



**PARK CITY HISTORIC PRESERVATION BOARD MEETING
SUMMIT COUNTY, UTAH
March 6, 2024**

The Historic Preservation Board of Park City, Utah, will hold its regular meeting in person at the Marsac Municipal Building, City Council Chambers, at 445 Marsac Avenue, Park City, Utah 84060. Meetings will also be available online and may have options to listen, watch, or participate virtually.

1. MEETING CALLED TO ORDER AT 5:00PM

2. ROLL CALL

3. MINUTES APPROVAL

- 3.A. Consideration to Approve the Historic Preservation Board Meeting Minutes from February 7, 2024

4. STAFF AND BOARD COMMUNICATIONS AND DISCLOSURES

5. PUBLIC COMMUNICATIONS

6. REGULAR AGENDA

- 6.A. **2465 Doc Holiday Drive – Material Deconstruction** - The Applicant Requests the Historic Preservation Board Determine Whether a Second Story Rear Deck on a Significant Historic Structure Located in the Single Family (SF) Zoning District May Be Removed. PL-23-05940
(A) Public Hearing; (B) Action
- 6.B. **Land Management Code Amendments** - The Historic Preservation Board Will Review Proposed Amendments to the Historic District Regulations Enacting Standards for Temporary Structures in Historic Districts and Defining Temporary Structures. PL-24-06001
(A) Public Hearing; (B) Possible Recommendation for Planning Commission Consideration on March 27, 2024

7. ADJOURNMENT

Pursuant to the Americans with Disabilities Act, individuals needing special accommodations during the meeting should notify the Planning Department at 435-615-5060 or planning@parkcity.org at least 24 hours prior to the meeting.

***Parking is available at no charge for meeting attendees who park in the China Bridge parking structure.**



**PARK CITY MUNICIPAL CORPORATION
HISTORIC PRESERVATION BOARD MEETING
MARSAC MUNICIPAL BUILDING
COUNCIL CHAMBERS
445 MARSAC AVENUE
PARK CITY, SUMMIT COUNTY, UTAH
MINUTES OF FEBRUARY 7, 2024**

BOARD MEMBERS IN ATTENDANCE: Randy Scott-Chair, Lola Beatlebrox, Puggy Holmgren, Douglas Stephens, Alan Long

EX OFFICIO MEMBERS: Rebecca Ward, Planning Director; Caitlyn Tubbs, Senior Historic Preservation Planner; Jaron Ehlers, Planning Technician; Mark Harrington, City Attorney

1. ROLL CALL

Chair Randy Scott called the meeting to order at 5:01 p.m. and conducted a roll call. All Board Members present were in chambers with the exception of Board Member Lola Beatlebrox, who appeared remotely. Board Member Jack Hodgkins and Board Member John Hutchings were absent.

2. MINUTES APPROVAL

A. Consideration to Approve the Historic Preservation Board Meeting Minutes from January 3, 2024.

MOTION: Board Member Alan Long moved to APPROVE the Historic Preservation Board Meeting Minutes from January 3, 2024. Board Member Puggy Holmgren seconded the motion.

VOTE: The motion passed with the unanimous consent of the Board.

3. STAFF AND BOARD COMMUNICATIONS AND DISCLOSURES

Board Member Beatlebrox reported that in addition to the Historic Preservation Board, she also serves on the Leadership Alumni Board for the Alumni Association. They recently conducted a Board Meeting where Myles Rademan talked about the City Tour. They discussed participating in a City Tour as a historic research project, and this year they would be going to Durango and Telluride in Colorado. She reported that Mr. Rademan invited her to go on this City Tour as a Board Member for the Leadership Alumni Group, along with one other member of either the Historic Preservation Board

("HPB") or the Planning Department. The tour was to take place from May 29 to June 2, 2024.

Chair Scott asked how they should proceed and indicated that a member of the Planning Department could certainly represent the HPB, although he expressed some interest in attending. Planning Director, Rebecca Ward sought clarification as to whether the invite was for a member of the Planning Commission as opposed to the Planning Department. Board Member Beatlebrox clarified that the invitation was not intended for the Planning Commission. Board Member Beatlebrox recalled that Director Ward had expressed interest in attending this City Tour. Director Ward stated that they previously reached out to the executive team, and recalled that in general, they had invited a Planning Commissioner as well. They also reported that the executive team that the HPB was interested in attending this event.

Chair Scott mentioned the discussion that took place at the last meeting regarding the possibility of reaching out to Telluride's equivalent of Park City's HPB and felt this was a huge opportunity.

A. Historic Preservation Board Chair Election – Pursuant to Land Management Code Section 15-11-3, the Historic Preservation Board will Elect One of Its Members to Serve as Chair for a Term of One Year.

Board Member Douglas Stephens asked Chair Scott if he was interested in serving another year as Chair. Chair Scott stated he would be happy to serve and noted that he travels, so there would need to be a backup. He estimated he would miss 3 – 4 meetings this year, and if the Board was okay with that, he would be happy to serve as Chair. Board Member Holmgren commented, "If it's not broke, don't fix it."

MOTION: Board Member Stephens NOMINATED Randy Scott to serve as Board Chair for 2024. Board Member Holmgren seconded the motion.

VOTE: The motion passed with the unanimous consent of the Board.

B. 2024 Visioning Follow-Up – Staff will Present Comments from the 2024 Visioning Session and Outline a Draft Timeline for Projects Moving Forward.

Senior Historic Preservation Planner, Caitlyn Tubbs reported that the Visioning Work Session was held at last month's meeting and the meeting packet included a brief summary outlining the items discussed, some of the direction and interests expressed by the Board, and a timeline. She invited any further questions or comments.

Chair Scott commented that Planner Tubbs summarized the issues very well. Board Member Holmgren added that the information provided was very concise and easy to

follow, and expressed appreciation to Planner Tubbs for the information provided. Board Member Beatlebrox agreed.

4. PUBLIC COMMUNICATIONS

There were no public communications.

5. REGULAR AGENDA

A. 844 Empire Avenue – The Applicant Seeks Material Deconstruction and Partial Panelization Approval to Construct a Side Addition on a Significant Historic Structure in the Historical Residential-1 Zoning District. PL-22-05350.

Planner Tubbs reported that a site visit was conducted with several of the Board Members to look at the existing conditions of the structure. She noted that this is a very unique Lot with three front yards, one rear yard, and one side yard. It is also a Significant Historic Structure, which has been substantially modified over time. The Preservation Board reviewed this proposal during the November 1, 2023 meeting following a public hearing. During that meeting, the Board expressed some concerns regarding the overall amount of historic material proposed to be removed in order to accommodate the addition. Concerns were also raised regarding the inclusion of a rooftop balcony on the proposed addition and the modifications to the southern roof between the two dormers.

Planner Tubbs stated that the HPB continued the item, and then continued it again following the December 6, 2023 meeting. On December 10, 2023, she reported that the applicant's engineer submitted an updated structural report to the Planning Department that reiterated some of the structural concerns with the building and recommended panelization. She stated that per this report, there was not a lot of viability in lifting the structure.

On January 2, 2024, she, along with the Planning Director and the Chief Building Official met with the applicant on-site and conducted a tour similar to that taken by the Board Members just prior to this meeting. Planner Tubbs reported that on January 10, 2024, the Chief Building Official issued a panelization determination and found that panelization was appropriate in this situation. She explained that the new proposal was very similar to the original proposal reviewed by the Board. The current proposal was to panelize the Historic Structure and construct a new foundation and an addition. She noted that the Applicant would remove the non-historic northern roof form to restore the historic front porch, which would be accessed off of the new 9th Street stairs.

In addition, the proposal called for the removal of approximately 384 square feet of siding on the east-facing façade in order to accommodate the addition. Following some of the Board's comments Applicant revised the dormer modification. The proposal also included the construction of a detached single-car garage along Empire Avenue.

Planner Tubbs presented an updated rendering that showed the front of the Historic Structure with the restored front porch. She pointed out the proposed detached garage to the right and the proposed addition on the left of the structure. She highlighted that the doorway was changed to a window, and instead of a rooftop balcony, there was a flat-roofed addition. She presented a photograph that depicted the approximate area of siding that would be removed to accommodate the proposal. She also pointed out the trim line that outlined the original structure and where later additions were made to the building.

Planner Tubbs next presented a view of the property looking northeast, which depicted the historic rear façade that was now the front door. The proposed dormer shown on the left was proposed during the November 1st meeting, and she reported that the applicant modified that proposal to connect the two existing dormers, while still providing some additional space for the occupants. Staff recommended the Board review the proposed material deconstruction and panelization, conduct a public hearing, and consider approving the request subject to the Findings of Fact, Conclusions of Law, and Conditions of Approval contained in the Draft Final Action Letter.

Architect Jonathan DeGray was present on behalf of the applicant and recalled that at the last meeting, there were a few topics that arose for which they did not have clear answers. He referenced Exhibit A, which addressed the question about a transition element for the addition. He explained that this exhibit illustrated the square footage comparison of the existing structure to the addition. The ordinance states that if the proposed addition is less than 50% of the main home, no transition element is required. The math for this issue was shown in the upper right corner of the exhibit. Architect DeGray stated that Planner Tubbs reviewed this, and he believed that she agreed that the math was correct.

Exhibit B showed the dormers being connected with a small, shed element. The renderings presented by Planner Tubbs helped show that the original shed dormer configuration occupied most of the back roof. Maintaining the two existing dormers and connecting them with a shed element reduced the 150-square-foot roof area being affected by the proposed change.

Architect DeGray next presented Exhibit C which illustrated how they eliminated the rooftop deck and the door unit coming out at the gable on the east elevation. He stated that would now consist of two double-hung windows. Exhibit D represented an elevation of the rear dormer with the proposed connecting element between the two dormers.

With regard to a question about the percentage of wall that would be affected by the addition, Architect DeGray referenced Exhibit E which showed the square footage comparison of the darker outlined area that includes the gable form with the addition as it touches the building. He stated the proposal would remove about 41% of that wall area.

Architect DeGray referenced the panelization plan and stated that it was chopped up to reflect what was seen during the site visit. He stated that the seams on the east elevation

were really where it would all occur; the north elevation was buried in the house so it would be saved without any problem.

Chair Scott opened the public hearing. There was no public comment. Chair Scott closed the public hearing.

Board Member Beatlebrox reported that between the exhibits and the site visit, all of her questions had been answered.

Board Member Stephens asked if any issues arose during the site visit that should be put into the public record. Architect DeGray did not believe that anything other than what had been presented came up during the site visit.

Chair Scott observed that the site visit visually confirmed what was contained in the Staff Report. He understood Chief Building Officer Dave Thacker's assessment regarding the need for panelization. He commented that with a couple of the walls, panelization looked like it would be difficult. Chair Scott appreciated how Architect DeGray addressed the transition element, as well as the other concerns raised by the Board. He opined that the issues were addressed in the right way and he thanked Architect DeGray for his work on this. No other concerns were expressed by the Board.

MOTION: Board Member Beatlebrox moved to APPROVE 844 Empire Avenue – Material Deconstruction and Partial Panelization for Approximately 384 Square Feet of Siding on the Eastern Facade – subject to the Findings of Fact, Conclusions of Law and Conditions of Approval set forth in the Draft Final Action Letter as follows:

Findings of Fact

1. The property is located at 844 Empire Avenue in the Historic Residential-1 (HR-1) Zoning District.
2. The Site is designated a Significant Historic Site on Park City's Historic Sites Inventory.
3. The Property is also known as Lot 1 of the 844 Empire Avenue Amended Plat.
4. The house first appears on the 1900 Sanborn Fire Insurance Map as a simple, 1 ½ story hall-parlor style home.
5. The Applicant's proposal is to panelize the Significant Historic Structure, construct a new foundation, and reassemble the Structure on the new foundation at approximately two feet (2') above its current elevation, as permitted in LMC §15-13-2(B)(2)(b)(2).

6. On August 17, 2022, the Planning Department received a Historic District Design Review Pre-Application with a proposed design for a side addition and a detached garage structure.
7. On August 14, 2023, the Planning Department received a complete Historic District Design Review Application to lift the Historic Structure, construct a new foundation, construct a garage, remove approximately 386 square feet of siding from the east side façade to accommodate an addition, and modify approximately 277 square feet of the roof form.
8. On November 11, 2023, the Planning Department received revised plans proposing panelization of the Significant Historic Structure.
9. The discussion and figures of the Background and Analysis sections of the Staff Report dated February 7, 2024, are incorporated herein.
10. The Applicant proposes to remove approximately 386 square feet of siding from a secondary (eastern) façade to accommodate an addition, in accordance with LMC § 15-13-2(B)(4)(a)(2) and LMC § 15-13-2(B)(4)(a)(5).
11. The Applicant proposes to restore the historic front façade of the Structure and remove the non-contributing addition per LMC § 15-13-2(B)(4)(a)(2).
12. The Historic Preservation Board held a public hearing on November 1, 2023, and continued the item to December 6, 2023. The item was again continued to January 3, 2024, and once again to February 7, 2024.
13. On January 2, 2024, the Chief Building Official, Planning Director, and Historic Preservation Planner visited the site.
14. On January 10, 2024, the Chief Building Official determined the Structure was hazardous or dangerous per section 116.1 of the Building Code.

Panelization

1. On December 10, 2023, Shen Engineers, Inc. completed an updated structural report finding multiple wall panels had been damaged by fire, soil retention, or structural cuts from the construction of the existing additions.
2. The Chief Building Official, Planning Director, and Historic Preservation Planner visited 844 Empire Avenue on January 2, 2024.
3. On January 10, 2024, the Chief Building Official determined the Significant Historic Structure is hazardous or dangerous pursuant to International Building Code 116.1 and issued a letter detailing this determination.

4. The Applicant proposes panelizing eight panels.

Conclusions of Law

1. The proposal complies with the Land Management Code requirements pursuant to LMC § 15-11-12.5 Historic Preservation Board Review for Material Deconstruction.

Conditions of Approval

1. Final building plans and construction details shall reflect substantial compliance with the plans approved by the Historic Preservation Board on February 7, 2024. Any changes, modifications, or deviations from the approved design that have not been approved in advance by the Planning and Building Departments may result in a stop work order.
2. The applicant is responsible for notifying the Planning and Building Departments prior to making any changes to the approved plans.
3. Any changes, modifications, or deviations from the approved scope of work shall be submitted in writing for review and approval/denial in accordance with the applicable standards by the Planning Director or their Designee prior to construction.
4. The applicant shall amend the 844 Empire Avenue Amended Plat Note 3 to address the proposed garage access off Crescent Tram Road.
5. The applicant shall obtain Historic District Design Review approval from the Planning Director, or their Designee, prior to submitting a Building Permit.
6. The applicant shall provide the City with a Financial Guarantee, in accordance with LMC § 15-11-19, to be recorded with the Summit County Recorder's Office prior to submitting a Building Permit.
7. An encroachment agreement may be required prior to the issuance of a Building Permit for projects utilizing soil nails that encroach onto neighboring properties.
8. A Soils Report completed by a geotechnical engineer as well as a temporary shoring plan, if applicable, will be required at the time of Building Permit application.
9. The applicant shall maintain the panels of the Historic Structure in a secure manner including protection from vandalism, inclement weather, pest, or

rodent damage. The applicant shall submit a panel storage plan to the Planning Department for approval prior to panelization of the Significant Historic Structure.

10. The Historic Site shall be returned to original grade following construction of a foundation. The site shall be re-graded so that all water drains away from the Structure and does not enter the foundation. A plinth, or trim board at the base of the Historic Structure, shall be added to visually anchor the Historic Structure to the new foundation.
11. Historic materials removed from the Structure that are salvageable or in otherwise good condition shall be used to repair/replace irreparable materials on the Site.
12. The applicant shall obtain a variance to locate the garage within the proposed front setbacks.

Board Member Long seconded the motion.

VOTE: The motion passed with the unanimous consent of the Board.

B. 218 Sandridge Road – Historic District Design Review – The Applicant Seeks Material Deconstruction Approval to Remove Approximately 64 Square Feet of the Original 1889 Roof Form and Approximately 48 Square Feet of 1940s Siding to Accommodate the Construction of an Addition to a Significant Historic Structure Located in the Historic Residential-1 Zoning District. PL-23-05692.

Planner Tubbs reported that the Board reviewed the above item in a prior meeting. She presented a graphic and highlighted the location of the site, noting it was located just to the west of Sandridge Road and under the public stairs that provide access between Marsac Avenue and Swede Alley. The Applicant's architect, Molly Guinan from Elliott Workgroup, provided some phenomenal renderings showing how the house had been added onto and altered over time. The home was originally constructed in 1889. In 1900, there was an addition, which she highlighted on the graphic. In the 1940's, there was a further addition of a shed roof and some additional gable space. Later modifications were also undertaken which resulted in the configuration of the house, as it currently exists.

Planner Tubbs explained that Applicant's proposal to remove the 1941 roof to accommodate the proposed addition was approved by the Board on November 1, 2023. The restoration of the 1907 roof form was also approved at that same meeting. The Board had some additional questions about the exact square footage of the 1889 roof form that would be impacted by this request. The applicant also requested some material deconstruction of siding from the 1940s addition, in order to accommodate the proposed transitional element. She noted that the area of the 1889 roof form impacted would total

64 square feet, which was much less than the approximate 200 square feet originally estimated during the November meeting. The proposal also included the removal of 48 square feet of the 1940's siding.

Planner Tubbs presented the proposed project. The existing building form was shown in dark blue, green, orange, and red. The proposed construction was highlighted in light blue. She pointed out the proposed rooftop deck with the pop-out for access into the rest of the house, as well as the transitional element and the proposed garage. She also presented a diagram prepared by the applicant that showed where the roof form would be removed and the portion of the 1900 addition that would be restored. The next graphic presented showed the location of the 48 square feet of 1940s siding that would be removed. She also highlighted the portions of the structure that would be affected by this request.

Planner Tubbs explained that Staff was making a split recommendation because the Code states that any roof form or shape that has not been altered already is not to be altered. She reported that Staff recommended the Board review the request for Material Deconstruction for 64 square feet of the 1889 roof form and 48 square feet of the 1940s siding to accommodate the proposed addition, conduct a public hearing, and consider approving the request to remove 48 square feet of siding and consider denying the request to remove approximately 64 square feet of the 1889 roof form.

Architect Guinan thanked the Board for its time and consideration of this building. She explained they did a deep dive into the history of the building and they have much more information now. With the additional information to clarify the historical structural modification timeline, she hoped that they addressed some of the concerns expressed during the prior meeting. She recalled that the two main issues were the prominence of the roofline of the flat roof dormer, shown in blue in the graphic, and the visibility from the Right-of-Way.

In terms of the prominence of the roofline, Architect Guinan explained they lowered the height of the flat roof dormer roof height to be below both the 1889 and 1907 roof ridgelines. By doing this, they also reduced the square footage to be removed from the 1889 roof plane.

With regard to the concern about visibility from the Right-of-Way, Architect Guinan referenced the photographs included in the Packet. These photographs were primarily taken from the stairs behind and Swede Alley. These photographs were taken in mid-November, so there were very few leaves on the trees. She also referenced photographs from other locations around town and stated that this structure would not be visible from a public Right-of-Way.

Architect Guinan stated that it came down to a difference in how they interpret the Code. She explained they initially started by putting the flat roof dormer on a tertiary façade, which they believed might be allowed by the Code. She explained that the proposal was

to remove the 1941 roof that modified both the 1907 and 1889 roof planes and re-establish 90 square feet of the 1907 roof plane. The proposal also included the removal of 64 square feet of the 1889 roof plane. The current roof is 903 square feet, so they would remove approximately 5 – 7% of the total roof. Looking at just the west roof plane, the proposal would remove 14 percent. She felt this was a relatively low surface area. She added that overall, they would be re-establishing 24 square feet between the two roofs, so there would be a net gain in terms of restoration.

Architect Guinan mentioned that the Code referenced in the Packet talks about the design obscuring, detracting from, or modifying historic roof forms. The applicant team interpreted the Code as providing that the ridgeline, eaves, and the actual formality of the roof were what was important to maintain. She emphasized they would not remove any historic material because it is a modern roof on top of the Historic Structure. She stressed that the Applicant requested Board approval to remove the 64 square feet based on the fact that it is a tertiary façade and the issues mentioned previously.

Board Member Beatlebrox referenced the graphic with the different colors because there was no key for this slide, she asked the Applicant to walk through the exhibit and state explicitly what they were looking at.

Chair Scott requested that focus be put on the 1889 original structure and the 1900 addition. He stated the next slide showed the 1940 addition that added a slanted roof highlighted in green. On the next slide, the area shaded in blue showed the intersection of the three roof forms.

Chair Scott asked Planner Tubbs to draw through the blue-shaded area where the old roof was located. Architect Guinan stated the information was included on AX-105 of the drawings, and although that sheet was in plan form, it might help show the roofline. Chair Scott understood that the slashed area was new. Architect Guinan explained that the area dashed in orange and labeled 90 square feet of 525 would be the re-established area. The green area beneath is the current sloped roof from 1940 that would be removed. The other dashed lines on this plan are for the proposed flat roof dormer.

Because it was modified over so many years, she tried to break it down into what years they were actually removing. Thirty-six square feet would be removed from the 1941 roof, the 50 square feet referenced the 1889 roof, and the 12 square feet referenced the 1907 roof. They lumped these together as 64 square feet, which incorporated both the 1889 and 1907 roofs. Chair Scott expressed his understanding.

Planner Tubbs presented a graphic and explained that the deep maroon shaded area was the original form. The orange area depicted the 1900 addition; the green area depicted a modified portion of the orange section of the roof and extended out to the south past the end of the 1889 roof form.

Architect Guinan suggested that the Code provides that if it had not been modified, then the Code does not want it modified; however, in looking at the overall building, she stated this was an area that had numerous modifications over the years as the tertiary façade.

Chair Scott opened the public hearing. There was no public comment. The public hearing was closed.

Chair Scott stated that the primary question before the Board had to do with the 1889 Historic material, and the interpretation of the Code. He pulled up the Municipal Code and read as follows: "Additions to Historic Structures shall not be placed so as to obscure, detract from or modify Historic roof forms." Architect Guinan confirmed that was the applicable Code. Chair Scott noted that this application sought a modification to a roof form and the question was whether it was a modification to a modification or a new modification.

Board Member Stephens referenced the discussion about the tertiary nature of this and agreed that this was an unusual location, which made for a difficult design solution. He felt that the Board needed to be able to say this was not a primary roof façade, even though it might be visible from some stairs. He stated that probably every roof form in town was visible from somewhere. He stated that if this was on the other side, it would be a completely different story and would make this house read differently.

Board Member Stephens suggested that from the side of the house where this would take place, he felt it might not be quite as concerning. He questioned how that dovetailed with Code interpretations and suggested that be clarified. He observed that they address a lot of properties around town by going upstairs or downstairs. He reiterated that he was not as concerned about the removal of that Historic roof structure.

Board Member Holmgren commented that this had been chopped up so much that the baby was thrown out with the bath water. Board Member Beatlebrox disagreed, and noted it has had so many changes, but observed that they usually see owners go back to the original or semi-original structure. This particular roof from 1869 [sic] was very precious, and she felt the flat dormer obscured it. She stressed that most of it should be preserved cleanly, and additional living space should not detract from it. Board Member Long agreed with Board Member Beatlebrox's comments and felt the design detracted from the original roofline. Chair Scott remarked that he looked at this structure from several different angles, and he was more aligned with Board Member Stephens. He felt that the roofline had been modified already. He appreciated that the Applicant lowered the roofline, so one has to look to see it. He stated it did not bother him quite as much, and when he looks at the 1940s addition that takes the Historic material off the roof, sometimes they have to compromise in order to improve the situation of the site.

Chair Scott added that there was some historic roofline that was restored visibly, and he was comfortable with a compromise of 64 square feet of 1889 roof. Board Member Stephens liked the way Chair Scott approached it but added that while the drawings were

helpful to show what was done when the new addition shaded in light blue popped out. He commented it is not the Board's role to be working with what materials would be used, but through the design process, it seemed that the visual impact of the flat roof area needed to be mitigated with the materials being used.

Architect Guinan reported that the Code states to not mimic what is there, and she felt a lot of the confusion with this house was there was a lot of mimicking done in the past. She confirmed that the goal was to separate it from the Historic in its form, but have a very similar material palette. She explained that the addition was not intended to be a bright blue box or bright white box; rather, it was meant to sit back from the west. She added that in re-establishing the 1907 roof, and designing it as a flat roof dormer they would not actually add any square footage to the upper floor; rather, they would just pop the roof out. The addition would actually sit on the line of the 1889 eave. Architect Guinan observed that this design would, in a way, re-establish, although they cannot say they are re-establishing since the 1941 addition changed the joining point. Architect Guinan added that the hope is that the change would be subtler through the use of materials.

