



**PLANNING DEPARTMENT ADMINISTRATIVE PUBLIC HEARING
SUMMIT COUNTY, UTAH
January 4, 2024**

The Planning Department of Park City, Utah, will hold a Public Hearing in person at the Marsac Municipal Building, Planning Department Conference Room, at 445 Marsac Avenue, Park City, Utah 84060. Meetings will also be available online and may have options to listen, watch, or participate virtually.

1. REGULAR AGENDA - 12:00PM

- 1.A. **509 Park Avenue - Modification of Historic District Design Approval** - The Applicant Proposes to Modify the December 2022 Historic District Design Review Approval to Integrate Salvaged Stone Material from a Historic Retaining Wall into the Final Site Design and Requests a One-Year Extension to the Approval. PL-23-05970
(A) Public Hearing; (B) Action
- 1.B. **2900 Deer Valley Drive East - Administrative Conditional Use Permit** - The Lodges at Deer Valley Propose to Install a 40-foot by 60-foot Temporary Tent in a Private Plaza Area for the Brand Storytelling Event, January 17-20, 2024, in the Residential Development Zoning District. PL-23-05982
(A) Public Hearing; (B) Action

Pursuant to the Americans with Disabilities Act, individuals needing special accommodations during the meeting should notify the Planning Department at 435-615-5060 or planning@parkcity.org at least 24 hours prior to the meeting.

***Parking is available at no charge for meeting attendees who park in the China Bridge parking structure.**

Planning Department Staff Report



Subject: 509 Park Avenue
Application: PL-23-05970
Author: Spencer Cawley, Planner II
Date: January 4, 2024
Type of Item: Modification of Approval

Recommendation

(I) Review the Applicant's proposal to modify the approved building plans for a new Single-Family Dwelling to incorporate material from a Historic stone retaining wall, (II) conduct a public hearing, and (III) consider approving the requested modification and a one-year extension based on Findings of Fact, Conclusions of Law, and Conditions of Approval outlined in the Draft Final Action Letter (Exhibit A).

Description

Applicant: Jeff Love
Caitlyn Barhorst, Applicant Representative
Location: 509 Park Avenue
Zoning District: Historic Residential – 1
Adjacent Land Uses: Residential
Reason for Review: The Planning Director, or their Designee, reviews all requests for modifications and extensions to Historic District Design Reviews.¹

HDDR Historic District Design Review
HPB Historic Preservation Board
HR – 1 Historic Residential – 1
LMC Land Management Code
ROW Right-of-Way

Terms that are capitalized as proper nouns throughout this staff report are defined in LMC § [15-15-1](#).

Summary

On December 8, 2022, the Applicant and property owner received Historic District Design Review (HDDR) approval from the Planning Director and proposed to construct a new Single-Family Dwelling on a vacant Lot in the Historic Residential – 1 Zoning District (Exhibit B). The Applicant is in the final stages of renovating the neighboring Landmark Historic Structure at 517 Park Avenue, immediately to the north. A Historic stone retaining wall spans the front property lines of both 509 and 517 Park Avenue. A portion of the retaining wall must be removed to accommodate a driveway for the new Single-Family Dwelling at 509 Park Avenue. The Applicant proposes to modify the HDDR approval to incorporate salvaged stone from the disassembled portion of the

¹ LMC [§ 15-1-8](#)

Historic retaining wall into the plans for the new Single-Family Dwelling.

Background

On September 15, 2022, the City Council adopted Ordinance No. 2022-37 approving the Bardsley Plat Amendment that defined Lot 3 (509 Park Avenue) as one Lot. According to the Findings of Fact, “historically, Lot 3 [509 Park Avenue] contained a Single-Family Dwelling which was demolished between 1929 and 1941.” Sanborn Fire Insurance Maps help with verifying this fact, as seen in the following images:



A non-historic section of covered porch on the adjacent Landmark Historic Structure to the north (517 Park Avenue) encroached onto Lot 3. On July 28, 2022, the Planning Director approved an HDDR application for 517 Park Avenue, which included removal of the non-historic porch (PL-22-04866). However, approximately 2.28 square feet of the Landmark Historic Structure encroaches onto 509 Park Avenue. The greatest encroachment is 3.25 inches at the back of the house and tapers to zero inches at the front of the Landmark Historic Structure. On August 12, 2022, the Applicant recorded an Encroachment Easement Agreement with Summit County to address the encroachment of the Landmark Historic Structure onto Lot 3 ([Entry No. 01193600](#)). Additionally, the Historic stone retaining wall encroaches into the Park Avenue Right-of-Way (ROW). On August 15, 2022, the Applicant recorded an Encroachment Permit with Summit County to address the encroachment into the ROW ([Entry No. 01193657](#)).

On December 8, 2022, the Applicant received HDDR approval to construct a new Single-Family Dwelling on the vacant Lot. Condition of Approval 2 of the Final Action Letter states:

If the Applicant does not obtain a complete building permit within one year of the date of this approval, this HDDR approval will expire unless the Applicant submits a written extension request to the Planning Department prior to the expiration date and the Planning Department approves an extension.

On August 2, 2023, the Applicant received approval from the Historic Preservation

Board (HPB) for the Material Deconstruction and Disassembly and Reassembly of the Historic stone retaining wall (Exhibit C).

Applicants may request modifications to and extensions of an HDDR approval by submitting a Request for Extension of Approval/Modification of Approval Application to the Planning Department. The Applicant submitted a complete application on December 1, 2023, to modify the HDDR approval for 509 Park Avenue. Additionally, the Applicant requests to extend the approval for one year in order to obtain their Building Permit. The Applicant is not requesting any modifications to the design of the Single-Family Dwelling nor seeks any exception from the Land Management Code (Exhibit D).

Department Review

The Planning Department reviewed this report.

Notice

Staff published notice on the City's website and the Utah Public Notice website, and posted notice to the property on December 21, 2023. Staff mailed courtesy notice to property owners within 300 feet on December 21, 2023.²

Public Input

Staff did not receive any public input at the time this report was published.

Alternatives

- The Interim Planning Director may approve the Modification of Approval application;
- The Interim Planning Director may deny the Modification of Approval application and direct staff to make Findings for denial; or
- The Interim Planning Director may request additional information and continue the discussion to a date certain.

Exhibits

Exhibit A: Draft Final Action Letter and Modified Plans
Exhibit B: December 8, 2022, HDDR Final Action Letter
Exhibit C: August 2, 2023, HPB Final Action Letter
Exhibit D: Applicant Narrative

² LMC [§ 15-1-21](#)



Planning Department

January 4, 2024

Jeff Love
PO Box 1836
Park City, UT 84060

CC: Caitlyn Barhorst

NOTICE OF PLANNING DEPARTMENT ACTION

Description

Address: 509 Park Avenue

Zoning District: Historic Residential – 1

Application: Modification of Approval

Project Number: PL-23-05970

Original Project Number: PL-22-05313

Action: APPROVED WITH CONDITIONS (See Below)

Date of Final Action: January 4, 2024

Project Summary: The Applicant and property owner request to modify the December 8, 2022, Historic District Design Review approval to construct a new Single-Family Dwelling on a vacant Lot to incorporate salvaged stone material from the Historic retaining wall into the project's final plans and to extend the approval by one year.

Action Taken

On January 4, 2024, the Planning Director conducted a public hearing and approved the modification to an existing Historic District Design Review (HDDR) approval according to the following Findings of Fact, Conclusions of Law, and Conditions of Approval.

Findings of Fact

1. The property is located at 509 Park Avenue on vacant Lot 3 of the Bardsley Plat Amendment.
2. The Site is in the Historic Residential – 1 (HR – 1) Zoning District.
3. The property is listed with Summit County as PC-72-A.

4. The Applicant is the property owner of 509 and 517 Park Avenue.
5. On September 15, 2022, the City Council adopted Ordinance No. 2022-37 approving the Bardsley Plat Amendment that defined Lot 3 (509 Park Avenue) as one Lot. According to the Findings of Fact, “historically, Lot 3 [509 Park Avenue] contained a Single-Family Dwelling which was demolished between 1929 and 1941”.
6. A non-historic section of covered porch on the adjacent Landmark Historic Structure to the north (517 Park Avenue) encroached onto Lot 3.
7. On July 28, 2022, the Planning Director approved an HDDR application for 517 Park Avenue, which included removal of the non-historic porch (PL-22-04866).
8. Approximately 2.28 square feet of the Landmark Historic Structure encroaches onto 509 Park Avenue. The greatest encroachment is 3.25 inches at the back of the house and tapers to zero inches at the front of the Landmark Historic Structure.
9. On August 12, 2022, the Applicant recorded an Encroachment Easement Agreement with Summit County to address the encroachment of the Landmark Historic Structure onto Lot 3 (Entry No. 01193600).
10. A Historic stone retaining wall sits at the front property line of 509 and 517 Park Avenue.
11. The Historic stone retaining wall encroaches into the Park Avenue Right-of-Way. On August 15, 2022, the Applicant recorded an Encroachment Permit with Summit County to address the encroachment into the ROW (Entry No. 01193657).
12. The stone retaining wall is failing due to the significant snowfall of 2022 and the construction activity associated with 517 Park Avenue. Heavy machinery accessed the construction site through 509 Park Avenue.
13. Single-Family Dwellings are an Allowed Use in the HR – 1 Zoning District.
14. The Design Review Team and Planning Staff reviewed 509 Park Avenue’s HDDR application for compliance with Land Management Code (LMC) Chapter 15-13 *Design Guidelines for Historic Districts and Historic Sites*.
15. On December 8, 2022, the Applicant received HDDR approval to construct a new Single-Family Dwelling on vacant Lot 3.
16. A portion of the retaining wall must be removed to accommodate a driveway for the new Single-Family Dwelling at 509 Park Avenue.
17. On August 2, 2023, the Applicant received approval from the Historic Preservation Board for the Material Deconstruction and Disassembly and Reassembly of the Historic stone retaining wall.
18. The Applicant proposes to modify 509 Park Avenue’s 2022 HDDR approval to incorporate any salvaged material from the disassembled portion of the Historic retaining wall into the plans for the new Single-Family Dwelling.

19. The Applicant also requests to extend the HDDR approval by one year to allow more time to obtain a Building Permit.
20. Pursuant to LMC § 15-11-12(E), Unless otherwise indicated, Historic District Design Review (HDDR) approvals expire one (1) year from the date of the Final Action. The Planning Director or designee may grant an extension of an HDDR approval for one (1) additional year when the Applicant is able to demonstrate no change in circumstance that would result in an unmitigated impact or that would result in a finding of non-compliance with the Park City General Plan or the Land Management Code in effect at the time of the extension request. Change of circumstance includes physical changes to the Property or surroundings. Notice shall be provided consistent with the original HDDR approval per Sections 15-1-12 and 15-1-21. Extension requests must be submitted to the Planning Department in writing prior to the date of the expiration of the HDDR approval.
21. The Applicant's Narrative states, "The approved reconstruction of the stone retaining wall along [509 and 517 Park Avenue] has yet to be completed due to timeline and weather constraints which means the exact quantity of stone available to be re-used is not quantifiable as of December 1, 2023. The proposed plans include prioritizing [the] re-use of the Historic stone along the wall that connects to the property at 517 Park Avenue. Any remaining stone will then be used at the other side of the [proposed] driveway for the remainder of the retaining wall. All stone to be used for the retaining walls along the face of the driveway will be sourced and stacked to match the Historic stone appearance".
22. The Applicant submitted a complete Modification of Approval Application to the Planning Department on December 1, 2023, to modify the 2022 HDDR approval.
23. The Applicant does not request any modifications to the design of the Single-Family Dwelling nor seeks any exception from the Land Management Code.
24. The Lot Area is 1,874.25 square feet. On September 7, 2022, the Planning Director determined that because the Lot Area is three-quarters square feet smaller than the zoning requirement for minimum Lot Area, the Lot can be used as if the Lot Area is 1,875 square feet.
25. The Lot width is 24.99 feet wide. The reason for the 0.01-foot difference in Lot width is due to a proration in Block 5.
26. The Maximum building Footprint is 844 square feet.
27. LMC § 15-4-2 states that retaining walls may be erected or allowed within the buildable Area, and as allowed in the Setback exceptions.
28. Within any Historic zoning district, construction of a retaining wall over four feet requires a Building Permit.
29. LMC § 15-13-2 outlines the standards for Historic retaining walls. This modification must meet the following requirements:

- a. **Historic retaining walls shall be preserved to the greatest extent possible.**

Complies – The Applicant proposes to use the Historic material removed for the new driveway in the reconstruction of the Historic entryway at 517 Park Avenue.

