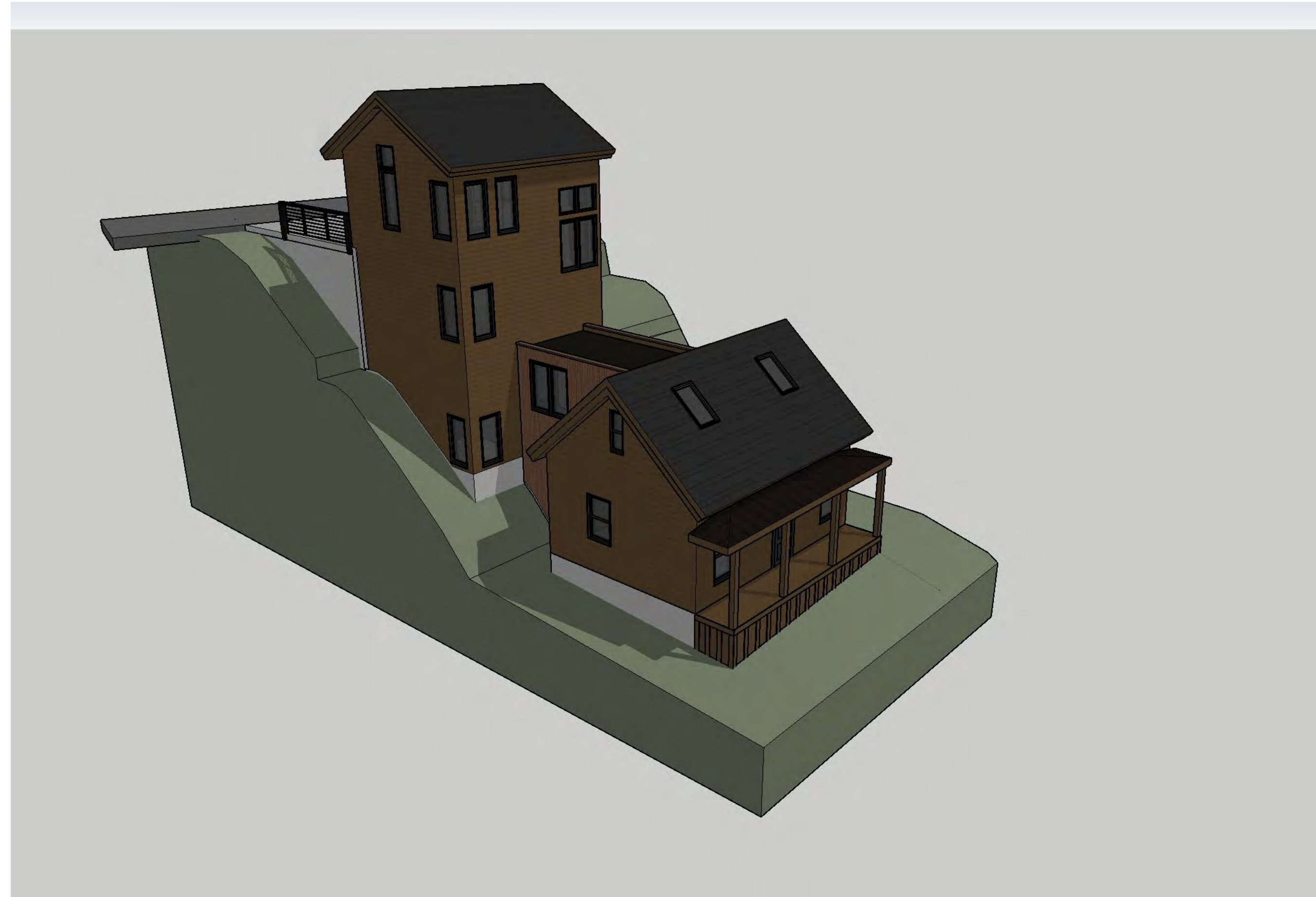
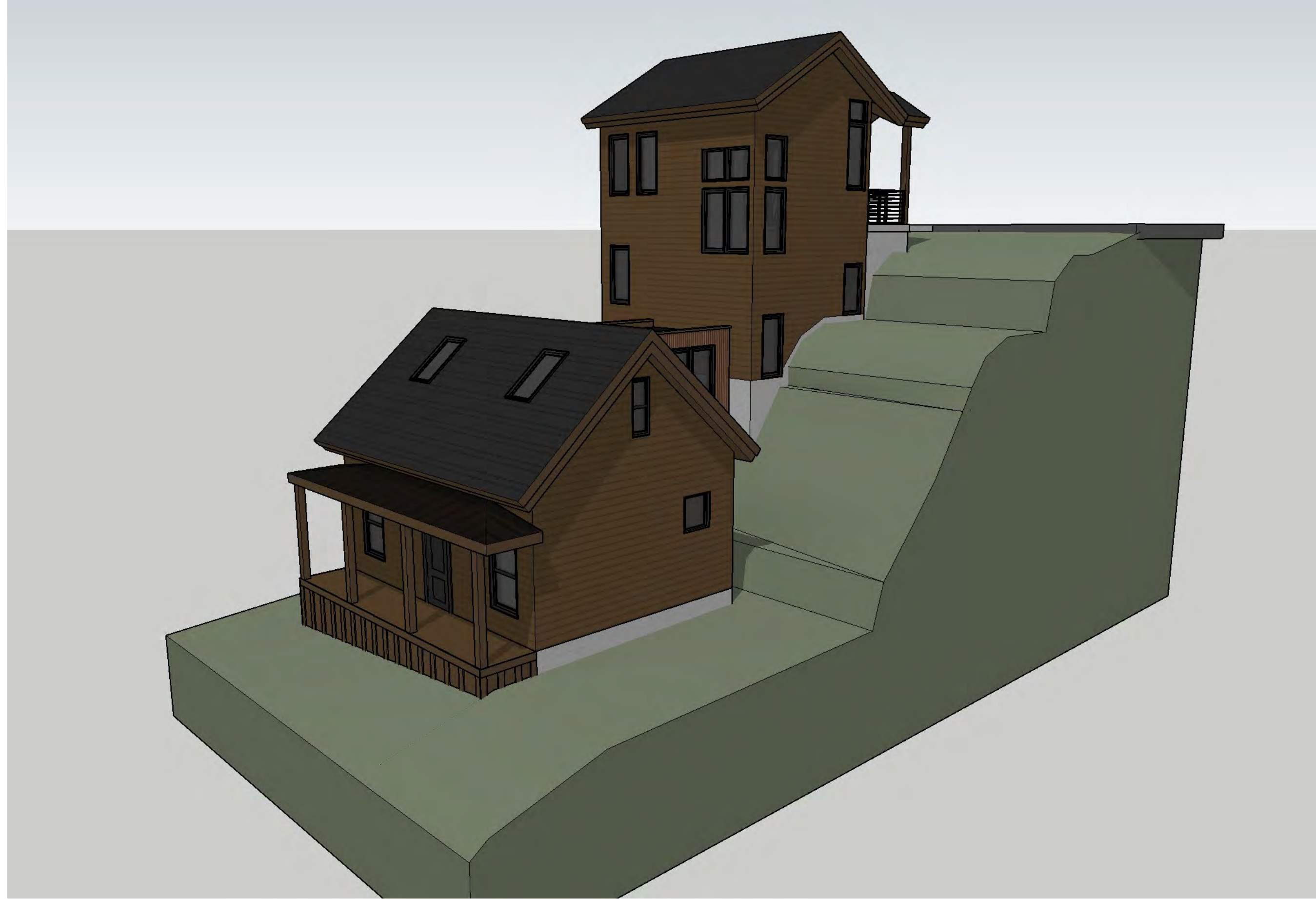
SHEET NUMBER:

3D.2

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PROJECT DESCRIPTION:

ONTARIO
317 Ontario Ave.
Park City, UT

SHEET DESCRIPTION:

BIRDSEYE IMAGES

REVISIONS:

DATE:

PROJECT NUMBER:

SHEET NUMBER:

3D.3

Jonathan DeGray
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GENERAL NOTES

SITE PLAN NOTES:
 1. ALL SURFACE WATER SHALL DRAIN AWAY FROM THE HOUSE AT ALL POINTS. DIRECT THE DRAINAGE WATER TO THE STREET OR AN APPROVED DRAINAGE COURSE BUT NOT ONTO THE NEIGHBORING PROPERTIES. THE GRADE SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10 FEET. -IRC R401.3

STABILIZATION CONSTRUCTION ENTRANCE: FOR A MINIMUM OF 50' FROM ROADWAY, A FILTER FABRIC SHALL BE INSTALLED OVER A COMPACTED SUBGRADE. A 6" LAYER OF 1"-2" AGGREGATE SHALL BE PLACED OVER THIS MEMBRANE. DAILY INSPECTION FOR SEDIMENT BUILD UP AND/OR LOSS OF GRAVEL WILL BE ENFORCED, AND REMEDIATED AT ONCE.

GRADING NOTES
 1. DRAINAGE TO COMPLY WITH IRC CHAPTER 4
 2. MAXIMUM ALTERED SLOPES AT 2:1
 3. MINIMUM SLOPE FOR DRAINAGE = 2%
 4. DRAIN AWAY FROM BUILDING
 5. CONTAIN DRAINAGE ON PROPERTY
 6. BOULDER RETAINING WALLS NOT TO EXCEED 4'-0" EXPOSED HEIGHT
 7. EXCAVATION NOT TO EXCEED 2:1 SLOPE WITH OUT A SOILS REPORT.

UTILITY NOTES
 1. ALL UTILITY LINES TO BE UNDERGROUND.
 2. ABOVE GRADE UTILITY BOX TO BE IN SCREENED LOCATION.

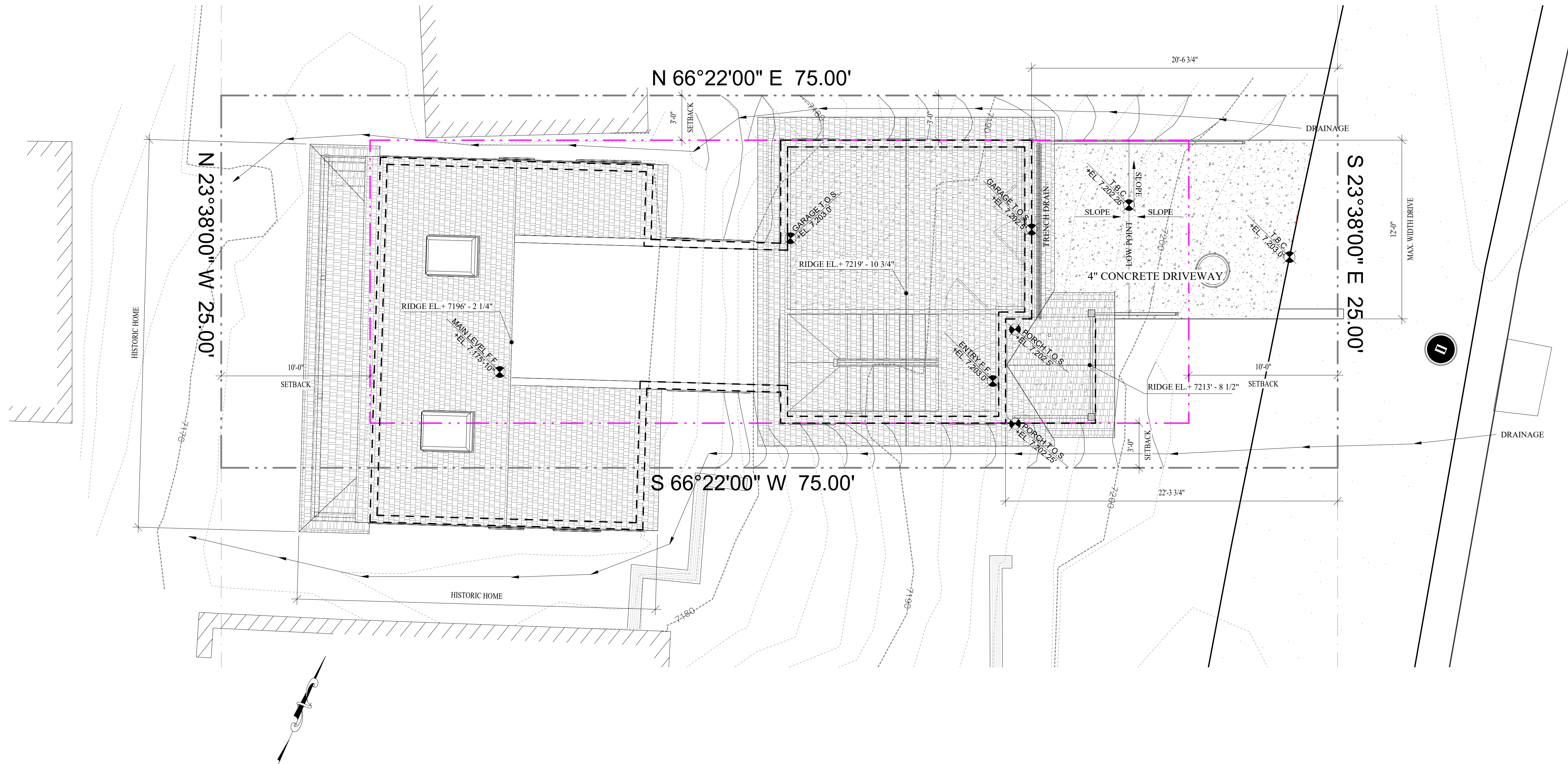
SNOW REMOVAL: SNOW PLOWED FROM DRIVE SHALL NOT BE PUSHED ONTO THE STREET.

LEGEND

- WATER SERVICE LID
- UTILITY POLE
- SEWER MANHOLE
- ELECTRIC METER BOX
- GAS METER
- STORM DRAIN MANHOLE
- SEWER CLEAN OUT
- WATER METER
- ROAD SIGNAGE
- LOD FENCE
- SURFACE DRAINAGE FLOW
- EXISTING CONTOUR LINE
- NEW CONTOUR LINE
- WL - WATER LINE
- SL - SEWER LINE
- GL - GAS LINE
- OH - OVERHEAD UTILITY LINE
- FD - FOUNDATION DRAIN LINE
- FIRE HYDRANT

NOTE:
 1. SWPPP SIGN AND SWPPP DOCUMENT MUST BE ON SITE DURING CONSTRUCTION.
 2. DOWNSTREAM SEDIMENT TRAPS NEED TO EXTEND UP BOTH SIDES FAR ENOUGH TO PREVENT OFFSITE DEPOSITION. FIELD VERIFY.