Board Member Stephens stated that they often deal with going back to a certain point in time, and this proposal sought to keep part of the 1940 addition and part of the original house, and design from there.

Architect Guinan added that the windows on the north and south do not meet egress requirements, and one of the reasons for this design was to create an egress option. She understood that those windows were grandfathered in, but having some sort of secondary egress from this space was an important aspect of the design.

Board Member Long observed that the colored diagram with the light blue shading made it look much more pronounced than the rendering.

Planner Tubbs presented the submitted renderings and images for the Board.

Architect Guinan explained that when they took images from the steps, neither the house nor the roofline was visible. She stated the backyard has an eight-foot solid fence, and presented a view where the addition could be visible. With respect to the upper image, she explained it was not an angle that could be seen from anywhere, but it was submitted to help clarify.

Board Member Stephens noted that the Board is not responsible for design review, and asked where this application was in that process.

Planner Tubbs explained that the Applicant required the Board's determination on Material Deconstruction in order to move forward with the design. Once Final Action has been taken on the proposed Material Deconstruction, the Applicant could then continue to move through the process. She added that the subject property was in a metes-and-bounds legal description, so the Applicant was also looking to do a plat amendment.

Board Member Stephens suggested that the railing aggravated the vertical nature of the walls going up. Since this proposal had not gone through the design process, he felt sure that the Planning Department would address that. Architect Guinan appreciated this comment.

Board Member Beatlebrox agreed that the railing and the flat roof detract from the Historic portions of the home. Architect Guinan stated the Applicant would be happy to work through that.

Board Member Beatlebrox mentioned that the Board reviewed the dormer on Empire Avenue, and noted it was not a tertiary façade because it was a three-sided primary home. Still, the fact is that the two dormers and the element in between were modified in order to provide balance and aesthetics and to protect Historic materials. She questioned whether the 1889 roofline could be more protected and kept intact.

Chair Scott commented that the flat roof dormer they reviewed in November was significantly more pronounced than it is now. He acknowledged it was a great step to reduce it a fair amount.

Board Member Stephens asked if the 1941 addition complied with the Setbacks in the current Code, or whether it was grandfathered in. Additionally, he wondered if the removal of the 1941 addition would allow them to replace the 1941 addition. It was confirmed that the response to this question was yes.

Chair Scott confirmed that the Board was to take action on (1) the Material Deconstruction of 48 square feet of the 1940s siding from the southern elevation, and (2) Material Deconstruction of 64 square feet of the 1889 roof form.

Senior City Attorney, Mark Harrington explained that the Board did not need two motions, and explained that if there was a consensus of three Board Members to modify the recommendation to approve sub-number 4 and approve the request to remove the 64 square feet, then they would need to modify Finding of Fact No. 10 to reflect a *de minimus* impact on the original roof form. They would also need to modify Conclusion of Law 2 to reflect compliance with that section. He also noted a possible new Condition of Approval 9 that the Historic District Design Review shall mitigate linear impacts of the guard railing.

MOTION: Board Member Stephens moved to APPROVE 218 Sandridge Road – Material Deconstruction of 48 square feet of 1940s Siding from the Southern Elevation and Material Deconstruction of 64 square feet of the 1889 Roof Form - based on the Findings of Fact, Conclusions of Law, and Conditions of Approval set forth in the Draft Final Action Letter, as amended, as follows:

Findings of Fact

1. The property is located at 218 Sandridge Road in the Historic Residential-1 (HR-1) Zoning District. The property is a metes and bounds parcel.
2. The Site is designated a Significant Historic Site on Park City's Historic Sites Inventory.
3. The house first appears on the 1889 Sanborn Fire Insurance Map as a simple, hall-parlor style house with a half-width front porch facing north.
4. The 1900 Sanborn Fire Insurance Map shows an addition to the west with a projecting bay window overlooking the public stairs which run along the northwestern property line of the site and provide passage from Sandridge Road to Swede Alley.
5. The 1941 Sanborn Fire Insurance Map shows another addition to the 1900 construction which projects to the south. This addition came flush to the edge of the rear porch.
6. On May 31, 2023, the applicant submitted a complete Historic District Design Review (HDDR) application to the Planning Department for modifications to and the construction of an addition to the Significant Historic Structure.
7. Park City recognizes three significant historical periods within the historic districts: Settlement & Mining Boom Era (1868-1893), Mature Mining Era (1894 – 1930), and Mining Decline & Emergence of Recreation Industry (1931-1962).
8. Park City does not recognize one historical period as more significant than another. Property owners may elect to restore a Historic Structure to one period of significance rather than another.
9. The proposed removal of the 1941 addition's roof restores the roofline of the 1907 addition.
10. The proposed modification of 64 square feet of 1889 roof form would have a *de minimus* impact on the original roof form
11. The Historic Preservation Board conducted a public hearing on November 1, 2023.
12. Following a public hearing held on November 1, 2023, the Historic Preservation Board approved the Material Deconstruction of the 1941 addition's roof form.

13. Following a public hearing held on February 7, 2024, the Historic Preservation Board approved the Material Deconstruction of 48 square feet of 1940s siding from the southern facade and denied the Material Deconstruction of 64 square feet of the 1889 roof form.

Conclusions of Law

1. The proposal to remove the 1941 roof form to accommodate a rooftop deck complies with the Land Management Code requirements pursuant to LMC § 15-11-12.5 Historic Preservation Board Review for Material Deconstruction.
2. The proposal to modify approximately 64 square feet of the 1889 roof form to accommodate a flat roof projection complies with the Land Management Code requirements pursuant to LMC § 15-11-12.5 Historic Preservation Board Review for Material Deconstruction.

Conditions of Approval

1. Final building plans and construction details shall reflect substantial compliance with the plans approved by the Historic Preservation Board on February 7, 2024, for the Material Deconstruction of the 1941 addition and 48 square feet of 1940s siding to accommodate a rooftop deck. Any changes, modifications, or deviations from the approved design that have not been approved in advance by the Planning and Building Departments may result in a Stop Work Order.
2. The applicant is responsible for notifying the Planning and Building Departments prior to making any changes to the approved plans.
3. Any changes, modifications, or deviations from the approved scope of work shall be submitted in writing for review and approval/denial in accordance with the applicable standards by the Planning Director or their Designee prior to construction.
4. The applicant shall obtain Historic District Design Review approval from the Planning Director, or their Designee, prior to submitting a Building Permit.
5. The applicant shall provide the City with a Financial Guarantee, in accordance with LMC § 15-11-19, to be recorded with the Summit County Recorder's Office prior to submitting a Building Permit.
6. A Soils Report completed by a geotechnical engineer as well as a temporary shoring plan, if applicable, will be required at the time of Building Permit application.

7. Historic materials removed from the Structure that are salvageable or in otherwise good condition shall be used to repair/replace irreparable materials on the Site.
8. The Applicant shall obtain Subdivision approval to create a Lot of Record and record the amended plat prior to submitting for a Building Permit.
9. Historic District Design Review shall mitigate the visual impacts of the guard railing.

Board Member Holmgren seconded the motion.

VOTE: Board Member Stephens – Yes; Board Member Holmgren – Yes; Board Member Long – No; Board Member Beatlebrox – No; Chair Scott – Yes. The motion passed 3-to-2.

6. CLOSED SESSION

- A. **The Historic Preservation Board May Consider a Motion to Enter Into a Closed Session for Specific Purposes Allowed Under the Open and Public Meetings Act (Utah Code Section 52-4-205) to Discuss the Deployment of Security Personnel, Devices, or Systems.**

The Historic Preservation Board May Consider a Motion to Enter Into a Closed Session for

Specific Purposes Allowed Under the Open and Public Meetings Act (Utah Code Section 52-4-205) to Discuss Deployment of Security Personnel, Devices, or Systems.

City Attorney Harrington reported that a motion would be needed to close the meeting for security and advice of counsel.

MOTION: Board Member Holmgren moved to enter into a CLOSED SESSION for for the purposes to Discuss Security and Advice of Counsel. Board Member Stephens seconded the motion.

VOTE: The motion passed with the unanimous consent of the Board.

The Board was in Closed Session from 5:55 p.m. to 6:34 p.m.

MOTION: Board Member Stephens moved to adjourn from the Closed Session at 6:34 p.m. Board Member Long seconded the motion.

VOTE: The motion passed with the unanimous consent of the Board.

7. **ADJOURN**

MOTION: Board Member _____ moved to ADJOURN. Board Member _____ seconded the motion.

VOTE: The motion passed with the unanimous consent of the Board.

The Historic Preservation Board Meeting adjourned at approximately 6:35 p.m.

Approved by _____
Randy Scott, Chair
Historic Preservation Board

PENDING APPROVAL

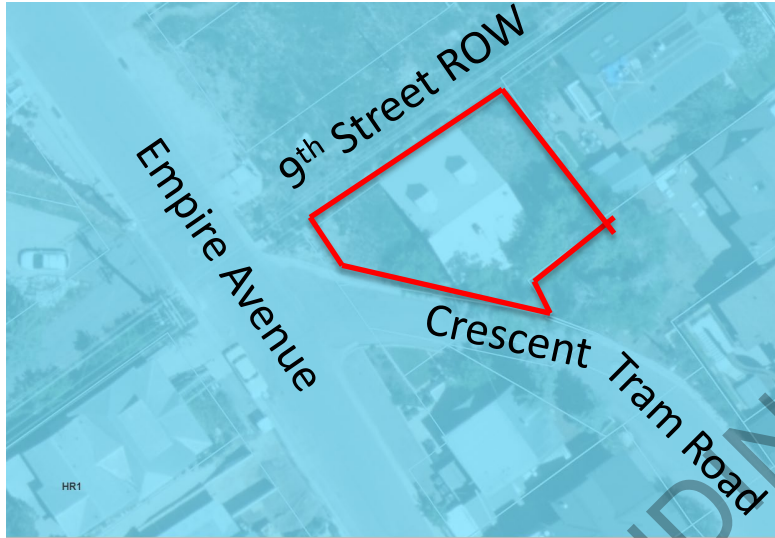
844 Empire Avenue

PL-23-05350



1881

844 Empire



844 Empire

Background

- November 1, 2023 – HPB held a public hearing, continued item
- December 6, 2023 – Item continued
- December 10, 2023 – Applicant Engineer Submitted Updated Structural Report
- January 2, 2024 – Chief Building Official, Planning Director, and Preservation Planner visited Site – CBO Issued Panelization Determination

844 Empire

Proposal

- Panelize Historic Structure, construct a new foundation, addition
- Remove non-historic northern roof form to restore historic front porch
- Remove approximately 384 square feet of siding on the east-facing facade to accommodate an addition
- Revised dormer modification
- Construct a detached single-car garage

844 Empire



844 Empire



844 Empire

Recommendation

The Historic Preservation Board (I) review the proposed Material Deconstruction and Panelization request; (II) conduct a public hearing; and (III) consider approving the Panelization and Material Deconstruction for approximately 384 square feet of siding on the eastern façade of 844 Empire Avenue subject to the Findings of Fact, Conclusions of Law, and Conditions of Approval in the Draft Final Action Letter.

218 Sandridge Road

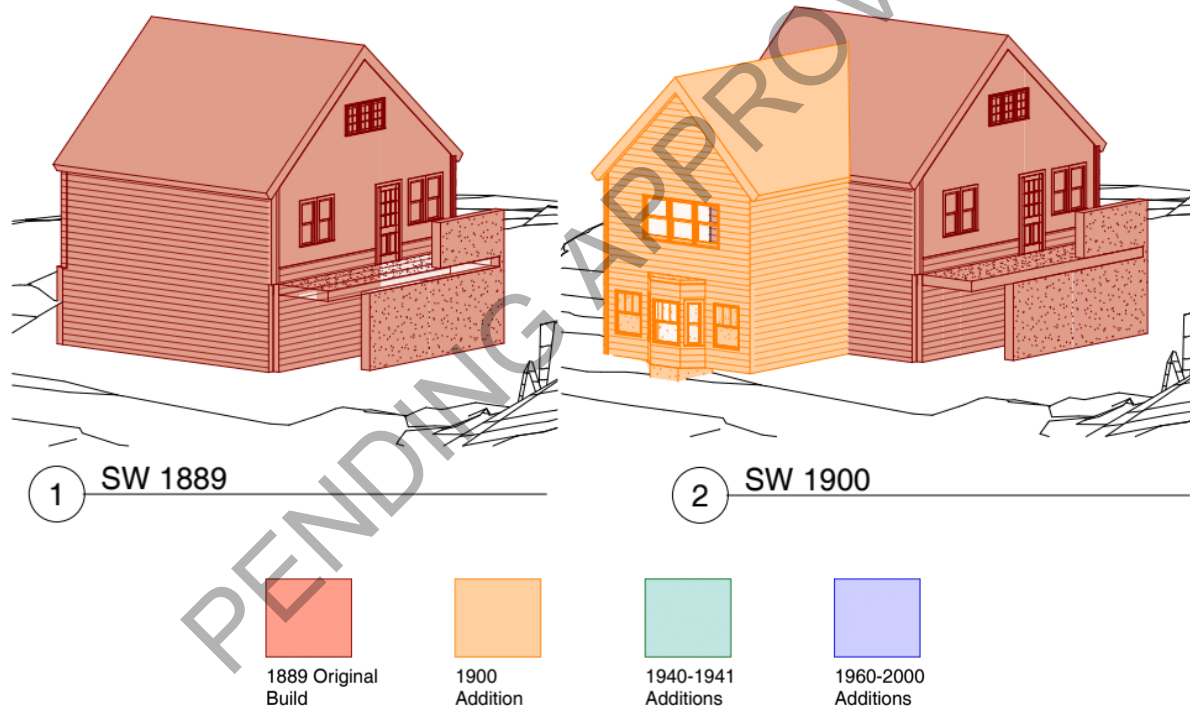
PL-23-05692



218 Sandridge



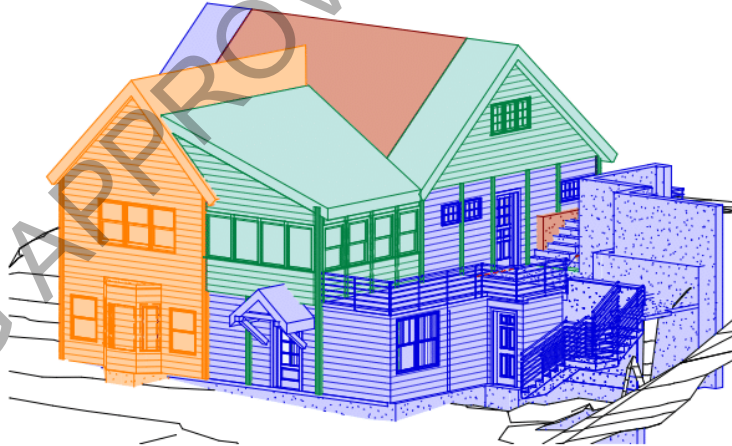
218 Sandridge



218 Sandridge



3 SW 1940



4 SW 1960-2000



1889 Original
Build



1900
Addition



1940-1941
Additions



1960-2000
Additions

218 Sandridge

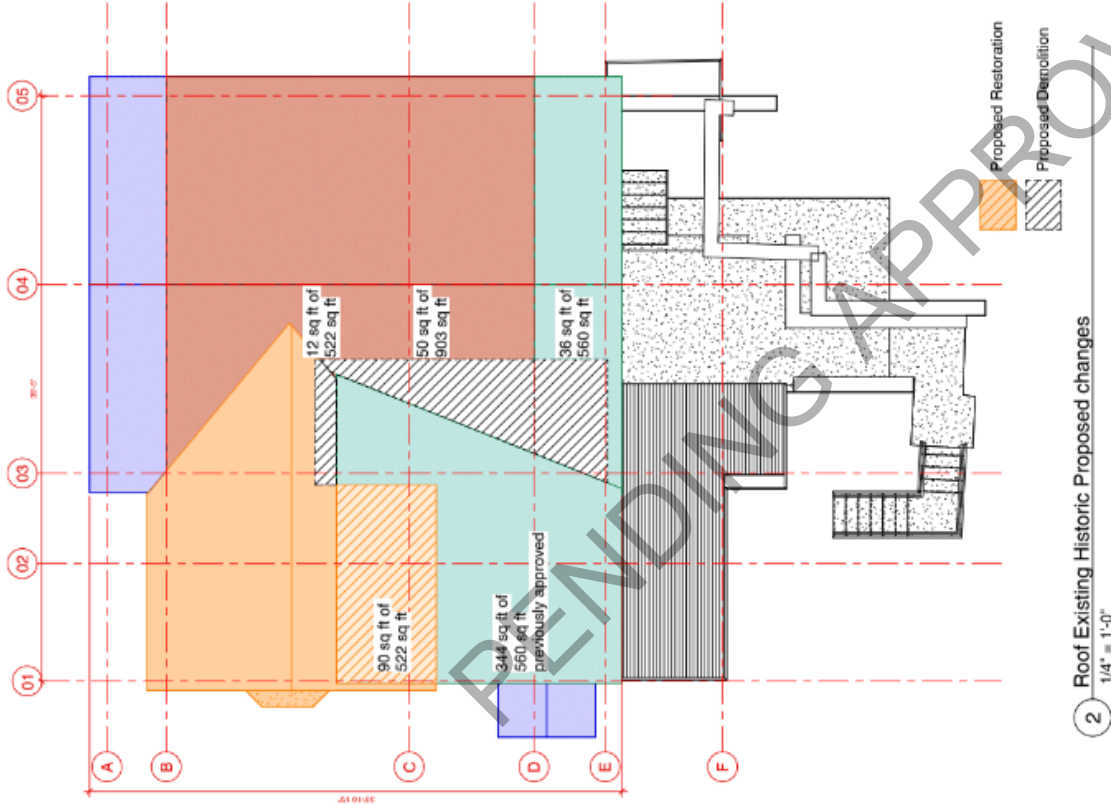
Proposal

- Remove the 1941 roof to accommodate a new addition (Approved by HPB Dec 6, 2023)
- Restore the 1907 roof form (Approved by HPB Dec 6, 2023)
- Modify approximately 64 square feet of the original 1889 roof form to provide access to a rooftop deck
- Remove approximately 48 square feet of 1940s siding to accommodate a transitional element