- b. **Maintain the Historic height and setback of retaining walls along the street. Retaining walls of stone, concrete, or rock-face concrete block that are original to the Historic Site should be preserved and maintained in their original dimensions.**

Complies – the Applicant does not propose to move the stone wall to any other location on site and will maintain the original dimensions, except for location of the new driveway.

- c. **Removing portions of Historic retaining walls for new driveways and pathways should be avoided to the greatest extent possible, but where it must occur, visual impact should be minimized.**

The Applicant will remove portions of the wall for a new driveway at 509 Park Avenue.

- d. **Historic retaining walls should be repaired with materials that closely approximate the original. Replace only those portions of Historic retaining walls that have deteriorated beyond repair. When repair of deteriorated retaining walls is not feasible, the replacement must reuse the existing stone to the greatest extent possible, and otherwise match the original in color, shape, size, material, and design.**

The Applicant proposes to reuse all stone that is deconstructed from 509 Park Avenue to reface the concrete retaining wall, so it appears original in color, shape, size, material, and design. All remaining stone will be integrated into the final design of the new retaining walls, stairway, and/or driveway at 509 Park Avenue.

- e. **To abate retaining wall failure, improve drainage behind retaining walls so water drains away from the walls. Repair and preserve Historic stone and mortar.**

See Conditions of Approval 6 and 7.

- f. **New retaining walls should be consistent with Historic retaining walls in design, material, scale of materials, as well as size and mass of the wall. Simple board-formed concrete, stone, and other historic materials are recommended over concrete block, asphalt, or other modern concrete treatments.**

Complies – The Applicant proposes to reuse Historic material in the modified plans.

- g. **Non-extant Historic retaining walls of concrete or stone specific to the Historic Site may be reconstructed based on physical or pictorial evidence. Historically appropriate concrete or stone walls, if consistent with the Historic Character of the district, may be added to the area of a Historic Site viewable from adjacent public Rights-of-Way.**

Not applicable to the proposal.

- h. **Maintain stone in its natural finish. It is not appropriate to paint, stain, or plaster over stone or concrete.**

See Condition of Approval 8.

30. Staff published notice on the City's website and posted notice to the property on December 21, 2023.

31. Staff mailed courtesy notices to the property owners within 300 feet on December 21, 2023.

Conclusions of Law

1. The proposal complies with the LMC requirements pursuant to Chapter 15-2.2 *Historic Residential (HR – 1) Zoning District*, LMC § 15-4-2 *Fences and Retaining Walls*, and LMC § 15-13-8 *Design Guidelines New Residential Infill Construction in Historic Districts*.

Conditions of Approval

1. All Conditions of Approval from the December 8, 2022, HDDR approval remain in effect.
2. All Conditions of Approval from the August 2, 2023, Historic Preservation Board still apply.

3. Final plans and construction details shall reflect substantial compliance with this determination and the plans approved on December 8, 2022. Any changes, modifications, or deviations may result in a Stop Work Order.
4. The Applicant shall obtain a Building Permit within one year of this approval prior to initiating any work at 509 Park Avenue.
5. The Applicant shall repair the retaining wall using the original materials that are found safe and/or in serviceable condition. Except for the location of the new Driveway, the retaining wall shall be reassembled in its original location, placement, and orientation.
6. Final plans shall show water runoff and drainage is diverted away from the wall.
7. The Applicant shall prioritize repairing and preserving the Historic stone and mortar over the use of new materials.
8. The Applicant shall maintain the stone in its natural finish. It is not appropriate to paint, stain, or plaster over the stone.
9. The remaining salvaged Historic material shall be reviewed by the Project Planner prior to issuance of a Building Permit.

If you have questions or concerns regarding the contents of this Final Action Letter, please call (435) 615-5060 or email spencer.cawley@parkcity.org.

Sincerely,

Rebecca Ward
Planning Director

CC: Spencer Cawley, Project Planner

Attachment 1 – Modified Plans



509 PARK AVENUE, PARK CITY, UT



SITE CALCULATIONS

LOT AREA: 1,875 SF (0.04 AC)
MAXIMUM BUILDING FOOTPRINT: 844 SF ALLOWED, 843 SF PROPOSED
OFF-STREET PARKING: 2 REQUIRED, 2 PROVIDED

		OWNER JEFF LOVE jtllove4798@gmail.com 435-602-0138	ARCHITECTURE UNCOMMON ARCHITECTS CAITLYN BARHORST 684 W Center Street Midvale, UT 84047 (806) 559-8079 caitlyn@uncommonarch.com	CIVIL ALTITUDE ENGINEERING BLAYDE MCINTIRE PO BOX 531 HEBER CITY, UT 84032 (307) 679-8620 blayde.mcintire@gmail.com	STRUCTURAL HAZELWOOD ENGINEERING RYAN HAZELWOOD 331 S RIO GRAND ST, SUITE 160 SALT LAKE CITY, UT 84101 (801) 810-5061 ryan@hazelwood-eng.com	LANDSCAPE COMPANY T.B.D. CONTACT NAME ADDRESS ADDRESS (801) ###-#### email address	CONTRACTOR COMPANY T.B.D. CONTACT NAME ADDRESS ADDRESS (801) ###-#### email address
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509 PARK AVENUE
509 PARK AVENUE, PARK CITY, UT
HDDR MODIFICATION / EXTENSION

JOB NUMBER:	22100
OWNER:	JEFF LOVE
DATE:	12.1.23

REV	DATE	DESCRIPTION
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COVER

CV



1040 W DAYBREAK PKWY
SOUTH JORDAN, UT 84009

SITE CALCULATIONS

LOT AREA: 1,875 SF (0.04 AC)

MAXIMUM BUILDING FOOTPRINT: 844 SF ALLOWED, 843 SF PROPOSED

OFF-STREET PARKING: 2 REQUIRED, 2 PROVIDED

GENERAL SITE NOTES

1. GRADING AT THE BUILDING SHALL HAVE A 5% MINIMUM SLOPE AWAY FROM THE BUILDING FOR A MINIMUM OF 10'-0". UNO. CONCRETE SHALL BE SLOPED 2% AWAY FROM BUILDING.
2. ALL CONNECTIONS FROM CITY STREETS TO THE BUILDING ARE TO BE PROVIDED UNDER THIS CONTRACT. CONTRACTOR TO VERIFY CITY STANDARDS FOR ROAD, CURB, UTILITY AND SIGNAGE REQUIREMENTS.
3. ALL EXTERIOR SIDEWALKS AND LANDINGS TO HAVE POSITIVE DRAINAGE BUT NO MORE THAN A MAXIMUM OF 1/4" SLOPE PER FOOT TO ALLOW POSITIVE DRAINAGE. ALL REBAR IN EXTERIOR APPLICATIONS TO BE EPOXY COATED.
4. ALL HARDSCAPE TO BE A MINIMUM OF 4" THICK AIR ENTRAINED CONCRETE OVER 6" ROAD BASE, UNO, AND ALL SIDEWALKS SHALL BE NO LESS THAN 4'-0" WIDE.
5. FINISH GRADE OF SOFTSCAPE SHALL BE 2" UNIFORMLY BELOW PAVING SURFACES UNLESS NOTED OTHERWISE.
6. PROTECT EXISTING TREES DURING CONSTRUCTION W/ 6'-0" HIGH CHAIN LINK FENCE AROUND DRIPLINE.
7. CONTRACTOR TO FIELD VERIFY LOCATION OF UTILITY LINES AS REQUIRED.
8. CONTRACTOR TO FIELD VERIFY MIN. 3'-0" SEPARATION BETWEEN GAS AND ELECTRICAL LINES.
9. REESTABLISH NATURAL GRADE AND NATURAL VEGETATION. PROVIDE TEMP. IRRIGATION WHERE NEEDED.
10. SURFACE WATER SHALL DRAIN AWAY FROM THE HOUSE AT ALL POINTS. DIRECT THE DRAINAGE WATER TO THE STREET OR TO AN APPROVED DRAINAGE COURSE, BUT NOT ONTO NEIGHBORING PROPERTIES. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FT (IRC 401.3)
11. RETAINING WALLS (>4FT OR SUPPORTING SURCHARGE), SWIMMING POOLS, SOLAR AND/OR GEO-THERMAL HEATING SYSTEMS, AND PHOTO-VOLTAIC AND/OR WIND GENERATED ELECTRICAL SYSTEMS REQUIRE SEPARATE PERMITS, SEPARATE PLANS, SPECIFICATIONS AND APPLICATIONS ARE TO BE SUBMITTED AND REVIEWED PRIOR TO ISSUANCE OF THESE PERMITS.

509 PARK AVENUE

509 PARK AVENUE, PARK CITY, UT

CHDDR MODIFICATION / EXTENSION

JOB NUMBER: 22100

OWNER: JEFF LOVE

DATE: 12.1.23

REV	DATE	DESCRIPTION
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SITE PLAN

AS100

Page 12 of 4

12/1/2023 9:11:30 AM

A1 SITE PLAN

$$1/4" = 1'-0"$$

WALL TYPE

MATERIAL

NOMINAL SIZE

SEQUENCE

FIRE RATING

W

4

A

- 1

NOTE: REFER TO WALL TYPE SHEET FOR INFORMATION ABOUT UL, STC AND SHEATHING. COORDINATE SHEATHING WITH STRUCTURAL DRAWINGS

FIRE RATING(WHEN NOTED)
1 1 HR RATED
2 2 HR RATED

SEQUENCE
DENOTES NEXT WALL TYPE IN SERIES

NOMINAL SIZE
DENOTES NOMINAL SIZE OF WALL STRUCTURE

STRUCTURAL MATERIAL
C CONCRETE
M MASONRY
W WOOD STUD
S METAL STUD

EXAMPLE: WALL TYPE 9A4-1 IS
A 3 5/8" METAL STUD WALL

KEYED NOTE

- 312

CONCRETE RETAINING WALL FACED IN SALVAGED STONE.
- 1017

GARAGE CHANNEL DRAIN.
- 3210

PROPERTY LINE.

CEILING LEGEND

- A - GYP BOARD CEILING.
- B - WOOD SOFFIT.