LOD DISTURBED AREA: 1875 S/F



1 SITE PLAN
 A0.1
 1/4" = 1'-0"

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PROJECT DESCRIPTION:
 Lot 28
 Block 54 Park City Survey
 317 Ontario Avenue
 Park City, 3Ut 84060

SHEET DESCRIPTION:
 ARCHITECTURAL SITE PLAN

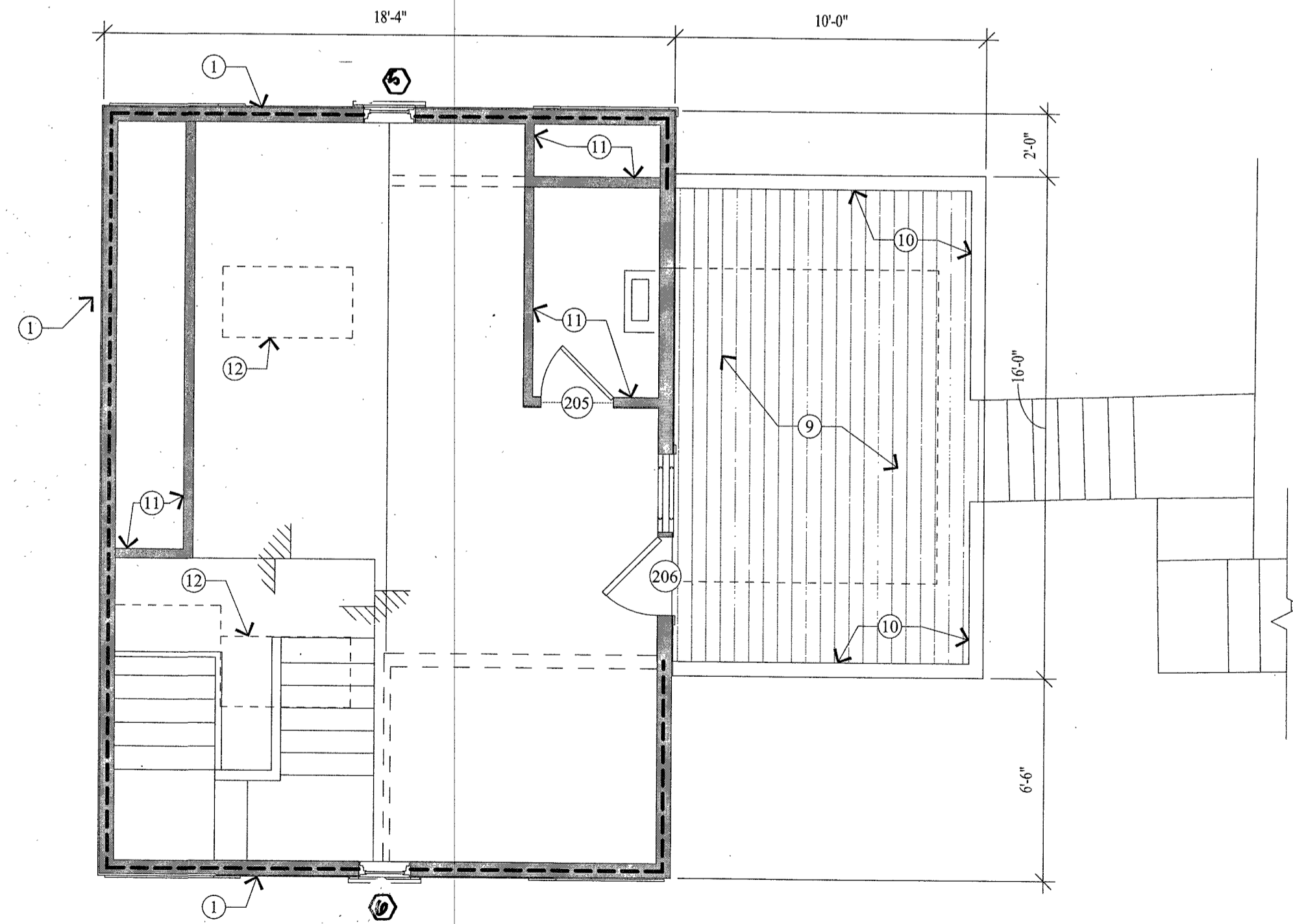
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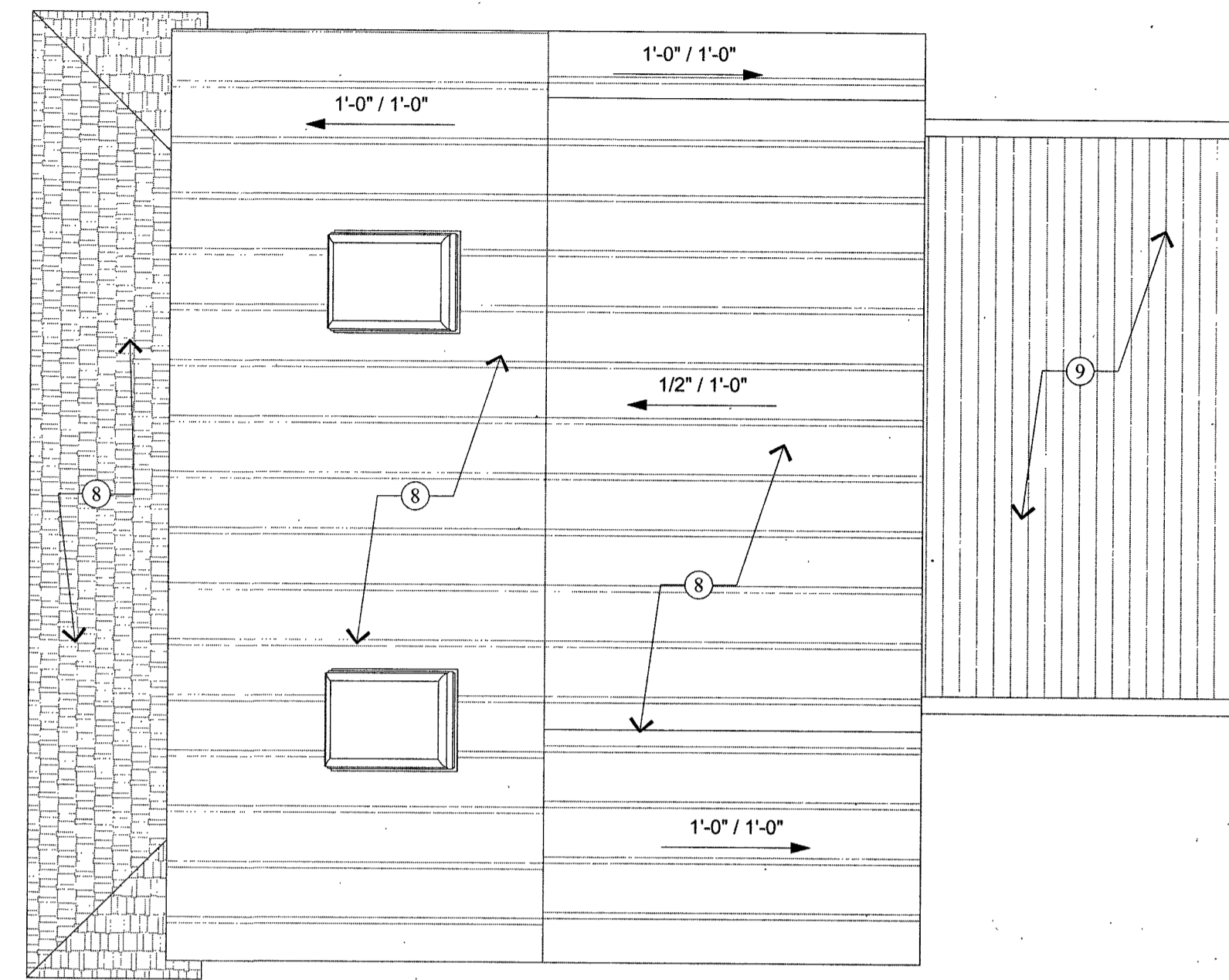
PROJECT NUMBER:
 Rossie Hill

SHEET NUMBER:
 A0.1

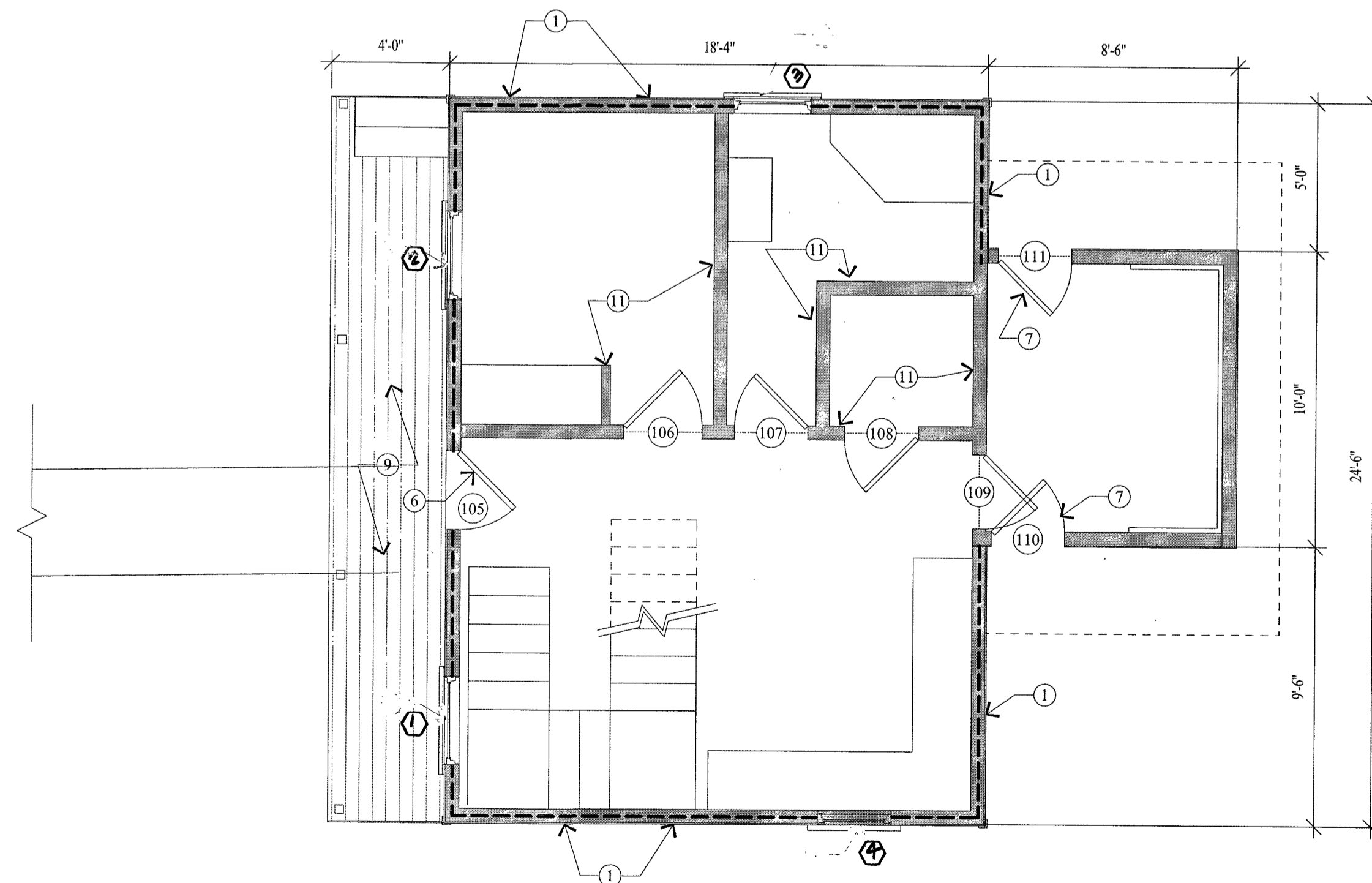
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2
 AB1.1
 Existing Upper Level
 1/4" = 1'-0"



3
 AB1.1
 Existing Roof
 1/4" = 1'-0"



1
 AB1.1
 Existing Main
 1/4" = 1'-0"

WALL LEGEND

- EXISTING FRAMED WALL
- EXISTING HISTORIC FRAMED WALL

ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE FIELD VERIFIED PRIOR TO ANY CONSTRUCTION

KEY NOTES

- 1 1x8 HORIZONTAL SHIPLAP SIDING, 2X4 FRAMING (HISTORIC)
- 2 1x8 FRIEZE BOARD (HISTORIC)
- 3 1x4 WOOD CORNER TRIM (HISTORIC)
- 4 DOUBLE HUNG WOOD WINDOW (HISTORIC)
- 5 CASEMENT WOOD WINDOW (HISTORIC)
- 6 FRAME & PANEL WOOD DOOR (HISTORIC)
- 7 FRAME & PANEL DOOR (NON-HISTORIC)
- 8 METAL ROOF (NON-HISTORIC)
- 9 WOOD DECK
- 10 WOOD RAILINGS
- 11 INTERIOR 2x4 WALL w/ GYPSUM BOARD BOTH SIDES, (NON-HISTORIC)
- 12 EXISTING SKYLIGHT (NON-HISTORIC)
- 13 FIXED WOOD WINDOW (NON-HISTORIC)

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PROJECT DESCRIPTION:
 Lot 28
 Block 54 Park City Survey
 317 Ontario Avenue
 Park City, 3Ut 84060

SHEET DESCRIPTION:
**EXISTING FLOOR & ROOF
 PLANS**

REVISIONS:

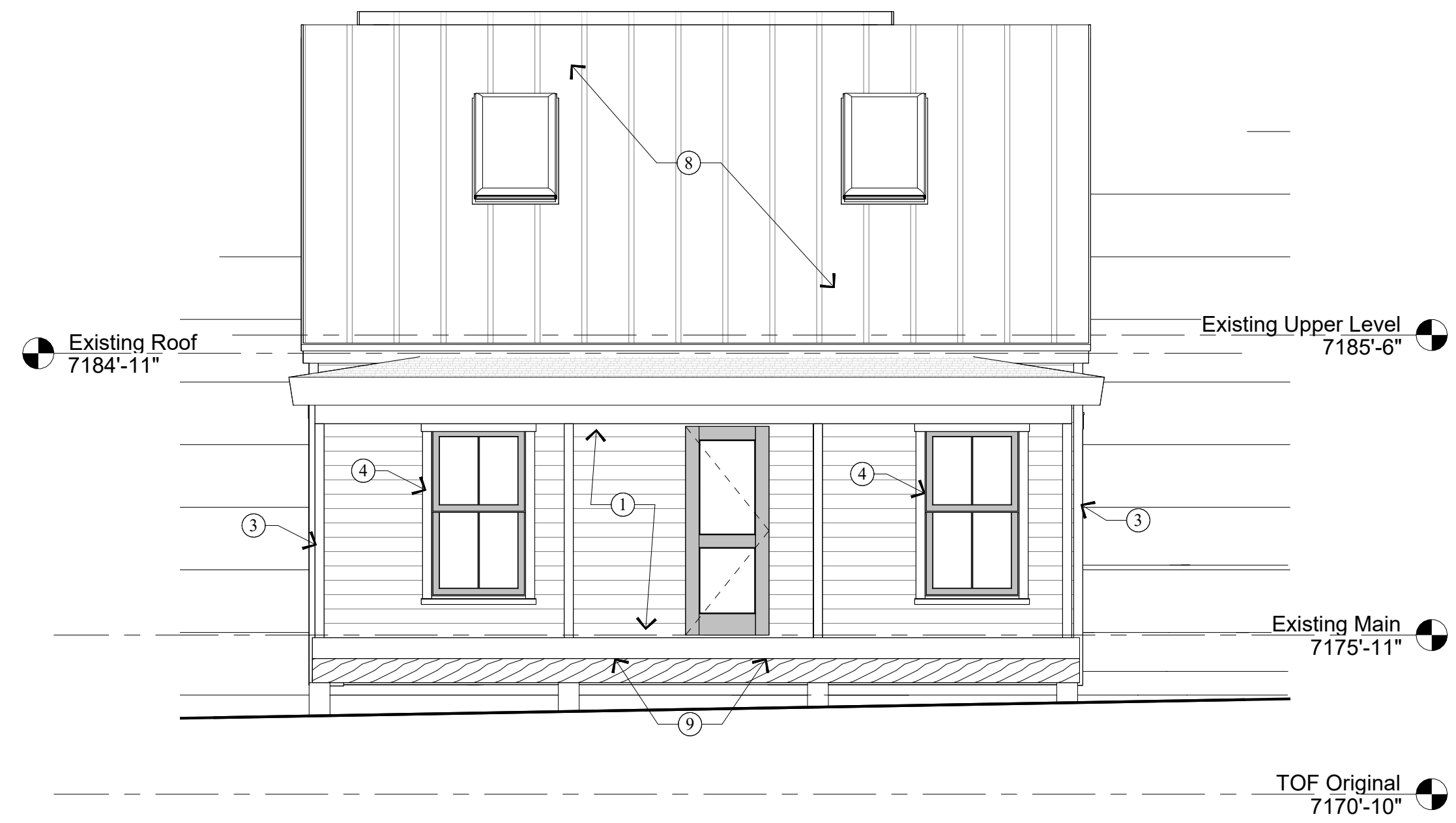
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PROJECT NUMBER:
 Rossie Hill

SHEET NUMBER:

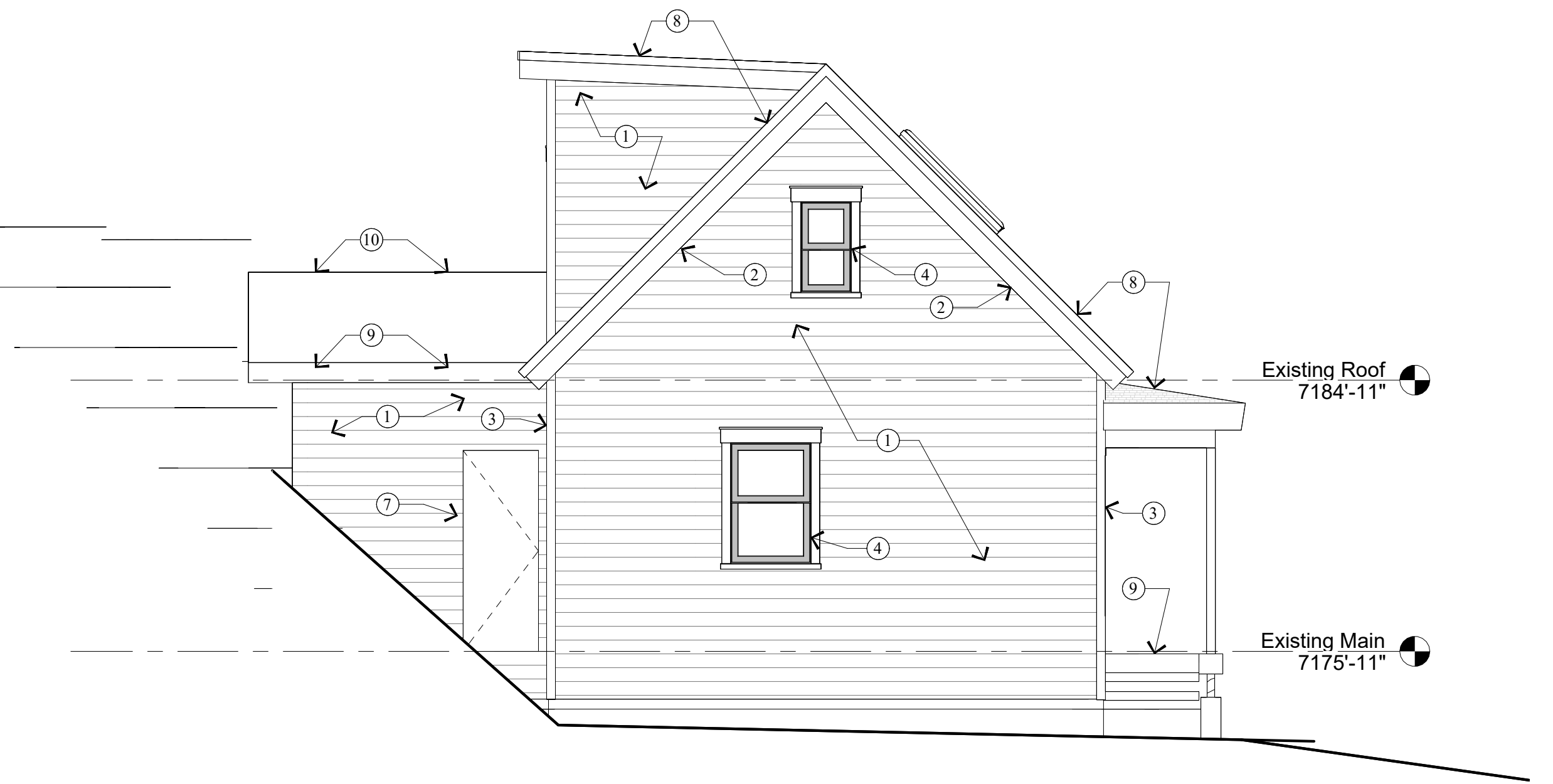
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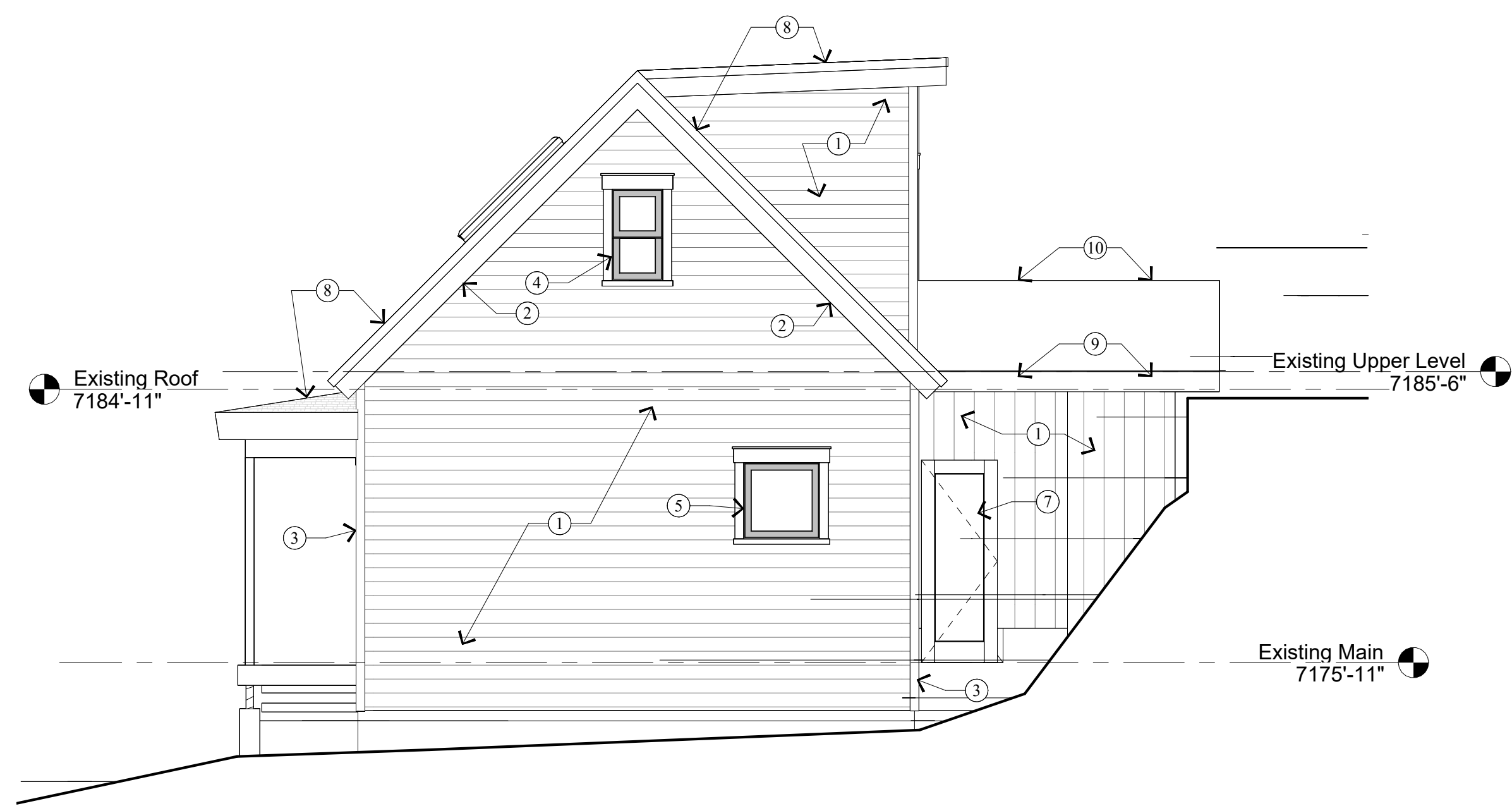
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 AB1.2
 1/4" = 1'-0"

EXISTING WEST ELEVATION



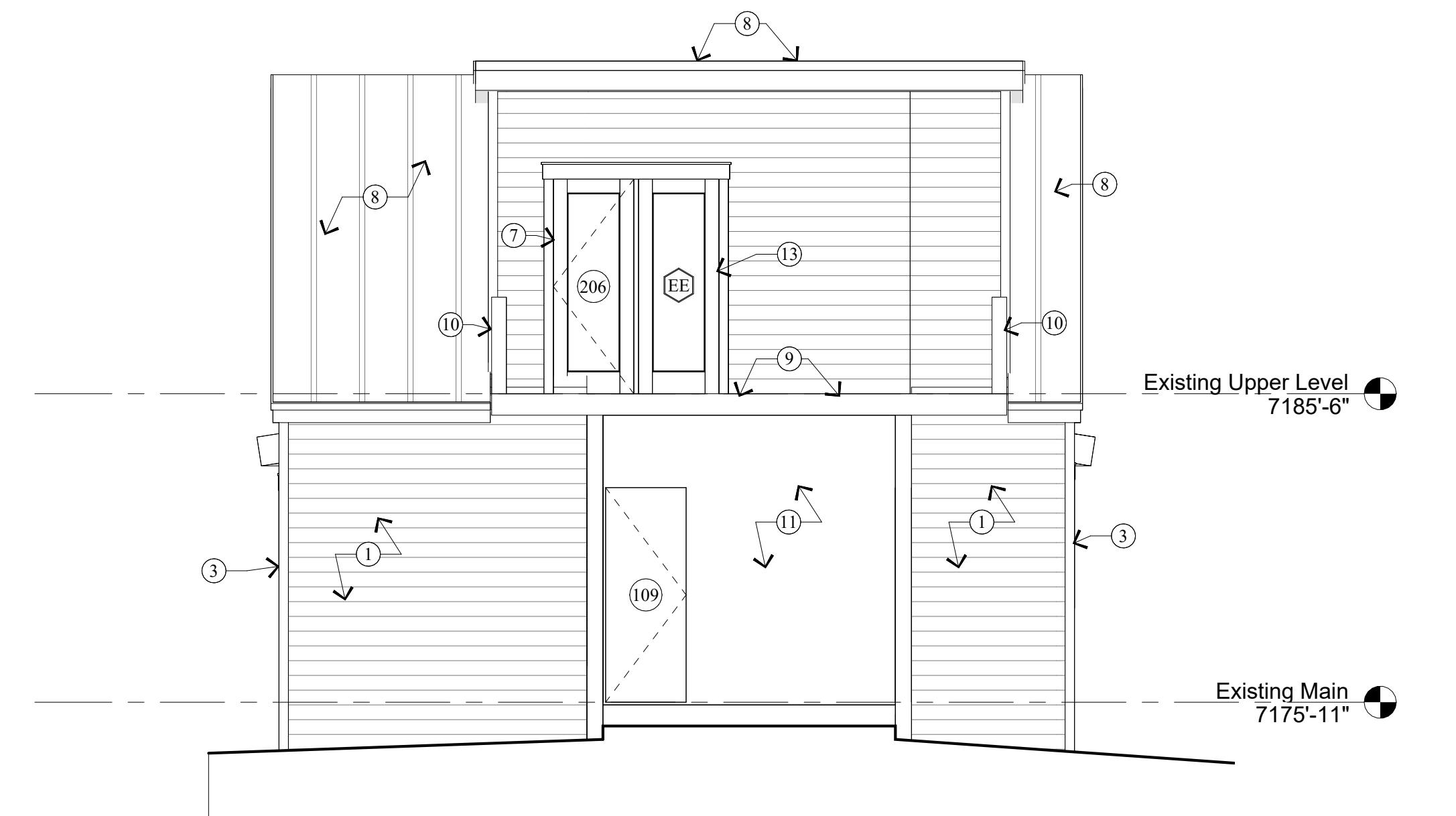
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 AB1.2
 1/4" = 1'-0"

EXISTING NORTH ELEVATION



2
 AB1.2
 1/4" = 1'-0"

EXISTING SOUTH ELEVATION



1
 AB1.2
 1/4" = 1'-0"

EXISTING EAST ELEVATION

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PROJECT DESCRIPTION:
 Lot 28
 Block 54 Park City Survey
 317 Ontario Avenue
 Park City, 3Ut 84060

SHEET DESCRIPTION:
EXISTING ELEVATIONS

REVISIONS:




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PROJECT NUMBER:
 Rossie Hill