218 Sandridge

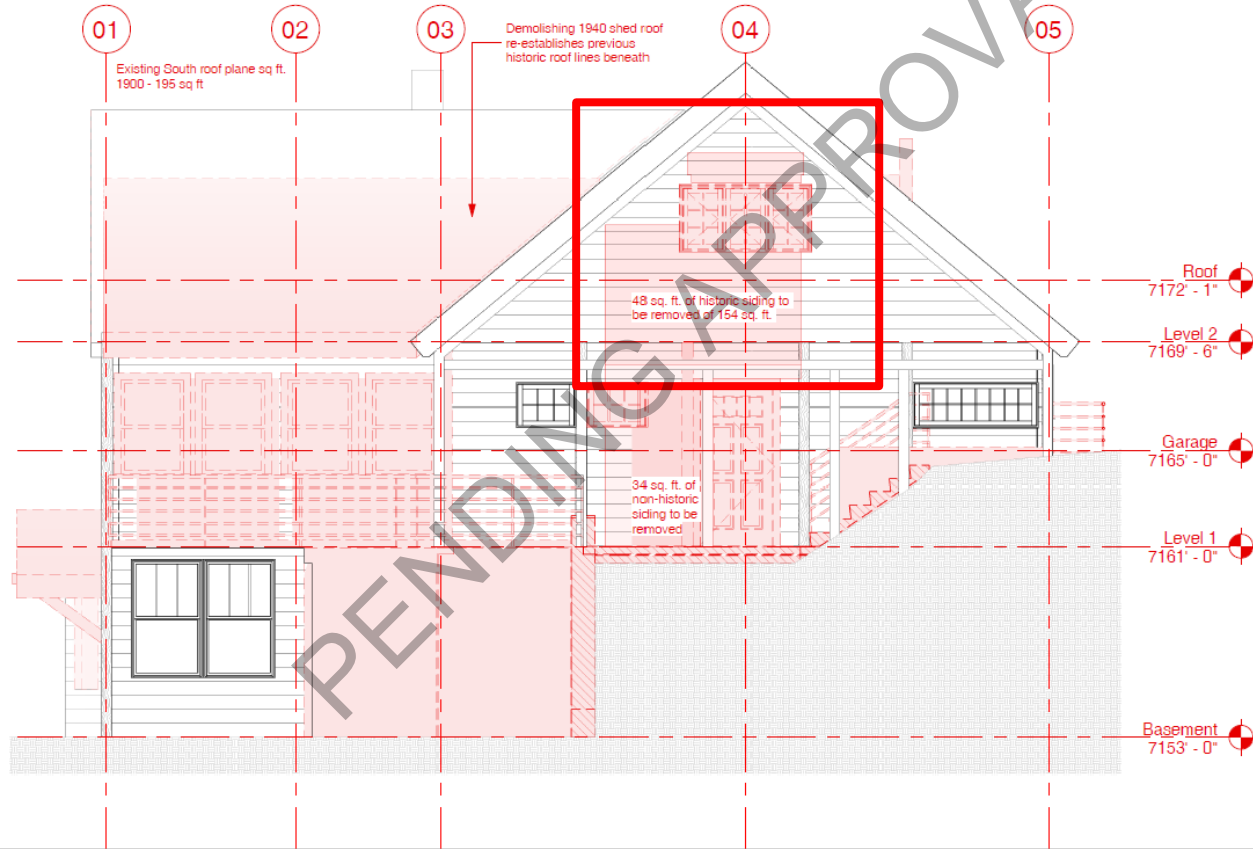


218 Sandridge

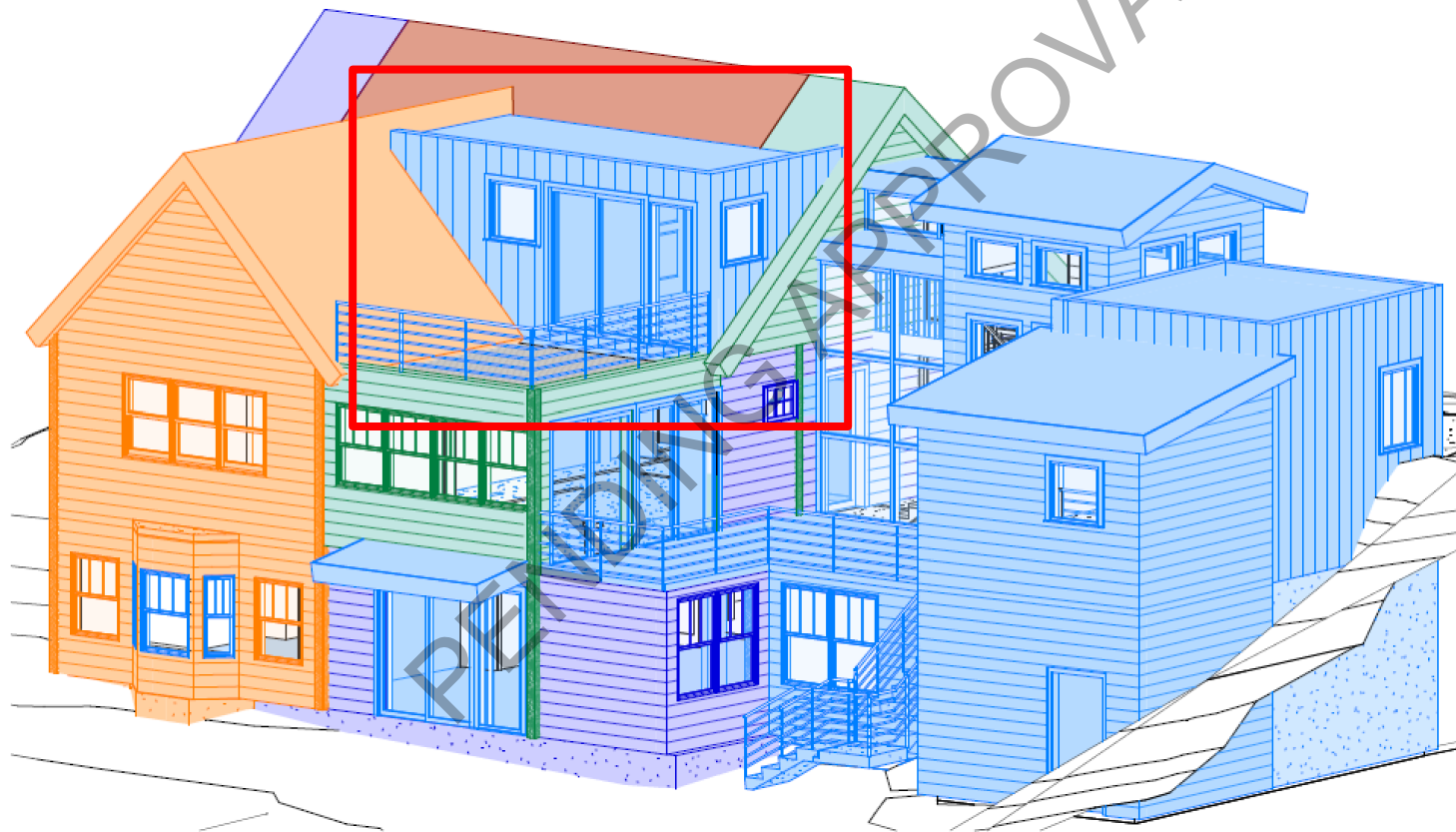


2 Roof Existing Historic Proposed changes
1/4" = 1'-0"

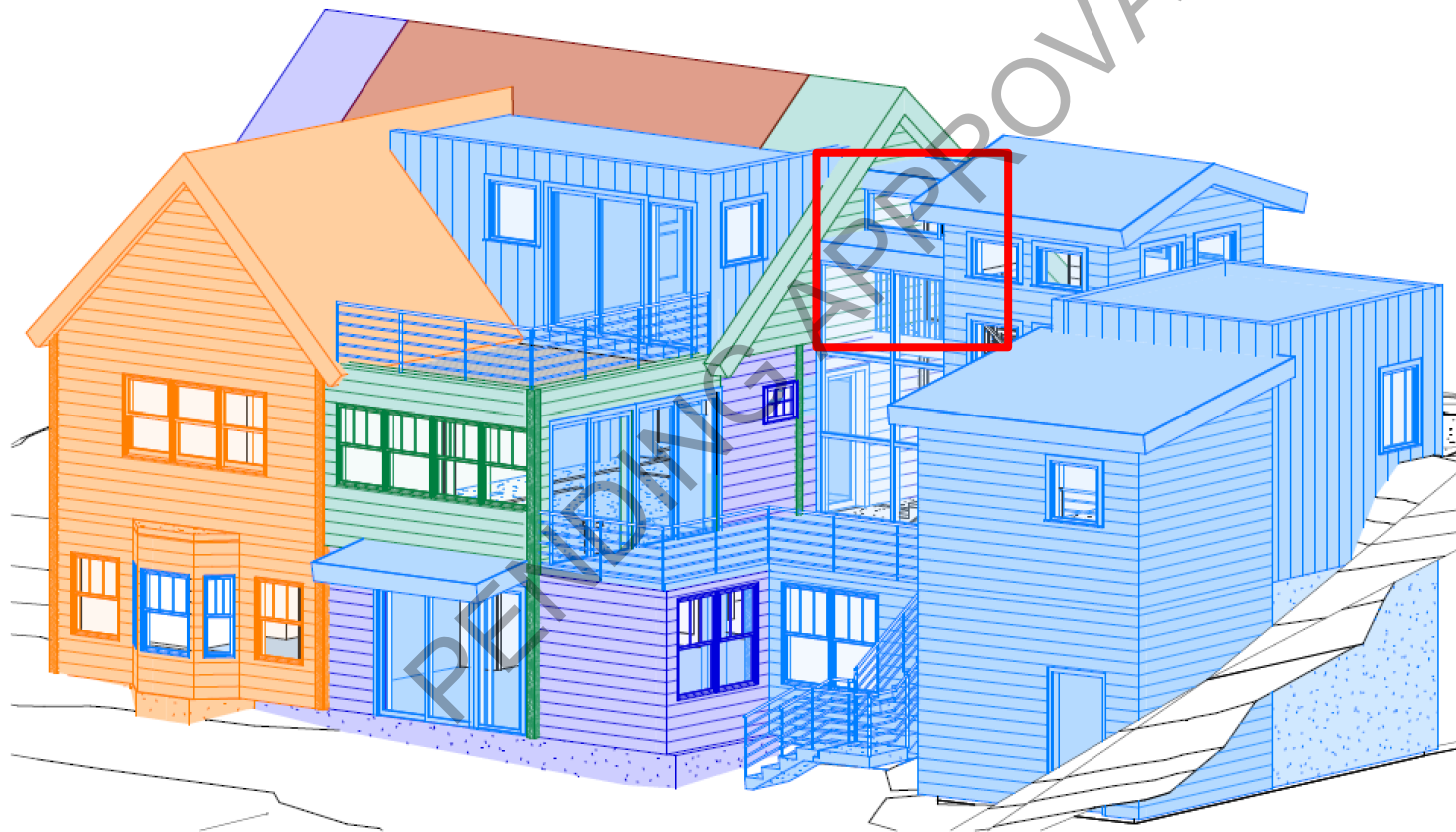
218 Sandridge



218 Sandridge



218 Sandridge



218 Sandridge



218 Sandridge

Recommendation

The Historic Preservation Board (I) Review the Material Deconstruction request to modify approximately 64 square feet of the 1889 roof form and 48 square feet of 1940s siding to accommodate an addition; (II) conduct a public hearing; (III) consider approving the request to remove approximately 48 square feet of 1940s siding, and (IV) consider denying the request to remove approximately 64 square feet of the 1889 roof form based on the Findings of Fact, Conclusions of Law, and Conditions of Approval in the Draft Final Action Letter.

Historic Preservation Board Staff Report



Subject: 2465 Doc Holiday Drive
Application: PL-23-05940
Author: Caitlyn Tubbs, Senior Planner
Date: March 6, 2024
Type of Item: Material Deconstruction

Recommendation

(I) Review the proposed Material Deconstruction to permanently remove a second-story covered rear deck; (II) conduct a public hearing; and (III) consider denying the Material Deconstruction request and requiring the Applicant to reconstruct the second-story rear deck as it existed historically based on the Findings of Fact, Conclusions of Law, and Conditions of Approval outlined in the Draft Final Action Letter (Exhibit A).

Description

Applicant: Randy and Lorelai Clark
Location: 2465 Doc Holiday Drive (2465 Doc Holliday Drive)
Zoning District: Single Family (SF)
Adjacent Land Uses: Residential, Institutional (School)
Reason for Review: The Historic Preservation Board reviews and takes Final Action for Material Deconstruction per LMC [§ 15-1-8](#).

HDDR	Historic District Design Review
HPB	Historic Preservation Board
HSI	Historic Sites Inventory
ILS	Intensive Level Survey
LMC	Land Management Code
SF	Single Family

Terms that are capitalized as proper nouns throughout this staff report are defined in LMC [§ 15-15-1](#).

Summary

The Applicant has removed the second-story covered deck from the rear of the home at 2465 Doc Holiday Drive. The Structure is designated as a Significant Historic Site on Park City's Historic Sites Inventory (HSI). The Applicant proposes to construct a shed roof patio cover in place of the prior second-story deck.

Background The home located at 2465 Doc Holiday Drive (2465 Doc Holliday Drive), also known as the William and Emma Carruth House, was constructed in Coalville, Utah in 1911. The home was originally sited adjacent to the Summit County Courthouse but was moved to its current location in 1978. 2465 Doc Holiday is a two-story foursquare type house. Although foursquare Structures are not considered one of the main three types of homes built during Park City's Mining Era, it was a common type of construction in Utah. The appearance of the home is highly symmetrical with the porch and front door centered on the front façade. The home was noted as being in very good condition when it was relocated from Coalville¹ and is considered to be a good example of the American Foursquare house.

On August 28, 2023, the property owner's representative submitted a building permit application to remove the second-story deck on the rear of the home (PLAN23-1144, Exhibit F). On August 30, 2023, Planning Staff flagged the building permit application and stated the project needed HDDR approval before construction could move forward. At some point the Applicant's engineer determined the structure was unsafe and the deck was removed.

On November 6, 2023, the Planning Department received an HDDR-Pre Application and on December 11, 2023, the Applicant submitted an HDDR standard application to the Planning Department with a Material Deconstruction request for the Board's review.

Analysis

The Historic Preservation Board reviews and takes Final Action on Material Deconstruction requests in accordance with LMC [§ 15-1-8](#) and LMC [§ 15-11-12.5\(A\)\(2\)](#).



Figure 1: View of rear second-story deck. (Nov 2013, HSI Form)

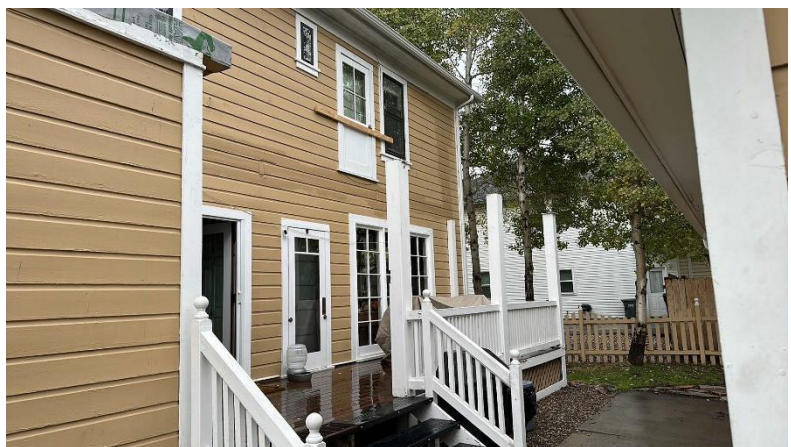


Figure 2: View of rear of structure showing removed deck space (2023)

¹ HSI Form, pg. 3 (Exhibit C)

(I) Existing Conditions and Proposed Material Deconstruction

The existing Structure is generally in good condition; no concerns regarding structural stability or material condition have been indicated in the Applicant's Physical Conditions Report and Historic Preservation Plan (see Exhibit B) and none are readily visible from the property lines. At some point, the Applicant's engineer indicated the second-story rear deck structure was unsafe and the project contractor promptly removed it. The Applicant proposes to install a shed roof covering over the lower deck instead of replacing the second-story deck structure as it historically existed. The Applicant also cites concerns regarding water damage to the lower deck now that the roof structure has been removed.

Material Deconstruction is defined by LMC [§ 15-15-1](#) as “[t]he disassembly of structures for the purpose of salvaging and reusing as many of the construction materials or building components [as possible]. In some cases, deconstruction or dismantling may be used to remove non-historic materials from a historic site or structure or to remove those historic construction materials or building components that are beyond repair.”

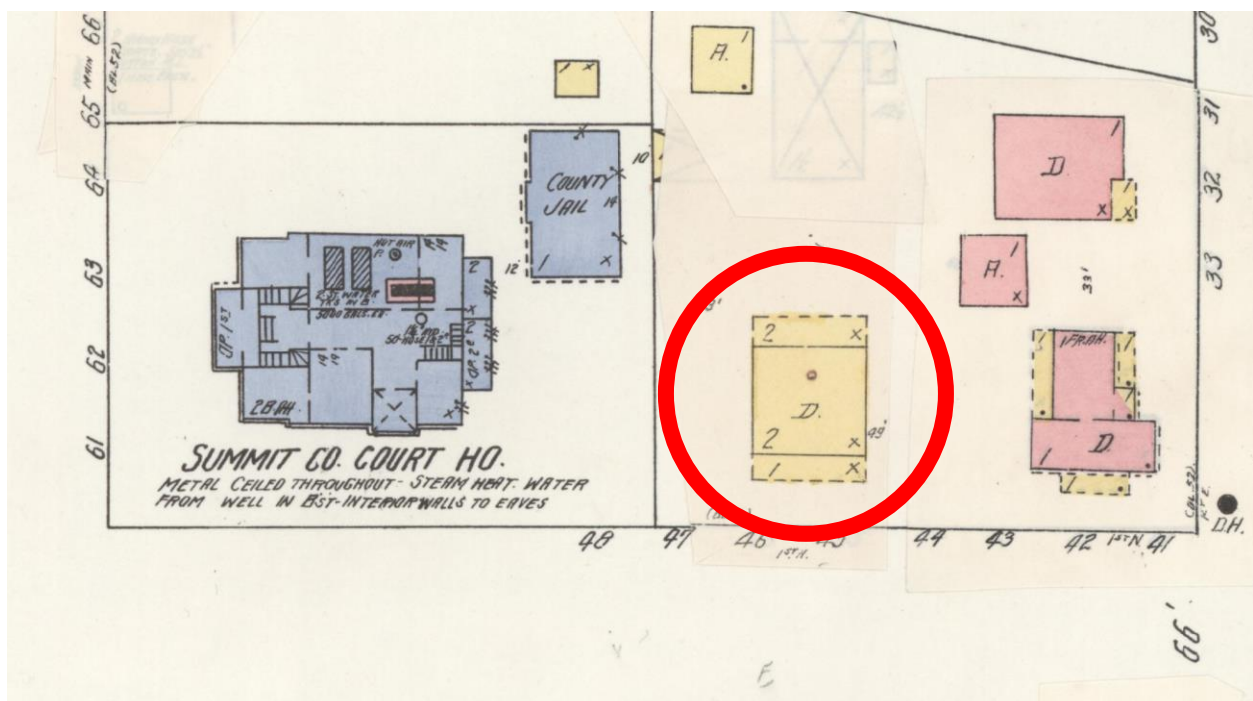


Figure 3: Excerpt of 1929 Sanborn Fire Insurance Map showing home at original Coalville site. (Library of Congress)²

The Historic Sites Inventory (HSI) form (Exhibit C) and 2016 Intensive Level Survey (Exhibit D) state the home was in good condition when it was moved and do not describe any removal or modification of the Structure to facilitate its relocation. Further, the 1929 Sanborn Fire Insurance Map (above) shows the second-story deck which is

² (1929) Sanborn Fire Insurance Map from Coalville, Summit County, Utah. Sanborn Map Company, Apr – Nov 1929. [Map] Retrieved from the Library of Congress, <https://www.loc.gov/item/sanborn08836-002/>

also seen in later photographs (see below).



Figure 4: Carruth family photograph, May 1920. Please see the column support for second-story deck seen in upper right-hand corner.



Figure 5: 1970 photograph of house at original Coalville site; see Summit County Courthouse (left) and second-story rear covered deck (right).



Figure 6: 2013 Photograph of home showing front facade and corner of second story deck.

LMC [§ 15-15-1](#) defines Historic Integrity as:

“The ability of a Site to retain its identity and, therefore, convey its Significance in the history of Park City. Within the concept of Historic Integrity, Park City Municipal Corporation recognizes seven (7) aspects or qualities as defined by the National Park Service, that in various combinations define integrity. They are as follows:

Location. *The place where the Historic Site was constructed or the Historical event took place.*

Design. *The combination of physical elements that create the form, plan, space, Structure, and style of a Site. **Design includes such considerations as the structural system, massing, arrangement of spaces**³, pattern of fenestration, textures and colors of surface materials, type, amount and style of ornamental detailing, and arrangement and type of plantings in the designed landscape.*

³ Emphasis added

Setting. *The physical environment, either natural or manmade, of a Historic Site, including vegetation, topographic features, manmade features (paths, fences, walls) and the relationship between Structures and other features or open space.*

Materials. *The **physical elements that were combined**⁴ or deposited during a particular period of time in a **particular pattern or configuration**⁴ to form a Historic Site.*

Workmanship. *The physical evidence of the crafts of a particular culture or people during any given period of history, including methods of construction, plain or decorative finishes, painting, carving, joinery, tooling, and turning.*

Feeling. *A Site's expression of the aesthetic of Historic sense of a particular period of time. Feeling results from the **presence of physical features**⁵ that, taken together, convey the Property's Historic character.*

Association. *The direct link between an important Historic era or Person and a Historic Site. A Site retains association if it is in the place where the activity occurred and is sufficiently intact to convey that relationship to an observer."*

Staff's research of the HSI Form, 2016 Intensive Level Survey (ILS), and additional archived materials indicate the Carruth House has always had a second-story rear deck. The removal of the second-story deck and its roof has adversely affected the Historic Integrity of the Significant Historic Site and is visible from multiple public rights-of-way. Staff finds the removal of the second-story deck does not comply with the standards of Material Deconstruction resulting in the net loss of historic building form and character and recommends the Board deny the request.

Department Review

The Planning Department City Attorney's Office reviewed this report.

Notice

Staff published notice on the City's website and the Utah Public Notice website, and posted notice to the property on February 21, 2024. Staff mailed courtesy notice to property owners within 300 feet on February 21, 2024. The *Park Record* published courtesy notice on February 21, 2024.⁶

Public Input

Staff did not receive any public input at the time this report was published.

⁴ Emphasis added

⁵ Emphasis added

⁶ LMC [§ 15-1-21](#)

Alternatives

- The Historic Preservation Board may approve the Material Deconstruction of the second-story rear deck, with or without conditions; or
- The Historic Preservation Board may request additional information and continue the discussion to a date certain or uncertain.

Exhibits

Exhibit A: Draft Final Action Letter

Exhibit B: Applicant's Submittal Items

Exhibit C: 2465 Doc Holiday Historic Sites Inventory Form

Exhibit D: 2016 Intensive Level Survey

Exhibit E: Sanborn Maps (Library of Congress)

Exhibit F: Building Permit PLAN23-1144



Planning Department

March 6, 2024

Randy and Lorelei Clark
2465 Doc Holiday Dr.
Park City, UT 84060

NOTICE OF HISTORIC PRESERVATION BOARD ACTION

Description

Address: 2465 Doc Holiday Drive (2465 Doc Holliday Drive)

Zoning District: Single Family (SF)

Application: Material Deconstruction

Project Number: PL-23-05940

Action: The Historic Preservation Board **DENIED** the Material Deconstruction of a second-story rear covered deck on the Significant Historic Structure.

Date of Final Action: March 6, 2024

Project Summary: The Applicant Proposes Material Deconstruction of a Second-Story covered deck at the rear of a Significant Historic Site.

Action Taken

On March 6, 2024, the Historic Preservation Board conducted a public hearing and **DENIED** the Material Deconstruction of the second-story rear deck with the Findings of Fact and Conclusions of Law outlined below:

Findings of Fact

1. The property is located at 2465 Doc Holiday Drive (2465 Doc Holliday Drive) in the Single Family (SF) Zoning District.
2. The Site is also known as the William and Emma Carruth House and is designated a Significant Historic Site on Park City's Historic Sites Inventory.
3. The house was constructed in Coalville, UT in 1911.
4. The Structure was moved to its current location in 1978.
5. On August 28, 2023, the Applicant's representative submitted building permit #PLAN23-1144 to remove the upper deck on the rear of the Significant Historic Structure.



Planning Department

6. On August 30, 2023, the Planning Department flagged the building permit and notified the applicant a Historic District Design Review application approval would be required before the permit could continue.
7. At some point the Applicant's contracted engineer determined the deck was unsafe and the deck was promptly removed.
8. On December 11, 2023, the Applicant submitted a Historic District Design Review (HDDR) application to the Planning Department requesting the permanent Material Deconstruction of the second-story deck structure be allowed.
9. LMC § 15-15-1 defines Historic Integrity as:

"The ability of a Site to retain its identity and, therefore, convey its Significance in the history of Park City. Within the concept of Historic Integrity, Park City Municipal Corporation recognizes seven (7) aspects or qualities as defined by the National Park Service, that in various combinations define integrity. They are as follows:

Location – *The place where the Historic Site was constructed or the Historical event took place;*

Design – *The combination of physical elements that create the form, plan, space, Structure, and style of a Site. Design includes such considerations as the structural system, massing, arrangement of spaces, pattern and fenestration, textures and colors of surface materials, type, amount and style of ornamental detailing, and arrangement and type of plantings in the designed landscape;*

Setting – *The physical environment, either natural or manmade, of a Historic Site, including vegetation, topographic features, manmade features (paths, fences, walls) and the relationship between Structures and other features or open space;*

Materials – *The physical elements that were combined or deposited during a particular period of time in a particular pattern or configuration to form a Historic Site;*

Workmanship – *The physical evidence of the crafts of a particular culture or people during any given period of history, including methods of construction, plain or decorative finishes, painting,*



Planning Department

carving, joinery, tooling, and turning;

Feeling – A Site’s expression of the aesthetic or Historic sense of a particular period of time. Feeling results from the presence of physical features that, taken together, convey the Property’s Historic character;

Association – The direct link between an important Historic era or Person and a Historic Site. A Site retains association if it is in the place where the activity occurred and is sufficiently intact to convey that relationship to an observer.”

10. LMC § 15-15-1 defines Material Deconstruction as: “[t]he disassembly of structures for the purpose of salvaging and reusing as many of the construction materials or building components. In some cases, deconstruction or dismantling may be used to remove non-historic materials from a historic site or structure or to remove those historic construction materials or building components that are beyond repair.”
11. The second-story deck was removed before the materials were demonstrated to be irreparable or unsafe.
12. Following a public hearing held on March 6, 2024, the Historic Preservation Board denied the Material Deconstruction of the second-story rear covered deck at 2465 Doc Holiday Drive (2465 Doc Holliday Drive).
13. LMC § 15-11-12.5 requires Historic Preservation Board review and approval for all Material Deconstruction of Historic materials prior to the issuance of a Building Permit for any Material Deconstruction work.
14. The Significant Historic Structure has had a second story rear deck since its construction in c. 1911.
15. The second story rear deck was removed prior to the issuance of a Building Permit and prior to the Historic Preservation Board reviewing and approving the Material Deconstruction.

Conclusions of Law

1. The loss of the second-story rear deck results in an adverse impact to the Historic Integrity of the Significant Historic Structure.

Order



Planning Department

1. The Material Deconstruction request is denied and the Applicant is required to reconstruct the second-story rear deck.
2. The removal of the second story deck has resulted in a modification to the Design of the Structure as well as a net loss of materials and workmanship items.

If you have questions or concerns regarding this Final Action Letter, please contact the Planning Department at (435)-615-5060 or email planning@parkcity.org.

Sincerely,

Randy Scott, Chair
Park City Historic Preservation Board

CC: Caitlyn Tubbs, AICP
Senior Historic Preservation Planner

11-3-23

RE: CLARK - RE-BUILD OF PATIO OVERHANG
2465 DOC HOLLIDAY DR. 84060

TO WHOM IT CONCERNS,

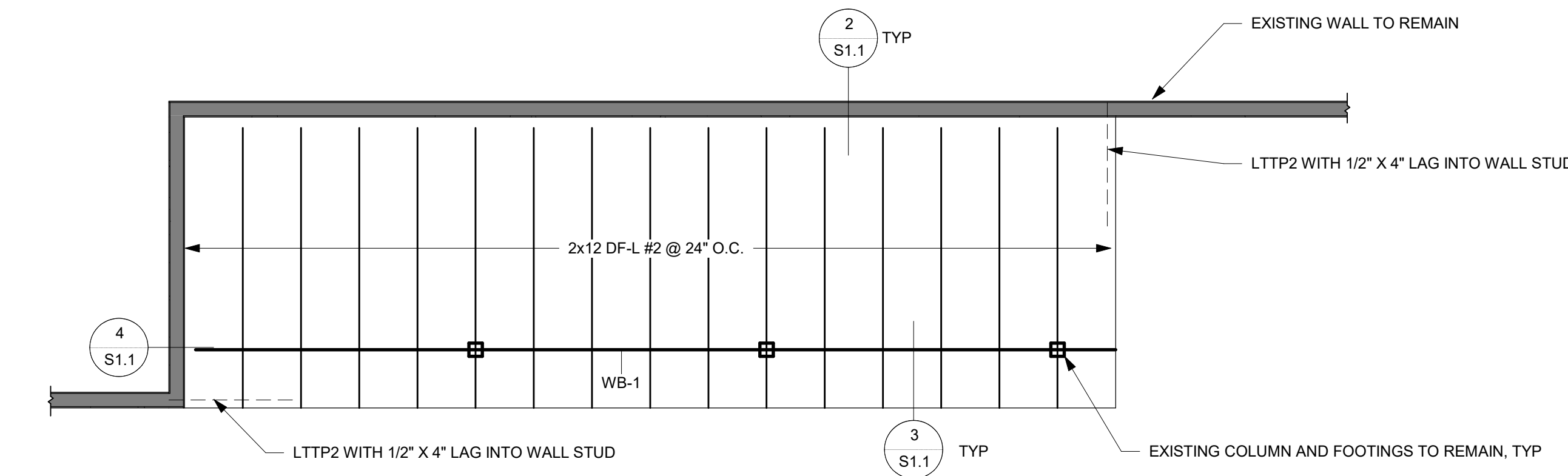
THIS LETTER INTENDS TO DESCRIBE WORK TO BE COMPLETED AT
THE ABOVE ADDRESS.

THE "NON-ORIGINAL" DECK ROTTED OUT AND DEEMED UNSAFE BY
THE STRUCTURAL TEAM AT AMBITION LIVING AND THE UPPER
STRUCTURE WAS DEMOLISHED.

THE PROPOSED WORK IS TO REPLACE THE LOWER LEVEL
OVERHANG OF THE STRUCTURE PER DESIGNS ATTACHED IN THE
EMAIL.