DIMENSION NOTES

1. ANY UNDIMENSIONED DOORS ARE 4" FROM THE CORNER
2. PROVIDE (2) STUDS BETWEEN INDIVIDUAL WINDOW UNITS WHERE MULTIPLE UNITS ARE INDICATED
3. DIMENSIONS ARE GIVEN TO EXTERIOR FACE OF FOUNDATION WALL UNO
4. DIMENSIONS ARE TO FACE OF INTERIOR STUD WALL

C1 PLAN - BASEMENT

1/4" = 1'-0"

A1 PLAN - BASEMENT - RCP

1/4" = 1'-0"

509 PARK AVENUE

509 PARK AVENUE, PARK CITY, UT

HDDR MODIFICATION / EXTENSION

JOB NUMBER: 22100

OWNER: JEFF LOVE

DATE: 12.1.23

REV	DATE	DESCRIPTION
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ANNOTATED
PLAN -
BASEMENT

A110.1

WALL TYPE

MATERIAL

NOMINAL SIZE

SEQUENCE

FIRE RATING

W

4

A

- 1

NOTE: REFER TO WALL TYPE SHEET FOR INFORMATION ABOUT UL, STC AND SHEATHING. COORDINATE SHEATHING WITH STRUCTURAL DRAWINGS

FIRE RATING(WHEN NOTED)
1 1 HR RATED
2 2 HR RATED

SEQUENCE
DENOTES NEXT WALL TYPE IN SERIES

NOMINAL SIZE
DENOTES NOMINAL SIZE OF WALL STRUCTURE

STRUCTURAL MATERIAL
C CONCRETE
M MASONRY
W WOOD STUD
S METAL STUD

EXAMPLE: WALL TYPE 9A4-1 IS
A 3/8" METAL STUD WALL

KEYED NOTE

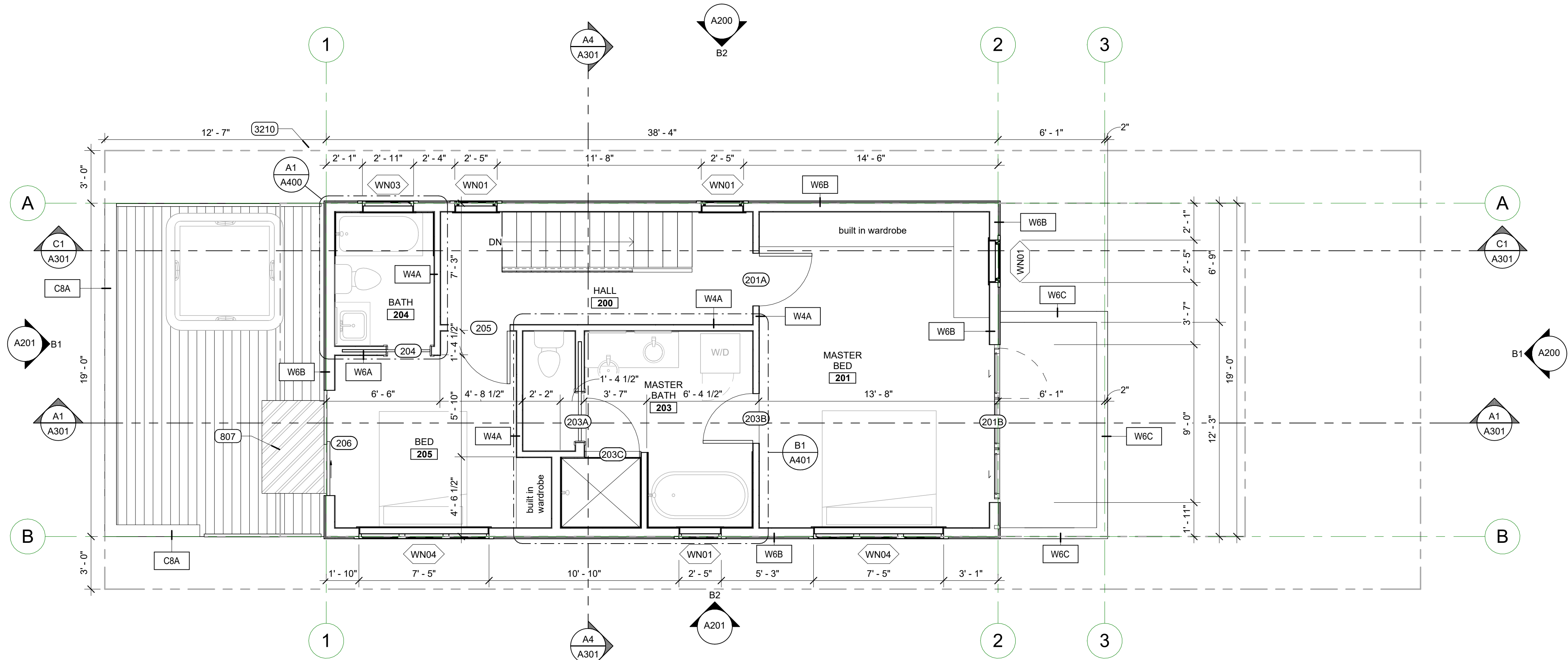
- 807 EGRESS WINDOW WELL WITH GRATE COVER.
- 3210 PROPERTY LINE.

CEILING LEGEND

- A - GYP BOARD CEILING.
- B - WOOD SOFFIT.

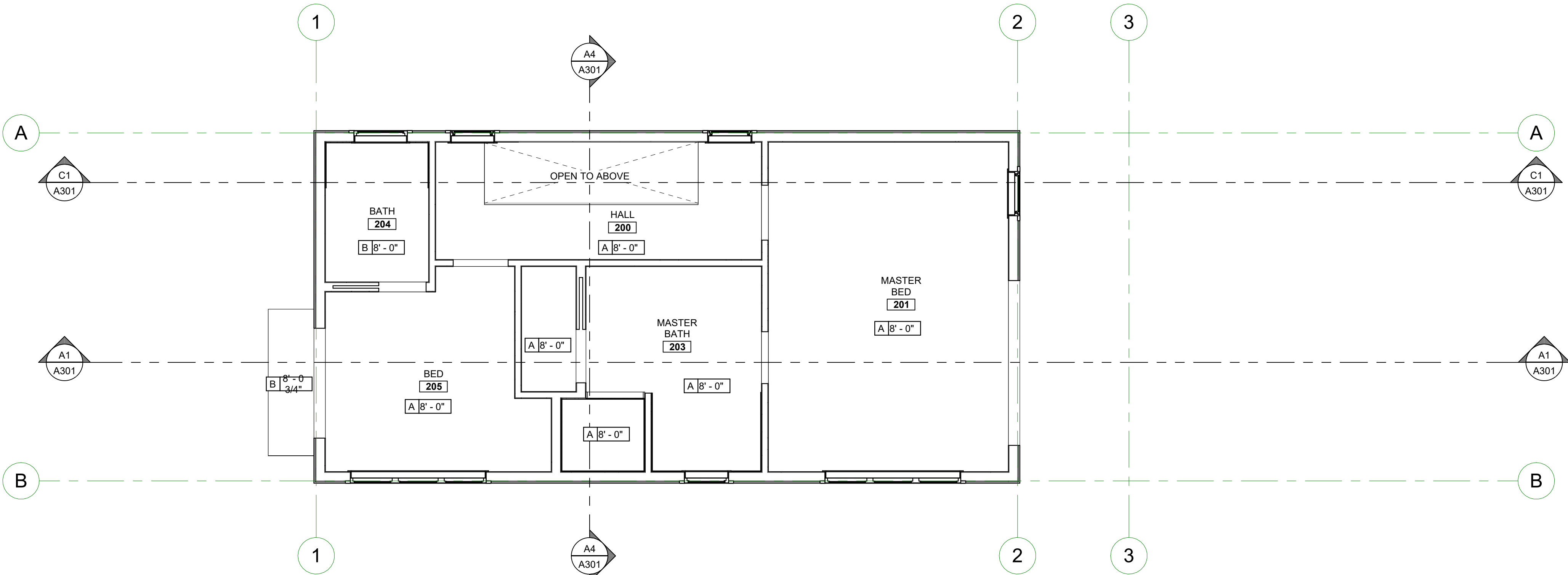
DIMENSION NOTES

1. ANY UNDIMENSIONED DOORS ARE 4" FROM THE CORNER
2. PROVIDE (2) STUDS BETWEEN INDIVIDUAL WINDOW UNITS WHERE MULTIPLE UNITS ARE INDICATED
3. DIMENSIONS ARE GIVEN TO EXTERIOR FACE OF FOUNDATION WALL UNO
4. DIMENSIONS ARE TO FACE OF INTERIOR STUD WALL



C1 PLAN - SECOND FLOOR

1/4" = 1'-0"



A1 PLAN - SECOND FLOOR - RCP

1/4" = 1'-0"

509 PARK AVENUE

509 PARK AVENUE, PARK CITY, UT

HDDR MODIFICATION / EXTENSION

JOB NUMBER: 22100

OWNER: JEFF LOVE

DATE: 12.1.23

REV	DATE	DESCRIPTION
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ANNOTATED
PLAN - SECOND
FLOOR

A130.1



WALL TYPE

MATERIAL

NOMINAL SIZE

SEQUENCE

FIRE RATING

W 4 A - 1

NOTE: REFER TO WALL TYPE SHEET FOR INFORMATION ABOUT UL, STC AND SHEATHING. COORDINATE SHEATHING WITH STRUCTURAL DRAWINGS

FIRE RATING(WHEN NOTED)
1 1 HR RATED
2 2 HR RATED

SEQUENCE
DENOTES NEXT WALL TYPE IN SERIES

NOMINAL SIZE
DENOTES NOMINAL SIZE OF WALL STRUCTURE

STRUCTURAL MATERIAL
C CONCRETE
M MASONRY
W WOOD STUD
S METAL STUD

EXAMPLE: WALL TYPE 9A4-1 IS
A 3/8" METAL STUD WALL

KEYED NOTE

3210 PROPERTY LINE.

CEILING LEGEND

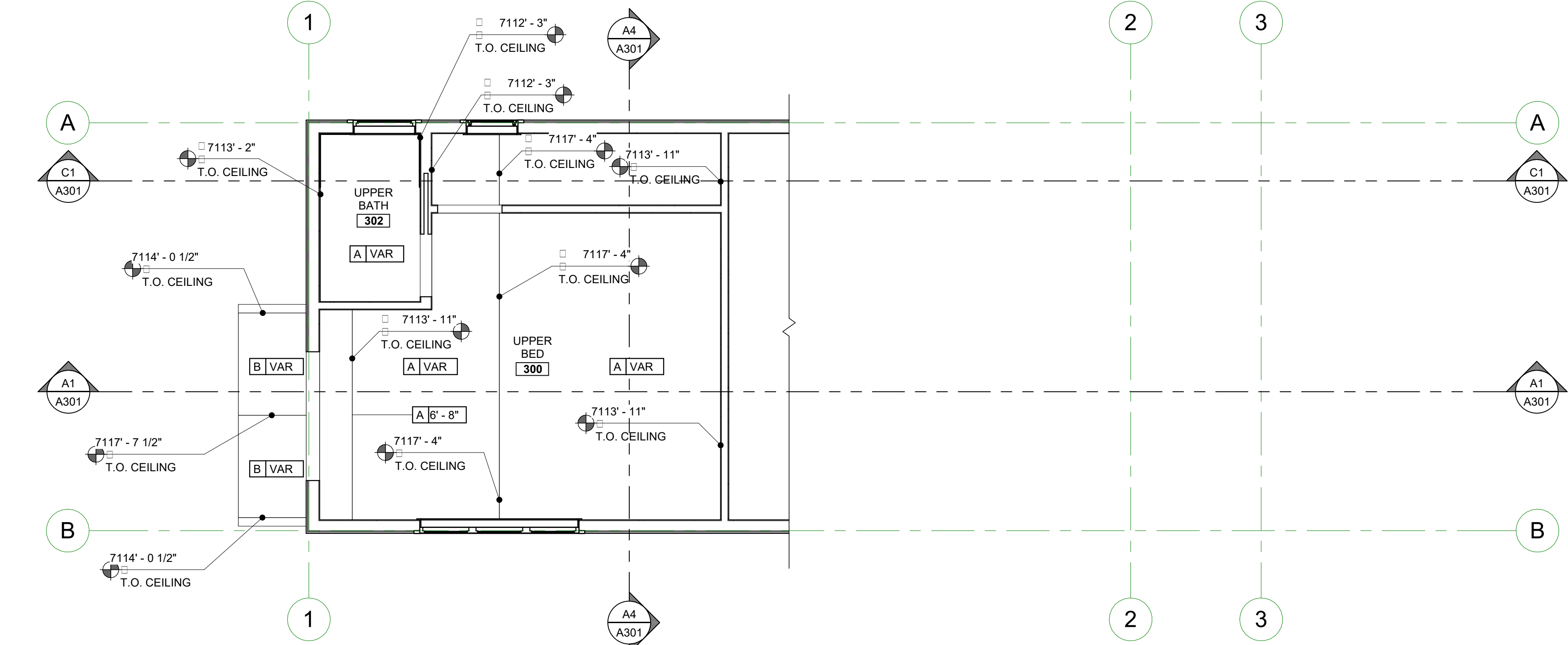
- A - GYP BOARD CEILING.
B - WOOD SOFFIT.