SHEET NUMBER:
AB1.2

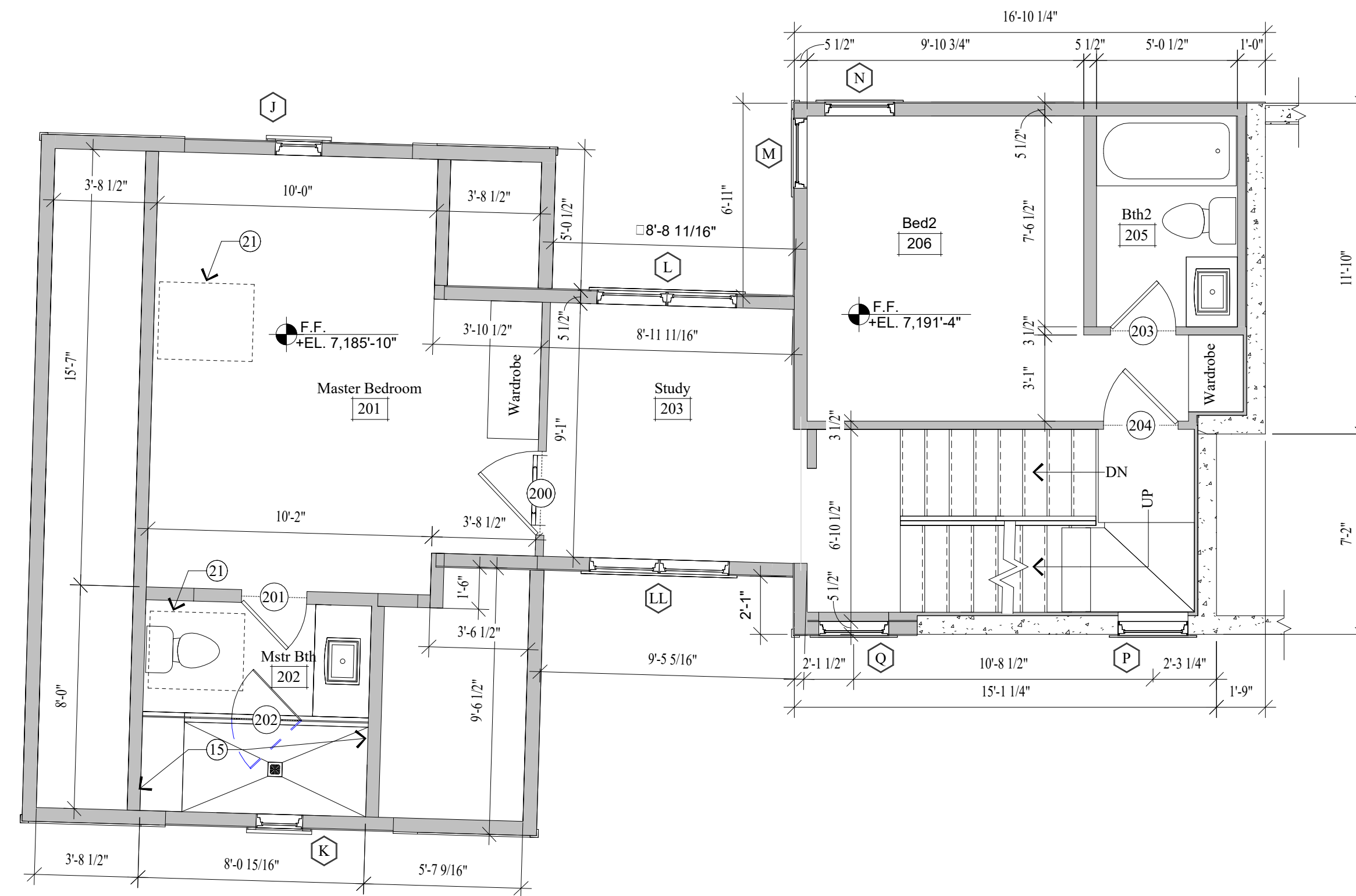
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GENERAL NOTES

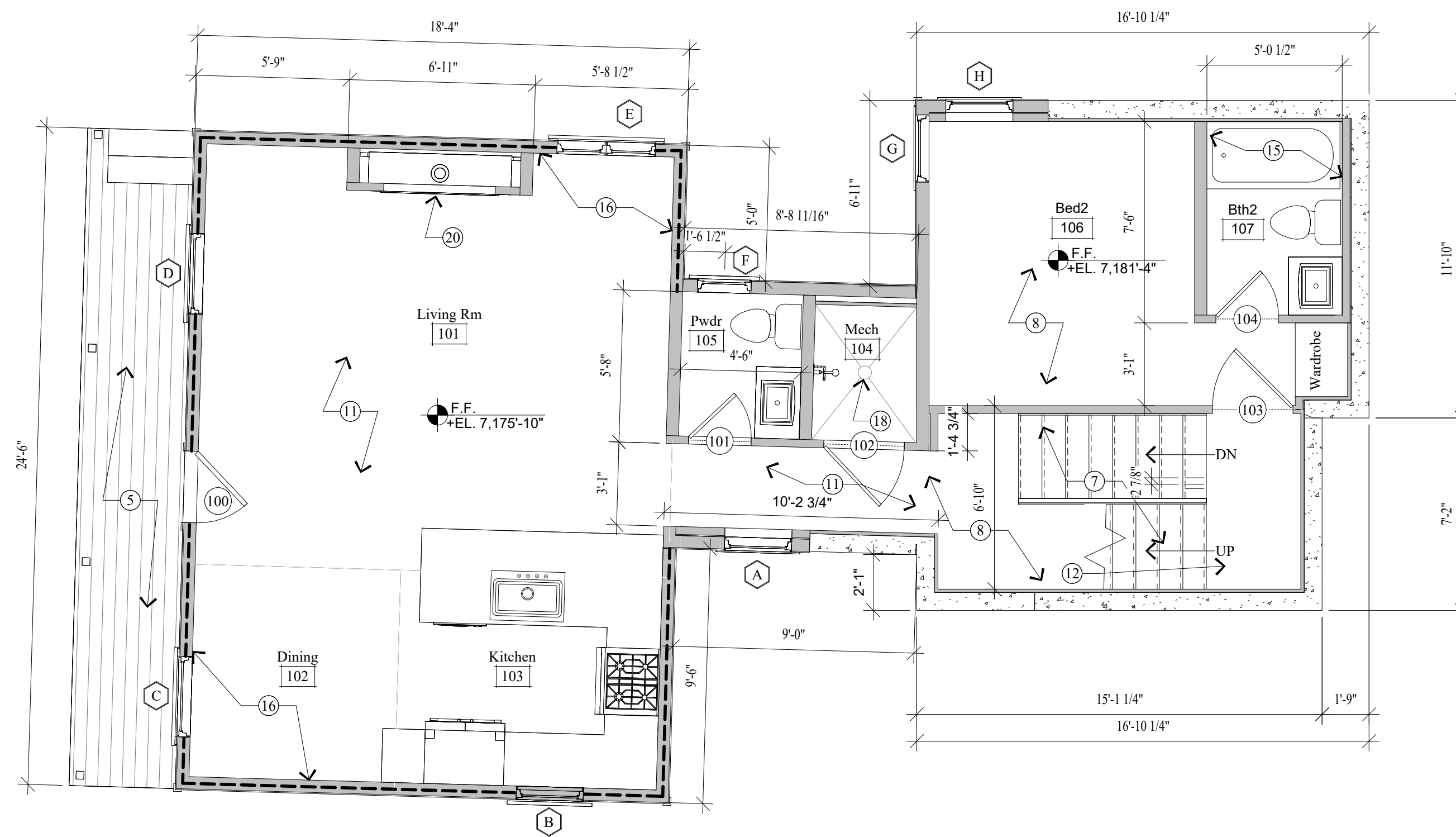
-  EXISTING 2x FRAMED WALL
 -  NEW CONCRETE WALL
 -  NEW 2x FRAMED WALL
 - (E) INDICATES EXISTING
 - (N) INDICATES NEW
1. ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE FIELD VERIFIED PRIOR TO ANY CONSTRUCTION.
 2. EXTERIOR WALLS TO BE 2x6 FRAMING OR 2x4 FURRED TO 2x6 W/ BIB INSULATION R-23 - TYP. ALL INTERIOR WALLS TO BE 2x4 FRAMING, U.N.O. W/ BIB INSULATION R-15 - TYP. ALL INTERIOR PLUMBING AND BEARING WALLS TO BE 2x6 FRAMING, U.N.O. W/ BIB INSULATION R-23 - TYP. ALL FLOOR JOIST TO BE 9" 1/2" TJI FRAMING U.N.O. W/ BIB INSULATION R-39 - TYP. ALL ROOF JOIST TO BE 8" 1/2" TJI FRAMING U.N.O. W/ BIB INSULATION R-39 - TYP.
 3. SPRINKLERS TO BE ON THE WARM SIDE OF THE BUILDING ENVELOPE. ANTIFREEZE WILL NO LONGER BE ALLOWED IN FIRE SPRINKLER SYSTEMS.
 4. AIR LEAKAGE: THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH SECTIONS 11102.4.1 - 11102.4.4.
 5. HOME HARDENING SHALL COMPLY WITH THE WILDLAND - URBAN INTERFACE CODE AS ADOPTED BY THE STATE OF UTAH AND AMENDED BY PARK CITY PER LMC 11-21, H 603.4

KEY NOTES

- 1 ARCHITECTURAL GRADE CLASS A COMPOSITION SHINGLE 50 YEAR PRESIDENTIAL TL (50# PER SQUARE MIN.) ON ICE AND WATER MEMBRANE ON 5/8" EXTERIOR SHEATHING ON ROOF JOIST - SEE STRUCTURAL FOR SIZE AND SPACING.
- 2 CONTINUOUS RIDGE & EVE VENTS
- 3 DOUBLE INSULATED LOW E SKYLIGHT
- 4 GUTTERS AND DOWNSPOUTS TO TIE INTO EXISTING FRENCH DRAIN. PROVIDE WEATHER PROOF GIC OUTLET AT BASE & HEATAPE THRU GUTTER TO BELOW FROST.
- 5 DECK: 2x6 TREX DECKING CONCEALED FASTENERS - SEE STRUCTURAL FOR SIZE AND SPACING OF JOISTS
- 6 36" HIGH RAILING: 2x4 SHAPED TOP RAIL W/ 2x2 BALLAST SPACED LESS THAN 4" W/ 2x4 BOTTOM RAIL.
- 7 STAIRS & RAILINGS PER CODE, FOR TYPICAL STAIRWAY, HANDRAILING AND GUARDRAILING NOTES & DETAILS SEE SHEET AS 1.
- 8 4" REINFORCED CONCRETE SLAB W/ HYDRAULIC HEATING ON 2" RIGID INSULATION (CONTINUOUS) ON 6 MIL POLYETHYLENE VAPOR RETARDER JOINTS TO LAP 6" MIN.) ON 4" GRAVEL BASE CLEANED/GRADED.
- 9 4" REINFORCED HEATED CONCRETE DRIVEWAY / PATIO / PORCH ON 4" GRAVEL BASE.
- 10 SUSPENDED CONCRETE GARAGE FLOOR W/ HEATED TOPPING SLAB
- 11 1-1/2" GYPCRETE W/ HYDRAULIC HEATING ON 3/4" PLYWOOD ON FLOOR JOIST - SEE STRUCTURAL FOR SIZE AND SPACING.
- 12 ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.
- 13 PROPERTY LINE
- 14 SET BACK LINE
- 15 TUBS AND SHOWERS WITH TILED WALLS REQUIRE A PORTLAND CEMENT APPLICATION, FIBER-CEMENT OR GLASS MAT OVER BACKER
- 16 AS-BUILT 2x4 WALL (HISTORIC) W/ NEW 2x2 INTERIOR FURRING, SHEATHING PER STRUCTURAL, R-23 BIBBS INSULATION, POLYAMIDE PERMIABLE MOISTURE BARRIER, 1/2" GYPSUM BOARD, LEVEL 5 FINISH, 3 COATS OF PAINT
- 17 SINGLE PLY MEMBRANE ROOF, SLOPE MIN. 1/2" IN 12" - INSTALL PER MANUFACTURERS RECOMMENDATIONS. PROVIDE WARRANTY.
- 18 DRAIN, SLOPE SLAB MIN 1/4" PER FOOT TO DRAIN, DRAIN TO DAYLIGHT
- 19 SLOT DRAIN, SLOPE SLAB MIN 1/4" PER FOOT TO DRAIN & AWAY FROM DRAIN, DRAIN TO DAYLIGHT
- 20 MONTIGO DISTINCTION D4815 GAS FIREPLACE
- 21 TRECH DRAIN, DRAIN TO DAYLIGHT



2
A1.1 Floor Plan Mid Level
1/4" = 1'-0"



1
A1.1 Floor Plan Lower Level
1/4" = 1'-0"

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Architect
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Lot 28
Block 54 Park City Survey
317 Ontario Avenue
Park City, 3Ut 84060