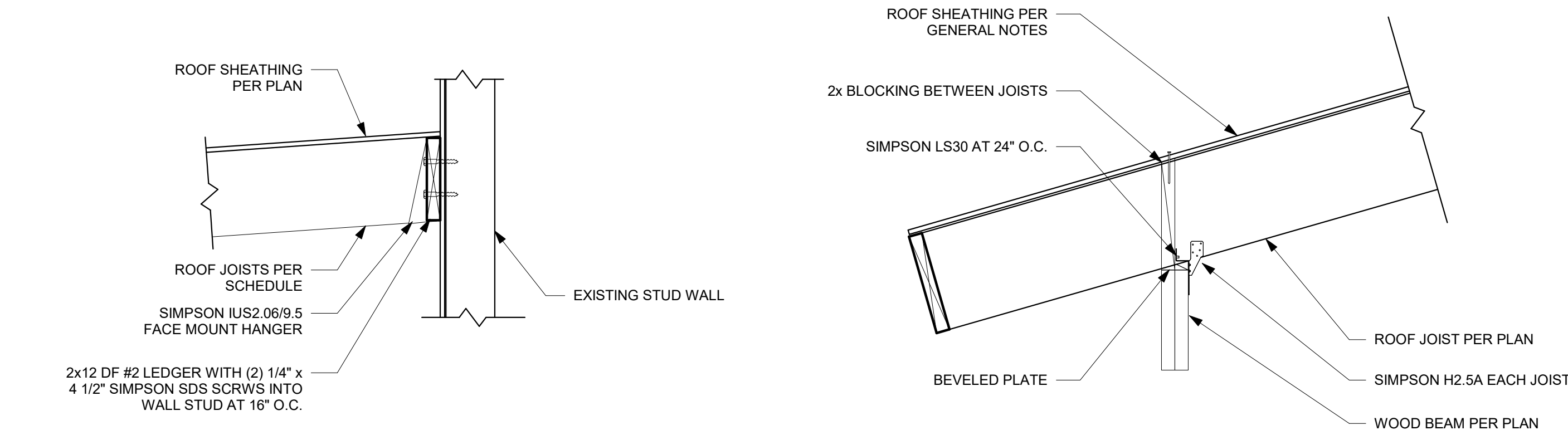
THANKS IN ADVANCE FOR ALLOWING THIS PROJECT.

JACK R. AND LORELEI CLARK



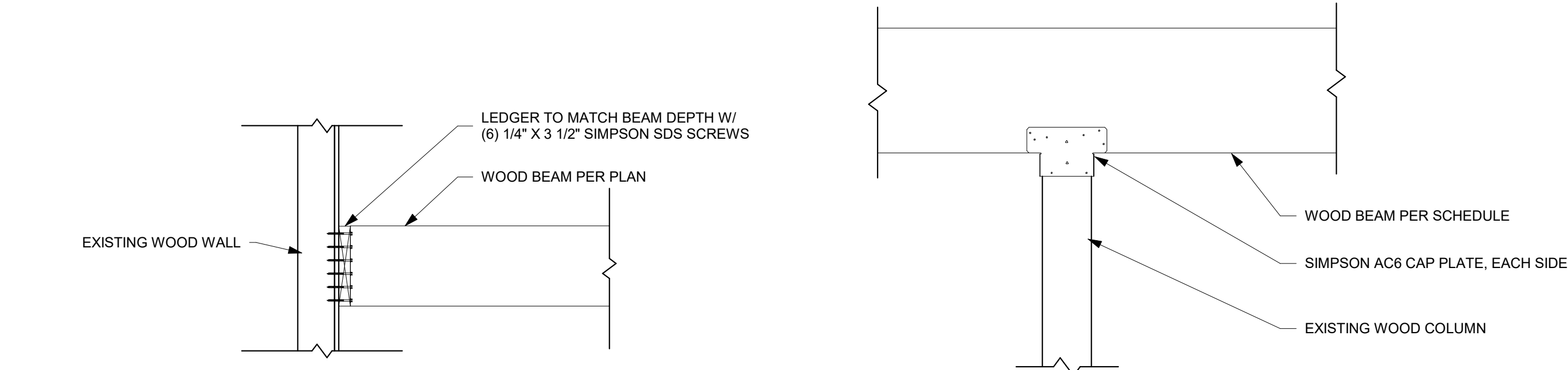
1 ROOF FRAMING PLAN
1/4" = 1'-0"

WOOD BEAM SCHEDULE					
MARK	SIZE	WOOD SPECIES	END SUPPORT(S)		REMARKS
			END 1	END 2	
WB-1	(2) 2x12	DF-L #2	EXISTING WALL	EXISTING COLUMN	



2 ROOF JOISTS TO STUD WALL
N.T.S.

3 ROOF JOISTS TO DROPPED WOOD BEAM
N.T.S.



4 WOOD BEAM TO WALL LEDGER
N.T.S.

5 GLULAM BEAM ON WOOD COLUMN
N.T.S.

STRUCTURAL DESIGN CRITERIA

GOVERNING CODE:	2021 IBC
RISK CATEGORY:	II
DEAD LOADS	
ROOF	15 PSF
LIVE ROOF LOADS	20 PSF
SNOW LOADS	
EXPOSURE FACTOR, Ce:	0.9
SNOW IMPORTANCE FACTOR, Is:	1.0
GROUND SNOW LOAD, Pg:	89 PSF
FLAT ROOF SNOW LOAD, pf:	61.7 PSF
ROOF SNOW LOAD (UNHEATED):	67.3 PSF

GENERAL NOTES

- DRAWINGS ARE PRELIMINARY AND NOT FOR CONSTRUCTION UNLESS STRUCTURAL ENGINEER'S WET STAMP IS AFFIXED TO DRAWINGS.
- NOTES AND TYPICAL DETAILS SHALL APPLY UNLESS OTHERWISE SHOWN OR NOTED ON PLANS.
- DETAILS OF CONSTRUCTION NOT FULLY SHOWN SHALL BE OF THE SAME NATURE AS SHOWN FOR SIMILAR CONDITION.
- CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE CODES AND REGULATIONS.
- ANY DISCREPANCIES IN THE DRAWINGS, NOTES AND SPECIFICATIONS, SHALL BE REPORTED TO ENGINEER/ARCHITECT FOR CLARIFICATION. THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL DIMENSIONS, ELEVATIONS, AND TOP OF CONC. PRIOR TO PROCEEDING WITH ANY WORK OR FABRICATION.
- CONTRACTOR IS RESPONSIBLE FOR ALL BRACING AND SHORING DURING CONSTRUCTION.
- CONTRACTOR SHALL SUBMIT A REQUEST TO ENGINEER & ARCHITECT FOR ANY SUBSTITUTION OF MATERIALS OR PRODUCTS SPECIFIED ON THE DRAWINGS.
- THESE DRAWINGS HAVE BEEN PREPARED SOLELY FOR THE USE IN THE CONSTRUCTION OF A PROPOSED BUILDING TO WHICH THESE NOTES ARE ATTACHED. THE DRAWINGS SHALL NOT BE USED IN WHOLE OR IN PART, FOR FABRICATION OR CONSTRUCTION AT ANY OTHER LOCATION WITHOUT THE WRITTEN CONSENT OF THE ENGINEER.
- IF CONTRACTOR'S WORK IS NOT CONSTRUCTED ACCORDING TO APPROVED CONSTRUCTION DOCUMENTS (INCLUDING STAMPED WRITTEN COMMUNICATIONS), CONTRACTOR SHALL EITHER:
 - REMOVE THE NON-CONFORMING WORK AND RECONSTRUCT THE WORK ACCORDING TO DRAWINGS, AT CONTRACTOR'S OWN EXPENSE.
 - PAY FOR AND PROVIDE AN EVALUATION AND LETTER FROM THE ENGINEER STATING THAT THE NON-CONFORMING WORK MEETS APPLICABLE BUILDING CODES.
 - PAY FOR AND PROVIDE AN EVALUATION AND LETTER FROM THE ENGINEER STATING THAT THE NON-CONFORMING WORK DOES NOT MEET APPLICABLE BUILDING CODES AND DETAILING THE UPGRADES THAT ARE REQUIRED TO BRING THE NON-COMPLIANT WORK INTO COMPLIANCE.
- VERBAL COMMUNICATIONS SHALL NOT BE CONSIDERED PART OF THE APPROVED CONSTRUCTION DOCUMENTS.
- THE OWNER SHALL NOTIFY ENGINEER IF ANY UNIQUE SOIL CONDITIONS EXIST ON SITE WHICH MAY BE DETECTED DURING CONSTRUCTION. THESE INCLUDE BUT SHALL NOT BE LIMITED TO:
 - SATURATED SOIL AT FOOTING SUBGRADE
 - GROUNDWATER
 - UNDOCUMENTED FILL
 - CLAY SOIL WITH SWELL OR COLLAPSE POTENTIAL
 - FILL BEING PLACED BELOW FOOTINGS
 - EPIC ENGINEERING CANNOT BE HELD RESPONSIBLE FOR SOIL CONDITIONS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO WORK PROCEEDING. IT IS THE RESPONSIBILITY OF THE OWNER TO HIRE A GEO-TECHNICAL ENGINEER IF NEEDED. THE CONTRACTOR SHALL VISUALLY INSPECT THE SITE PRIOR TO WORK PROCEEDING AND SHALL NOTIFY ENGINEER IF ANY UNIQUE SOIL CONDITIONS EXIST THAT COULD AFFECT THE PERFORMANCE OF THE FOUNDATION SYSTEM PRIOR TO ANY WORK PROCEEDING.

SUBSTITUTIONS

- SUBSTITUTION FOR ANY SPECIFIED STRUCTURAL COMPONENT MUST BE REQUESTED IN WRITING BY THE CONTRACTOR. THE ENGINEER WILL REVIEW THE REQUESTED ALTERNATIVE & RESPOND IN WRITING. ADDITIONAL SUPERVISION OR SPECIAL INSPECTION MAY BE REQUIRED FOR THE REQUESTED SUBSTITUTION.

JOB SAFETY

THE ENGINEER HAS NOT BEEN RETAINED NOR COMPENSATED TO PROVIDE DESIGN AND/OR CONSTRUCTION REVIEW SERVICES RELATED TO THE CONTRACTOR'S SAFETY PRECAUTIONS OR TO MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES FOR THE CONTRACTOR TO PERFORM HIS WORK. THE UNDERTAKING OF PERIODIC SITE VISITS BY THE ENGINEER SHALL NOT BE CONSTRUED AS SUPERVISION OF ACTUAL CONSTRUCTION NOR MAKE HIM RESPONSIBLE FOR PROVIDING A SAFE PLACE FOR THE PERFORMANCE OF WORK BY THE CONTRACTOR, SUBCONTRACTORS, SUPPLIERS OR THEIR EMPLOYEES, OR FOR ACCESS, VISIT, USE WORK, OR OCCUPANCY BY ANY PERSON.

MISCELLANEOUS

- PROPRIETARY PRODUCTS SHALL BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS.

FRAMING LUMBER

- SAWN STRUCTURAL LUMBER
 - SAWN LUMBER SHALL BE DOUGLAS FIR-LARCH (DF-L) NO. 2 OR BETTER FOR ALL 2 INCH AND 4 INCH NOMINAL LUMBER AND DF-L NO. 2 OR BETTER FOR 6 INCH NOMINAL AND LARGER STRUCTURAL MEMBERS (U.N.O.).
 - WOOD BEARING ON OR INSTALLED WITHIN 1" OF MASONRY OR CONCRETE SHALL BE PRESSURE-TREATED WITH AN APPROVED PRESERVATIVE. PROVIDE MILD STEEL PLATE WASHERS AT ALL BOLT HEADS AND NUTS BEARING ON WOOD.
 - ALL FRAMING DETAILS SHALL BE IN ACCORDANCE WITH CHAPTER 23 OF THE 2021 IBC, UNLESS OTHERWISE NOTED ON THE DRAWINGS. ALL FRAMING NAILING SHALL CONFORM TO TABLE 2304.10.1 OF THE IBC UNLESS OTHERWISE SHOWN. PROVIDE STEEL STRAPS AT PIPES IN STUD WALLS AS REQUIRED BY IBC CHAPTER 23. PLUMBING AND ELECTRICAL RUNS IN STUD WALLS SHALL CONFORM TO CHAPTER 23. BOLTS SHALL BE STANDARD MACHINE BOLTS (A307). ALL NAILS SHALL BE COMMON WIRE OR GALVANIZED BOX NAILS. IF PNEUMATIC NAILERS ARE TO BE USED, CONTRACTOR MUST SUBMIT A SCHEDULE OF NAILS DESIRED AS SUBSTITUTION TO THE ARCHITECT OR ENGINEER FOR REVIEW. A CHANGE IN THE NUMBER OF NAILS OR A CLOSER NAIL SPACING MAY BE REQUIRED.
 - METAL HANGERS AND CONNECTORS SHALL BE FULLY NAILED OR BOLTED UNLESS OTHERWISE NOTED ON THE DRAWINGS. METAL HANGERS OR CONNECTORS SHOWN ON THE DRAWINGS SHALL BE MANUFACTURED BY SIMPSON COMPANY. METAL HANGERS OR CONNECTORS BY OTHER MANUFACTURERS MAY BE CONSIDERED WHERE LOAD CAPACITY AND DIMENSIONS ARE EQUAL OR BETTER. ALL SUBSTITUTIONS MUST BE SUBMITTED TO THE ENGINEER FOR REVIEW.
 - PROVIDE SOLID BLOCKING BELOW ALL BEARING WALLS. PROVIDE SOLID VERTICAL BLOCKING IN FLOOR SPACE TO MATCH STUD BUNDLE OR SOLID COLUMN ABOVE AND BELOW VERTICAL BLOCKING AT WOOD JOISTS SHALL BE 1/8" LONGER THAN JOIST IS DEEP. MINIMUM POST TO BE TWO 2x STUDS BEARING AT EACH END OF HEADER U.N.O. FOR BEAMS FRAMING PERPENDICULAR TO BEARING WALLS PROVIDE FULL WIDTH BEAM POCKET WITH FILLER AS REQUIRED AND KING STUD BOTH SIDES. STITCH STUD BUNDLES TOGETHER WITH 16d COMMON @ 18" O.C. MAXIMUM (U.N.O.) WHERE FLOOR BEAMS ARE FRAMED FLUSH WITHIN FLOOR AND TOP FLANGE HANGERS ARE SPECIFIED, BEAMS ARE TO BE BLOCKED UP TO JOIST HEIGHT WITH FULL WIDTH DF-L SPACER AS REQUIRED.
 - FIRE BLOCK STUD SPACED AT SOFFITS, FLOOR AND CEILING JOIST LINES, AT 10" VERTICALLY AND HORIZONTALLY, AND AT OPENINGS BETWEEN ATTIC SPACES FOR FACTORY BUILT CHIMNEYS, AND AT OTHER LOCATIONS NOT SPECIFICALLY MENTIONED WHICH COULD AFFORD PASSAGE FOR FLAMES.
 - BELOW ALL HEARTHES AND FIREPLACES, FRAME FLOOR WITH DOUBLE JOISTS, TYP. U.N.O.
- STRUCTURAL GLUED-LAMINATED TIMBER
 - ALL GLUED-LAMINATED TIMBER SHALL BE COMBINATION 24F-V4 FOR SIMPLY SUPPORTED BEAMS, COMBINATION 24F-V8 FOR BEAMS CONTINUOUS OVER SUPPORTS, AND COMBINATION L2 FOR COLUMNS (U.N.O.) FABRICATION TO BE IN ACCORDANCE WITH AITC 117. PROVIDE WET-USE ADHESIVES. MAXIMUM MOISTURE CONTENT SHALL BE 15% PROVIDE MILD STEEL PLATE WASHERS AT ALL BOLT HEADS AND NUTS BEARING ON WOOD. WOOD BEARING ON OR WITHIN 1" OF MASONRY OR CONCRETE SHALL BE TREATED WITH AN APPROVED PRESERVATIVE. SEAL END GRAIN OF ALL EXTERIOR EXPOSED BEAMS, INCLUDING NON-LOAD BEARING ARCHITECTURAL BEAMS.
- MANUFACTURED JOIST
 - MANUFACTURED JOISTS SIZE AND SPACING HAVE BEEN DETERMINED PER THE MANUFACTURERS STANDARDS. SUBSTITUTION OF PRODUCTS BY OTHER MANUFACTURER REQUIRES APPROVAL OF ENGINEER OF RECORD. JOIST SHALL BE ERECTED, INSTALLED, AND BRACED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- LAMINATED VENEER LUMBER (LVL)
 - PRODUCTS SPECIFIED HEREIN AS LVL AND PSL SHALL CONFORM TO THE PERFORMANCE CRITERIA OF LVL AND PSL PRODUCTS AS MANUFACTURED BY TRUS JOIST AS MICRO-LAM AND PARALLAM. SUBSTITUTIONS ARE ACCEPTABLE PROVIDED THEY HAVE THE SAME STRUCTURAL VALUES. ANY SUBSTITUTIONS MUST BE SUBMITTED TO THE ENGINEER FOR REVIEW.
- WOOD SHEATHING
 - ALL WOOD SHEATHING SHALL BE APA RATED EXPOSURE 1 PLYWOOD OR OSB WITH THICKNESS, VENEER GRADES AND SPAN RATING AS NOTED HEREIN OR ON DRAWINGS
 - ROOF SHEATHING: 5/8" WITH MINIMUM (40/20) SPAN RATING.
 - FLOOR SHEATHING: 3/4" OSB GLUED AND NAILED
 - EXTERIOR WALL AND SHEAR WALL SHEATHING: 7/16" WITH MINIMUM (24") SPAN RATING.
 - ROOF AND FLOOR SHEATHING TO BE LAID UP WITH FACE GRAIN PERPENDICULAR TO SUPPORTS AND END JOINTS STAGGERED 4'-0" O.C. INSTALL ROOF SHEATHING WITH 1/8" SPACE AT ALL PANEL EDGES. NAIL ROOF SHEATHING WITH 10d @ 6" O.C. AT SUPPORTED PANEL AND 12" O.C. AT INTERMEDIATE FRAMING. FLOOR SHEATHING WITH 10d @ 6" O.C. AT SUPPORTED PANEL EDGES AND 10" O.C. FIELD. U.N.O. HOLES ARE NOT PERMITTED IN DIAPHRAGMS UNLESS REVIEWED BY ENGINEER. NAIL EXTERIOR WALL SHEATHING WITH 8d @ 6" O.C. EDGES AND 12" O.C. FIELD U.N.O. IN SHEAR WALL SCHEDULE. OFFSET VERTICAL JOINTS 4'-0" O.C. INSTALL WITH 1/8" GAP AT BUTT ENDS.

COMMON ACRONYMS AND ABBREVIATIONS

TYP	TYPICAL
SIM	SIMILAR
FTAO	FORCE TRANSFER AROUND OPENINGS
GPF	GARAGE PORTAL FRAMING
GYP	GYPSUM OR GYPSUM BOARD
THRU	THROUGH
LLV	LONG LEG VERTICAL
LLH	LONG LEG HORIZONTAL
CJP	COMPLETE JOINT PENETRATION
SS	STAINLESS STEEL
GR	GRADE
GA	GAGE OR GAUGE
PL	PLATE
TS	TUBE STEEL (ANTIQUATED, SEE HSS)
HSS	HOLLOW STRUCTURAL STEEL
CFS	COLD-FORMED STEEL/STUD
CMD	CORRUGATED METAL DECKING
DBL	DOUBLE
AHJ	AUTHORITY HAVING JURISDICTION
ARCH	ARCHITECT OR ARCHITECTURAL PLANS
EOR	ENGINEER OF RECORD
OOP	OUT-OF-PLANE
C&C	COMPONENTS AND CLADDING