DIMENSION NOTES

- ANY UNDIMENSIONED DOORS ARE 4" FROM THE CORNER
- PROVIDE (2) STUDS BETWEEN INDIVIDUAL WINDOW UNITS WHERE MULTIPLE UNITS ARE INDICATED
- DIMENSIONS ARE GIVEN TO EXTERIOR FACE OF FOUNDATION WALL UNO
- DIMENSIONS ARE TO FACE OF INTERIOR STUD WALL

C1 PLAN - THIRD FLOOR

1/4" = 1'-0"



A1 PLAN - LOFT ATTIC - RCP

1/4" = 1'-0"

509 PARK AVENUE
509 PARK AVENUE, PARK CITY, UT
HDDR MODIFICATION / EXTENSION

JOB NUMBER: 22100
OWNER: JEFF LOVE
DATE: 12.1.23

REV DATE DESCRIPTION

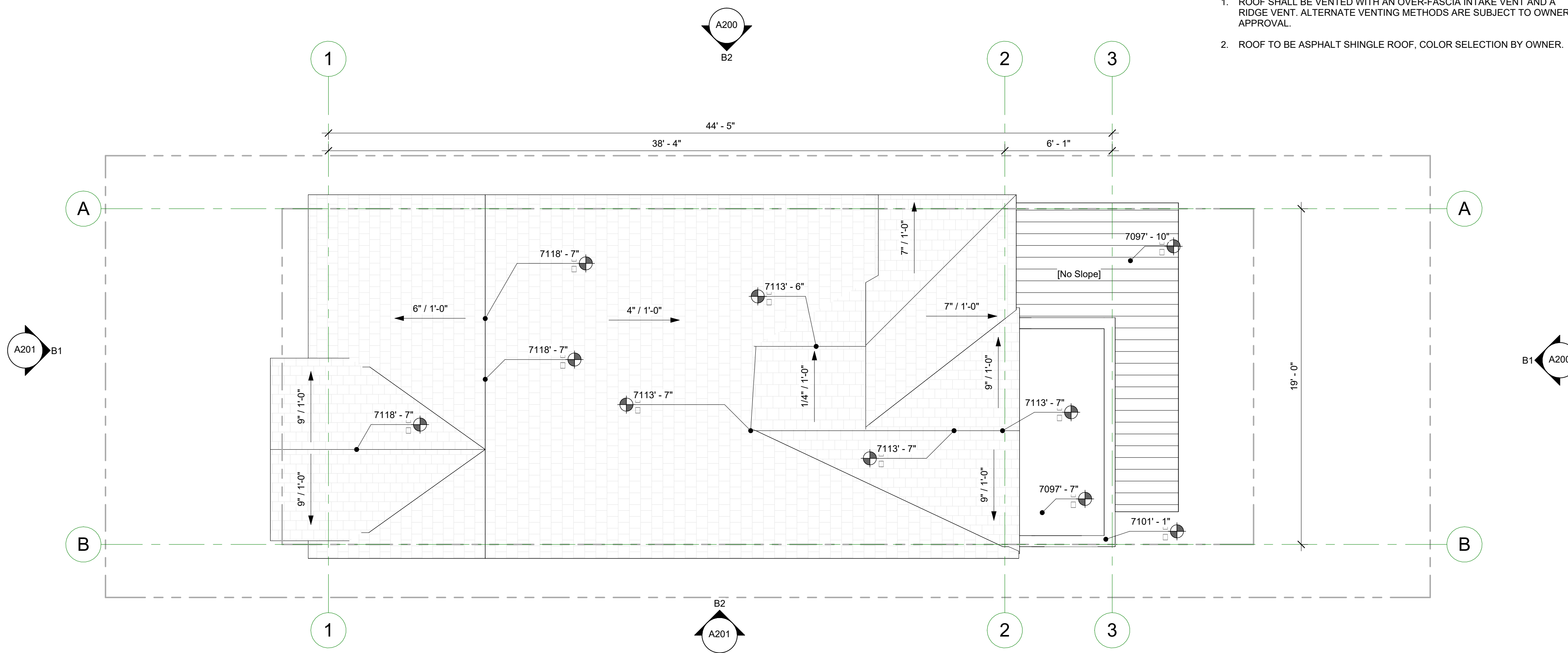
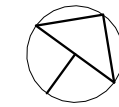
ANNOTATED
PLAN - THIRD
FLOOR

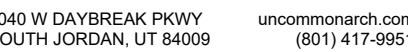
A140.1

509 PARK AVENUE
509 PARK AVENUE, PARK CITY, UT
HDDR MODIFICATION / EXTENSION

REV	DATE	DESCRIPTION
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A190


$$1/4" = 1'-0"$$




B1 EAST ELEVATION
1/4" = 1'-0"

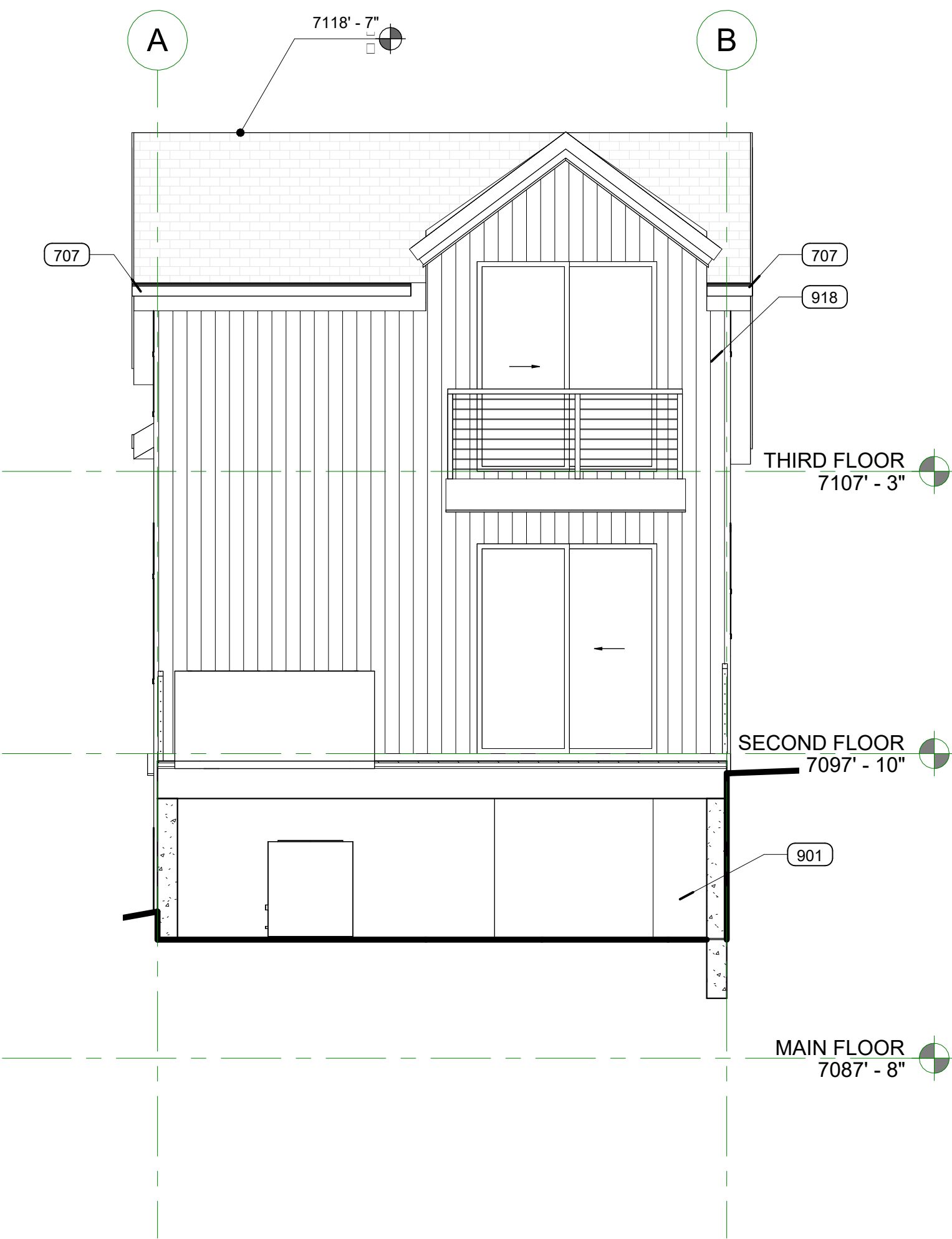
509 PARK AVENUE
509 PARK AVENUE, PARK CITY, UT
HDDR MODIFICATION / EXTENSION

EXTERIOR
ELEVATION

A200

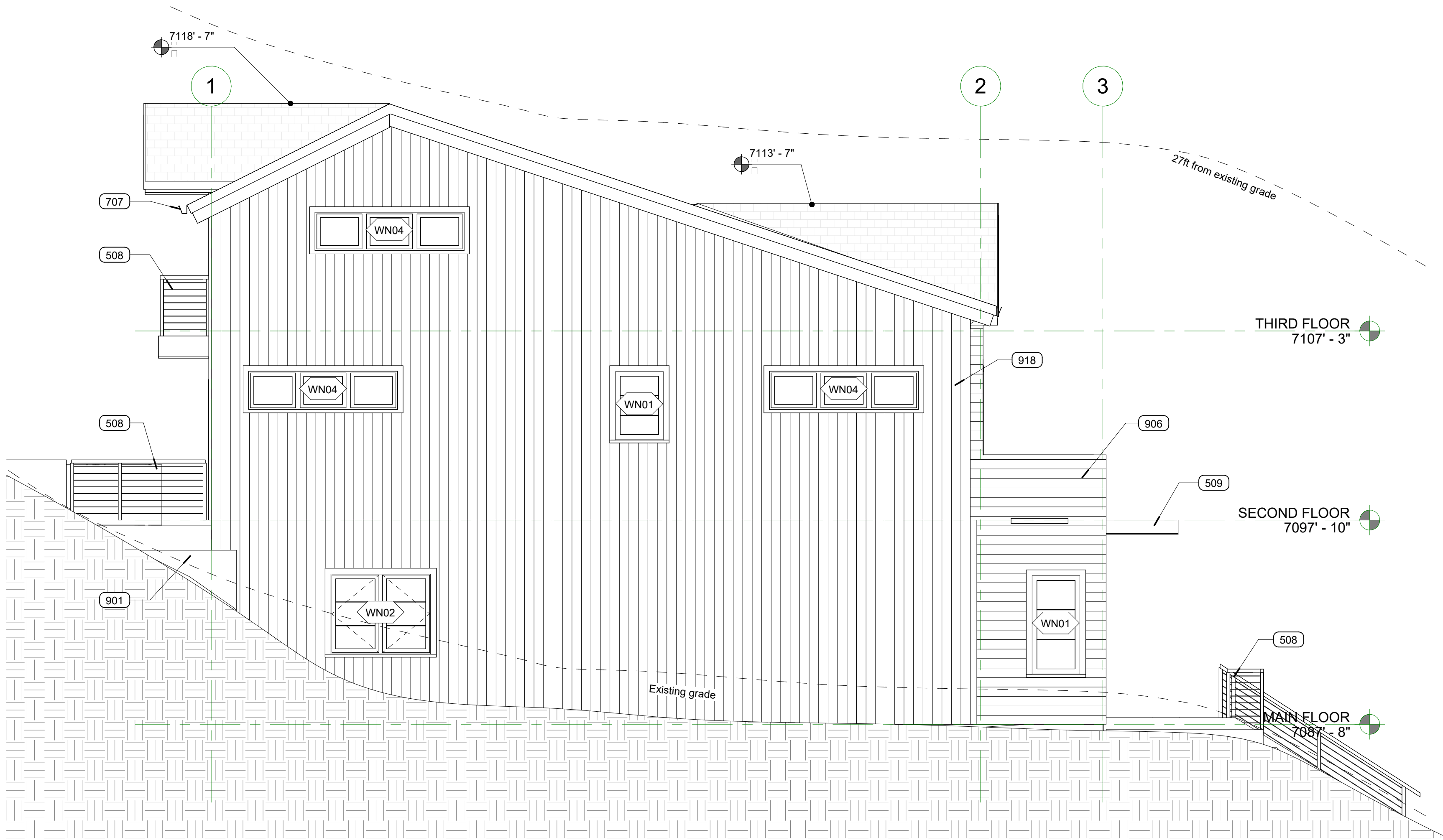
KEYED NOTE

- 508
- GUARDRAIL TO BE 36" MIN A.F.F. 2" TUBE STEEL CONSTRUCTION WITH HORIZONTAL WIRE CABLE SPACED NO MORE THAN 4" APART. FINAL SELECTION BY OWNER.
- 509
- STEEL CANOPY. SEE CANOPY DETAILS & STRUCTURAL.
- 707
- RAIN GUTTER.
- 901
- CONCRETE. SEE EXTERIOR MATERIALS LEGEND.
- 906
- METAL SIDING PANEL. SEE WALL TYPE W6C.
- 918
- PAINTED WOOD BOARD AND BATTEN SIDING.