LOWER & MID LEVEL FLOOR PLAN

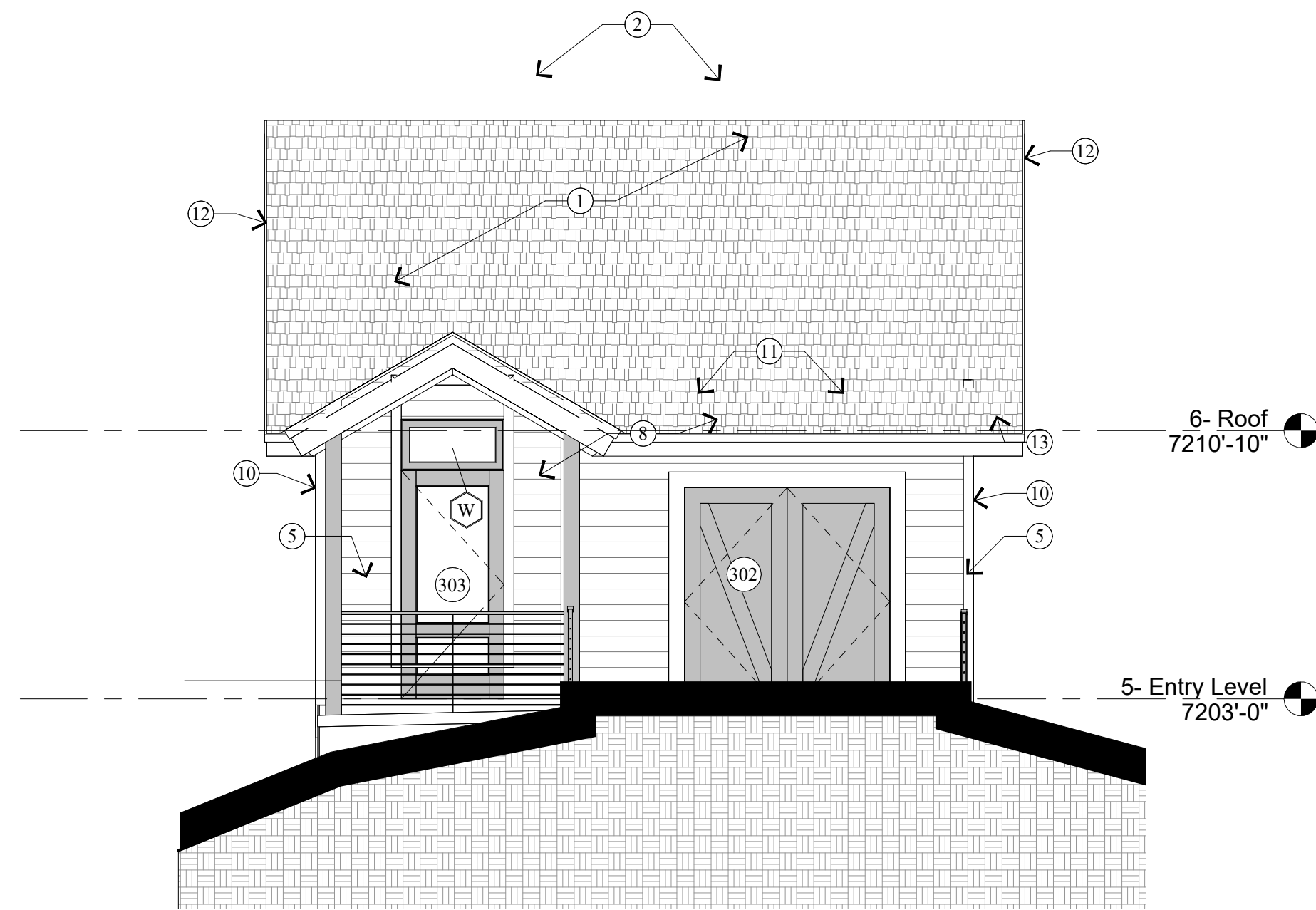
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PROJECT NUMBER:
Rossie Hill

SHEET NUMBER:
A1.1

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East Elevation
 1/4" = 1'-0"



North Elevation
 1/4" = 1'-0"

GENERAL NOTES

- EXISTING 2x FRAMED WALL
 - NEW CONCRETE WALL
 - NEW 2x FRAMED WALL
 - (E) INDICATES EXISTING
 - (N) INDICATES NEW
1. ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE FIELD VERIFIED PRIOR TO ANY CONSTRUCTION.
 2. EXTERIOR WALLS TO BE 2x6 FRAMING OR 2x4 FURRED TO 2x6 W/ BIB INSULATION R-23 - TYP. ALL INTERIOR WALLS TO BE 2x4 FRAMING, U.N.O. W/ BIB INSULATION R-15 - TYP. ALL INTERIOR PLUMBING AND BEARING WALLS TO BE 2x6 FRAMING, U.N.O. W/ BIB INSULATION R-23 - TYP. ALL FLOOR JOIST TO BE 9 1/2" T.J FRAMING U.N.O. W/ BIB INSULATION R-39 - TYP. ALL ROOF JOIST TO BE 9 1/2" T.J FRAMING U.N.O. W/ BIB INSULATION R-39 - TYP.
 3. SPRINKLERS TO BE ON THE WARM SIDE OF THE BUILDING ENVELOPE. ANTIFREEZE WILL NO LONGER BE ALLOWED IN FIRE SPRINKLER SYSTEMS.
 4. AIR LEAKAGE: THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH SECTIONS N1102.4.1 - N1102.4.4.
 5. HOME HARDENING SHALL COMPLY WITH THE WILDLAND - URBAN INTERFACE CODE AS ADOPTED BY THE STATE OF UTAH AND AMENDED BY PARK CITY PER LMC 11-21, H 803.4

KEY NOTES

- 1 ARCHITECTURAL GRADE COMPOSITION SHINGLE 50 YEAR RESIDENTIAL TL (55PF PER SQUARE, MIN.) ON ICE AND WATER MEMBRANE ON S/S EXTERIOR SHEATHING ON ROOF JOIST - SEE STRUCTURAL FOR SIZE AND SPACING. PITCHES BELOW 4" IN 12" REQUIRES CONTINUOUS ICE & WATER SHIELD UNDERLAYMENT
- 2 CONTINUOUS RIDGE & EVE VENTS
- 3 CONCRETE RETAINING WALL
- 4 2x6 TREX DECKING ON 2x P.T. OPEN DECK JOIST - SEE STRUCTURAL FOR SIZE AND SPACING
- 5 STEEL CABLE RAIL 1-1/2"x1-1/2" CORNER POSTS 1x2" TOP RAIL MIN. 3" ABOVE SURFACE. 1-1/2"x1/4" INTERMEDIATE POSTS
- 6 FOR TYPICAL STAIRWAY, HANDRAILING AND GUARDRAILING NOTES & DETAILS ON SEE SHEET AS 1.
- 7 4" REINFORCED HEATED CONCRETE / DRIVEWAY / PATIO / PORCH ON 4" GRAVEL BASE.
- 8 1x6 CEDAR HORIZONTAL SHIPLAP SIDING - STAINED ON WEATHER RESISTIVE BARRIER ON EXTERIOR SHEATHING PER STRUCTURAL ON 2x6 STUD WALL @ 16" O.C.
- 9 VERTICAL METAL SIDING ON WEATHER RESISTIVE BARRIER
- 10 2x4 CEDAR OUTSIDE CORNER BOARD, 2x2 CEDAR INSIDE CORNER BOARD - STAINED TYPICAL
- 11 1 1/2" x 3 1/2" CONTINUOUS METAL DRIP EDGE. TYP. @ BOTTOM OF SHINGLES. ICE & WATER SHIELD OVER DRIP EDGE TO 3'-0" INSIDE WARM WALL TYP.
- 12 1x4 ON 1X8 BUILT-UP FASCIA BOARD - STAINED
- 13 1x CEDAR SOFFIT - STAINED. SOFFIT TO BE VENTED @ ALL ROOF EAVES.
- 14 WINDOWS AND DOORS W/ LOW E INSULATED GLASS - SEE SHEET A6.1 FOR SCHEDULES TYPICAL
- 15 ALL WINDOW TRIM ON EXISTING BUILDING TO MATCH ORIGINAL
- 16 1x4 PICTURE FRAME HEAD, JAMB AND SILL - STAINED
- 17 ROOF TO HALL SURFACE. EXTEND BITUTHANE MEMBRANE OVER ROOF DECK & UP ALL WALL SURFACES ABOVE ROOFING 2'-0" MIN. TYPICAL
- 18 MAX DISTANCE FROM 1ST LEVEL TOP OF SUBFLOOR TO TOP FLOOR TOP ROOF BEARING IS 35'-0"
- 19 LINE 27'-0" HEIGHT ABOVE EXISTING GRADE.
- 20 EXISTING GRADE LINE.
- 21 FINISH GRADE TO SLOPE AWAY FROM HOUSE A MIN. OF 6" WITHIN THE FIRST 10'. IRC R401.3
- 22 FOUNDATION - SEE STRUCTURAL FOR SIZE AND REINFORCING.
- 23 FOOTING - SEE STRUCTURAL FOR SIZE AND REINFORCING.
- 24 1x6 FRIEZE BOARD - STAINED
- 25 4x4 EXISTING TURNED COLUMNS RESTORE, PRESERVE & PROTECT
- 26 DOUBLE INSULATED LOW E SKYLIGHT
- 27 SINGLE PLY MEMBRANE ROOF. SLOPE MIN. 1/2" IN 12". INSTALL PER MANUFACTURERS RECOMMENDATIONS. PROVIDE WARRANTY.
- 28 HISTORIC 1x6 CEDAR HORIZONTAL SHIPLAP SIDING - RESTORED & STAINED ON WEATHER RESISTIVE BARRIER ON EXTERIOR SHEATHING PER STRUCTURAL ON 2x STUD WALL BUILT OUT TO 2x6 @ 16" O.C.

Jonathan DeGray
 Architect
 P.O. Box 1674, 614 Main Street, Suite 302, Park City,
 Utah 84060 Tel. 435-649-7263,
 E-mail: deggrayarch@qwestoffice.net

PROJECT DESCRIPTION:
 Lot 28
 Block 54 Park City Survey
 317 Ontario Avenue
 Park City, 3Ut 84060

NORTH & EAST ELEVATIONS

REVISIONS:

D\2\13\2023 11:39:10 PM

PROJECT NUMBER:
 Rossie Hill

SHEET NUMBER:
A2.1

THE GRAPHIC MATERIAL AND DESIGN ON THIS SHEET ARE INSTRUMENTS OF SERVICE AND REMAIN AT ALL TIMES THE PROPERTY OF JONATHAN DEGRAY - ARCHITECT P.C. REPRODUCTION OR REUSE OF THE MATERIAL AND DESIGN CONTAINED HEREIN IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF JONATHAN DEGRAY - ARCHITECT P.C. VIOLATORS WILL BE PROSECUTED TO THE FULLEST EXTENT OF THE LAW.
 JONATHAN DEGRAY - ARCHITECT P.C. ALL RIGHTS RESERVED



GENERAL NOTES

- EXISTING 2x FRAMED WALL
 - NEW CONCRETE WALL
 - NEW 2x FRAMED WALL
 - (E) INDICATES EXISTING
 - (N) INDICATES NEW
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 2. EXTERIOR WALLS TO BE 2x6 FRAMING OR 2x4 FURRED TO 2x6 W/ BIB INSULATION R-23 - TYP. ALL INTERIOR WALLS TO BE 2x4 FRAMING, U.N.O. W/ BIB INSULATION R-15 - TYP. ALL INTERIOR PLUMBING AND BEARING WALLS TO BE 2x6 FRAMING, U.N.O. W/ BIB INSULATION R-23 - TYP. ALL FLOOR JOIST TO BE 9-12" L2 FRAMING U.N.O. W/ BIB INSULATION R-39 - TYP. ALL ROOF JOIST TO BE 9-12" L1 FRAMING U.N.O. W/ BIB INSULATION R-39 - TYP.
 3. SPRINKLERS TO BE ON THE WARM SIDE OF THE BUILDING ENVELOPE. ANTIFREEZE WILL NO LONGER BE ALLOWED IN FIRE SPRINKLER SYSTEMS.
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KEY NOTES

- 1 ARCHITECTURAL GRADE COMPOSITION SHINGLE 50 YEAR RESIDENTIAL TL (355# PER SQUARE MIN.) ON ICE AND WATER MEMBRANE ON S/S EXTERIOR SHEATHING ON ROOF JOIST - SEE STRUCTURAL FOR SIZE AND SPACING. PITCHES BELOW 4" IN 12" REQUIRES CONTINUOUS ICE & WATER SHIELD UNDERLAYMENT
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- 6 FOR TYPICAL STAIRWAY, HANDRAILING AND GUARDRAILING NOTES & DETAILS ON SEE SHEET A5.1.
- 7 4" REINFORCED HEATED CONCRETE / DRIVEWAY / PATIO / PORCH ON 4" GRAVEL BASE
- 8 1x6 CEDAR HORIZONTAL SHIPLAP SIDING - STAINED ON WEATHER RESISTIVE BARRIER ON EXTERIOR SHEATHING PER STRUCTURAL ON 2x6 STUD WALL @ 16" O.C.
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- 12 1x4 ON 1x8 BUILT-UP FASCIA BOARD - STAINED.
- 13 1x CEDAR SOFFIT - STAINED. SOFFIT TO BE VENTED @ ALL ROOF EAVES.
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Jonathan DeGray
 Architect
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PROJECT DESCRIPTION:
 Lot 28
 Block 54 Park City Survey
 317 Ontario Avenue
 Park City, 3Ut 84060

SHEET DESCRIPTION:
SOUTH & WEST ELEVATIONS

REVISIONS:

DATE: 12/13/2023 11:39:11 PM

PROJECT NUMBER:
 Rossie Hill

SHEET NUMBER:
A2.2

Page 79 of 108



HISTORIC SITES INVENTORY
HISTORIC SITE FORM
 PARK CITY MUNICIPAL CORPORATION



IDENTIFICATION

Property Name (if any): A.W. Webster House

Address: 317 Ontario Avenue

Date of Construction: c. 1885

City, County: Park City, Summit

County, Utah Architect/Builder, if known: unknown

Tax Number: PC-455

Current Owner: Bradley J. and Catherine P. Brainard (H/W jt.)

Legal Description (include acreage): LOT 28 BLK 54 AMENDED PLAT OF THE PARK CITY SURVEY;
 ACCORDING TO THE OFFICIAL PLAT THEREOF ON FILE & OF RECORD IN THE OFFICE OF THE
 SUMMIT COUNTY RECORDER CONT 0.04 AC M91-669 KWD-322 299-840363-788 513-505-7 554-687
 569-517 571-626 596-818 (SEE QCD-922-676 UNION PACIFIC LAND RESOURCES CORP TO
 MISSOURI PACIFIC RAILROAD COMPANY) 1630-19821791-428

STATUS / USE

Original Use: single dwelling Current Use: single dwelling

Property Type:

- Building
- Structure
- Site

National Register of Historic Places:

- Eligible
- Ineligible
- Listed, Date:

Evaluation:

- Landmark Site
- Significant Site
- Non Historic

DOCUMENTATION

Photographs:

- Tax Photos
- Prints:
- Historic

Research Sources:

- Sanborn Maps
- tax Card
- Census Records
- City/ County Histories
- Personal Interviews
- Park City Museum
- Newspapers
- Other:

DESCRIPTION

Architectural Style: Hall-Parlor type / Victorian-Vernacular style

No. Stories: 1.5

Number of Associated Structures: Accessory building(s). # Structure(s). #

Condition: Good Fair Poor Uninhabitable/Ruin

Location: Original location Moved (Date: ,original location:)

Materials: (Describe the visible materials)

Exterior Walls: The exterior walls are clad in a non-beveled (drop-novelty) wood siding and corner boards.

The fullwidth dropped hipped-roof porch is supported by turned posts with a full balustrade

Foundation: The foundation appears to be concrete

Roof: The roof is a simple gable form sheathed in standing-seam metal material. The West side of the roof has three flush-mounted skylights and the rear roof has a nearly full-width flat dormer that projects from the ridge to the eave. The dormer is also sheathed in standing-seam metal material

Windows/Doors: The windows are two-over-two double-hung sash units with smaller double-hung units in the gable ends. The door on the traditional primary façade is a frame-and-panel door with upper light and the rear dormer has paired fully glazed doors

Additions: Major Minor None

Alterations: Major Minor None

Describe Additions/ Alterations (Dates):

Essential Historic Form: Retains Does Not Retain

NARRATIVE DESCRIPTION OF PROPERTY

(Briefly describe the property and its setting. Include a verbal description of the location; a general description of the property including the overall shape, number of stories, architectural style, materials, shape of roof; identify and describe any associated structures; identify any known exterior additions and/or alterations.)