STRUCTURAL PLAN LEGEND

—	JOIST OR TRUSS
—	BEAM OR GIRDER
-----	PURLIN
○ □	STEEL COLUMN
●	MASONRY COLUMN
■	CONCRETE COLUMN
-----	CONCRETE FOOTING
▬	RECESSED FOUNDATION WALL
▬	NON-BEARING STRUCTURAL WALL
▬	BEARING WALL
▬	BEAM IN WALL
~~~~~	STEEL STRAP
	STEEL DECK
—X—	OWS JOIST CROSS BRIDGING
—X—	STEEL JOIST CROSS BRIDGING
1	STRUCTURAL CONNECTOR, SEE CONNECTOR SCHEDULE
10	HOLDOWN, SEE HOLDOWN SCHEDULE. "10" INDICATES LOCATION OF HOLDOWN IDENTIFIED ON LEVEL ABOVE.
45 psf 10'-0"	SNOW DRIFT AREA AND LOAD, ON TOP OF BASE SNOW LOAD. DRIFT LOAD IS 0 PSF AT DOTTED LINE AND INCREASES LINEARLY TO MAXIMUM LOAD.
▬	SHEATHING
■	PERMANENT EQUIPMENT

#### STRUCTURAL TAGS LEGEND

TAG	DESCRIPTION
AB-1	ANCHOR BOLT, SEE ANCHOR BOLT SCHEDULE
CB-1	CONCRETE BEAM, SEE CONCRETE BEAM SCHEDULE
CC-1	CONCRETE COLUMN, SEE CONCRETE COLUMN SCHEDULE
CF-1	CONCRETE FOOTING, SEE CONCRETE FOOTING SCHEDULE
CS-1	CONCRETE SLAB, SEE CONCRETE SLAB SCHEDULE
CW-1	CONCRETE WALL, SEE CONCRETE WALL SCHEDULE
DB-1	COLD-FORMED STEEL BEAM, SEE COLD-FORMED STEEL BEAM SCHEDULE
DL-1	COLD-FORMED STEEL JOIST, SEE COLD-FORMED STEEL JOIST SCHEDULE
DW-1	COLD-FORMED STEEL WALL, SEE COLD-FORMED STEEL WALL SCHEDULE
MC-1	MASONRY COLUMN, SEE MASONRY COLUMN SCHEDULE
ML-1	MASONRY LINTEL, SEE MASONRY LINTEL SCHEDULE
MW-1	MASONRY WALL, SEE MASONRY WALL SCHEDULE
SB-1	STEEL BEAM, SEE STEEL BEAM SCHEDULE
SC-1	STEEL COLUMN, SEE STEEL COLUMN SCHEDULE
SD-1	STEEL DECK, SEE STEEL DECK SCHEDULE
SJ-1	STEEL JOIST, SEE STEEL JOIST SCHEDULE
WB-1	WOOD BEAM, SEE WOOD BEAM SCHEDULE
WC-1	WOOD COLUMN, SEE WOOD COLUMN SCHEDULE
WJ-1	WOOD JOIST, SEE WOOD JOIST SCHEDULE

#### CONSTRUCTION NOTES

#### DATE

OCTOBER 19, 2023



#### REVISIONS

MARK	DATE	DESCRIPTION
------	------	-------------

DRAWN: SP  
DESIGNER: SP  
REVIEWED: JD

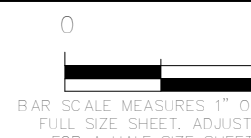
PROJECT #

23SM5405



#### SCALES

As indicated



#### PROJECT NAME:

RANDY CLARK PORCH  
ROOF

#### PROJECT LOCATION:

2465 DOC HOLIDAY DR  
PARK CITY, UT 84060

#### SHEET TITLE:

STRUCTURAL PLANS

#### PLAN SET:

PERMIT

#### SHEET

S1.1



**PHYSICAL CONDITIONS REPORT  
&  
HISTORIC PRESERVATION PLAN**

**INFORMATION GUIDE  
AND APPLICATIONS**

# PHYSICAL CONDITIONS REPORT

**Detailed Description of Existing Conditions.** Use this page to describe all existing conditions. Number items consecutively to describe all conditions, including building exterior, additions, site work, landscaping, and new construction. Provide supplemental pages of descriptions as necessary for those items not specifically outlined below.

## 1. Site Design

This section should address landscape features such as stone retaining walls, hillside steps, and fencing. Existing landscaping and site grading as well as parking should also be documented. Use as many boxes as necessary to describe the physical features of the site. Supplemental pages should be used to describe additional elements and features.

Element/Feature: REAR PATIO COVER

This involves: ☒ An original part of the building  
☐ A later addition

Estimated date of construction: 1/31/23

Describe existing feature:

THE ORIGINAL PATIO WAS ROTTEEN AND DEEMED DUNSAFE, IT WAS TORN DOWN BY A CONTRACTOR THAT APPLIED FOR A DEMO PERMIT.

THE PATIO IS NOW EXPOSED TO THE ELEMENTS

Describe any deficiencies: Existing Condition: ☐ Excellent ☒ Good ☐ Fair ☐ Poor

THE PATIO IS MISSING ITS COVER AND CONTINUES TO DECAY. PLEASE PERMIT THE REBUILD OF THE LOWER PATIO COVER

Photo Numbers: _____ Illustration Numbers: _____

## 2. Structure

Use this section to describe the general structural system of the building including floor and ceiling systems as well as the roof structure. Supplemental pages should be used to describe additional elements and features.

Element/Feature: _____

This involves: ☐ An original part of the building  
☐ A later addition

Estimated date of construction: _____

Describe existing feature:

Describe any deficiencies: Existing Condition: ☐ Excellent ☐ Good ☐ Fair ☐ Poor

Photo Numbers: _____ Illustration Numbers: _____

### 3. Roof

Use this section to describe the roofing system, flashing, drainage such as downspouts and gutters, skylights, chimneys, and other rooftop features. Supplemental pages should be used to describe additional elements and features.

Element/Feature: _____

This involves: ☐ An original part of the building  
☐ A later addition

Estimated date of construction: _____

Describe existing feature:

Describe any deficiencies: Existing Condition: ☐ Excellent ☐ Good ☐ Fair ☐ Poor

Photo Numbers: _____ Illustration Numbers: _____

#### 4. Chimney

Use this section to describe any existing chimneys. One box should be devoted to each existing chimney. Supplemental pages should be used to describe additional elements and features.

Element/Feature: _____

This involves: ☐ An original part of the building  
☐ A later addition

Estimated date of construction: _____

Describe existing feature:

Describe any deficiencies: Existing Condition: ☐ Excellent ☐ Good ☐ Fair ☐ Poor

Photo Numbers: _____ Illustration Numbers: _____

## 5. Exterior Walls

Use this section to describe exterior wall construction, finishes, and masonry. Be sure to also document other exterior elements such as porches and porticoes separately. Must include descriptions of decorative elements such as corner boards, fascia board, and trim. Supplemental pages should be used to describe additional elements and features.

Element/Feature: _____

This involves: ☐ An original part of the building  
☐ A later addition

Estimated date of construction: _____

Describe existing feature:

Describe any deficiencies: Existing Condition: ☐ Excellent ☐ Good ☐ Fair ☐ Poor

Photo Numbers: _____ Illustration Numbers: _____

Element/Feature: _____

This involves: ☐ An original part of the building

☐ A later addition

Estimated date of construction: _____

Describe existing feature:

Describe any deficiencies:

Existing Condition: ☐ Excellent ☐ Good ☐ Fair ☐ Poor

Photo Numbers: _____ Illustration Numbers: _____

Element/Feature: _____

This involves: ☐ An original part of the building  
☐ A later addition

Estimated date of construction: _____

Describe existing feature:

Describe any deficiencies:

Existing Condition: ☐ Excellent ☐ Good ☐ Fair ☐ Poor

Photo Numbers: _____ Illustration Numbers: _____

## 6. Foundation

Use this section to describe the foundation including its system, materials, perimeter foundation drainage, and other foundation-related features. Supplemental pages should be used to describe additional elements and features.

Element/Feature: _____

This involves: ☐ An original part of the building

☐ A later addition

Estimated date of construction: _____

Describe existing feature:

Describe any deficiencies:

Existing Condition: ☐ Excellent ☐ Good ☐ Fair ☐ Poor

Photo Numbers: _____ Illustration Numbers: _____

## 7. Porches

Use this section to describe the porches. Address decorative features including porch posts, brackets, railing, and floor and ceiling materials. Supplemental pages should be used to describe additional elements and features.

Element/Feature: _____

This involves: ☐ An original part of the building  
☐ A later addition

Estimated date of construction: _____

Describe existing feature:

Describe any deficiencies:

Existing Condition: ☐ Excellent ☐ Good ☐ Fair ☐ Poor

Photo Numbers: _____ Illustration Numbers: _____

## 8. Mechanical System, Utility Systems, Service Equipment & Electrical

Use this section to describe items such as the existing HVAC system, ventilation, plumbing, electrical, and fire suppression systems. Supplemental pages should be used to describe additional elements and features.

Element/Feature: _____

This involves: ☐ An original part of the building

☐ A later addition

Estimated date of construction: _____

Describe existing feature:

Describe any deficiencies:

Existing Condition: ☐ Excellent ☐ Good ☐ Fair ☐ Poor

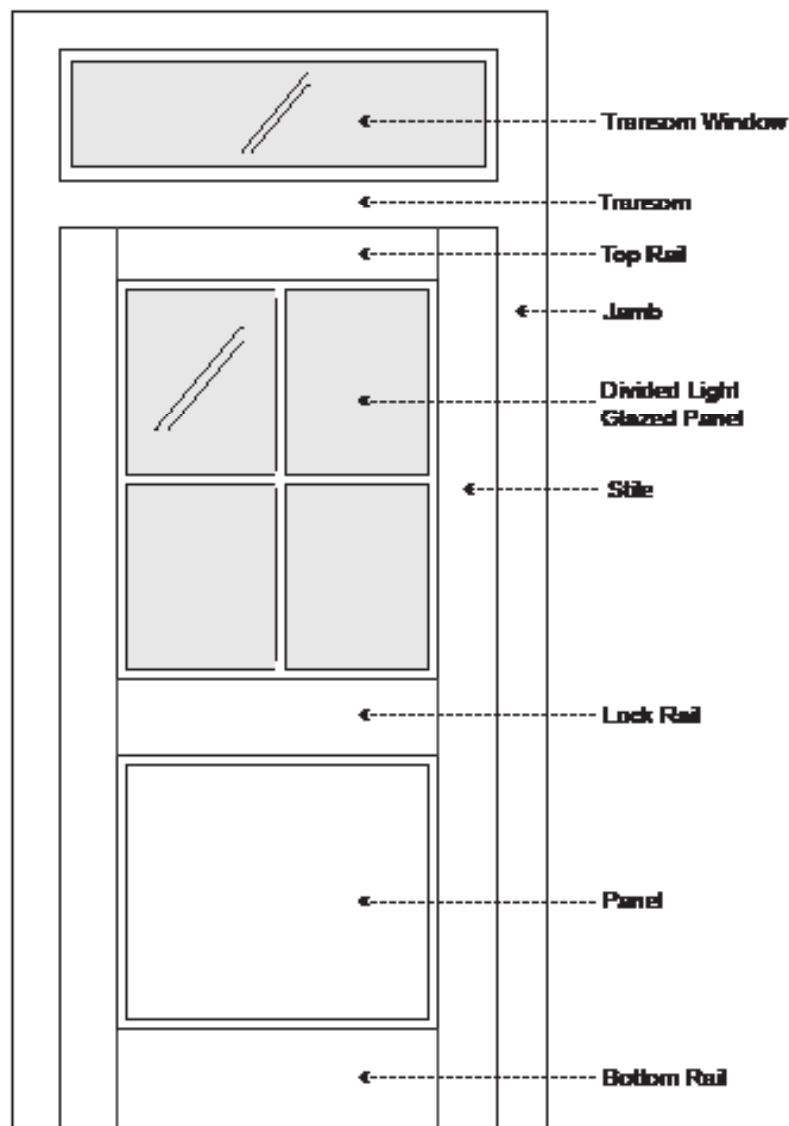
Photo Numbers: _____ Illustration Numbers: _____

## 9. Door Survey

### Basic Requirements

1. All door openings on the exterior of the structure should be assigned a number and described under the same number in the survey form. Doors in pairs or groupings should be assigned individual numbers. Even those not being replaced should be assigned a number corresponding to a photograph or drawing of the elevation, unless otherwise specified specifically by the planner.
2. Describe the issues and conditions of each exterior door in detail, referring to specific parts of the door. Photographs depicting existing conditions may be from the interior, exterior, or both. Additional close-up photos documenting the conditions should be provided to document specific problem areas.
3. The Planning Department's evaluation and recommendation is based on deterioration/damage to the door unit and associated trim. Broken glass and normal wear and tear are not necessarily grounds for approving replacement.
4. The condition of each door should be documented based on the same criteria used to evaluate the condition of specific elements and features of the historic structure or site: Good, Fair, Poor.

*Don't forget to address service, utility, and garage doors where applicable.*



If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at [www.parkcity.org](http://www.parkcity.org). Updated 10/2014.

## Door Survey Form

Total number of door openings on the exterior of the structure: _____

Number of historic doors on the structure: _____

Number of existing replacement/non-historic doors: _____

Number of doors completely missing: _____

*Please reference assigned door numbers based on the Physical Conditions Report.*

Number of doors to be replaced: _____

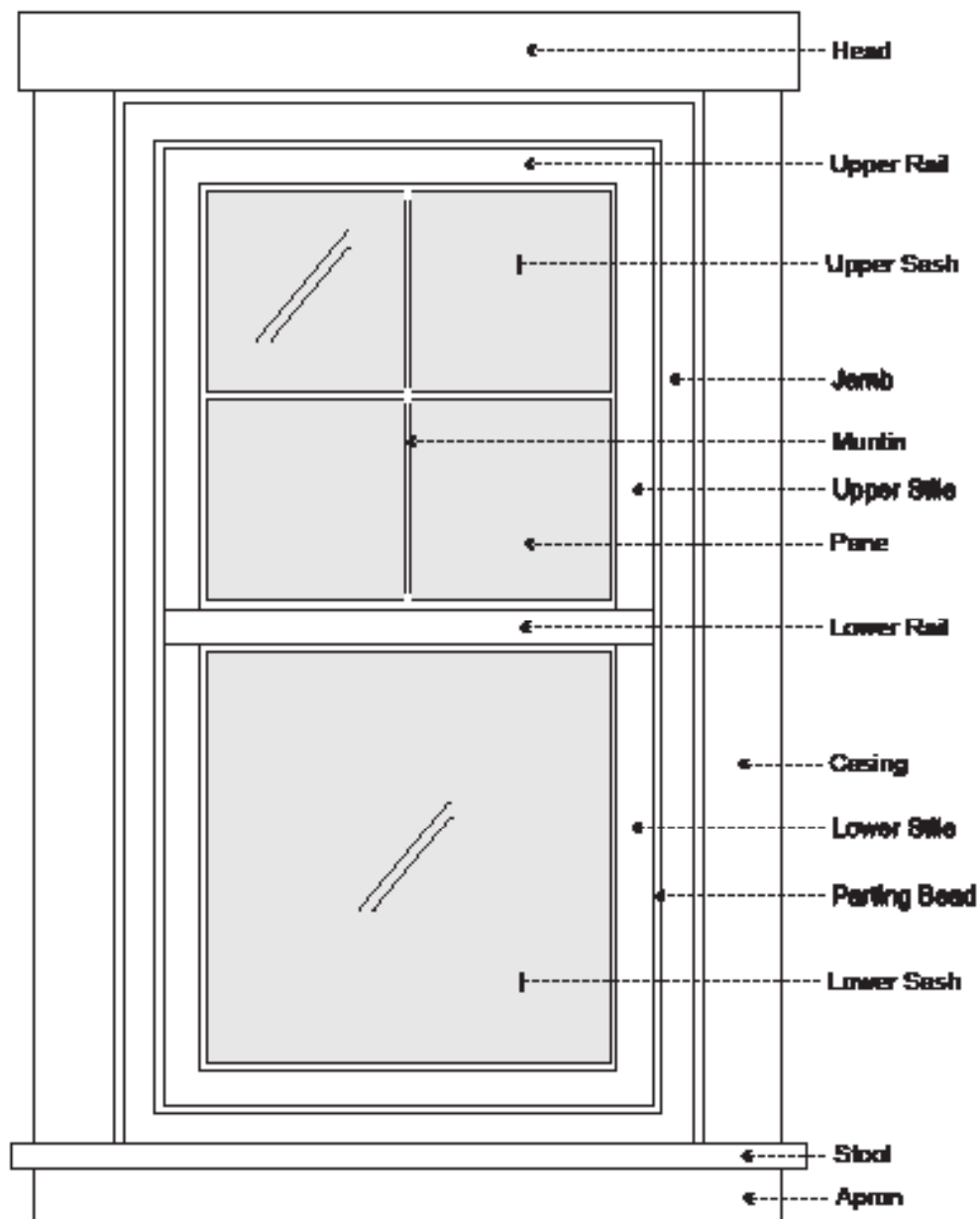
Door #:	Existing Condition (Excellent, Good, Fair, Poor):	Describe any deficiencies:	Photo #:	Historic (50 years or older):
	Fair			
	Good			
	Fair			
	Fair			
	Fair			
	Fair			
	Fair			
	Fair			
	Fair			
	Fair			
	Fair			
	Fair			
	Fair			
	Fair			

If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at [www.parkcity.org](http://www.parkcity.org). Updated 10/2014.

## 10. Window Survey

### Basic Requirements

1. All window openings on the structure should be assigned a number and described under the same number in the survey form. Windows in pairs or groupings should be assigned individual numbers. Even those not being replaced should be assigned a number corresponding to a photograph or drawing of the elevation, unless otherwise specified specifically by the planner.
2. Describe the issues and conditions of each window in detail, referring to specific parts of the window. Photographs depicting existing conditions may be from the interior, exterior, or both. Additional close-up photos documenting the conditions should be provided to document specific problem areas.
3. The Planning Department's evaluation and recommendation is based on deterioration/damage to the window unit and associated trim. Broken glass and windows that are painted shut alone are not grounds for approving replacement.



If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at [www.parkcity.org](http://www.parkcity.org). Updated 10/2014.

## Window Survey Form

Total number of window openings on the exterior of the structure: _____

Number of historic windows on the structure: _____

Number of existing replacement/non-historic windows: _____

Number of windows completely missing: _____

*Please reference assigned window numbers based on the Physical Conditions Report.*

Number of windows to be replaced: _____

Window #:	Existing Condition (Excellent, Good, Fair, Poor):	Describe any deficiencies:	Photo #:	Historic (50 years or older):
	Fair			
	Fair			
	Fair			
	Fair			
	Fair			
	Fair			
	Fair			
	Fair			
	Fair			
	Fair			
	Fair			
	Fair			
	Fair			

If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at [www.parkcity.org](http://www.parkcity.org). Updated 10/2014.

## 11. Interior Photographs

Use this section to describe interior conditions. Provide photographs of the interior elevations of each room. (This can be done by standing in opposite corners of a square room and capturing two walls in each photo.)

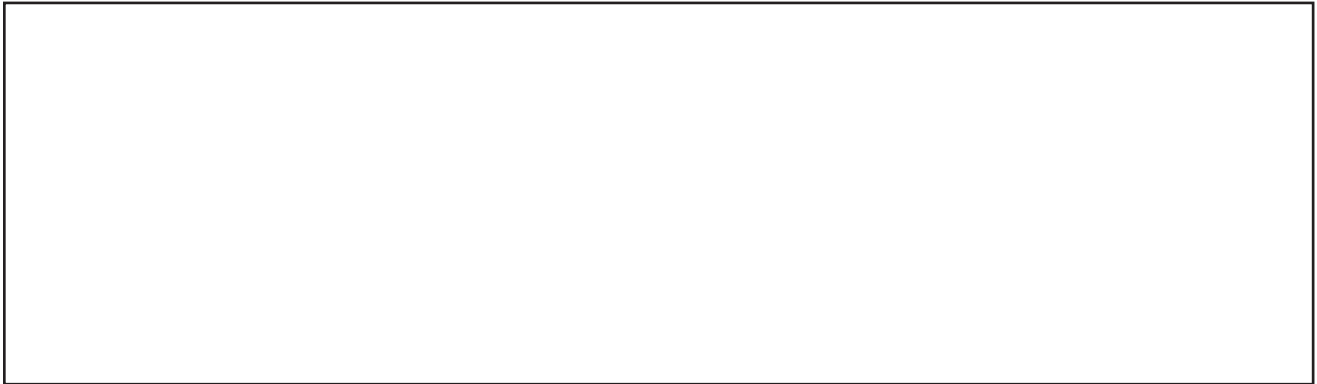
Element/Feature: _____

This involves: ☐ An original part of the building

☐ A later addition

Estimated date of construction: _____

Describe existing feature:



Describe any deficiencies:

Existing Condition: ☐ Excellent ☐ Good ☐ Fair ☐ Poor

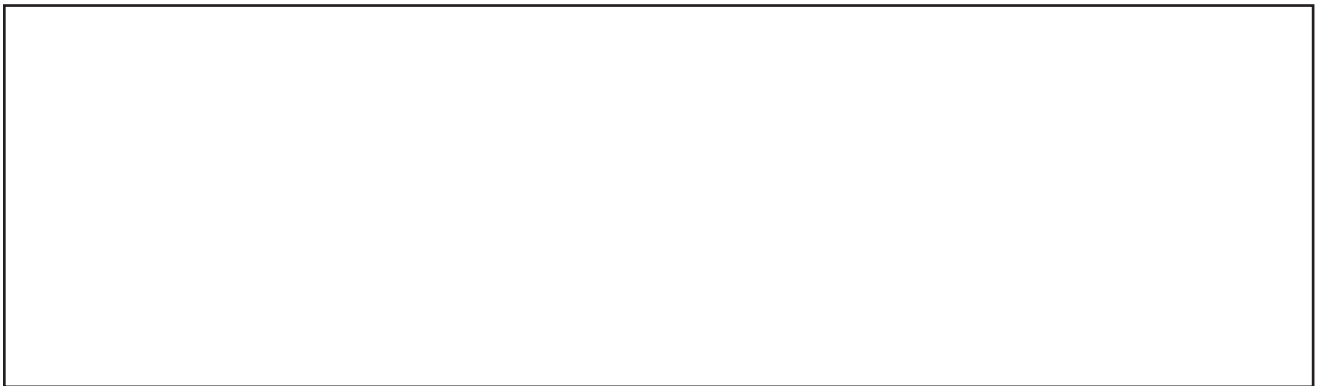


Photo Numbers: _____ Illustration Numbers: _____

Element/Feature: _____

This involves: ☐ An original part of the building

☐ A later addition

Estimated date of construction: _____

Describe existing feature:

Describe any deficiencies:

Existing Condition: ☐ Excellent ☐ Good ☐ Fair ☐ Poor

Photo Numbers: _____ Illustration Numbers: _____

Element/Feature: _____

This involves: ☐ An original part of the building

☐ A later addition

Estimated date of construction: _____

Describe existing feature:

Describe any deficiencies:

Existing Condition: ☐ Excellent ☐ Good ☐ Fair ☐ Poor

Photo Numbers: _____ Illustration Numbers: _____

Element/Feature: _____

This involves: ☐ An original part of the building

☐ A later addition

Estimated date of construction: _____

Describe existing feature:

Describe any deficiencies:

Existing Condition: ☐ Excellent ☐ Good ☐ Fair ☐ Poor

Photo Numbers: _____ Illustration Numbers: _____

## Supplemental Sheets

Supplemental Page ____ of ____

*Supplemental pages should be used to describe any additional elements and features not previously described in this packet.*

Element/Feature: _____

This involves: ☐ An original part of the building

☐ A later addition

Estimated date of construction: _____

Describe existing feature:

Describe any deficiencies:

Existing Condition: ☐ Excellent ☐ Good ☐ Fair ☐ Poor

Photo Numbers: _____ Illustration Numbers: _____

Element/Feature: _____

This involves: ☐ An original part of the building

☐ A later addition

Estimated date of construction: _____

Describe existing feature:

Describe any deficiencies:

Existing Condition: ☐ Excellent ☐ Good ☐ Fair ☐ Poor

Photo Numbers: _____ Illustration Numbers: _____

Element/Feature: _____

This involves:      ☐ An original part of the building  
                         ☐ A later addition                      Estimated date of construction: _____

Describe existing feature:

Describe any deficiencies:                      Existing Condition:    ☐ Excellent    ☐ Good    ☐ Fair    ☐ Poor

Photo Numbers: _____ Illustration Numbers: _____

Element/Feature: _____

This involves:      ☐ An original part of the building  
                         ☐ A later addition                      Estimated date of construction: _____

Describe existing feature:

Describe any deficiencies:                      Existing Condition:    ☐ Excellent    ☐ Good    ☐ Fair    ☐ Poor

Photo Numbers: _____ Illustration Numbers: _____

PARK CITY MUNICIPAL CORPORATION  
PLANNING DEPARTMENT  
445 MARSAC AVE - PO BOX 1480  
PARK CITY, UT 84060  
(435) 615-5060



## HISTORIC PRESERVATION PLAN

For Use with the *Historic District/Site Design Review* Application

### For Official Use Only

PLANNER: _____ APPLICATION #: _____

DATE RECEIVED: _____

PLANNING DIRECTOR _____ CHIEF BUILDING OFFICIAL _____  
APPROVAL DATE/INITIALS: _____ APPROVAL DATE/INITIALS: _____

### PROJECT INFORMATION

☐ LANDMARK ☒ SIGNIFICANT DISTRICT: _____

NAME: _____ CLARK - PATIO COVER REBUILD

ADDRESS: _____ 2465 DOC HOLLIDAY DR. PARK CITY, UT 84060

TAX ID: _____ OR

SUBDIVISION: _____ PROSPECTER PARK (PH 1) _____ OR

SURVEY: _____ LOT #: _____ BLOCK #: _____

### APPLICANT INFORMATION

NAME: _____ JACK R AND LORELEI CLARK

PHONE #: _____ ( ) 818-968-2351 FAX #: _____ ( ) -

EMAIL: _____ RANDYCLARKFAMILY@GMAIL.COM

## INSTRUCTIONS FOR HISTORIC PRESERVATION PLAN

The purpose of the HISTORIC PRESERVATION PLAN is to provide a detailed description of the proposed project, including the scope of work, methods/techniques being considered, and the potential impacts and/or benefits to Park City's historic resources. The Planning Department is authorized to require a Historic Preservation Plan as a condition of approving an application for a building project that affects a historic structure, site or object. The Planning Director and the Chief Building Official, or their designees, must approve the Historic Preservation Plan.

It is important to address the condition of each element, feature, or space of a historic site and/or structure as identified by the Physical Conditions Report.

Please note the following:

- 1. Multiple Buildings and/or Structures.** For Historic District Design Reviews (HDDR) that include more than one (1) structure, please complete an individual Physical Conditions Report for each structure on the site.
- 2. Scope of Work.** Summarize the impacts the proposed project will have on each of the elements/features identified by the Physical Conditions Report. If the project proposes a negative impact on any character-defining feature, explain why it is unavoidable and what measures are proposed to mitigate the adverse affects.
- 3. Construction Issues.** Following the format of the Physical Condition Report, summarize the work being proposed for each feature. Provide reference to or excerpts from the Physical Condition Report if needed to supplement the work summaries. Address the treatments being considered and the methods and techniques being proposed.

According to the *Design Guidelines for Historic Districts and Historic Sites* the four treatments for historic sites include:

- **Preservation.** If you want to stabilize a building or structure, retain most or all of its historic fabric, and keep it looking the way it does now, you will be preserving it. Preservation is the first treatment to consider and it emphasizes conservation, maintenance and repair.
  - **Rehabilitation.** If you want to update a building for its current or a new use, you will be rehabilitating it. Rehabilitation, the second treatment, also emphasizes retention and repair of historic materials, though replacement is allowed because it is assumed that the condition of existing materials is poor.
  - **Restoration.** If you want to take a building back to an earlier time by removing later features, you will be restoring it. Restoration, the third treatment, centers on retaining materials from the most significant period in the property's history. Because changes in a site convey important information about the development history of that site and its structures, restoration is less common than the previous treatments.
  - **Reconstruction.** If you want to bring back a building that no longer exists or cannot be repaired, you will be reconstructing it. Reconstruction, the fourth treatment, is used to recreate a non-surviving building or one that exists now, but is extremely deteriorated and unsalvageable. Reconstruction is rarely recommended.
- 4. Conditions Evaluation.** The scope of work for those features/elements identified as fair or poor in the Physical Conditions Report require a more comprehensive approach to its deteriorated condition. Please provide specific details outlining your scope of work.
  - 5. References.** Specific conditions should be addressed using recognized preservation methods. It may be helpful to reference the National Park Service's Preservation Briefs in order to specify

recognized preservation methods for features/elements such as wood windows, porches, and masonry chimneys. These and other features are described in the Preservation Briefs, available online at: <http://www.nps.gov/tps/how-to-preserve/briefs.htm>.

## Site Design

Use this section should describe the scope of work and preservation treatment for landscape features such as stone retaining walls, hillside steps, and fencing. Existing landscaping and site grading as well as parking should also be documented. Use supplemental pages if necessary.