B1 WEST ELEVATION

1/4" = 1'-0"



B2 SOUTH ELEVATION

1/4" = 1'-0"

509 PARK AVENUE

509 PARK AVENUE, PARK CITY, UT
HDDR MODIFICATION / EXTENSION

JOB NUMBER: 22100
OWNER: JEFF LOVE
DATE: 12.1.23

REV DATE DESCRIPTION

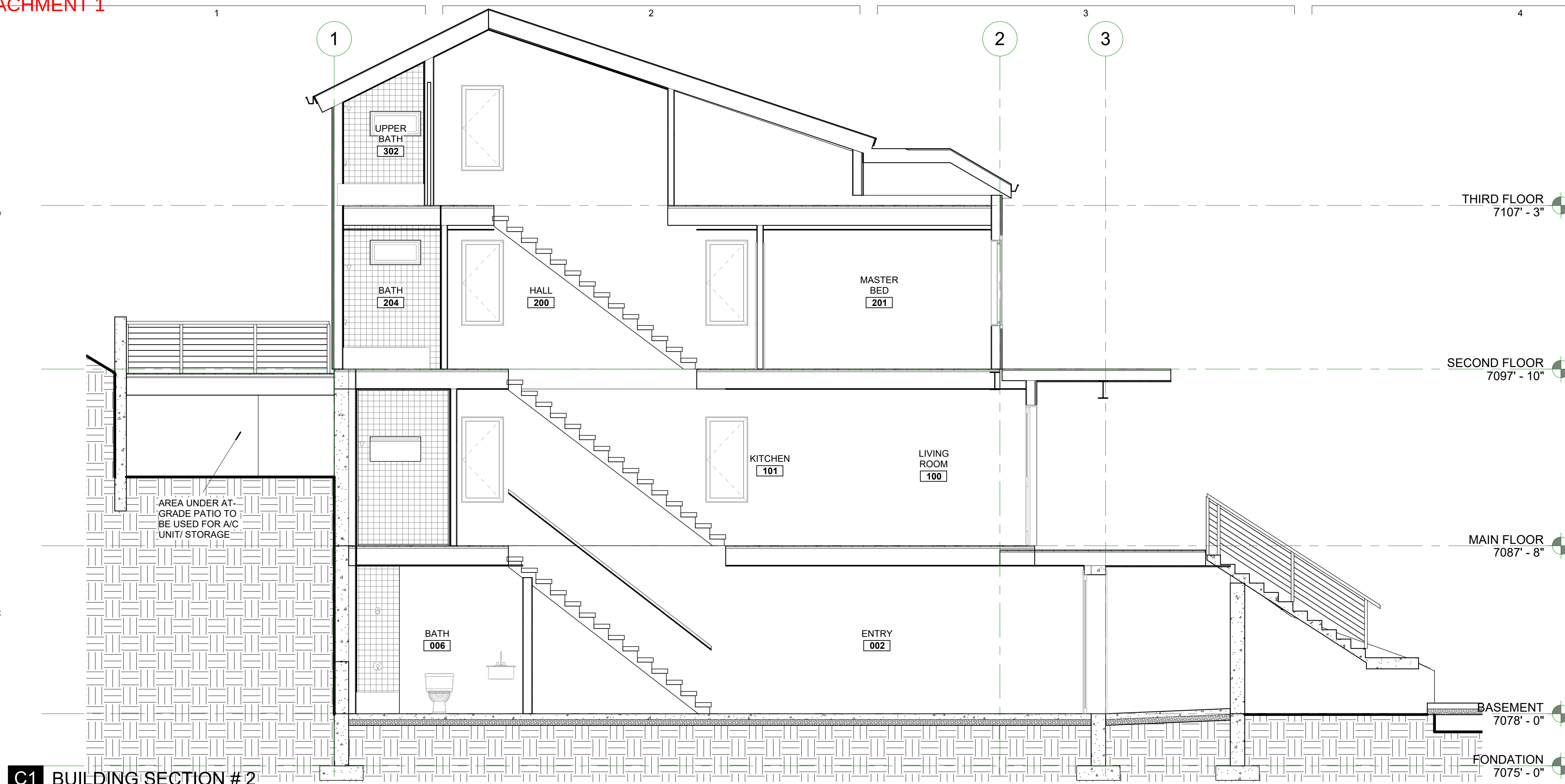
EXTERIOR
ELEVATION

A201

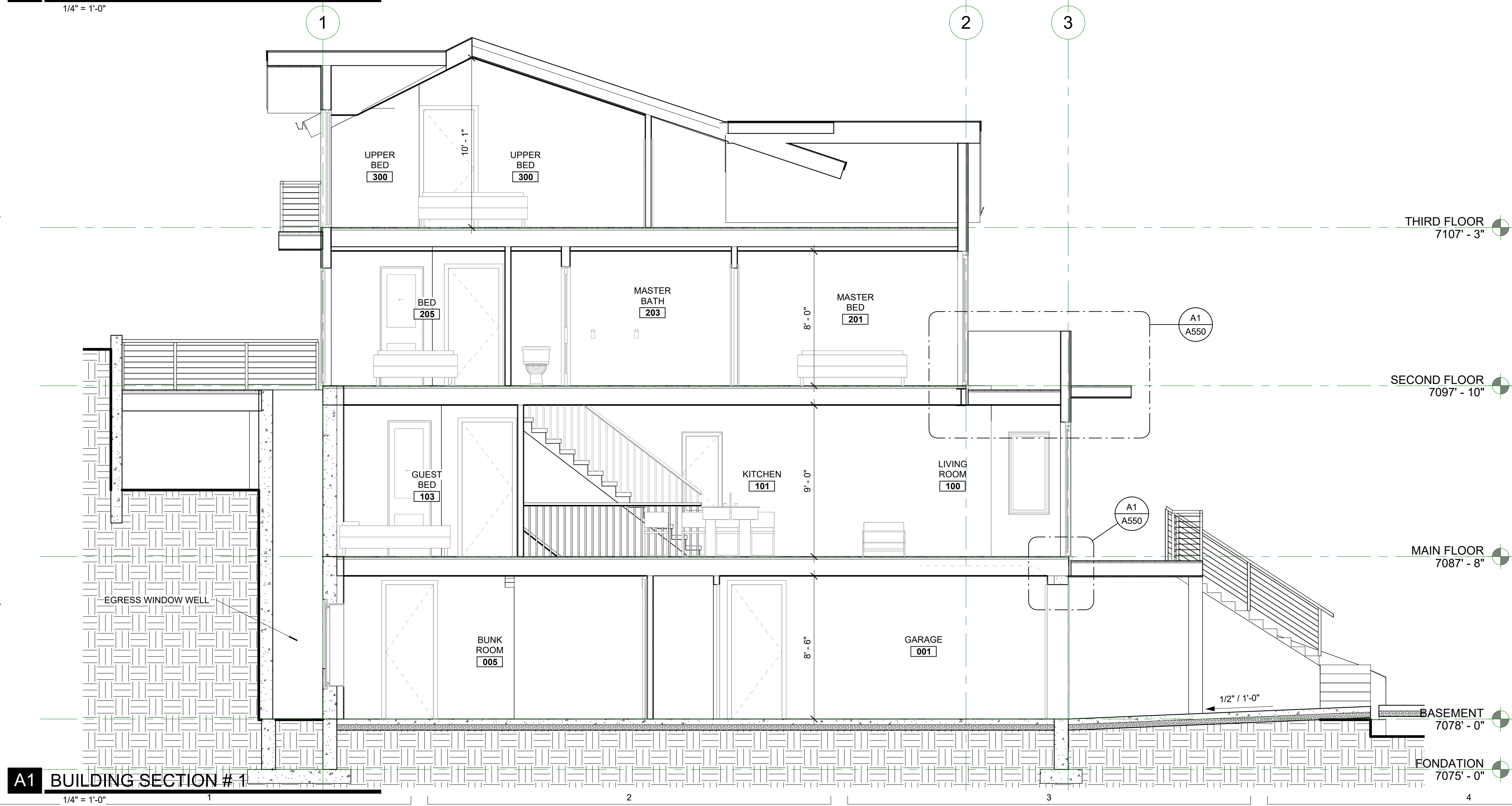


commonarch.com
(801) 417-9951

KEYED NOTE

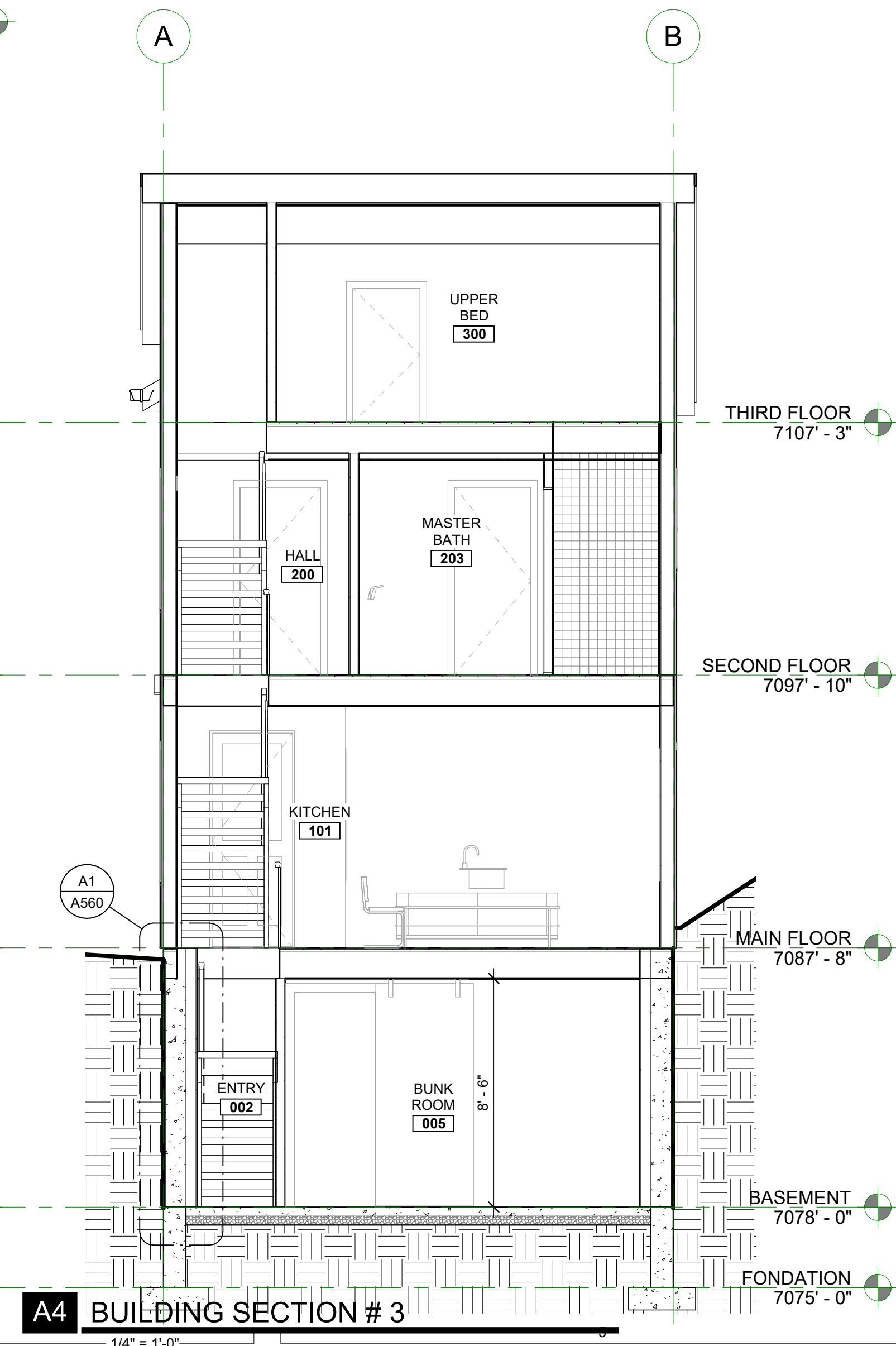


C1 BUILDING SECTION # 2

$$1/4" = 1'-0"$$


A1 BUILDING SECTION # 1

1/4" = 1'-0"