The house at 317 Ontario Avenue was described in a 1984 National Register nomination as follows:

“This house is a one story frame hall and parlor house with a gable roof. It has a rectangular plan, and has an original shed extension. The façade is symmetrical with a door set slightly off center between two windows. A porch supported on slender square piers and topped by jigsaw cut decorative brackets spans the facade. The windows are the one over one light double hung sash type. The building is in fair condition, and because no major alterations to the exterior have been made, it maintains its original integrity.”

The slender square piers mentioned in the nomination are actually lathe turned wood posts upon closer observation of the 1983 photos. A previous historic information form, written in 2008 states that the siding was replaced with new material milled to match the previous material, but the current photos show marks and divisions present in the 1983 photos, specifically a section where a window once was on the south façade in the gable; thus, these claims are dubious, and the drop-novelty siding appears original. The roof is clad with a standing seam metal, replacing the shingled roofing described in the 1984. A wide, flat roofed dormer projects from the ridge to the eave on the rear part of the roof. A wood balustrade has been added to the porch. The overall form and materiality of the building remains intact and the building retains its historic value.

SIGNIFICANCE

Historic Era:

- Settlement & Mining Boom Era (1868-1893)
- Mature Mining Era (1894-1930)
- Mining Decline & Emergence of Recreation Industry (1931-1962)

Narrative Statement of Significance:

(Briefly describe those characteristics by which this property may be considered historically significant.)

The history of this house was detailed in the 1984 National Register nomination form as follows:

“Built c. 1885, the A. W. Webster House at 317 Ontario is architecturally significant as one of 76 extant hall and parlor houses in Park City, 22 of which are included in this nomination. The hall and parlor house, the earliest house type to be built in Park City, and one of the three most common house types that were built during the early period of Park City’s mining boom era , significantly contributes to the character of the residential area.

This house was built by at least 1889, as indicated by the Sanborn Insurance Maps, and its original owner was probably A.W. and Abbie Webster. Although the Webster's did not obtain legal title to the property until 1890, it was not unusual in Park City at that time for individuals to build houses on property which they had obtained through informal rather than official transactions. The Webster's, about whom nothing is known, sold the house in 1891 to Grace Warren, who owned it until 1896. Subsequent owners include John and Charles Shields (March 1896-April 1896), John Sincock (1896-1900), Frank and Elizabeth Cargeeg (1900-1914), and Elizabeth Nancarrow and heirs (1914-present). Nothing is known about these owners, except that Frank Cargeeg was a miner from England (b. 1842)."

Further research has uncovered more information about Frank and Elizabeth Cargeeg. They were both born in England, and immigrated to the U.S. in 1884. For some reason, most of their children took their mother's last name, which was Nancarrow. The property was transferred to their daughter, Elizabeth Nancarrow, in 1914. It appears that this house was mostly used as an income property, as the owners are listed as living elsewhere on the 1920, 1930, and 1940 censuses. The house stayed in the ownership of the Nancarrow family until 1984. It is currently owned by Bradley and Catherine Brainard.

REFERENCES

- Boutwell, John Mason and Lester Hood Woolsey. *Geology and Ore Deposits of the Park City District, Utah*. White Paper, Department of the Interior, United States Geological Survey. Washington: Government Printing Office, 1912.
- Carter, Thomas and Peter Goss. *Utah's Historic Architecture, 1847-1940*. Salt Lake City: Center for Architectural Studies, Graduate School of Architecture, University of Utah and Utah State Historical Society, 1988.
- Hampshire, David, Martha Sonntag Bradley and Allen Roberts. *A History of Summit County*. Coalville, UT: Summit County Commission, 1998.
- National Register of Historic Places. Park City Main Street Historic District. Park City, Utah, National Register #79002511.
- Peterson, Marie Ross and Mary M. Pearson. *Echoes of Yesterday: Summit County Centennial History*. Salt Lake City: Daughters of Utah Pioneers, 1947.
- Pieros, Rick. *Park City: Past & Present*. Park City: self-published, 2011.
- Randall, Deborah Lyn. *Park City, Utah: An Architectural History of Mining Town Housing, 1869 to 1907*. Master of Arts thesis, University of Utah, 1985.
- Ringholz, Raye Carleson. *Diggings and Doings in Park City: Revised and Enlarged*. Salt Lake City: Western Epics, 1972.
- Ringholz, Raye Carleson and Bea Kummer. *Walking Through Historic Park City*. Self-published, 1984.
- Thompson, George A., and Fraser Buck. *Treasure Mountain Home: Park City Revisited*. Salt Lake City: Dream Garden Press, 1993

PHOTOS

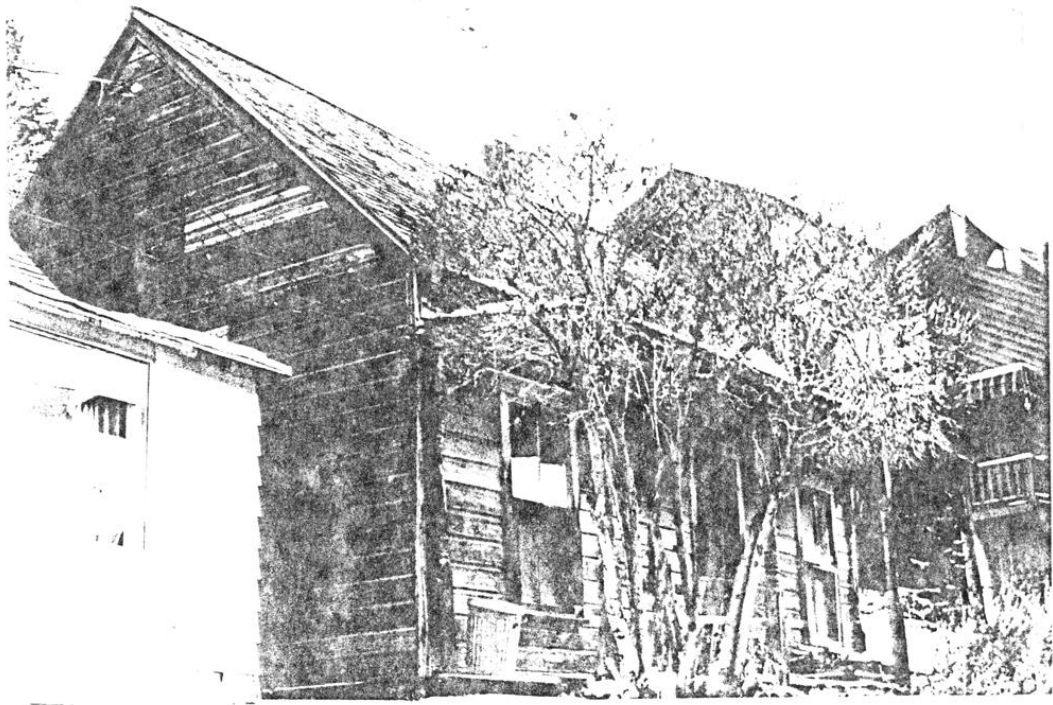
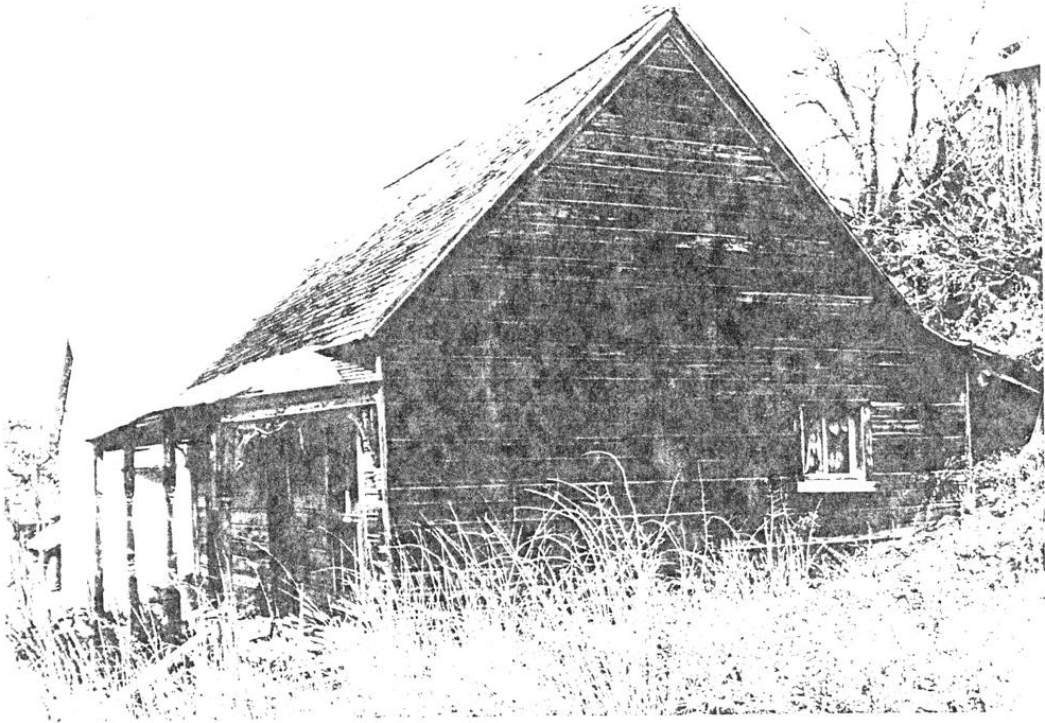
(Provide several clear historical and current photos of the property as well as locational maps indicating the location of the property in relation to streets or other widely recognized features.)

317 Ontario Avenue, Park City, Summit County, Utah

Intensive Level Survey—Biographical and Historical Research Materials



Tax photo c. 1940











317 Ontario Avenue. Northwest oblique. November 2013.



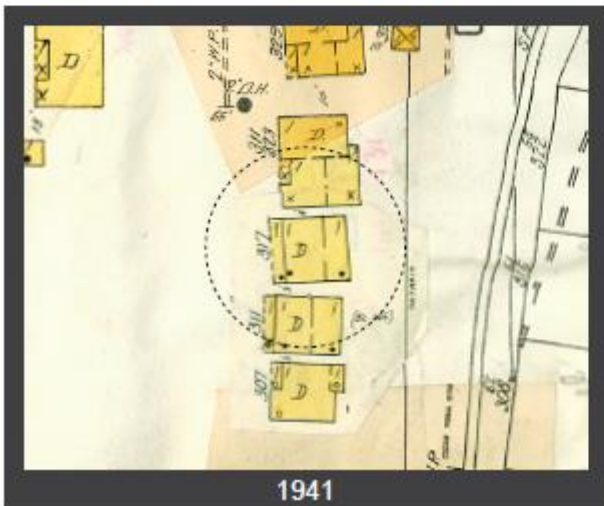
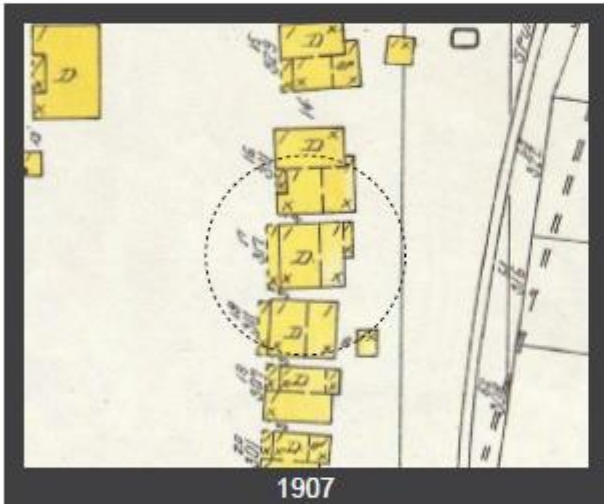
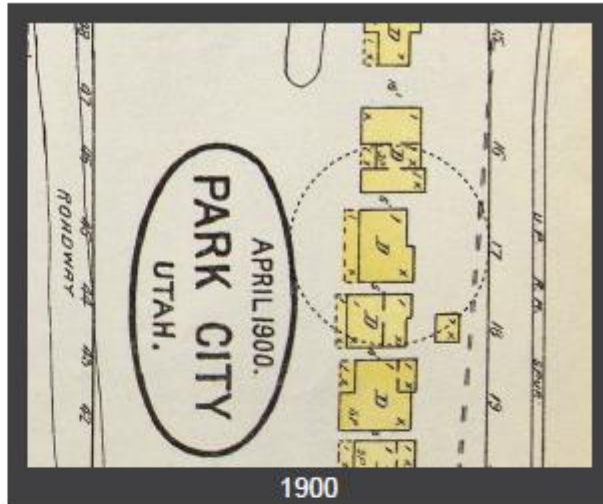
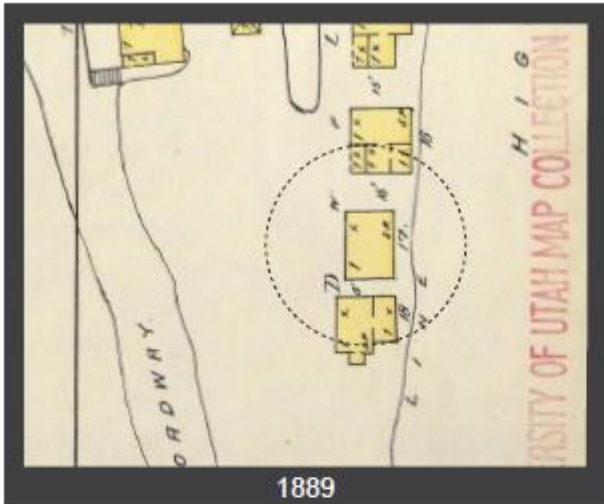
317 Ontario Avenue. West elevation. November 2013.