Element/Feature: _____

This involves: ☐ Preservation ☐ Restoration  
☐ Reconstruction ☐ Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

REBUILD PATIO COVER

## Structure

Use this section to describe scope of work and preservation treatment for the general structural system of the building including floor and ceiling systems as well as the roof structure. Supplemental pages should be used to describe additional elements and features.

Element/Feature: _____

This involves: ☐ Preservation ☐ Restoration  
☐ Reconstruction ☐ Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

## Roof

Use this section to describe the proposed scope of work and preservation treatment for the roofing system, flashing, drainage such as downspouts and gutters, skylights, chimneys, and other rooftop features. Use supplemental pages if necessary.

Element/Feature: _____

This involves: ☐ Preservation ☐ Restoration  
☐ Reconstruction ☐ Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

## Chimney

Use this section to describe the proposed scope of work and preservation treatment for any existing chimneys. One box should be devoted to each existing chimney. Supplemental pages should be used to describe additional elements and features.

Element/Feature: _____

This involves: ☐ Preservation ☐ Restoration  
☐ Reconstruction ☐ Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

## Exterior Walls

Use this section to describe the proposed scope of work and preservation treatment for the exterior wall construction, finishes, and masonry. Please describe the scope of work for each individual exterior wall, use supplemental pages if necessary.

Element/Feature: _____

This involves: ☐ Preservation ☐ Restoration  
☐ Reconstruction ☐ Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

Element/Feature: _____

This involves: ☐ Preservation ☐ Restoration  
☐ Reconstruction ☐ Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

Element/Feature: _____

This involves:    ☐ Preservation       ☐ Restoration  
                      ☐ Reconstruction    ☐ Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

Element/Feature: _____

This involves:    ☐ Preservation       ☐ Restoration  
                      ☐ Reconstruction    ☐ Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

## Foundation

Use this section to describe the proposed scope of work and preservation treatment for the foundation including its system, materials, perimeter foundation drainage, and other foundation-related features. Use supplemental pages if necessary.

Element/Feature: _____

This involves: ☐ Preservation ☐ Restoration  
☐ Reconstruction ☐ Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

## Porches

Use this section to describe the proposed scope of work and preservation treatment for all porches. Address decorative features including porch posts, brackets, railing, and floor and ceiling materials.

Element/Feature: _____

This involves: ☐ Preservation ☐ Restoration  
☐ Reconstruction ☐ Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

## Doors

Use this section to describe the proposed scope of work and preservation treatment for all exterior doors, door openings, and door parts referenced in the Door Survey of the Physical Conditions Report. Please describe the scope of work for each individual exterior door, use supplemental pages if necessary.

Element/Feature: _____

This involves: ☐ Preservation ☐ Restoration  
☐ Reconstruction ☐ Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

Element/Feature: _____

This involves: ☐ Preservation ☐ Restoration  
☐ Reconstruction ☐ Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

## Windows

Use this section to describe the proposed scope of work and preservation treatment for all exterior windows, window openings, and windows parts referenced in the Door Survey of the Physical Conditions Report. Please describe the scope of work for each individual exterior window, use supplemental pages if necessary.

Element/Feature: _____

This involves: ☐ Preservation ☐ Restoration  
☐ Reconstruction ☐ Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

Element/Feature: _____

This involves: ☐ Preservation ☐ Restoration  
☐ Reconstruction ☐ Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

### **Mechanical System, Utility Systems, Service Equipment & Electrical**

*Use this section to describe proposed scope of work and preservation treatment for items such as the existing HVAC system, ventilation, plumbing, electrical, and fire suppression systems. Supplemental pages should be used to describe additional elements and features. Use supplemental pages if necessary.*

Element/Feature: _____

This involves:      ☐ Preservation      ☐ Restoration  
                         ☐ Reconstruction      ☐ Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

### **Additions**

*Use this section to describe the proposed scope of work for any additions. Describe the impact and the preservation treatment for any historic materials. Supplemental pages should be used to describe additional elements and features. Use supplemental pages if necessary.*

Element/Feature: _____

This involves:      ☐ Preservation      ☐ Restoration  
                         ☐ Reconstruction      ☐ Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

#### 4. PROJECT TEAM

List the individuals and firms involved in designing and executing the proposed work. Include the names and contact information for the architect, designer, preservation professional, contractor, subcontractors, specialized craftspeople, specialty fabricators, etc...

Provide a statement of competency for each individual and/or firm listed above. Include a list or description of relevant experience and/or specialized training or skills.

Will a licensed architect or qualified preservation professional be involved in the analysis and design alternatives chosen for the project? Yes or No. If yes, provide his/her name.

Will a licensed architect or other qualified professional be available during construction to ensure the project is executed according to the approved plans? Yes or No. If yes, provide his/her name.

#### 5. SITE HISTORY

Provide a brief history of the site to augment information from the Historic Site Form. Include information about uses, owners, and dates of changes made (if known) to the site and/or buildings. Please list all sources such as permit records, current/past owner interviews, newspapers, etc. used in compiling the information.

#### 6. FINANCIAL GUARANTEE

The Planning Department is authorized to require that the Applicant provide the City with a financial Guarantee to ensure compliance with the conditions and terms of the Historic Preservation Plan. (See Title 15, LMC Chapter 11-9) Describe how you will satisfy the financial guarantee requirements.

#### 7. ACKNOWLEDGMENT OF RESPONSIBILITY

I have read and understand the instructions supplied by Park City for processing this form as part of the Historic District/Site Design Review application. The information I have provided is true and correct to the best of my knowledge.

Signature of Applicant:  Date: 12/11/23

Name of Applicant: JACK R AND LORELEI CLARK

## Supplemental Sheets

Supplemental Page ____ of ____

*Supplemental pages should be used to describe the scope of work and preservation treatment for any additional elements and features not previously described in this packet.*

Element/Feature: _____

This involves: ☐ Preservation ☐ Restoration  
☐ Reconstruction ☐ Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

Element/Feature: _____

This involves: ☐ Preservation ☐ Restoration  
☐ Reconstruction ☐ Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

Element/Feature: _____

This involves:      ☐ Preservation      ☐ Restoration  
                         ☐ Reconstruction      ☐ Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

Element/Feature: _____

This involves:      ☐ Preservation      ☐ Restoration  
                         ☐ Reconstruction      ☐ Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

Element/Feature: _____

This involves:      ☐ Preservation      ☐ Restoration  
                         ☐ Reconstruction      ☐ Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

Element/Feature: _____

This involves:      ☐ Preservation      ☐ Restoration  
                         ☐ Reconstruction      ☐ Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

Element/Feature: _____

This involves:      ☐ Preservation      ☐ Restoration  
                         ☐ Reconstruction      ☐ Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

Element/Feature: _____

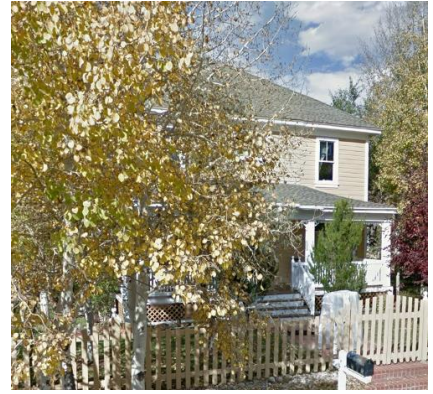
This involves:      ☐ Preservation      ☐ Restoration  
                         ☐ Reconstruction      ☐ Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:



# HISTORIC SITES INVENTORY HISTORIC SITE FORM

PARK CITY MUNICIPAL CORPORATION



## IDENTIFICATION

Property Name (if any): William and Emma Carruth House

Address: 2465 Doc Holiday Drive

Date of Construction: 1911

City, County: Park City, Summit County, Utah

Architect/Builder, if known: unknown

Tax Number: PR-20

Current Owner: Timothy H. and Karen Lea Snyder (H/W jt.)

Legal Description (include acreage): LOT 20 PROSPECTOR PARK SUBDIVISION, PHASE I, IN SEC 10 T2SR4E  
SLBM CONT 9008 SQ FT M106-508 M112-463 M264-438-9524-697 961-314 1143-181; 0.21 AC

## STATUS / USE

Original Use: single dwelling      Current Use: single dwelling

Property Type:

☒ Building

☐ Structure

☐ Site

National Register of Historic Places:

☐ Eligible

☒ Ineligible

☐ Listed, Date:

Evaluation:

☐ Landmark Site

☒ Significant Site

☐ Non Historic

## DOCUMENTATION

Photographs:

☐ Tax Photos

☒ Prints:

☒ Historic

Research Sources:

☒ Sanborn Maps

☐ tax Card

☒ Census Records

☒ City/ County Histories

☐ Personal Interviews

☐ Park City Museum

☒ Newspapers

☐ Other:

## DESCRIPTION

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Architectural Style: American Foursquare type

No. Stories: 2

Number of Associated Structures: ☐ Accessory building(s). # ☐ Structure(s). #

Condition: ☒ Good ☐ Fair ☐ Poor ☐ Uninhabitable/Ruin

Location: ☐ Original location ☐ Moved (Date: ,original location: )

Materials: (Describe the visible materials)

Exterior Walls: Horizontal wood siding

Foundation: Not verified, assumed to be concrete

Roof: Hipped roof form sheathed in asphalt shingles

Windows/Doors: Two-over-one double-hung sash type and large fixed casement with fixed transom windows

Additions: ☐ Major ☐ Minor ☒ None

Alterations: ☒ Major ☐ Minor ☐ None

Describe Additions/ Alterations (Dates):

Essential Historic Form: ☐ Retains ☐ Does Not Retain

## NARRATIVE DESCRIPTION OF PROPERTY

---

(Briefly describe the property and its setting. Include a verbal description of the location; a general description of the property including the overall shape, number of stories, architectural style, materials, shape of roof; identify and describe any associated structures; identify any known exterior additions and/or alterations.)

The house at 2465 Doc Holliday Drive is a two story foursquare type house that was moved about twenty miles from Coalville, Utah, the county seat of Summit County. The foursquare house, while not one of the main three types of houses built in Park City during the mining era, was common type of house built in Utah during that era, mostly between 1905 and 1925. The low-pitched, hipped roof has asphalt shingles, as does the hip roof covering the porch, which stretches across the full front façade of the house. The façade is symmetrical, with the door being centered on the first floor, and a fixed casement centered on the second floor. The porch is raised, with a latticework covering the area below it. The porch columns have decorative brackets, and a decorative trim piece spanning between them. The horizontal wood siding has a white trim at the corners of the house, and that same white trim is placed around the windows and doors as well. With this being a moved building, the foundation is assumed to be concrete, but it is not visible, so this is unverified. The house has been well maintained, and the unaltered form makes it a very good example of the American foursquare house, but that it was moved from outside of Park City long after the historic period diminishes its historic value.

The detached garage in the rear is not historic.

## SIGNIFICANCE

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Historic Era:

- ☐ Settlement & Mining Boom Era (1868-1893)
- ☒ Mature Mining Era (1894-1930)
- ☐ Mining Decline & Emergence of Recreation Industry (1931-1962)

Narrative Statement of Significance:

(Briefly describe those characteristics by which this property may be considered historically significant.)

This house was built in Coalville, Utah, in 1911, according to Summit County records. The first long-term residents of the house were William and Emma Carruth. William was born on April 29, 1850, in South Cottonwood, Salt Lake, Utah (in present-day Murray). Emma Wilde was born on January 19, 1849, in Portswood, England, coming to the United States in 1851. Her family, which had converted to the Church of Jesus Christ of Latter-Day Saints, crossed the plains to Utah in 1852. Emma and William were both residing in Coalville by the time they were married on May 9, 1870. The couple had eleven children, all of whom survived to adulthood. Like many rural Utahans, William had a few occupations, including a farmer in the 1880 census and a carpenter on the 1910 census. It is likely that the house was constructed by William with assistance from friends and neighbors. After building the house in 1911, the Carruths lived there until at least 1920, when photographs of the family at the house immortalized their fiftieth wedding anniversary. William died on October 15, 1922, while Emma died on August 28, 1943.

The Carruth House in Coalville had a variety of owners and remained in good shape until it was purchased by Brig and Karen LeSueur in the late 1970s. It sat east of the Summit County Courthouse, which was expanded at that time to include an added wing and new parking lot on the Carruth lot. The LeSueurs bought the house at auction for \$5,000 and moved it onto a new foundation in a lot in Park City's nascent Prospect Park subdivision in 1978. A Park Record article described the condition of the house at the time of its move:

"It has a seven feet high oak fireplace as well as the original oak staircase. The LeSueur's new home also has an oak toilet seat in the bathroom. The wall paper has remained the same since the house was built.

"A large living room with sliding doors leads into the formal dining room and there are two large walk-in closets upstairs.

"There are five bedrooms and one bathroom. Karen LeSueur said she plans to convert the two walk-in closets upstairs into another bathroom. The bathroom, besides having an oak toilet seat, also has a six foot long bathtub on claw feet."

The land on which Prospect Park was developed was annexed into Park City in 1973 and subdivided in three phases into the early 1980s by Murray Thrift and Loan Company. The first personal owners of the subdivided lot were Thomas and Gerri Weaver, who bought it from Prospect Park Associates in 1977. The LeSueurs bought the property in spring of 1978, shortly before pouring their concrete foundation. Since being moved, the house has had a handful of owners. Currently, it is owned by Timothy and Karen Snyder.

The house is a good example of an American Foursquare house, but the fact that it was moved to its present location after the historical period of Park City reduces its historic value. According to National Register criteria, "A property removed from its original or historically significant location can be eligible if it is significant primarily for architectural value or it is the surviving property most importantly associated with a historic person or event." This house may be of local significance to Summit County, but it does not meet the criteria for National Register listing in our determination.

## REFERENCES

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- Boutwell, John Mason and Lester Hood Woolsey. *Geology and Ore Deposits of the Park City District, Utah*. White Paper, Department of the Interior, United States Geological Survey. Washington: Government Printing Office, 1912.
- Carter, Thomas and Peter Goss. *Utah's Historic Architecture, 1847-1940*. Salt Lake City: Center for Architectural Studies, Graduate School of Architecture, University of Utah and Utah State Historical Society, 1988.
- Hampshire, David, Martha Sonntag Bradley and Allen Roberts. *A History of Summit County*. Coalville, UT: Summit County Commission, 1998.
- National Register of Historic Places. Park City Main Street Historic District. Park City, Utah, National Register #79002511.
- Peterson, Marie Ross and Mary M. Pearson. *Echoes of Yesterday: Summit County Centennial History*. Salt Lake City: Daughters of Utah Pioneers, 1947.
- Pieros, Rick. *Park City: Past & Present*. Park City: self-published, 2011.
- Randall, Deborah Lyn. *Park City, Utah: An Architectural History of Mining Town Housing, 1869 to 1907*. Master of Arts thesis, University of Utah, 1985.
- Ringholz, Raye Carleson. *Diggings and Doings in Park City: Revised and Enlarged*. Salt Lake City: Western Epics, 1972.
- Ringholz, Raye Carleson and Bea Kummer. *Walking Through Historic Park City*. Self-published, 1984.
- Thompson, George A., and Fraser Buck. *Treasure Mountain Home: Park City Revisited*. Salt Lake City: Dream Garden Press, 1993.

## PHOTOS

(Provide several clear historical and current photos of the property as well as locational maps indicating the location of the property in relation to streets or other widely recognized features.)

*2465 Doc Holiday Drive, Park City, Summit County, Utah*

*Intensive Level Survey—Biographical and Historical Research Materials*



William and Emma Carruth with family, 50th wedding anniversary, May 9, 1920 ([www.wildeandclarkancestors.com](http://www.wildeandclarkancestors.com))



William and Emma Carruth in their house, May 9, 1920 ([www.wildeandclarkancestors.com](http://www.wildeandclarkancestors.com))

2465 Doc Holiday Drive, Park City, Summit County, Utah

*Intensive Level Survey—Biographical and Historical Research Materials*



The house in 1970 in Coalville (Summit County Courthouse in background) ([www.wildeandclarkancestors.com](http://www.wildeandclarkancestors.com))





*2465 Doc Holiday Drive. Southwest oblique. November 2013.*



*2465 Doc Holiday Drive. South elevation. November 2013.*



*2465 Doc Holiday Drive. Southeast oblique. November 2013.*



*2465 Doc Holiday Drive. South elevation. November 2013.*

MAPS

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2465 Doc Holiday Drive, Park City, Summit County, Utah  
Intensive Level Survey—Sanborn Map history

(outside of 1889 Sanborn boundary)

1889

(outside of 1900 Sanborn boundary)

1900

(outside of 1907 Sanborn boundary)

1907

(outside of 1929 Sanborn boundary)

1929

(outside of 1941 Sanborn boundary)

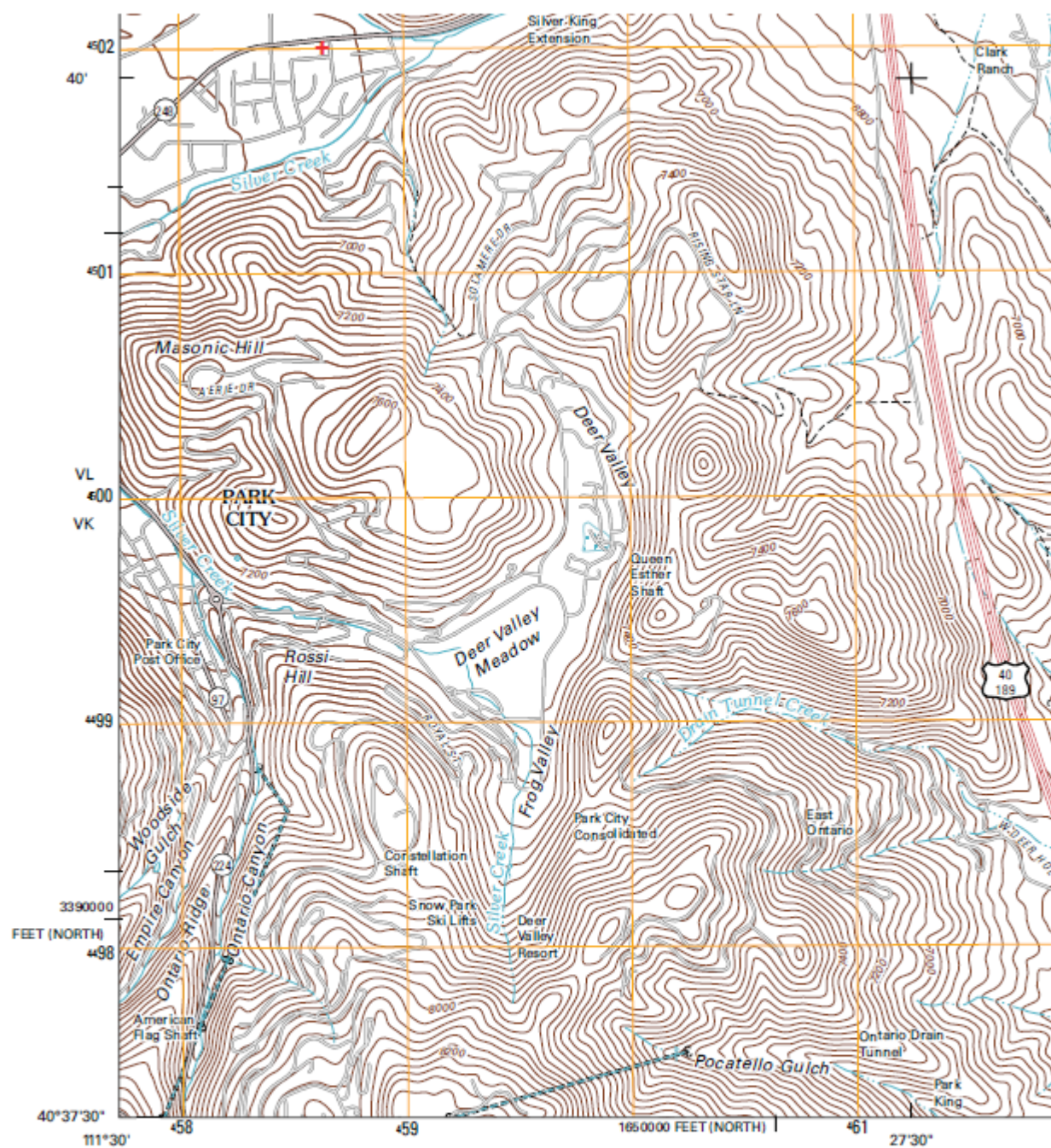
1941





2465 Doc Holiday Drive, Park City, Summit County, Utah

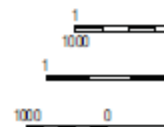
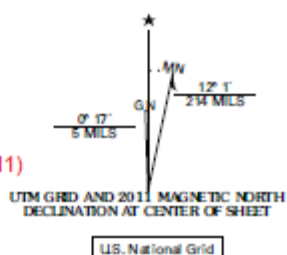
Intensive Level Survey—USGS Map



Produced by the United States Geological Survey  
 North American Datum of 1983 (NAD83)  
 World Geodetic System of 1984 (WGS84). Projection and  
 1 000-meter grid: Universal Transverse Mercator, Zone 12T  
 10 000-foot ticks: Utah Coordinate System of 1983  
 (north and central zones)