A4 BUILDING SECTION #3

— 1/4" = 1'-0"

509 PARK AVENUE

509 PARK AVENUE, PARK CITY, UT

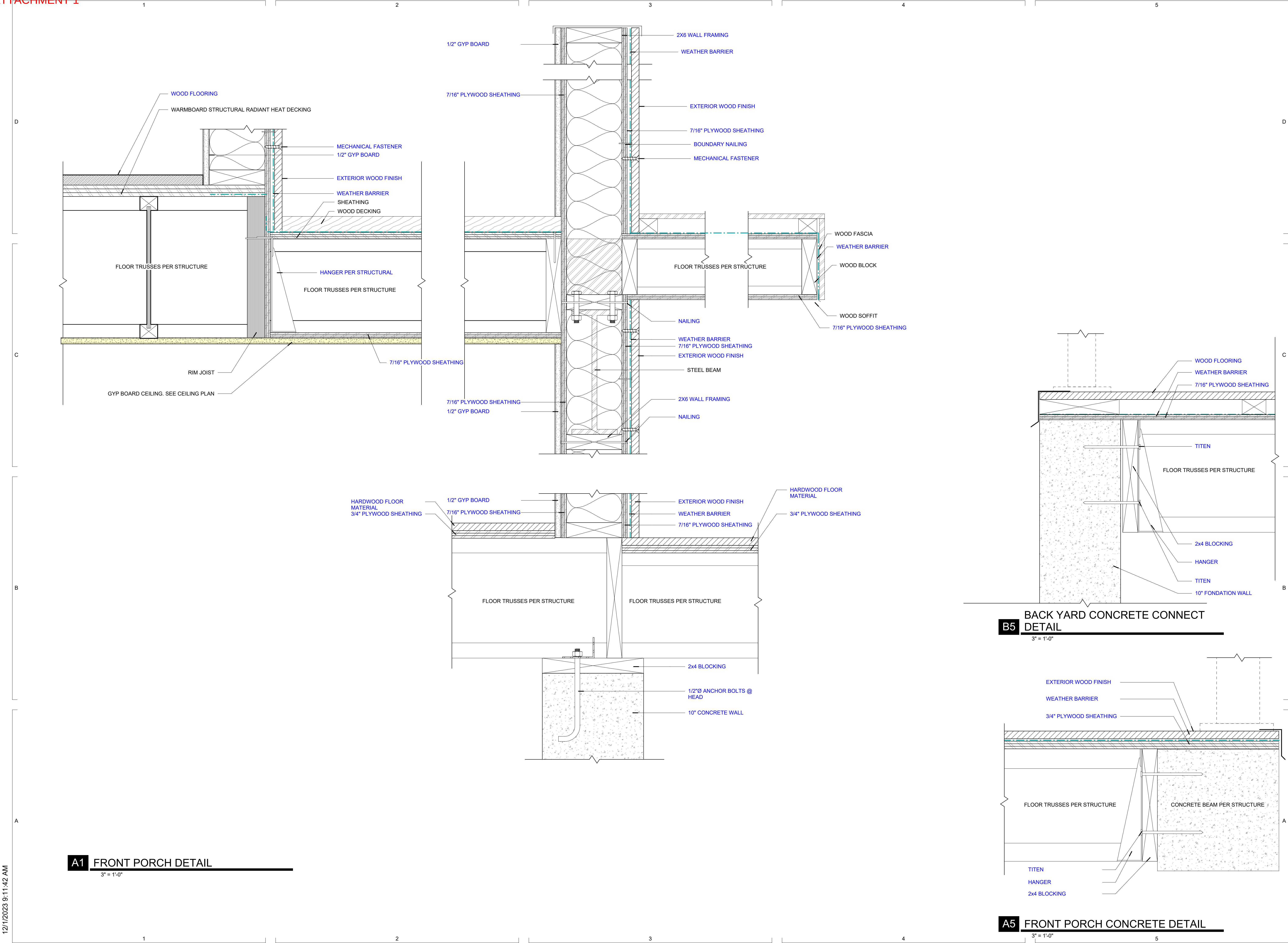
HDDR MODIFICATION / EXTENSION

JOB NUMBER: 22100
OWNER: JEFF LOVE
DATE: 12.1.23

REV	DATE	DESCRIPTION
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BUILDING
SECTION

A301



509 PARK AVENUE
509 PARK AVENUE, PARK CITY, UT
HDDR MODIFICATION / EXTENSION

JOB NUMBER:	22100
OWNER:	JEFF LOVE
DATE:	12.1.23

REV	DATE	DESCRIPTION
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EXTERIOR
DETAILS

A550



WINDOW SCHEDULE				
Window Number	Family	Height	Width	Count
WN01	Window-Fixed-Andersen-100_Series	4' - 11"	2' - 5"	2
WN02	Window-Casement-Andersen-100_Series_Twin	4' - 0"	5' - 0"	1
WN03	Window-Casement-Andersen-100_Series_Single	4' - 11"	2' - 5"	6
WN04	Window-Fixed-Andersen-100_Series	<varies>	<varies>	4
WN05	Window-Transom-Andersen-100_Series_Picture_with_Flankers	1' - 11"	7' - 5"	3
WN06	Window-Casement-Andersen-100_Series_Single	4' - 11"	2' - 5"	1

FINISHES	
Key Name	FINISH DESCRIPTION
CONC-01	UNFINISHED CONCRETE SLAB ON GRADE.
CONC-02	POLISHED AND SEALED CONCRETE SLAB ON GRADE.
CONC-03	HEATED POLISHED CONCRETE FLOOR. CONCRETE SLAB ON GRADE.
CT-01	COUNTER TOP. TO BE SELECTED BY OWNER.
DECK	EXTERIOR WOOD DECK. TO BE SELECTED BY OWNER.
PT-01	PAINTED GYPSUM BOARD. LEVEL 4 SMOOTH FINISH WITH INTERIOR PAINT. COLOR TO BE SELECTED BY OWNER.
TL-01	CERAMIC FLOOR TILE. STYLE AND SIZE TO BE SELECTED BY OWNER.
TL-02	CERAMIC WALL TILE. STYLE AND SIZE TO BE SELECTED BY OWNER.
TRIM	MDF PAINTED TRIM. PROFILE AND COLOR TO BE SELECTED BY OWNER.
WD-01	ENGINEERED HARDWOOD FLOORING. PATTERN AND COLOR(S) TO BE SELECTED BY OWNER.
WD-02	EXTERIOR WOOD SIDING.

DOOR + FRAME				
NUMBER	SIZE		PANEL	
	WIDTH	HEIGHT	MATERIAL	FINISH
001	36"	96"		PAINT
002	108"	96"	WD	PAINT
003	36"	96"	WD	PAINT
004	68"	96"	WD	PAINT
005	30"	96"	WD	PAINT
006	36"	96"	WD	PAINT
007	34"	96"	WD	PAINT
101	36"	96"	WD/GL	PAINT
102	108 1/2"	96"	WD/GL	PAINT
103	36"	96"	WD	PAINT
104A	30"	96"	WD	PAINT
104B	30"	96"	WD	PAINT
201A	36"	84"	WD	PAINT
201B	108"	96"	WD/GL	PAINT
203A	34"	84"	WD	PAINT
203B	34"	84"	WD	PAINT
203C	36 1/2"	82"	ALUM CLAD / GL	--
204	30"	84"	WD	PAINT
205	36"	84"	WD	PAINT
206	72"	84"	WD/GL	PAINT
300A	36"	84"	WD	PAINT
300B	30"	60"	WD	PAINT
300C	72"	84"	WD/GL	PAINT
302	34"	84"	WD	PAINT

WINDOW NOTES

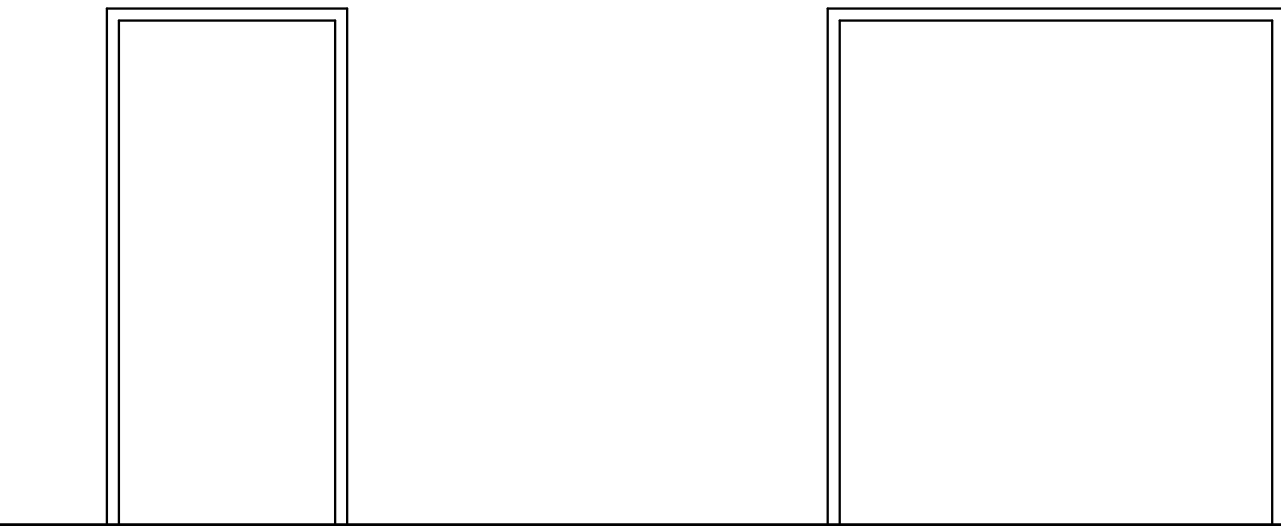
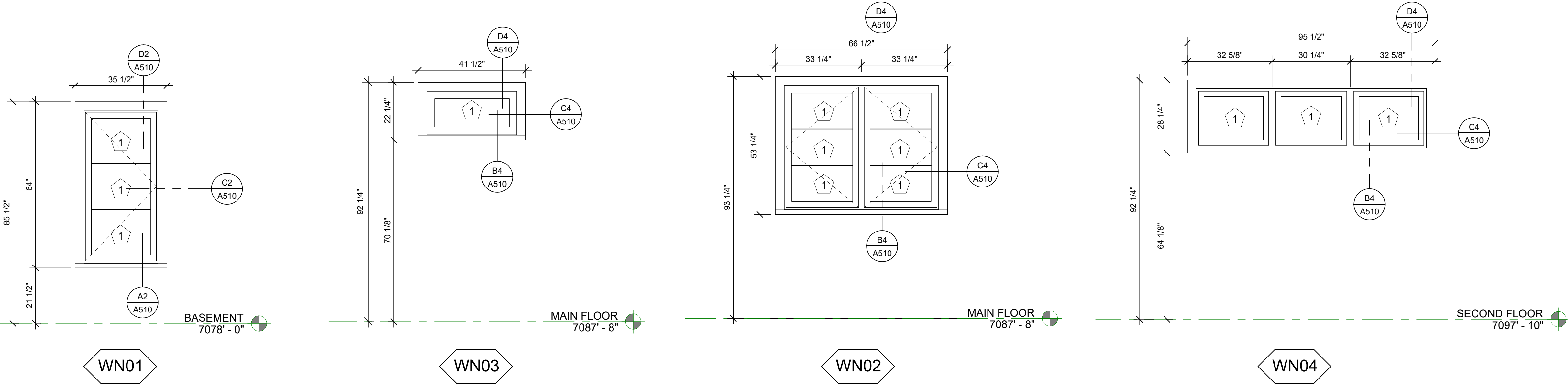
1. ALL EXTERIOR GLAZING SYSTEMS TO BE THERMALLY INSULATED
2. WINDOW DIMENSIONS TO BE USED FOR BID PURPOSES. EXACT WINDOW DIMENSIONS TO BE CONFIRMED WITH FINAL WINDOW SELECTION.
3. CHECK SILL HEIGHT PER ELEVATION
4. WINDOW TRIM TO BE 3 INCH WIDE WITH EXTERIOR WINDOW SILL
5. ALL WINDOWS TO BE ANDERSEN 100 SERIES FIBREX WINDOWS.