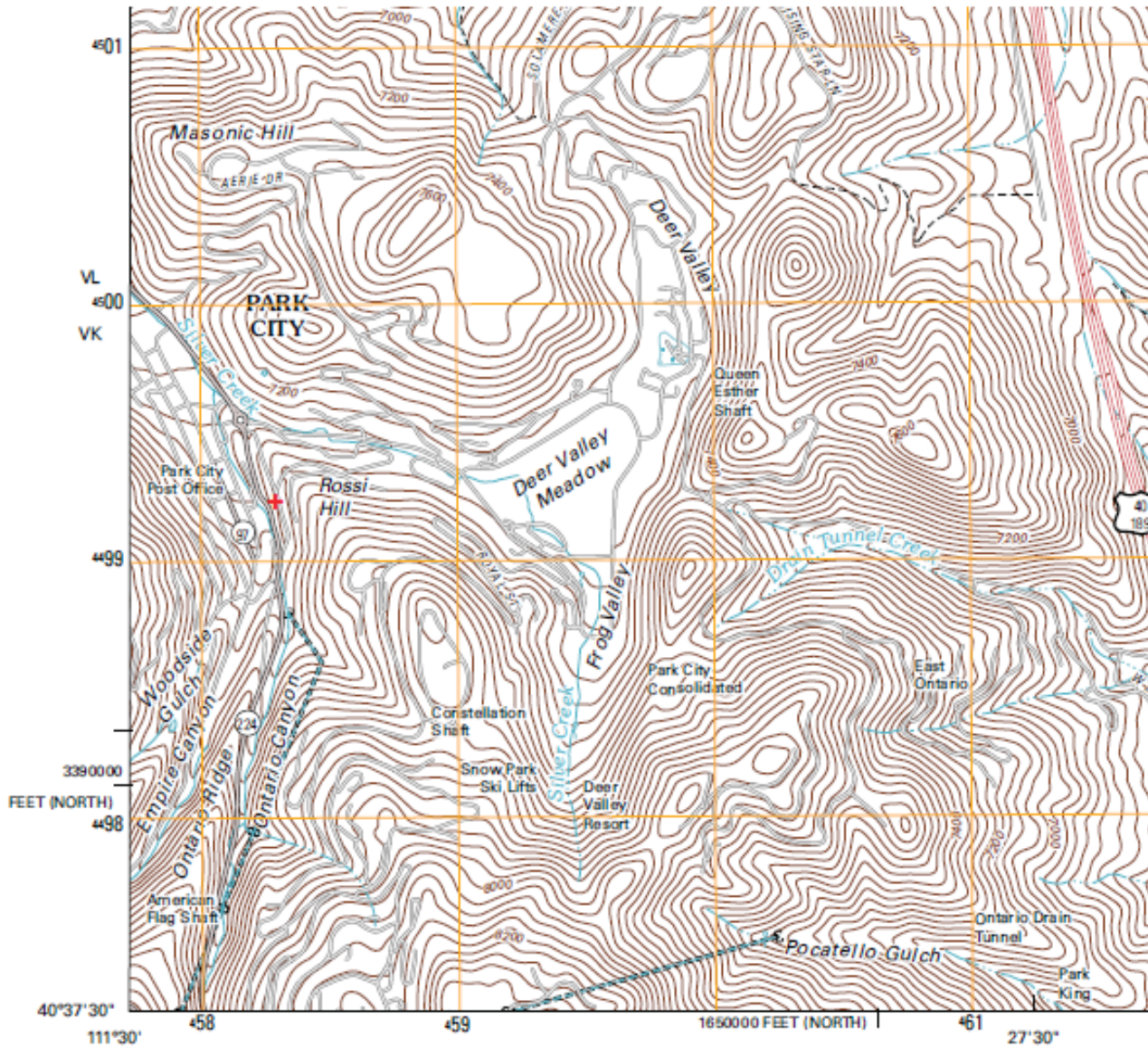
317 Ontario Avenue. Northeast oblique. November 2013.

MAPS

317 Ontario Avenue, Park City, Summit County, Utah
Intensive Level Survey—Sanborn Map history

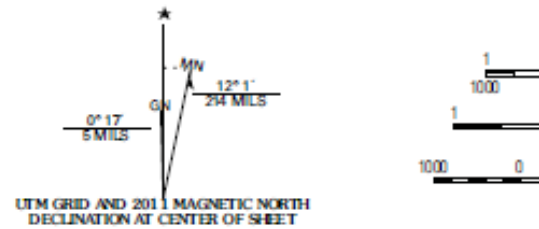


317 Ontario Avenue, Park City, Summit County, Utah
 Intensive Level Survey—USGS Map



Produced by the United States Geological Survey
 North American Datum of 1983 (NAD83)
 World Geodetic System of 1984 (WGS84). Projection and
 1 000-meter grid: Universal Transverse Mercator, Zone 12T
 10 000-foot ticks: Utah Coordinate System of 1983
 (north and central zones)

Imagery.....NAP, July 2009 - August 2009
 Roads.....©2006-2010 Tele Atlas
 Names.....GNIS, 2009
 Hydrography.....National Hydrography Dataset, 2009
 Contours.....National Elevation Dataset, 2008



UTM GRID AND 2011 MAGNETIC NORTH DECLINATION AT CENTER OF SHEET

U.S. National Grid	
100,000-m Square ID	
VL	WK
Grid Zone Designation	
12T	

+ location on USGS Park City East 1:24000 Quadrangle Map (2011)

DOCUMENTS

Utah State Historical Society
 Historic Preservation Research Office

Site No. _____

Property Type:

Structure/Site Information Form

IDENTIFICATION

Street Address: 317 Ontario UTM: 12 458370 4498990
 Park City, Summit County, Utah
 Name of Structure: A. W. Webster House T. R. S.
 Present Owner: Mr. and Mrs. Carl Redlin
 Owner Address: 5413 South 1900 West, Roy, Utah 84067
 Year Built (Tax Record): Effective Age: Tax #: PC 455
 Legal Description: Kind of Building:
 25 x 50 feet of Lot 28 Block 54, Park City Survey, less right-of-way Lot 28 Union Pacific Land Resources Corporation. Less than one acre.

STATUS/USE

Original Owner: probably A. W. Webster Construction Date: c. 1885 Demolition Date:
 Original Use: Residence Present Use:
 Building Condition: Integrity: Preliminary Evaluation: Final Register Status:
 Excellent Site Unaltered Significant Not of the National Landmark District
 Good Ruins Minor Alterations Contributory Historic Period National Register Multi-Resource
 Deteriorated Major Alterations Not Contributory State Register Thematic

DOCUMENTATION

Photography: Date of Slides: 1983 Slide No.: Date of Photographs: 1983 Photo No.:
 Views: Front Side Rear Other Views: Front Side Rear Other

Research Sources:
 Abstract of Title Sanborn Maps Newspapers U of U Library
 Plat Records / Map City Directories Utah State Historical Society BYU Library
 Tax Card & Photo Biographical Encyclopedias Personal Interviews USU Library
 Building Permit Obituary Index LDS Church Archives SLC Library
 Sewer Permit County & City Histories LDS Genealogical Society Other Census Records

Bibliographical References (books, articles, records, interviews, old photographs and maps, etc.):

Researcher: Roger Roper

Date: 4/84

Street Address: 3/1 Ontario

Site No:

4
ARCHITECTURE

Architect/Builder: Unknown

Building Materials: Wood

Building Type/Style: Hall and Parlor House

Description of physical appearance & significant architectural features:
(Include additions, alterations, ancillary structures, and landscaping if applicable)

This house is a one story frame hall and parlor house with a gable roof. It has a rectangular plan, and has an original shed extension. The facade is symmetrical with a door set slightly off center between two windows. A porch supported on slender square piers and topped by jigsaw cut decorative brackets spans the facade. The windows are the one over one light double hung sash type. The building is in fair condition, and because no major alterations to the exterior have been made, it maintains its original integrity.

5
HISTORY

Statement of Historical Significance:

Construction Date: c. 1885

Built c. 1885, the A. W. Webster House at 317 Ontario is architecturally significant as one of 76 extant hall and parlor houses in Park City, 22 of which are included in this nomination. The hall and parlor house, the earliest house type to be built in Park City, and one of the three most common house types that were built during the early period of Park City's mining boom era, significantly contributes to the character of the residential area.

This house was built by at least 1889, as indicated by the Sanborn Insurance Maps, and its original owner was probably A.W. and Abbie Webster. Although the Websters did not obtain legal title to the property until 1890, it was not unusual in Park City at that time for individuals to build houses on property which they had obtained through informal rather than official transactions. The Websters, about whom nothing is known, sold the house in 1891 to Grace Warren, who owned it until 1896. Subsequent owners include John and Charles Shields (March 1896-April 1896), John Sincock (1896-1900), Frank and Elizabeth Cargeeg (1900-1914), and Elizabeth Nancarrow and heirs (1914-present). Nothing is known about these owners, except that Frank Cargeeg was a miner from England (b. 1842).

TITLE SEARCH FORM

[Obtain information from title abstract books at County Recorder's Office]

Address: 317 Ontario Avenue

City: Park City, UT

Current Owner: Bradley J. and Catherine P. Brainard

Address: (see historic site form for address)

Tax Number: PC-455

Legal Description (include acreage): PC BK54 L28 (see historic site form for complete legal description)

TRANSACTION DATES	GRANTOR (SELLER)	GRANTEE (BUYER)	TYPE OF TRANSACTION	DOLLAR AMOUNT	COMMENTS
12/22/1882	Edwd. P. Ferry	David C. McLaughlin	W		[L-1-7, L18-32]
5/2/1890	D.C. McLaughlin & wife	A.W. Webster	W		"28"
1/3/1891	A.W. & Abbie Webster	Grace Warren	W		"28"
6/29/1893	Grace Warren	Shields Bros	Mortgage	\$400.00	"28"
3/2/1896	Mrs. Grace Warren	Shields Bros	W		"28"
4/6/1896	Charles & John Shields	John Sincock	W		"28"
11/8/1898	John Sincock & wife	James T. Kescel	Mortgage	\$400.00	"28"
6/12/1900	John Sincock & wife	James T. Kescel	W.D.		
6/18/1900	James T. Kescel	Frank & Elizabeth Cargeeg	W.D.		
3/14/1914	Frank & Elizabeth Cargeeg	Elizabeth Nancarrow	W.D.		
5/16/1984	E. Nancarrow, M. Vincent & F. Cossey	Frank & Thelma Nancarrow	Q.C.D.		
6/29/1990	M.M. Vincent & F.M. Cossey	Alan J. & Mery Ardell	Q.C.D.		[Estate of Frank Nancarrow, deceased]
7/23/1990	Alan J. & Mery Ardell	Laurent Bouzaglou	Q.C.D.		
6/29/2004	Laurent Bouzaglou	Kathy A. Steadman	W.D.		
5/15/2006	Kathy A. Steadman	Bradley J. & Catherine P. Brainard	W.D.		

Researcher: John Ewanowski, CRSA Architecture

Date: 5/9/2014

317 Ontario Avenue, Park City, Summit County, Utah

Intensive Level Survey—Biographical and Historical Research Materials

Death Summons Francis Cargeeg

Another old time resident and owner of Park City was summoned to his final rest yesterday morning. This time the grim reaper claimed Francis Cargeeg, who for upward of twenty-three years has been a familiar figure in our midst, during all of that time working at different mines in the camp. He was one of the first to work on the Mayflower, which later developed into the big Silver King Coalition, and for years he was at the Ontario, Anchor and other properties of the camp. He was an exceptionally good miner, a good citizen and a good man. He goes to his reward beloved by those who knew him best and respected by all. To his aged wife, his only surviving daughter, and other near relatives, sincere sympathy is extended in their great bereavement and sorrow. He was a devoted husband, and kind father.

Francis Cargeeg was born in Madron Churchtown, Cornwall, England, on the 4th of April, 1842, making him seventy-two years of age at the time of his death. He came to America thirty-five years ago, living in Michigan and Colorado until 1890 when he came to Park City residing here steadily since that time. He is survived by a widow and one daughter, Mrs. Mary Nancarrow, and seventeen grandchildren.

The funeral will occur Monday next at 2 o'clock from the M. E. church, Rev. T. P. Cook, officiating.

Park Record 3/28/1914

SERIAL NO. _____
 RE-APPRAISAL CARD (1940 APPR. BASE)

Owner's Name _____

Owner's Address _____

Location _____

Kind of Building Res Street No. 317-Morse Ave

Schedule 1 Class 3 Type 1-2-3-4 Cost \$ _____ X %

Stories	Dimensions	Cu. Ft.	Sq. Ft.	Actual Factor	Totals
1	x x		456	\$ -	\$ 1081
	x x			\$	\$
	x x			\$	\$

No. of Rooms 4 Condition _____

Description of Building	Add	Deduct
Foundation—Stone Conc. None <input checked="" type="checkbox"/>		88
Ext. Walls <u>4-Sid 14-Sht</u>		38
Insulated—Floors Walls Clgs.		
Roof—Type <u>Bob</u> Mat. <u>Pot. Shg</u>		
Dormers—Small Med. Lg.		
Bays—Small Med. Lg.		
Porches—Front <u>96" @ .80</u>	77	
Rear @		
Cellar—Basm't— $\frac{1}{4}$ $\frac{1}{2}$ $\frac{3}{4}$ full-floor <u>Ne</u>		40
Basement Apts.—Rooms Fin.		
Attic Rooms Fin. Unfin.		
Plumbing— Class <u>1</u> Tub Trays Basin Sink Toilet Urns. Ftns. Shr. Dishwasher Garbage Disp.	245	
Heat—Stove <input checked="" type="checkbox"/> H. A. Steam S. Blr. Oil Gas Coal		
Air Conditioned Incinerators		
Radiant—Pipeless		
Finish— Hd. Wd. Floors Hd. Wd. Fir. <input checked="" type="checkbox"/> Fir. <input checked="" type="checkbox"/> Conc. Conc.		
Cabinets Mantels		
Tile— Walls Wainscot Floors		
Lighting—Lamp Drops <input checked="" type="checkbox"/> Fix. <u>Lbr. lined - 4 @ 35</u>		140
Total Additions and Deductions	322	306
Net Additions or Deductions	-306	

Age <u>48</u> Yrs. by <input checked="" type="checkbox"/> Est. Owner <input checked="" type="checkbox"/> Tenant <input checked="" type="checkbox"/> Neighbors <input checked="" type="checkbox"/> Records	REPRODUCTION VALUE Depr. <u>1-2-3-4-5-6</u> <u>6/139</u> %	\$ 1097
Remodeled Est. Cost	Remodeling Inc. %	\$
Garage—S 8 C Depr. 2% 3%	Obsolescence	\$
Cars Walls	Out Bldgs.	\$
Roof Size x Age		\$
Floor Cost	Depreciated Value Garage	\$
Remarks	Total Building Value	\$

Appraised 10/1949 By CAO & A.J.

P. 415

Location Block 54 P.O. Pt of Lot 28. (Rossie Hill)
 Kind of Bldg. RES St. No. 317 Ontario Ave
 Class 3 Type 1204 Cost \$ 1098 X 100%

Stories	Dimensions	Cu. Ft.	Sq. Ft.	Factor	Totals
1	x x		456		\$ 1098
	x x				
	x x				

Gar.—Carport x Flr. Walls Cl.