+ location on USGS Park City East 1:24000 Quadrangle Map (2011)

Imagery.....NAIP, July 2009 - August 2009  
 Roads.....©2006-2010 Tele Atlas  
 Names.....GNIS, 2009



## DOCUMENTS

**TITLE SEARCH FORM**

[Obtain information from title abstract books at County Recorder's Office]

Address: 2465 Doc Holiday Drive

City: Park City, UT

Current Owner: Timothy H. and Karen Lea Snyder

Address: (see historic site form for address)

Tax Number: PR-20

Legal Description (include acreage): Lot 20 Prospector Park Sub. (see historic site form for complete legal description)

TRANSACTION DATES	GRANTOR (SELLER)	GRANTEE (BUYER)	TYPE OF TRANSACTION	DOLLAR AMOUNT	COMMENTS
11/20/1892	United States	Hyrum Bates	Patent		N1/2 NW1/4 Sec. 10
6/7/1909	Hyrum Bates & wife	William J. Barrette	W.D.		N1/2 NW1/4 Sec. 10
9/29/1910	William J. Barrette	The Grasselli Chemical Co.	Q.C.D.		N1/2 NW1/4 Sec. 10 [zinc concentrates]
4/17/1947	E.I. duPont de Nemours and Co.	Clarence I. Justheim	Deed		[duPont & Grasselli consolidated 1928]
11/23/1948	Clarence I. & Margaret Justheim	R. Bristol C. Early, C. Christensen	Q.C.D.		[21.5% und. int. each]
4/28/1971	3rd Dist. Court of SL County	Estate: Dorothy J. Early	Decree		[Clyde Early, Jr., Executor]
12/8/1971	Clyde, Jr. & Marilyn Early	D.C. Anderson	Q.C.D.		
10/18/1972	Clarence I. & Margaret Justheim	D.C. Anderson	Q.C.D.		
1/26/1972	D.C. & Ellen R. Anderson	M.F.T. Mortgage Corp.	Memo. of Option		[und. 80% int. N1/2 NW1/4 Sec. 10]
5/24/1974	William L. Christensen, Tr.	Zions First National Bank	Q.C.D.		[und. 21.5%, to Catherine Christensen 1948]
10/21/1974	M.F.T. Mortgage Corp., et al	Murray First Thrift & Loan Co.	Sp. W.D.		"N1/2 NW1/4 Sec. 10, Subject to interests..."
9/4/1975	Zions First National Bank	Murray First Thrift & Loan Co.	Q.C.D.		
9/25/1975	Elizabeth B. Hansen, et al	Murray First Thrift & Loan Co.	Q.C.D.		[estate of Ralph Everist Bristol]
12/13/1977	Prospector Park Associates, et al	Thomas S. & Gerri R. Weaver	W.D.		[PR-20, rest of form]
4/24/1978	Thomas S. & Gerri R. Weaver	Brig & Karen Le Sueur	W.D.		
6/23/1983	Brig & Karen Le Sueur	Brent O. & Shauna W. Sloan	W.D.		

Researcher: John Ewanowski, CRSA Architecture

Date: 9/22/2015



2465 Doc Holiday Drive, Park City, Summit County, Utah

Intensive Level Survey—Biographical and Historical Research Materials



## Coalville Home Faces Move To P. C.

A turn-of-the-century style 60 year old house will be moved from Coalville to Prospector Park in Park City this week. The owners of the house, Brig and Karen LeSueur, bought the large two-story white house at a public auction last February for \$5000. Before it travels to Park City this week, the "Caruth House" stood behind the courthouse in Coalville for over 60 years.

"The house itself is really in good shape," said Karen LeSueur. "I can hardly wait to see it when it's on the trucks."

The house was to begin moving Wednesday and take two days to reach its new home in Prospector Park. And Karen LeSueur said she hoped it would be ready for occupancy in two weeks.

The foundation for the house was poured June 15.

Because of the height of the house, powerlines in some areas will have to be taken down while it journeys to Park City from Coalville. Mrs. LeSueur said the cost of moving the house was 50 percent less than if a similar house was bought in Park City.

"We wanted to stay in Park City," she said, "and we really love old houses."

And what's inside the house?

It has a seven feet high oak fireplace as well as the original oak staircase. The LeSueur's new home also has an oak toilet seat in the bathroom. The wall paper has remained the same since the house was built.

A large living room with sliding doors leads into the formal dining room and there are two large walk-in closets upstairs.

There are five bedrooms and one bathroom. Karen LeSueur said she plans to convert the two walk-in closets upstairs into another bathroom. The bathroom, besides having an oak toilet seat, also has a six foot long bathtub on claw feet.

When the house is in place this week, it will immediately be re-wired. And the oak staircase will be restrained.

The house is being moved by Robert Wells, who is also moving the Miner's Hospital.

Realtors in town have offered to sell the house for a substantial amount above the \$5000 paid by the LeSueurs.

"But we want it!" said Mrs. LeSueur.

Brig and Karen LeSueur have lived in Park City for 10 months and have three children, Rehn, 3, Ethan, 2, and Jared, seven months. Brig is manager of the 7-11.

Park Record, June 22, 1978.

# HISTORIC SITE FORM

UTAH STATE HISTORIC PRESERVATION OFFICE

(10-91)

## 1 IDENTIFICATION

Name of Property: **William and Emma Carruth House**

Address: **2465 Doc Holiday Drive**

Twنشp

Range

Section:

City, County: **Park City, Summit, Utah**

UTM:

Current Owner Name: **Timothy H. and Karen Lea Snyder (H/W jt.)**

USGS Map Name & Date: **Park City East**

Current Owner Address: **PO Box 4041**

Quad/2011

**Park City, UT 84060-4041**

Tax Number: **PR-20**

Legal Description (include acreage): **LOT 20 PROSPECTOR PARK SUBDIVISION, PHASE I, IN SEC 10 T2SR4E  
SLBM CONT 9008 SQ FT M106-508 M112-463 M264-438-9524-697 961-314 1143-181; 0.21 AC**

## 2 STATUS/USE

### Property Category

☒ building(s)

☐ structure

☐ site

☐ object

### Evaluation

☐ eligible/contributing

☒ ineligible/non-contributing

☐ out-of-period

### Use

Original Use: **single dwelling**

Current Use: **single dwelling**

## 3 DOCUMENTATION

### Photos: Dates

☒ digital: **Nov. 2013 (4)**

☒ prints: **2006**

☒ historic: **1920**

### Drawings and Plans

☐ measured floor plans

☐ site sketch map

☐ Historic American Bldg. Survey

☐ original plans available at:

☐ other:

### Research Sources (check all sources consulted, whether useful or not)

☒ abstract of title

☐ tax card & photo

☐ building permit

☐ sewer permit

☒ Sanborn Maps

☐ obituary index

☐ city directories/gazetteers

☒ census records

☐ biographical encyclopedias

☒ newspapers

☒ city/county histories

☐ personal interviews

☐ USHS History Research Center

☒ USHS Preservation Files

☐ USHS Architects File

☐ LDS Family History Library

☒ local library: **Park City Museum**

☐ university library(ies):

### Bibliographical References (books, articles, interviews, etc.)

Attach copies of all research notes, title searches, obituaries, and so forth.

Boutwell, John Mason and Lester Hood Woolsey. *Geology and Ore Deposits of the Park City District, Utah*. White Paper, Department of the Interior, United States Geological Survey. Washington: Government Printing Office, 1912.

Carter, Thomas and Peter Goss. *Utah's Historic Architecture, 1847-1940*. Salt Lake City: Center for Architectural Studies, Graduate School of Architecture, University of Utah and Utah State Historical Society, 1988.

Hampshire, David, Martha Sonntag Bradley and Allen Roberts. *A History of Summit County*. Coalville, UT: Summit County Commission, 1998.

National Register of Historic Places. Park City Main Street Historic District. Park City, Utah, National Register #79002511.

Peterson, Marie Ross and Mary M. Pearson. *Echoes of Yesterday: Summit County Centennial History*. Salt Lake City: Daughters of Utah Pioneers, 1947.

Pieros, Rick. *Park City: Past & Present*. Park City: self-published, 2011.

Randall, Deborah Lyn. *Park City, Utah: An Architectural History of Mining Town Housing, 1869 to 1907*. Master of Arts thesis, University of Utah, 1985.

Ringholz, Raye Carleson. *Diggings and Doings in Park City: Revised and Enlarged*. Salt Lake City: Western Epics, 1972.

Ringholz, Raye Carleson and Bea Kummer. *Walking Through Historic Park City*. Self-published, 1984.

Thompson, George A., and Fraser Buck. *Treasure Mountain Home: Park City Revisited*. Salt Lake City: Dream Garden Press, 1993.

Researcher/Organization: John Ewanowski, CRSA Architecture

Date: September 2015

## 4 ARCHITECTURAL DESCRIPTION

Building Style/Type: American Foursquare type No. Stories: 2

Foundation Material: concrete Wall Material(s): novelty wood siding

Additions: ☒ none ☐ minor ☐ major (describe below) Alterations: ☐ none ☐ minor ☒ major (describe below)

Number of associated outbuildings 1 and/or structures 0.

Briefly describe the principal building, additions or alterations and their dates, and associated outbuildings and structures. Use continuation sheets as necessary.

The house at 2465 Doc Holliday Drive is a two story foursquare type house that was moved about twenty miles from Coalville, Utah, the county seat of Summit County. The foursquare house, while not one of the main three types of houses built in Park City during the mining era, was common type of house built in Utah during that era, mostly between 1905 and 1925. The low-pitched, hipped roof has asphalt shingles, as does the hip roof covering the porch, which stretches across the full front façade of the house. The façade is symmetrical, with the door being centered on the first floor, and a fixed casement centered on the second floor. The porch is raised, with a latticework covering the area below it. The porch columns have decorative brackets, and a decorative trim piece spanning between them. The horizontal wood siding has a white trim at the corners of the house, and that same white trim is placed around the windows and doors as well. With this being a moved building, the foundation is assumed to be concrete, but it is not visible, so this is unverified. The house has been well maintained, and the unaltered form makes it a very good example of the American foursquare house, but that it was moved from outside of Park City long after the historic period diminishes its historic value.

The detached garage in the rear is not historic.

## 5 HISTORY

Architect/Builder: unknown

Date of Construction: 1911

Historic Themes: Mark themes related to this property with "S" or "C" (S = significant, C = contributing).  
(see instructions for details)

<input type="checkbox"/> Agriculture	<input type="checkbox"/> Economics	<input type="checkbox"/> Industry	<input type="checkbox"/> Politics/ Government
<input type="checkbox"/> Architecture	<input type="checkbox"/> Education	<input type="checkbox"/> Invention	<input type="checkbox"/> Religion
<input type="checkbox"/> Archeology	<input type="checkbox"/> Engineering	<input type="checkbox"/> Landscape Architecture	<input type="checkbox"/> Science
<input type="checkbox"/> Art	<input type="checkbox"/> Entertainment/ Recreation	<input type="checkbox"/> Law	<input type="checkbox"/> Social History
<input type="checkbox"/> Commerce	<input type="checkbox"/> Ethnic Heritage	<input type="checkbox"/> Literature	<input type="checkbox"/> Transportation
<input type="checkbox"/> Communications	<input type="checkbox"/> Exploration/ Settlement	<input type="checkbox"/> Maritime History	<input type="checkbox"/> Other
<input type="checkbox"/> Community Planning & Development	<input type="checkbox"/> Health/Medicine	<input type="checkbox"/> Military	
<input type="checkbox"/> Conservation		<input type="checkbox"/> Performing Arts	

Write a chronological history of the property, focusing primarily on the original or principal owners & significant events. Explain and justify any significant themes marked above. Use continuation sheets as necessary.

This house was built in Coalville, Utah, in 1911, according to Summit County records. The first long-term residents of the house were William and Emma Carruth. William was born on April 29, 1850, in South Cottonwood, Salt Lake, Utah (in present-day Murray). Emma Wilde was born on January 19, 1849, in Portswood, England, coming to the United States in 1851. Her family, which had converted to the Church of Jesus Christ of Latter-Day Saints, crossed the plains to Utah in 1852. Emma and William were both residing in Coalville by the time they were married on May 9, 1870. The couple had eleven children, all of whom survived to adulthood. Like many rural Utahans, William had a few occupations, including a farmer in the 1880 census and a carpenter on the 1910 census. It is likely that the house was constructed by William with assistance from friends and neighbors. After building the house in 1911, the Carruths lived there until at least 1920, when photographs of the family at the house immortalized their fiftieth wedding anniversary. William died on October 15, 1922, while Emma died on August 28, 1943.

The Carruth House in Coalville had a variety of owners and remained in good shape until it was purchased by Brig and Karen LeSueur in the late 1970s. It sat east of the Summit County Courthouse, which was expanded at that time to include an added wing and new parking lot on the Carruth lot. The LeSueurs bought the house at auction for \$5,000 and moved it onto a new foundation in a lot in Park City's nascent Prospect Park subdivision in 1978. A *Park Record* article described the condition of the house at the time of its move:

“It has a seven feet high oak fireplace as well as the original oak staircase. The LeSueur’s new home also has an oak toilet seat in the bathroom. The wall paper has remained the same since the house was built.

“A large living room with sliding doors leads into the formal dining room and there are two large walk-in closets upstairs.

“There are five bedrooms and one bathroom. Karen LeSueur said she plans to convert the two walk-in closets upstairs into another bathroom. The bathroom, besides having an oak toilet seat, also has a six foot long bathtub on claw feet.”¹

The land on which Prospect Park was developed was annexed into Park City in 1973 and subdivided in three phases into the early 1980s by Murray Thrift and Loan Company. The first personal owners of the subdivided lot were Thomas and Gerri Weaver, who bought it from Prospect Park Associates in 1977. The LeSueurs bought the property in spring of 1978, shortly before pouring their concrete foundation. Since being moved, the house has had a handful of owners. Currently, it is owned by Timothy and Karen Snyder.

The house is a good example of an American Foursquare house, but the fact that it was moved to its present location after the historical period of Park City reduces its historic value. According to National Register criteria, “A property removed from its original or historically significant location can be eligible if it is significant primarily for architectural value or it is the surviving property most importantly associated with a historic person or event.” This house may be of local significance to Summit County, but it does not meet the criteria for National Register listing in our determination.



2465 Doc Holiday Drive. Southwest oblique. November 2013.

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¹ “Coalville Home Faces Move To P.C.,” *Park Record*, June 22, 1978.



2465 Doc Holiday Drive. South elevation. November 2013.



2465 Doc Holiday Drive. Southeast oblique. November 2013.

2465 Doc Holiday Drive, Park City, Summit County, Utah

Historic Site Form—continuation sheet



2465 Doc Holiday Drive. South elevation. November 2013.

# TITLE SEARCH FORM

[Obtain information from title abstract books at County Recorder's Office]

Address: 2465 Doc Holiday Drive

City: Park City, UT

Current Owner: Timothy H. and Karen Lea Snyder

Address: (see historic site form for address)

Tax Number: PR-20

Legal Description (include acreage): Lot 20 Prospector Park Sub. (see historic site form for complete legal description)

TRANSACTION DATES	GRANTOR (SELLER)	GRANTEE (BUYER)	TYPE OF TRANSACTION	DOLLAR AMOUNT	COMMENTS
11/20/1892	United States	Hyrum Bates	Patent		N1/2 NW1/4 Sec. 10
6/7/1909	Hyrum Bates & wife	William J. Barrette	W.D.		N1/2 NW1/4 Sec. 10
9/29/1910	William J. Barrette	The Grasselli Chemical Co.	Q.C.D.		N1/2 NW1/4 Sec. 10 [zinc concentrates]
4/17/1947	E.I. duPont de Nemours and Co.	Clarence I. Justheim	Deed		[duPont & Grasselli consolidated 1928]
11/23/1948	Clarence I. & Margaret Justheim	R. Bristol, C. Early., C. Christensen	Q.C.D.		[21.5% und. int. each]
4/28/1971	3rd Dist. Court of SL County	Estate: Dorothy J. Early	Decree		[Clyde Early, Jr., Executor]
12/8/1971	Clyde, Jr. & Marilyn Early	D.C. Anderson	Q.C.D.		
10/18/1972	Clarence I. & Margaret Justheim	D.C. Anderson	Q.C.D.		
1/26/1972	D.C. & Ellen R. Anderson	M.F.T. Mortgage Corp.	Memo. of Option		[und. 80% int. N1/2 NW1/4 Sec. 10]
5/24/1974	William L. Christensen, Tr.	Zions First National Bank	Q.C.D.		[und. 21.5%, to Catherine Christensen 1948]
10/21/1974	M.F.T. Mortgage Corp., et al	Murray First Thrift & Loan Co.	Sp. W.D.		"N1/2 NW1/4 Sec. 10, Subject to interests..."
9/4/1975	Zions First National Bank	Murray First Thrift & Loan Co.	Q.C.D.		
9/25/1975	Elizabeth B. Hansen, et al	Murray First Thrift & Loan Co.	Q.C.D.		[estate of Ralph Everist Bristol]
12/13/1977	Prospector Park Associates, et al	Thomas S. & Gerri R. Weaver	W.D.		[PR-20, rest of form]
4/24/1978	Thomas S. & Gerri R. Weaver	Brig & Karen Le Sueur	W.D.		
6/23/1983	Brig & Karen Le Sueur	Brent O. & Shauna W. Sloan	W.D.		

Researcher: John Ewanowski, CRSA Architecture

Date: 9/22/2015

# TITLE SEARCH FORM

[Obtain information from title abstract books at County Recorder's Office]

Address: 2465 Doc Holiday Drive, page 2

City: Park City, UT

Current Owner: Timothy H. and Karen Lea Snyder

Address: (see historic site form for address)

Tax Number: PR-20

Legal Description (include acreage): Lot 20 Prospector Park Sub. (see historic site form for complete legal description)

TRANSACTION DATES	GRANTOR (SELLER)	GRANTEE (BUYER)	TYPE OF TRANSACTION	DOLLAR AMOUNT	COMMENTS
6/23/1983	Brent O. & Shauna W. Sloan	Brent O. Sloan, et al	W.D.		
6/15/1989	Brent O. Sloan, et al	Curtis G. Lampi & Nancy Shows	W.D.		
5/6/1998	Curtis G. Lampi [widower]	Timothy & Karen Snyder	W.D.		

Researcher: John Ewanowski, CRSA Architecture

Date: 9/22/2015

(outside of 1889 Sanborn boundary)

1889

(outside of 1900 Sanborn boundary)

1900

(outside of 1907 Sanborn boundary)

1907

(outside of 1929 Sanborn boundary)

1929

(outside of 1941 Sanborn boundary)

1941



William and Emma Carruth with family, 50th wedding anniversary, May 9, 1920 ([www.wildeandclarkancestors.com](http://www.wildeandclarkancestors.com))



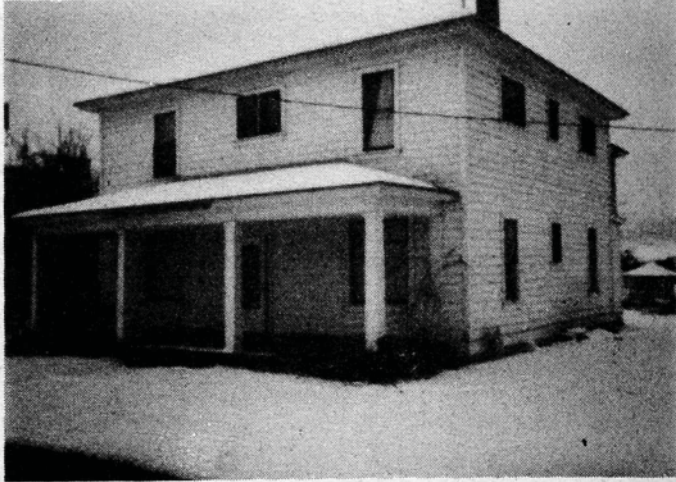
William and Emma Carruth in their house, May 9, 1920 ([www.wildeandclarkancestors.com](http://www.wildeandclarkancestors.com))

2465 Doc Holiday Drive, Park City, Summit County, Utah

*Intensive Level Survey—Biographical and Historical Research Materials*



The house in 1970 in Coalville (Summit County Courthouse in background) ([www.wildeandclarkancestors.com](http://www.wildeandclarkancestors.com))



## Coalville Home Faces Move To P. C.

A turn-of-the-century style 60 year old house will be moved from Coalville to Prospector Park in Park City this week. The owners of the house, Brig and Karen LeSueur, bought the large two-story white house at a public auction last February for \$5000. Before it travels to Park City this week, the "Caruth House" stood behind the courthouse in Coalville for over 60 years.

"The house itself is really in good shape," said Karen LeSueur. "I can hardly wait to see it when it's on the trucks."

The house was to begin moving Wednesday and take two days to reach its new home in Prospector Park. And Karen LeSueur said she hoped it would be ready for occupancy in two weeks.

The foundation for the house was poured June 15.

Because of the height of the house, powerlines in some areas will have to be taken down while it journeys to Park City from Coalville. Mrs. LeSueur said the cost of moving the house was 50 percent less than if a similar house was bought in Park City.

"We wanted to stay in Park City," she said, "and we really love old houses."

And what's inside the house?

It has a seven feet high oak fireplace as well as the original oak staircase. The LeSueur's new home also has an oak toilet seat in the bathroom. The wall paper has remained the same since the house was built.