GLAZING SCHEDULE

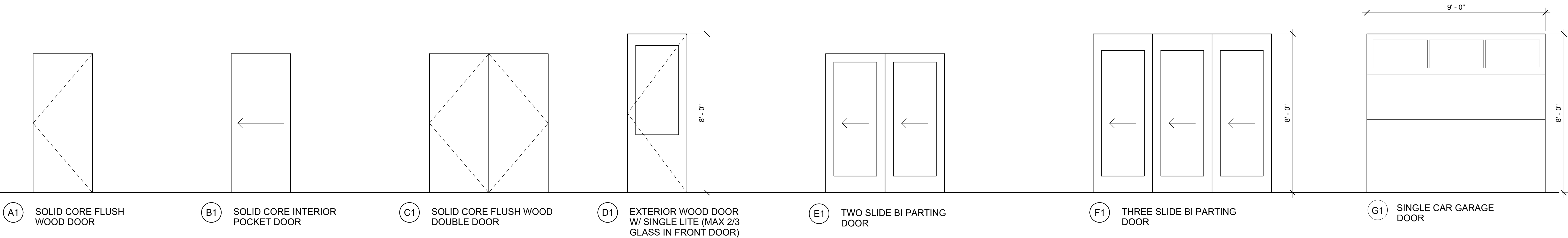
1. CLEAR DOUBLE PANED GLAZING - NON TEMPERED THERMAL TRANSMITTANCE (U FACTOR): .45 OR BETTER
SOLAR HEAT GAIN COEFFICIENT: .38 OR BETTER

DOOR NOTES

1. REFER TO DOOR SCHEDULE FOR DOOR SIZES
2. GC TO FIELD VERIFY ALL DIMENSIONS BEFORE ORDERING AND INSTALLING
3. GC TO VERIFY ALL DOOR FRAME JAMB DEPTHS BEFORE ORDERING
4. GC TO VERIFY THAT ALL DOORS, FRAMES AND GLAZING MEET FIRE AND SAFETY REQUIREMENTS PER CODE
5. EXTERIOR DOORS AND FRAMES TO BE INSULATED
6. PROVIDE TEMPERED GLAZING AT DOOR GLAZING



- 1A. EXTERIOR WOOD FRAME
- 2A. EXTERIOR SLIDING WOOD FRAME
- 1B. INTERIOR WOOD FRAME
- 2B. INTERIOR DOUBLE WOOD FRAME



509 PARK AVENUE
509 PARK AVENUE, PARK CITY, UT
HDDR MODIFICATION / EXTENSION

JOB NUMBER: 22100
OWNER: JEFF LOVE
DATE: 12.1.23

REV DATE DESCRIPTION

WINDOW + DOOR
SCHEDULE +
ELEVATION

A600



Planning Department

December 8, 2022

Jeff Love
PO Box 1836
Park City, UT 84060

CC: Caitlyn Barhorst

NOTICE OF PLANNING DEPARTMENT ACTION

Description

Address: 509 Park Avenue

Zoning District: Historic Residential (HR-1)

Application: Historic District Design Review

Project Number: PL-22-05313

Action: APPROVED WITH CONDITIONS (See Below)

Date of Final Action: December 8, 2022

Action Taken

Staff reviewed this Historic District Design Review (HDDR) Application for compliance with the Land Management Code (LMC) Chapter 15-13, *Design Guidelines for Historic Districts and Historic Sites*. Staff reviewed the non-Historic Site in accordance with LMC §15-13-8, *Design Guidelines for New Residential Infill Construction in Historic Districts*, and LMC Chapter 15-2.2, *Historic Residential (HR-1) Zoning District*. On December 8, 2022, the Planning Director approved plans for the project located at 509 Park Avenue subject to the following Findings of Fact, Conclusions of Law, and Conditions of Approval.

Findings of Fact

1. The Site is located at 509 Park Avenue on vacant Lot No. 3 of the Bardsley Plat Amendment.
2. The Site is in the Historical Residential (HR-1) Zoning District.
3. The Applicant proposes to construct a new Single-Family Dwelling.
4. The Design Review Team and Planning Staff reviewed 509 Park Avenue's HDDR Application for compliance with LMC Chapter 15-13, *Design Guidelines for Historic Districts and Historic Sites*.

5. The application was reviewed per LMC § 15-13-8, *Design Guidelines for New Residential Infill Construction in Historic Districts* and LMC Chapter 15-2.2, *Historic Residential (HR-1) Zoning District*.
6. Staff published notice on the City's website and posted notice to the property on November 22, 2022.
7. Staff mailed courtesy notices to the property owners within 100 feet on November 22, 2022.
8. The Analysis Section of the Staff Report is incorporated herein.

Conclusions of Law

1. The proposal complies with the Land Management Code requirements pursuant to Chapter 15-2.2, *Historic Residential (HR-1) Zoning District*.
2. The proposal meets the criteria for the *Design Guidelines for New Residential Infill Construction in Historic Districts* outlined in LMC § 15-13-8.

Conditions of Approval

1. Final building plans and construction details shall reflect substantial compliance with the plans approved December 8, 2022, by the Planning Department. Any changes, modifications, or deviations from the approved design that have not been approved in advance by the Planning and Building Departments may result in a stop-work order.
2. If the Applicant does not obtain a complete building permit within one (1) year of the date of this approval, this HDDR approval will expire unless the Applicant submits a written extension request to the Planning Department prior to the expiration date and the Planning Department approves an extension.
3. The Applicant is responsible for notifying the Planning Department prior to making any changes to the approved plans.
4. Any changes, modifications, or deviations from the approved scope of work shall be submitted in writing for review and approval/denial in accordance with the applicable standards by the Planning Director or designee prior construction.
5. Receipt and approval of a Construction Mitigation Plan (CMP) by the Building Department is a precondition to the issuance of any building permit. The CMP shall consider and mitigate the impacts to the existing neighboring structures, and existing infrastructure/streets from the construction. All anticipated road closures shall be described and permitted in advance by the Building Department.
6. The City Engineer shall review and approve all grading, utility installations, public improvements, drainage plans, and flood plain issues for compliance with City and Federal standards, and this is a precondition to building permit issuance.
7. The designer, architect, and/or applicant shall be responsible for coordinating the approved architectural drawings and documents with the approved construction

- drawings and documents. The overall aesthetics of the approved HDDR architectural plans shall take precedence. Any discrepancies found among these documents that would cause a change in the approved construction drawings shall be reviewed and approved by Planning Staff prior to construction.
8. Residential fire sprinklers are required for all new construction on this Lot, per requirement of the Chief Building Official.
 9. The property is located outside the Park City Landscaping and Maintenance of Soil Cover Ordinance and therefore not regulated by the City for mine-related impacts. If the property owner does encounter mine waste or mine waste impacted soils, they must handle the material in accordance with State and Federal law.
 10. Any areas disturbed during construction surrounding the proposed work shall be brought back to its original state.
 11. The Applicant shall complete recordation of the Bardsley Plat Amendment with the County prior to issuance of a Building Permit.
 12. The Applicant shall maintain the natural grade under the front stairway and any retaining wall over four feet in the Front Setback shall require an Administrative Conditional Use Permit. Only the driveway and garage shall alter the natural grade.
 13. The Applicant shall integrate the existing retaining wall into the final design to mitigate the changes to topography north of the driveway.
 14. New construction activity shall not physically damage nearby Historic Sites.
 15. New materials should reflect the character of the Historic District.
 16. No doors or windows may be vinyl or aluminum. All new doors and windows shall be aluminum-clad wood.
 17. Synthetic building materials shall not be used unless the materials are made of a minimum of 50% recycled and/or reclaimed material.
 18. All exterior wood shall have an opaque rather than transparent finish. When possible, low-VOC (volatile organic compound) paints and finishes shall be used. Rustic, unfinished wood is inappropriate.
 19. All exterior lighting, on porches, decks garage doors, entryways, etc. shall be down directed and fully shielded to prevent glare onto adjacent property and public Rights-of-Way and shall comply with the City's outdoor lighting code in LMC § 15-5-5(J). Final lighting details will be reviewed by the Planning Staff prior to installation.
 20. Construction waste should be diverted from the landfill and recycled when possible.
 21. To the extent possible, existing Significant Vegetation shall be maintained on Site and protected during construction. When approved by the Planning Department in writing to be removed, the Significant Vegetation shall be replaced with

equivalent landscaping in type and size. Multiple trees equivalent in caliper to the size of the removed Significant Vegetation may be considered instead of replacement in kind and size.

22. The Applicant shall identify all Significant Vegetation on the final landscaping plan.
23. The existing historic retaining wall shall be surveyed by a Historic Preservation Professional prior to disturbing the site and provide a Historic Preservation Plan to the Planning Department for any renovation or disassembly/reassembly of the historic retaining wall.
24. Textured and poured paving materials shall be considered for the driveway.
25. No more than two feet (2') of the foundation shall be visible above Final Grade on the secondary and tertiary facades; No more than eight inches (8") of foundation shall be visible above Final grade on the primary façade.
26. Following construction of the foundation, the site shall be returned to original grade and blended with the grade of adjacent sites to avoid creating the need for retaining walls. The site shall be re-graded, so all water drains away from the structure.
27. Downspouts shall be located away from architectural features and shall be visually minimized when viewed from the primary public Right-of-Way.
28. All proposed mechanical equipment and hot tubs shall meet all setback requirements per LMC § 15-2.2-3 and shall be screened. All proposed mechanical equipment, utility systems, and service equipment shall be noted and shown in plan on the construction documents. If the equipment is located on a secondary façade, it shall be placed behind the midpoint of the structure or in a location that is not visible from the primary public Right-of-Way. Ground-level equipment shall be screened using landscape elements such as low fences, low stone walls, or perennial plant materials.
29. Per LMC § 15-2.2-3(K), Site plans and Building designs must resolve snow release issues to the satisfaction of the Chief Building Official.

If you have questions or concerns regarding the action taken on your application or the contents of this Final Action Letter, please contact the project Planner, Spencer Cawley at (435)615-5065, or spencer.cawley@parkcity.org.