Description of Buildings	Additions
Foundation—Stone <input type="checkbox"/> Conc. <input type="checkbox"/> None <input checked="" type="checkbox"/>	
Ext. Walls <u>Siding</u>	
Insulation—Floors <input type="checkbox"/> Walls <input type="checkbox"/> Cigs. <input type="checkbox"/>	
Roof Type <u>Gable</u> Mtl. <u>Shg</u>	
Dormers—Small <input type="checkbox"/> Med. <input type="checkbox"/> Large <input type="checkbox"/>	
Bays—Small <input type="checkbox"/> Med. <input type="checkbox"/> Large <input type="checkbox"/>	
Porches—Front <u>96° @ 80</u>	77
Rear <input type="checkbox"/>	@
Porch <input type="checkbox"/>	@
Metal Awnings <input type="checkbox"/> Mtl. Rail <input type="checkbox"/>	
Basement Entr. <input type="checkbox"/>	@
Planters <input type="checkbox"/>	@
Cellar-Bsmt. — ¼ ½ ¾ Full <input type="checkbox"/> Floor <input type="checkbox"/>	
Bsmt. Apt. <input type="checkbox"/> Rooms Fin. <input type="checkbox"/> Unfin. <input type="checkbox"/>	
Attic Rooms Fin. <input type="checkbox"/> Unfin. <input type="checkbox"/>	
Plumbing {	Class <u>1</u> Tub <input type="checkbox"/> Trays <input type="checkbox"/>
	Basin <input type="checkbox"/> Sink <input type="checkbox"/> Toilet <input type="checkbox"/>
	Wtr. Sfr. <input type="checkbox"/> Shr. St. <input type="checkbox"/> O.T. <input type="checkbox"/>
	Dishwasher <input type="checkbox"/> Garbage Disp. <input type="checkbox"/>
Built-in-Appliances <input type="checkbox"/>	90
Heat—Stove <input checked="" type="checkbox"/> H.A. <input type="checkbox"/> Steam <input type="checkbox"/> Stkr. <input type="checkbox"/> Blr. <input type="checkbox"/>	
Oil <input type="checkbox"/> Gas <input type="checkbox"/> Coal <input checked="" type="checkbox"/> Pipeless <input type="checkbox"/> Radiant <input type="checkbox"/>	
Air Cond. <input type="checkbox"/>	
Finish—Fir <input checked="" type="checkbox"/> Hd. Wd. <input type="checkbox"/>	
Floor—Fir <input checked="" type="checkbox"/> Hd. Wd. <input type="checkbox"/> Other <input type="checkbox"/>	
Cabinets <input type="checkbox"/> Mantels <input type="checkbox"/>	
Tile—Walls <input type="checkbox"/> Wainscot <input type="checkbox"/> Floors <input type="checkbox"/>	
Storm Sash—Wood D. <input type="checkbox"/> S. <input type="checkbox"/> ; Metal D. <input type="checkbox"/> S. <input type="checkbox"/>	
Total Additions	167

Salvage \$1100
10-31-28

Year Built <input type="checkbox"/>	Avg. Age <u>57</u>	Reproduction Value	\$ <u>1265</u>
Inf. by {	Owner - Tenant - Neighbor - Record - Est.	Obsol. or Rem. <u>15%</u>	<u>190</u>
		Bldg. Value	<u>1075</u>
Remodel Year <input type="checkbox"/>	Est. Cost <input type="checkbox"/>	Depr. Col. <u>2 3 4 5 6</u> <u>30</u> %	
Garage—Class <input type="checkbox"/>	Depr. 2% 3%	Carport—Factor	\$ <u>322</u>
Cars <input type="checkbox"/>	Floor <input type="checkbox"/> Walls <input type="checkbox"/> Roof <input type="checkbox"/> Doors <input type="checkbox"/>		
Size—x <input type="checkbox"/>	Age <input type="checkbox"/>	Cost <input type="checkbox"/> x <input type="checkbox"/> %	
Other <input type="checkbox"/>			
Total Building Value			\$

Appraised 5-15- 1958 By 1302



Planning Department

September 13, 2023

Jonathan DeGray
degrayarch@qwestoffice.net
(435)-649-7263

CC: Mary Louden

NOTICE OF PLANNING COMMISSION ACTION

Description

Address: 317 Ontario Avenue

Zoning District: Historic Residential – 1 (HR-1)

Application: Steep Slope Conditional Use Permit

Project Number: PL-23-05600

Action: APPROVED WITH CONDITIONS (See Below)

Date of Final Action: September 13, 2023

Project Summary: The Applicant proposes to construct an addition with a single-car garage to a Significant Site over a Steep Slope located in the Historic Residential – 1 (HR-1) Zoning District.

Action Taken

On September 13, 2023, the Planning Commission conducted a public hearing and approved the Steep Slope Conditional Use Permit for an addition to a Significant Historic Structure at 317 Ontario Avenue according to the following findings of fact, conclusions of law, and conditions of approval.

Findings of Fact

1. The Site is located at 317 Ontario Avenue.
2. The Site is located within the Historic Residential – 1 (HR-1) Zoning District.
3. The existing Structure is designated to the Park City Historic Sites Inventory as a Significant Historic Structure.
4. The existing Structure was constructed c. 1885.
5. The Site is located on a Steep Slope.



Planning Department

6. On November 11, 2022, the Planning Department received a Historic District Design Review Pre-Application for a proposed addition to the rear of 317 Ontario Avenue.
7. On March 28, 2023, the Planning Department received a complete Steep Slope Conditional Use Permit Application and Historic District Design Review Standard Application.
8. On July 5, 2023, the Historic Preservation Board conducted a public hearing and approved the Material Deconstruction of 62 square feet of historic materials at the rear of the Structure to accommodate a connection to the proposed addition.
9. Staff reviewed the Steep Slope Conditional Use Permit Application per LMC § 15-1-10 and LMC Chapter 15-2.2 and found the application, as conditioned, complies with the adopted requirements.
10. Staff mailed courtesy notice to property owners within 300 feet of the Site on August 30, 2023.

Conclusions of Law

1. The Steep Slope Conditional Use Permit, as conditioned, is consistent with the Park City Land Management Code, specifically section 15-1-10 and Chapter 15-2.2.
2. The Use is consistent with the Park City General Plan, as amended.
3. The effects of any differences in use and/or scale have been mitigated through careful planning.

Conditions of Approval

1. Final building plans and construction details shall reflect substantial compliance with the plans approved September 13, 2023, by the Planning Commission. Any changes, modifications, or deviations from the approved design that have not been approved in advance by the Planning and Building Departments may result in a stop work order.
2. The Applicant is responsible for notifying the Planning and Building Departments prior to proposing any changes to this approval. The Applicant shall submit in writing any changes, modifications, or deviations from the approved scope of work for Planning review and approval/denial in accordance with the applicable standards prior to construction.
3. Prior to submitting a building permit, the Applicant shall submit a plan demonstrating how temporary shoring will be provided during construction, subject to approval by the City Engineer, or their designee.



Planning Department

4. The Applicant shall submit a geotechnical report and design of the temporary shoring and final slope stability prior to submitting a building permit, subject to approval by the City Engineer, or their designee.
5. The Applicant shall provide soil stabilization details documenting how the disturbed area will be restored and stabilized prior to submitting a building permit, subject to approval by the City Engineer, or their designee.
6. The Applicant shall secure access agreements for any work, construction, storage, and/or permanent improvement located five feet or less from a Lot/property line or otherwise encroaching onto an adjacent property prior to the issuance of a building permit.
7. The Applicant shall receive approval of a Historic District Design Review prior to building permit issuance.
8. The Applicant shall complete a Historic Preservation Plan, subject to approval by the Chief Building Official and the Planning Director prior to the issuance of a building permit.
9. The Applicant shall provide the City with a Financial Guarantee to ensure compliance with the conditions and terms of the Historic Preservation Plan prior to the issuance of a building permit. Instruments or documents associated with the Financial Guarantee must be recorded with the Summit County Recorder's Office prior to the issuance of a building permit.
10. All lot grading, utility installation(s), public improvements and drainage plans are subject to review and approval by the City Engineer, or their designee, prior to the issuance of a building permit.
11. The property is located outside of the Park City Landscaping and Maintenance of Soil Cover Ordinance (Soils Ordinance) and therefore not regulated by the City for mine-related impacts. If the property owner does encounter mine waster or mine waste-impacted soils they must handle the material in accordance with State and Federal law.
12. Any areas disturbed during construction surrounding the proposed work shall be brought back to their original state.
13. The Engineering Department requires the submittal of a storm drainage analysis. The storm drainage study must include the calculations showing the required storm drainage volume storage to match the pre- and post-development conditions for a 100-year 24-hour event.
14. The Final Grade shall be no more than four feet (4') in height difference from Existing Grade.



Planning Department

15. All outstanding Conditions of Approval set forth in the Historic Preservation Board's Material Deconstruction Approval (dated July 5, 2023) shall also apply.
16. Outdoor lighting, including landscape lighting, must be reviewed and approved by the Planning Department prior to installation and shall comply with the City's Dark Skies requirements. Outdoor lighting must be fully-shielded, down-directed, and 3,000 degrees Kelvin or less.
17. The owner shall demonstrate compliance with all adopted Nightly Rental regulations, including off-street parking, and obtain a License per Section 4-5-3 of the Municipal Code of Park City, Utah prior to using the property as a Nightly Rental. Off-Street parking for a Nightly Rental shall be provided within the proposed garage.
18. The roof eaves shall be reduced in size so as to not encroach into the required Side Setbacks by more than 1 foot per LMC § 15-2.2-3(J).
19. If the Applicant does not obtain a complete building permit by September 13, 2024, this SSCUP approval shall expire unless the Applicant submits a written extension request to the Planning Department prior to the expiration date and the Planning Department approves the requested extension of approval.
20. There shall be no habitable space above the garage area.
21. The Applicant shall consider revising the roof pitch of the proposed addition to minimize the additional height required. The Planning Director, or their designee, shall examine the proposed roof pitch when considering the Historic District Design Review request.

If you have questions or concerns regarding this Final Action Letter, please call (435)-615-5063 or email caitlyn.tubbs@parkcity.org.

Sincerely,

DocuSigned by:

Sarah Hall - Planning Commission Chair

0449CF71C9B8468

Sarah Hall, Planning Commission Chair

CC: Caitlyn Tubbs, Senior Historic Preservation Planner



Planning Department

July 5, 2023

Mary Louden
5441 Night Sage Ln
Fort Worth, TX 76109
melouden@gmail.com

CC: Jonathan DeGray

NOTICE OF HISTORIC PRESERVATION BOARD ACTION

Description

Address: 317 Ontario

Zoning District: HR-1 Historic Residential

Application: Material Deconstruction of Significant Historic Material

Project Number: PL-22-05451

Action: APPROVED WITH CONDITIONS (See Below)

Date of Final Action: July 5, 2023

Project Summary: Applicant Seeks Approval for Material Deconstruction of a Portion of a Significant Historic Structure to Facilitate the Construction of an Addition.

Action Taken

On July 5, 2023, the Historic Preservation Board conducted a public hearing and approved the Material Deconstruction for portions of 317 Ontario Avenue according to the following findings of fact, conclusions of law, and conditions of approval.

Findings of Fact

1. 317 Ontario Avenue is a Significant Historic Structure on Park City's Historic Sites Inventory.
2. The home was originally constructed c. 1885 and is a 1.5-story Hall-Parlor style house.
3. In 1984, 317 Ontario Avenue was listed on the National Register of Historic Places as part of the Park City Mining Boom Era Residences Thematic District.
4. On November 11, 2022 the Applicant submitted a Historic District Design Review Pre-Application to discuss a potential addition to the Structure.



Planning Department

5. On March 29, 2023 the Applicant submitted a full Historic District Design Review application for a proposed addition.

Material Deconstruction

6. The Applicant proposes the Material Deconstruction of 62 square feet of the existing siding on the rear exterior walls to accommodate an addition to expand the living area of the home and provide an attached garage.
7. Additions to Historic Structures shall be considered only on non-character defining facades, usually tertiary facades.
8. The Historic Preservation Board approved the Material Deconstruction to accommodate an addition and garage, accessed from the front of the property, subject to the Conditions of Approval below.
9. The Findings for "Complies" from the Analysis of Proposal sections of the Staff Report dated July 5, 2023 are incorporated herein by reference.

Conclusions of Law

1. The proposed addition is located on the tertiary façade of the Historic Structure and adjacent to the Ontario Avenue public right-of-way. (LMC §15-13-2(B)(4)(a)(2)).
2. The proposal to construct an addition complies with the requirements set forth in the Historic Residential (HR-1) District (LMC Chapter 15-2.2).
3. The proposal to construct an addition complies with the Design Guidelines for Historic Residential Sites (LMC §15-13-2(B)(4)).

Conditions of Approval

1. The Applicant is responsible for notifying the Planning Department and Building Department prior to proposing any changes to this approval.
2. The Applicant shall submit in writing any changes, modifications, or deviations from the approved scope of work for Planning review and approval/denial in accordance with the applicable standards prior to construction.
3. The Applicant must obtain Historic District Design Review and Steep Slope Conditional Use Permit approval prior to the issuance of a building permit.
4. An encroachment or access agreement is required for work conducted five feet or less from a lot line or having the potential to encroach on another property.
5. A Soils Report completed by a geotechnical engineer as well as a temporary shoring plan, if applicable, will be required at the time of building permit application.
6. The site shall be re-graded so that all water drains away from the Structure and does not enter the foundation.
7. The Applicant shall complete a Historic Preservation Plan, subject to approval by the Chief Building Official and the Planning Director prior to the issuance of a building permit.



Planning Department

8. The Applicant shall provide the City with a Financial Guarantee to ensure compliance with the conditions and terms of the Historic Preservation Plan prior to the issuance of a building permit.
9. The addition shall be undertaken in such a manner that if removed in the future the essential form and integrity of the Significant Historic Structure could be restored.
10. In-line additions shall be avoided.
11. The Applicant shall re-use any salvageable removed original siding material to replace areas of damaged siding on the remainder of the Historic Structure.
12. The Applicant shall reduce the eave overhangs in the side yards to comply with the requirements of LMC §15-2.2-3(J).
13. The height of the proposed addition shall be reduced to comply with the requirements of the Land Management Code prior to the approval of the HDDR.
14. A Steep Slope Conditional Use Permit (SSCUP) shall be approved prior to the issuance of a building permit.
15. During review of the HDDR, the Planning Director Designee shall give specific consideration to Universal Design Guideline 9.

If you have questions or concerns regarding this Final Action Letter, please call (435)-615-5063 or email caitlyn.tubbs@parkcity.org.

Sincerely,

A handwritten signature in blue ink, appearing to read "Randy Scott".

Randy Scott, Historic Preservation Board Chair

CC: Caitlyn Tubbs, Senior Historic Preservation Planner