A large living room with sliding doors leads into the formal dining room and there are two large walk-in closets upstairs.

There are five bedrooms and one bathroom. Karen LeSueur said she plans to convert the two walk-in closets upstairs into another bathroom. The bathroom, besides having an oak toilet seat, also has a six foot long bathtub on claw feet.

When the house is in place this week, it will immediately be rewired. And the oak staircase will be restrained.

The house is being moved by Robert Wells, who is also moving the Miner's Hospital.

Realtors in town have offered to sell the house for a substantial amount above the \$5000 paid by the LeSueurs.

"But we want it!" said Mrs. LeSueur.

Brig and Karen LeSueur have lived in Park City for 10 months and have three children, Rehn, 3, Ethan, 2, and Jared, seven months. Brig is manager of the 7-11.

# D. C. ANDERSON'S ANNEX TO PARK CITY

## SURVEYOR'S CERTIFICATE

I, Robert B. Jones do hereby certify that I am a Registered Civil Engineer and Surveyor and that the above described land is situated within the limits of the State of Utah and I further certify that the tract of land as owned by Murray First Thrift and Loan Company is as shown on this plat and described below as follows:

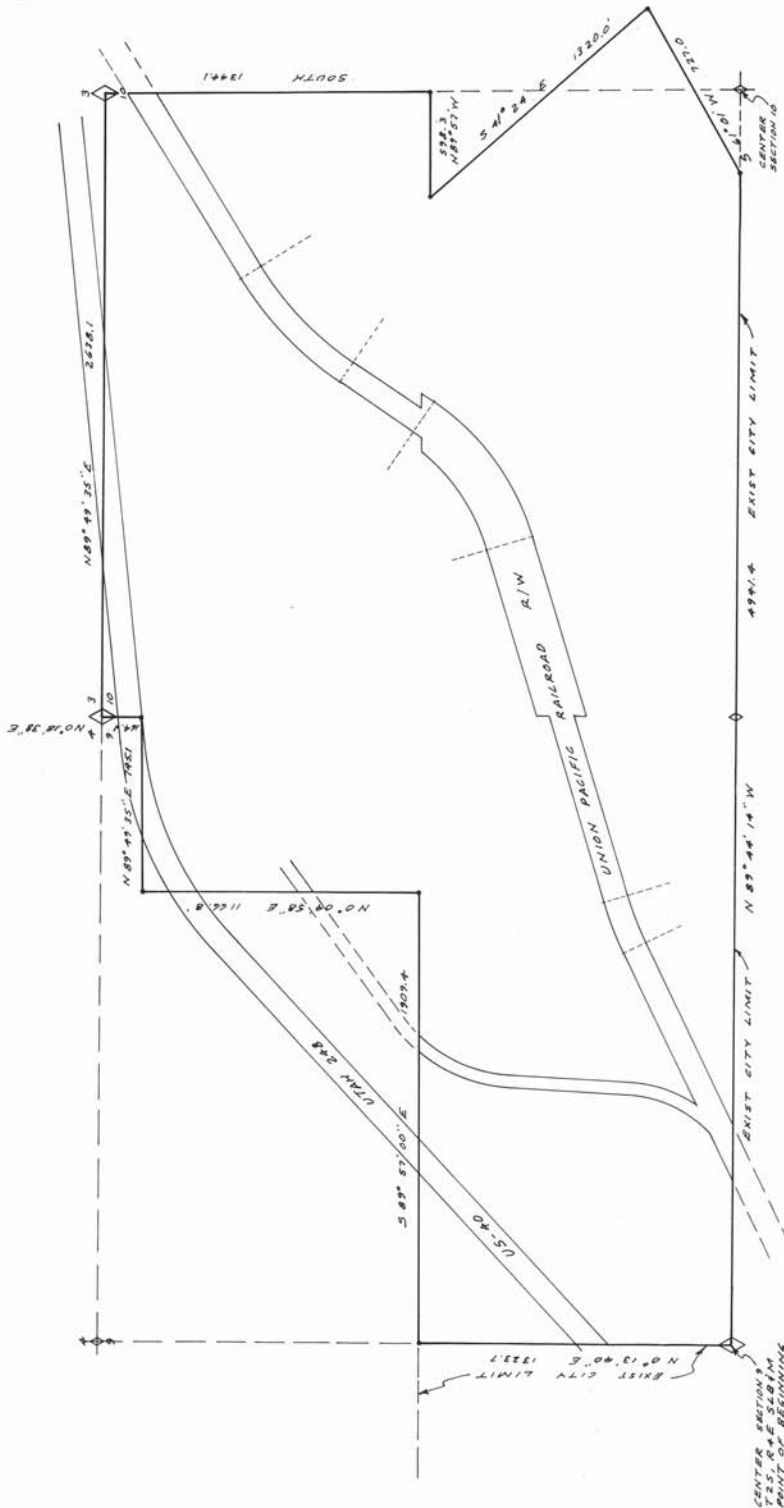
Beginning at the Center of Section 9 Township 2 South Range 4 East Salt Lake Base and Meridian, and running thence N 0° 13' 40" E along the Section line 1323.3 feet; thence S 89° 57' 00" E 1909.4 feet; thence N 0° 00' 00" E 4124.8 feet; thence N 89° 43' 15" E 795.1 feet; thence N 89° 43' 15" E 795.1 feet; thence S 89° 57' 00" E 1909.4 feet; thence N 89° 43' 15" E 795.1 feet; thence S 89° 57' 00" E 1909.4 feet; thence N 89° 43' 15" E 795.1 feet; thence S 89° 57' 00" E 1909.4 feet to the point of beginning. Containing 238.6 Acres more or less.

Date July 11, 1923

Robert B. Jones  
Robert B. Jones  
Surveyor No. 1625

Subscribed and sworn to before me this 11th day of July, 1923 A.D. 1923.  
My Commission Expires July 22, 1926

Notary Public  
Residing in Garfield County



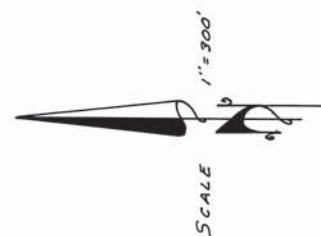
## CITY APPROVALS

Approved this 16th day of August, A.D. 1923 by  
The Park City Planning Commission

Robert B. Jones  
Planning Commission Chairman

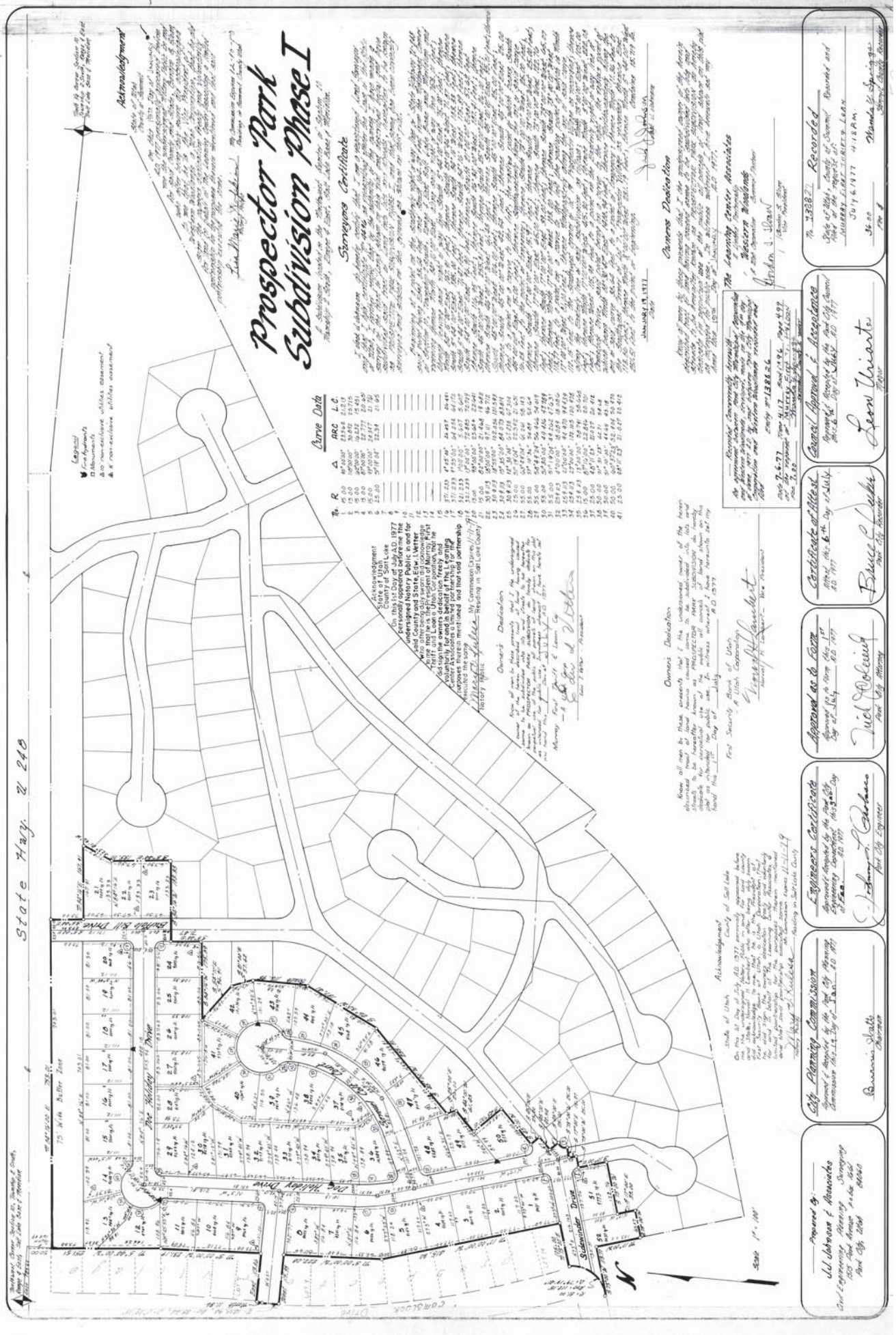
Presented to the Park City Council this 11th day of July, A.D. 1923, at which time this annex to Park City was approved and accepted.

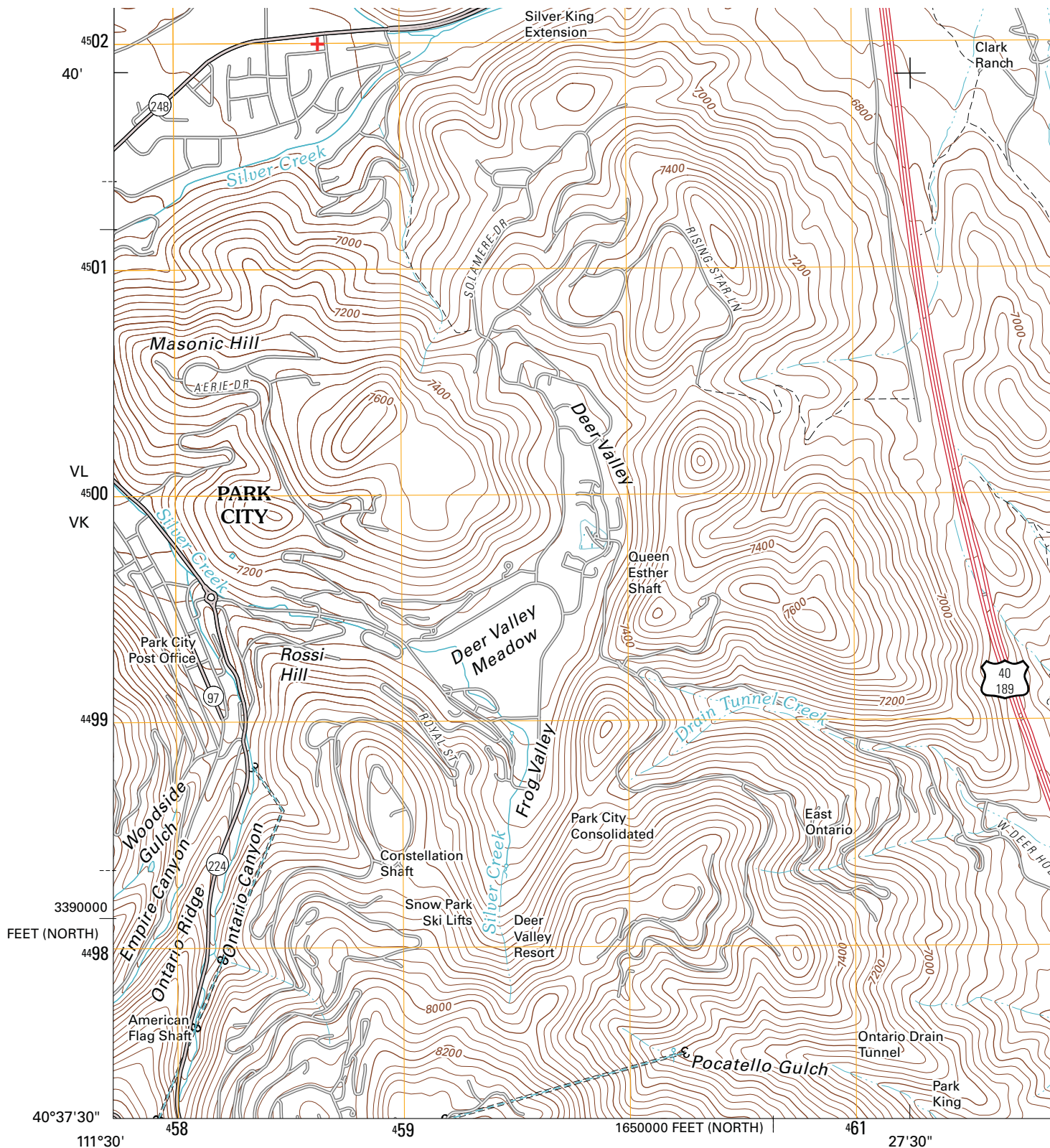
Robert B. Jones  
Park City Recorder



BOOK 170376  
PAGE 14  
FILED

BUSH & GUDGELL, INC.  
CONSULTING ENGINEERS & LAND SURVEYORS  
500 SOUTH MAIN EAST  
SALT LAKE CITY, UTAH





Produced by the United States Geological Survey  
 North American Datum of 1983 (NAD83)  
 World Geodetic System of 1984 (WGS84). Projection and  
 1 000-meter grid: Universal Transverse Mercator, Zone 12T  
 10 000-foot ticks: Utah Coordinate System of 1983  
 (north and central zones)

+ location on USGS Park City East 1:24000 Quadrangle Map (2011)

Imagery.....NAIP, July 2009 - August 2009  
 Roads.....©2006-2010 Tele Atlas  
 Names.....GNIS, 2009  
 Hydrography.....National Hydrography Dataset, 2009

UTM GRID AND 2011 MAGNETIC NORTH  
 DECLINATION AT CENTER OF SHEET

U.S. National Grid



## Ambition Living Construction

Permit #: PLAN23-1144 / Lot 20 / Prospector Park Sub. Ph. 1 / 2465 DOC HOLIDAY  
DR

Application Date: 08/28/23 started by Tisha Stender

Submitted On: 08/28/23 by Michelle Johnson

Accepted Date: 08/28/23 by JJ Trussell



PLAN23-1144

Last Inspection Completed:

By:

### Permit History

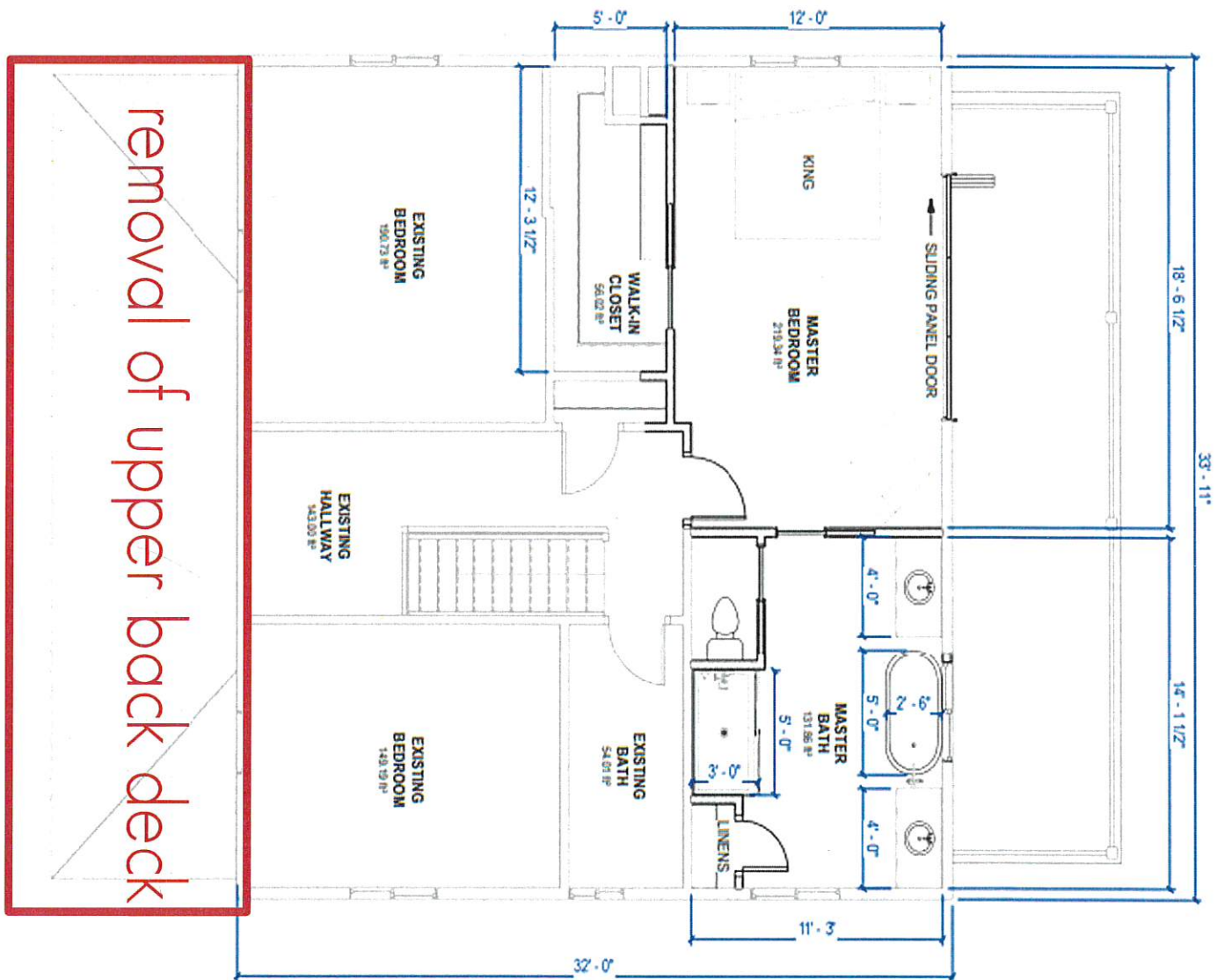
08/30/23 - Jack Niedermeyer - Flagged - No Inspections Allowed No Reminder  
- Planning: HDDR Approval is required for the proposed modifications to the Historic Structure. HDDR Approval will need to be issued prior to approval of the Building Permit. .

### Notes

### Attachments

Current Status: review

Date: 08/28/2023



# Historic Preservation Board Staff Report



**Subject:** Standards for Temporary Structures in Historic Districts  
**Application:** PL-23-05963  
**Author:** Planning Team  
**Date:** March 6, 2024  
**Type of Item:** Legislative – Land Management Code Amendments

## Recommendation

(I) Review the proposed Land Management Code amendments regarding standards for temporary structures located within Historic Districts, (II) open a public hearing, and (III) consider forwarding a positive recommendation for the Planning Commission's consideration on March 27, 2024 as outlined in the draft ordinance (Exhibit A).

## Description

**Applicant:** Planning Department  
**Zoning Districts:** Historic Residential Low – Density  
Historic Residential – 1  
Historic Residential – 2  
Historic Residential Medium  
Historic Recreation Commercial  
Historic Commercial Business

**Land Management Code Sections Amended:** 15-15-1: Definitions

**Land Management Code Sections Enacted:** 15-13-10: Standards for Temporary Structures in Historic Districts

**Reason for Review:** The Historic Preservation Board is tasked with recommending ordinances that encourage Historic Preservation to the Planning Commission and City Council.¹ Additionally, the Board is responsible for creating and updating comprehensive design regulations for Historic Districts and Historic Sites.

The Planning Commission reviews and forwards a recommendation to the City Council for Land Management Code amendments; the City Council takes Final Action.²

## Background

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¹ LMC [Section 15-11-5](#)

² LMC [Section 15-1-7](#)

On October 4, 2023, the Historic Preservation Board conducted a joint work session with the Planning Commission to discuss Temporary Winter Balcony Enclosures ([Staff Report](#); [Minutes](#), p. 2-11). The Board and Commission discussed the pilot program enacted in 2016 and expressed a desire to revisit the design regulations for balcony enclosures if the pilot program is permitted to continue. During the October work session, the Commission and Board collectively supported enacting design standards for all temporary structures, whether standalone or attached to an existing building separate from the Temporary Winter Balcony Enclosure program.

On December 6, 2023, the Board held a Work Session ([Staff Report](#); [Minutes](#)) to review proposed design standards for temporary structures and provided the following input:

- Standalone Temporary Structures should have more flexibility in the amount of glazing than affixed Temporary Structures;
- Regarding affixed Temporary Structures: the City should consider the effect of restricting the amount of glazing on the presence of natural light in the interior of the Primary Structure;
- The City should allow glazing treatments (e.g. tinting, frosting, etc.) for Temporary Structures to prevent the occupants from experiencing excessive heat or brightness; and
- The City should encourage energy-efficient heating and cooling systems.

On December 13, 2023, the Planning Commission held a Site Visit and Work Session ([Staff Report](#); [Minutes](#)) to review these standards and provided the following input:

- The City should allow structures and materials that are energy-efficient in accordance with the City's sustainability goals;
- The City should require multiple Temporary Structures on a Site to be consistent with one another;
- The City should investigate the permitting process for Temporary Structures;
- The City should require high-quality materials to be used on Temporary Structures;
- The City should not allow greater flexibility in glazing treatments and should require all glazing to be transparent; and
- The City should consider a maximum size and height for Temporary Structures;

On February 20, 2024, Planning Staff met with the Historic Park City Alliance (HPCA) to review the proposed amendments with the Alliance and gather feedback from community stakeholders. The draft ordinance was sent to HPCA for their review and discussion. On March 1, 2024, the HPCA stated they had no questions or concerns about the proposed standards for Temporary Structures in Historic Districts.

### **Analysis**

Goal 15 of the [General Plan](#) is to preserve the integrity, mass, scale, compatibility and historic fabric of the national and locally designated historic resources and districts for future generations. Objective 15B is to “[m]aintain character, context and scale of local historic districts with compatible infill development and additions.” Further, Community Planning Strategy 15.4 is to “[r]eview annually, the Land Management Code (LMC) and Park City’s

Design [Regulations] for Historic Districts and Historic Sites in order to maintain regulatory consistency.”

Pursuant to LMC [§ 15-1-2](#), the purpose of the LMC is to “implement the goals and policies of the Park City General Plan.” The drafted regulations are intended to facilitate the General Plan’s goal to maintain the character of the Historic Districts and Historic Sites while also providing landowners and businesses to utilize additional space on a temporary basis.

The Historic Preservation Board is tasked³ with preserving the Historic Character of Park City by enacting design standards that ensure compatible design and construction in Historic Districts and on Historic Sites. The Design Guidelines for Historic Districts and Historic Sites were originally enacted in 1983 and underwent a large-scale update in 2014. Since then, periodic updates have been made to the design regulations as needed.

In 2016, the City Council initiated a pilot program to allow annual balcony enclosures from November 15 through April 30 on non-historic buildings along Main Street in the Historic Commercial Business District. The pilot program was initially set for three years, but the City Council extended the program through 2023 after careful consideration and additional public input.

During the COVID-19 pandemic, businesses citywide sought opportunities for increased space to allow for social distancing. As a result, applicants proposed temporary structures like tents, globes, and yurts to provide additional spaces for guests. The City Council enacted a streamlined process for these reviews to help support businesses with social distancing during the pandemic. Several property owners now propose continued installations of temporary structures during the winter season to increase seating capacity. The Historic Preservation Board and Planning Commission identified a need for baseline regulations to establish consistency in reviews and quality materials for installations.

On October 4, 2023, the Historic Preservation Board and Planning Commission held a joint work session to discuss the Temporary Winter Balcony Enclosure pilot program. The Historic Preservation Board voted 5-to-1 to continue the pilot program on non-historic structures. The Planning Commission voted 3-to-2 to continue the pilot program with a proposal that the City Council continue the pilot program for another five years through April 30, 2029 ([Minutes](#), p. 2). On December 14, 2023, the City Council approved an extension of the Program for an additional five years ([Minutes](#), p. 4).

The Planning Team has reviewed the comments from the Historic Preservation Board and Planning Commission and drafted proposed standards for temporary structures located within Historic Districts including new definitions applicable to Temporary Structures.

The proposed design standards (Exhibit A) provide the following:

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³ LMC [§ 15-11-5](#)

- Requirements for high-quality, durable materials on the exterior of Temporary Structures;
- Outlines maximum Area and height of Temporary Structures in Historic Districts;
- Lists permitted Temporary Structures;
- Defines Temporary Structure types;
- Defines a timeframe in which Temporary Structures may be erected in Historic Districts.

### **Department Review**

The Planning Department and City Attorney's Office reviewed this report.

### **Exhibits**

Exhibit A: Draft Ordinance

**Ordinance No. 2024-XX**

**AN ORDINANCE AMENDING LAND MANAGEMENT CODE CHAPTER 15-13:  
REGULATIONS FOR HISTORIC DISTRICTS AND HISTORIC SITES AND CHAPTER  
15-15: DEFINED TERMS TO PROVIDE STANDARDS FOR TEMPORARY  
STRUCTURES IN HISTORIC DISTRICTS**

WHEREAS, the purposes of the Land Management Code include promoting the general health, safety, and welfare of the present and future inhabitants, businesses, and visitors of the City and protecting and enhancing the vitality of the City's resort-based economy, the overall quality of life, the Historic Character, and unique mountain town community;

WHEREAS, the Land Management Code implements the goals and policies of the Park City General Plan;

WHEREAS, *Historic Character* is one of the core values in the Park City General Plan;

WHEREAS, Goal 15 is to preserve the integrity, mass, scale, compatibility, and historic fabric of the national and locally designated historic resources and districts for future generations, Objective 15B of the General Plan is to "[m]aintain character, context and scale of local historic districts with compatible infill development and additions,"

WHEREAS, Community Planning Strategy 15.4 of the General Plan is to "[r]eview, annually, the Land Management Code (LMC) and Park City's Design Guidelines for Historic Districts and Historic Sites in order to maintain regulatory consistency;"

WHEREAS, the purpose of the Historic Preservation Board is to in part preserve the City's unique historic character and to encourage compatible design and construction in the City's Historic Districts and Historic Sites through periodic updates to Land Management Code Chapter 15-13 *Regulations for Historic Districts and Historic Sites*,

WHEREAS, on December 6, 2023, the Historic Preservation Board conducted a work session on potential amendments to the Land Management Code to outline standards for Temporary Structures in Historic Districts;

WHEREAS, on December 13, 2023, the Planning Commission conducted a work session on potential amendments to the Land Management Code to outline standards for Temporary Structures in Historic Districts;

WHEREAS, on March 6, 2024, the Historic Preservation Board conducted a public hearing and forwarded a _____ recommendation to the Planning Commission and City Council;

WHEREAS, the Planning Commission conducted a duly noticed public hearing on March 27, 2024, and forwarded a _____ recommendation to the City Council;

WHEREAS, the City Council conducted a duly noticed public hearing on _____.

NOW, THEREFORE BE IT ORDAINED by the City Council of Park City, Utah, as follows:

SECTION 1. AMEND MUNICIPAL CODE OF PARK CITY LAND MANAGEMENT CODE TITLE 15. The recitals are incorporated herein as findings of fact. Municipal Code of Park City Title 15 Land Management Code Chapter 15-13 *Design Guidelines for Historic Districts and Historic Sites* and Chapter 15-15 *Defined Terms* are hereby amended as outlined in Attachment 1.

SECTION 3. EFFECTIVE DATE. This Ordinance shall be effective upon publication.

PASSED AND ADOPTED THIS ____ day of _____ 2024.

PARK CITY MUNICIPAL CORPORATION

_____  
Nann Worel, Mayor

Attest:

_____  
City Recorder

Approved as to form:

_____  
City Attorney's Office

1 **15-13-10 Standards for Temporary Structures in Historic Districts**

2 **A. Temporary Structures**

- 3 1. Globe Shelters  
4 2. Tents with sidewalls  
5 3. Canopies (tents without sidewalls)  
6 4. Temporary Winter Balcony Enclosures  
7 5. Yurts  
8 6. All others not listed herein are prohibited.

9 B. Applicants shall obtain an Administrative Permit approval for all Temporary Structures  
10 according to Section 15-4-16 before installation.

11 **C. Universal Requirements**

12 **1. Location**

13 a. Temporary Structures shall not impede or obstruct pedestrian  
14 circulation;

15 b. Proposed locations shall be reviewed and approved by the Chief  
16 Building Official, Fire Marshal, and Park City Fire District.

17 c. Temporary Structures shall comply with the setback requirements set  
18 forth in the underlying Zoning District and any applicable overlay(s).

19 **2. Materials**

20 a. Temporary Structures shall:

21 i) be of durable, weatherproof materials;

22 ii) have wall and roofing materials that are non-reflective with a  
23 Solar Reflectivity Index (SRI) of 35 or less;

24 iii) consist of materials that are neutral and earth-toned in color;

25 iv) be limited to no more than three (3) different materials on the  
26 Structure;

27 v) use materials that are compatible with the Primary Structure.

28 vi) be uniform when more than one Temporary Structure is  
29 approved for a Site.

30 **2. Glazing**

31 a. Glazing shall be clear;

32 b. metallic, frosted, tinted, stained, textured, and/or reflective finishes are  
33 prohibited;

34        3. Lighting

35                a. Exterior and interior lighting shall be Fully Shielded, down-directed, with  
36                light bulbs 3000 degrees Kelvin or less;

37        4. Signage

38                a. Signage is prohibited on Temporary Structures.

39        5. Ornamentation:

40                a. Banners, bunting, scrollwork, finials, and other ornamentation are  
41                prohibited.

42        6. Installation on Historic Sites:

43                a. Temporary Structures, or portions thereof, shall not be directly  
44                connected to historic materials.

45        7. Energy Efficiency

46                a. Temporary Structures shall incorporate best practices in energy-efficient  
47                materials and sustainable operating and mechanical systems.

48        8. Maximum Size:

49                a. Maximum Area: The total combined Area of the Temporary Structure  
50                and the Primary Structure shall not exceed the allowed Building Footprint as  
51                determined by the underlying Zoning District.

52                        1. Temporary Structures shall be subordinate in Scale to the  
53                        Primary Structure;

54                b. Maximum Height: Temporary Structures shall be no taller than eighteen  
55                feet (18') or two feet (2') below the ridgeline of the Primary Structure, whichever is less,  
56                as measured from Existing Grade to the topmost roof ridge.

57        9. Ongoing Maintenance:

58                a. Damaged materials shall be replaced or repaired as necessary to  
59                maintain the health and safety of the occupants and a clean appearance.

60        10. Dates of Installation

61                a. Temporary Structures may be installed no earlier than May 1 and must  
62                be removed no later than October 31 annually.

63        11. Review

64                a. Approved Administrative Permits for Temporary Structures are valid for  
65                five (5) years.

66                    b. A Historic District Review Pre-Application is required for Temporary  
67                    Structures.

68            ...

69    **15-15-1 Definitions:**

70            ...

71

72    **GLOBE SHELTER** – A framed transparent spherical private shelter with panoramic  
73    views which is manufactured off-site and temporarily placed on an approved location  
74    within a Site.

75    **TEMPORARY STRUCTURE** – A standalone Structure, or a Structure that is partially  
76    affixed to an existing Building on a temporary basis not to exceed 180 days as set forth  
77    by the International Building Code.

78    **YURT** – A circular domed tent of membrane stretched over a collapsible lattice  
79    framework.

80            ...