Sincerely,



Gretchen Milliken,
Planning Director



Planning Department

August 2, 2023

Jeff Love
PO Box 1836
Park City, UT 84060
(435) 602-0138

CC: Caitlyn Barhorst

NOTICE OF HISTORIC PRESERVATION BOARD ACTION

Description

Address: 517 Park Avenue

Zoning District: Historic Residential – 1

Application: Modification of Approval

Project Number: PL-23-05748

Action: APPROVED WITH CONDITIONS (See Below)

Date of Final Action: August 2, 2023

Project Summary: The Applicant proposes to disassemble a portion of the historic stone retaining wall along the front property line of 509 and 517 Park Avenue, pour a new concrete retaining wall in the same location, and face the concrete wall with stone reused from the existing wall. The Applicant also proposes to re-use the curved stones and stone steps from the neighboring property (509 Park Avenue) to create a street-level entrance for 517 Park Avenue.

Action Taken

On August 2, 2023, the Historic Preservation Board conducted a public hearing and approved the Modification of Approval according to the following Findings of Fact, Conclusions of Law, and Conditions of Approval.

Findings of Fact

1. The property is located at 517 Park Avenue.
2. The site is in the Historic Residential (HR-1) Zoning District.

3. The property is listed with Summit County as Parcel number PC-73.
4. The property contains a T/L cottage constructed circa 1888 and is on the Park City Historic Sites Inventory as a Landmark Historic Structure.
5. A historic stone retaining wall sits at the front property line of 509 and 517 Park Avenue.
6. The Applicant is the property owner of 509 and 517 Park Avenue.
7. A Financial Guarantee is in place for the remodel of 517 Park Avenue. Further Guarantee requirements will be determined during the Planning Department review of the Modification of Historic District Design Review Approval for 509 and 517 Park Avenue.
8. The stone retaining wall is failing due to significant snowfall this past winter and the construction activity associated with 517 Park Avenue. Heavy machinery accessed the site through 509 Park Avenue with ramps over the wall. The wall requires deconstruction to abate further deterioration.
9. The Applicant proposes to disassemble a portion of the retaining wall, pour a new concrete retaining wall in the same location, and face the concrete wall with stone re-used from the existing wall. The Applicant also proposes to re-use the curved stones and stone steps from the neighboring property (509 Park Avenue) to create the assumed historic entry to 517 Park Avenue from the sidewalk.
10. 509 Park Avenue received Historic District Design Review (HDDR) Approval on December 8, 2023, to construct a new Single-Family Dwelling (PL-22-05313).
11. In May 2018, the Planning Department issued an HDDR waiver letter for the emergency repair of a 10-foot-wide by four-foot-tall section of the retaining wall at 517 Park Avenue.
12. The repairs in 2018 required the property owner to construct a new concrete wall behind the existing historic wall location, planning for footings and drainage, and attach the historic stones to the concrete wall so it is not visible from Park Avenue.
13. The Applicant provided photos with their application that show the capstones present today are not original.
14. Vertical break lines in the wall identify where the stairs originally accessed the site.
15. Because of the unique circumstances of the Historic stone wall, it is not possible to reasonably move the wall intact. Furthermore, due to the failure of the wall, the proposed disassembly and reassembly will abate demolition of the Historic Structure. The Applicant proposes to repair the wall in the same manner as approved in 2018 by the Planning Department.
16. The Historic Preservation Board shall consider approving the Disassembly and Reassembly of the historic stone retaining wall to improve the functionality and safety of the wall along the public Right-of-Way.

17. The historic stone retaining wall is considered a Structure as defined by the Land Management Code.
18. Disassembly of a Historic Structure shall be considered only after it has been determined by the HPB that disassembly and reassembly is necessary as outlined in LMC § 15-11-14.
19. Because of the unique circumstances of the historic stone wall, it is not possible to reasonably move the wall intact. The proposed disassembly and reassembly will abate demolition of the Historic Structure.
20. The Applicant proposes to repair the wall in the same manner as approved in 2018 by the Planning Department.
21. The Historic Preservation board shall consider approving the Material Deconstruction of the historic stone wall pursuant to LMC § 15-11-12.5.
22. The Applicant proposes deconstruction of approximately 42 square feet (3.5 feet tall by 12 feet wide) at 509 Park Avenue to accommodate the approved driveway for the yet-to-be constructed Single-Family Dwelling.
23. The new stairway opening at 517 Park Avenue is approximately 14 square feet (3.5 feet tall by four feet wide). The Applicant proposes deconstruction of this portion of the stone wall to reconstruct the stone stairs and entryway by utilizing the curved stones from the existing entry at 509 Park Avenue.
24. Reconstruction of Historic Structures and features must be constructed in such a way that the Historic Integrity of the Structure is not diminished.
 - a. Location: Complies – The proposal is to deconstruct the stone wall at the future driveway entrance of 509 Park Avenue and the future stairway entry at 517 Park Avenue. The Applicant will then reconstruct the entry to 517 Park Avenue with the material taken from 509 Park Avenue. The remainder of the wall at 517 Park Avenue will be disassembled, a concrete wall poured in the same location, and then reassemble the stone on the façade of the concrete retaining wall. The stone wall will remain in the same location as it sits today.
 - b. Design: Complies – The proposed work on the stone wall will not detract from the Historic Character of the Site. The reassembled portion of the stone wall will appear identical to what exists today. The reconstructed stairway entry at 517 Park Avenue is the assumed location of the original entry to the Site.
 - c. Setting: Condition of Approval 8 - The existing grade at 517 Park Avenue is maintained and does not require additional retaining. The updated entryway to the Landmark Historic Structure adds to the historic context of the Site.
 - d. Materials: Condition of Approval 2.

- e. Workmanship: Complies – The proposed method of construction will help to preserve the visual techniques used in the mining era to construct stacked stone retaining walls.
 - f. Feeling: Complies – The Material Deconstruction and Reconstruction will not alter the Site's expression of feeling as a result of the proposed work. The presence of the repaired wall will maintain the Property's Historic character.
 - g. Association: Complies – The Historic stone wall will remain in the same location as it sits today, with the exception of the location of the new entryway to 517 Park Avenue and the location of the approved driveway at 509 Park Avenue. The form and location of the wall will remain intact.
25. Condition of Approval 13 of the 509 Park Avenue HDDR Approval requires the Applicant to integrate the existing historic stone retaining wall into the final design to mitigate the changes to topography north of the proposed driveway.
26. Because of the existing uphill grade of 509 Park Avenue, the existing topography will be altered to accommodate the garage and stairway entrance. The Applicant is required to maintain the natural grade under the proposed entryway stairs. Retaining walls are proposed to help maintain the site's natural topography north (left) of the driveway.
27. Staff published notice on the City's website, the Utah Public Notice website, and posted notice to the property on July 19, 2023.
28. Staff mailed courtesy notices to property owners within 300 feet on July 19, 2023.
29. The *Park Record* published notice on July 19, 2023.

Conclusions of Law

1. The proposal complies with the Land Management Code requirements pursuant to Chapter 15-2.2 *Historic Residential (HR-1) District*, LMC § 15-11-14 *Disassembly and Reassembly of A Historic Building or Historic Structure*, and LMC § 15-13-2 *Design Guidelines for Historic Residential Sites*.
2. The proposed Use, as conditioned, is compatible with the surrounding structures, in Use, scale, mass, and circulation.
3. The effects of any difference in use or scale have been mitigated through careful planning.

Conditions of Approval

1. Final building plans and construction details shall reflect substantial compliance with the Historic Preservations determination dated August 2, 2023. Any changes, modifications, or deviations may result in a stop work order.
2. The Applicant shall repair the retaining wall using the original materials that are found to be safe and/or in serviceable condition. The retaining wall shall be reassembled in its original location, placement, and orientation.

3. The Applicant shall provide the Planning Department with a certified structural engineer's report showing that reassembly will result in a stable retaining wall. This report shall be provided prior to building permit issuance.
4. If any material is deemed unusable, then the Applicant shall work with the Project Planner on-site to determine if non-historic stone is appropriate for use.
5. The Applicant shall provide drainage plans for review and approval by the Engineering Department.
6. The Applicant shall prioritize repairing and preserving historic stone and mortar over the use of new materials.
7. The Applicant shall maintain the stone in its natural finish. It is not appropriate to paint, stain, or plaster over stone or concrete.
8. The Applicant shall maintain as much of the Historic stone wall in its existing location at 509 Park Avenue as feasibly possible as required by the December 8, 2022, HDDR Conditions of Approval.
9. The Applicant shall obtain a Modification to the HDDR approval for 509 and 517 Park Avenue prior to the issuance of a Building Permit. The Planning Director or their designee is the Review Authority for the Modification approval.
10. All Conditions of Approval from the July 6, 2022, Historic Preservation Board hearing still apply.
11. All Conditions of Approval from the July 28, 2022, Historic District Design Review hearing for 517 Park Avenue still apply.
12. All Conditions of Approval from the December 7, 2022, Historic Preservation Board hearing for 517 Park Avenue still apply.
13. All Conditions of Approval from the December 8, 2022, Historic District Design Review hearing for 509 Park Avenue still apply.

If you have questions or concerns regarding this Final Action Letter, please call (435) 615-5065 or email spencer.cawley@parkcity.org.

Sincerely,



Randy Scott
Historic Preservation Board Chair

CC: Rebecca Ward, Interim Planning Director
Spencer Cawley, Project Planner



509 PARK AVENUE - HDDR MODIFICATION AND EXTENSION

This application is concerning the approved HDDR for the property located at 509 Park Avenue. We are requesting a modification and extension to the approved design. The modification is limited to the condition of approval #5 per the HDDR Approval for PL-23-05748 which states: "The Applicant shall obtain a Modification to the HDDR approval for 509 Park Avenue prior to the issuance of the Building Permit for the construction of the Site. The Planning Director or their designee is the Review Authority for the Modification approval."

The approved reconstruction of the stone retaining wall along the historic site at 517 Park Avenue has yet to be completed due to timeline and weather constraints which means the exact quantity of stone available to be re-used is not quantifiable as of Dec 1, 2023.

The proposed plans include prioritizing re-use of the historic stone along the wall that connects to the property at 517 Park Avenue. Any remaining stone will then be used on the other side of the driveway for the remainder of the retaining wall. All stone to be used for the retaining walls along the face of the driveway will be sourced and stacked to match the historic stone appearance.

Thank you,
Caitlyn Barhorst
Project Manager
Uncommon Architects

Planning Commission Staff Report



Subject: Temporary Tent – Brand Storytelling 2024
Application: PL-23-05982
Author: Spencer Cawley, Planner II
Date: January 4, 2024
Type of Item: Administrative Conditional Use Permit

Recommendation

(I) Review the proposed plan to install a temporary tent for a private event, January 17-29, 2024, (II) conduct a public hearing, and (III) consider approving the Conditional Use based on the Findings of Fact, Conclusions of Law, and Conditions of Approval outlined in the Draft Final Action Letter (Exhibit A).

Description

Applicant: The Lodges at Deer Valley HOA
Location: 2900 Deer Valley Drive East
Zoning District: Residential Development
Adjacent Land Uses: Residential, Resort, Open Space
Reason for Review: The Planning Director reviews and takes Final Action on Administrative Conditional Use Permits.¹

ACUP Administrative Conditional Use Permit
LMC Land Management Code
RD Residential Development

Terms that are capitalized as proper nouns throughout this staff report are defined in LMC § [15-15-1](#).

Summary

The Lodges at Deer Valley (The Lodges) proposes installing a 40-foot by 60-foot (2,400 square feet) temporary tent for a reception venue during the 2024 Brand Storytelling event. The tent will be installed in a private plaza area while the event runs January 17-20, 2024. The Applicant has received Planning Department approval to install a tent of the same size and dimensions for this event in 2020, 2022, and 2023.

Background

The Lodges is located at 2900 Deer Valley Drive East in the Residential Development (RD) Zoning District and in proximity to Deer Valley Resort. Since 2016, the Lodges has hosted the Brand Storytelling event during the annual Sundance Film Festival. Brand Storytelling installs a temporary tent as a reception area for the main event. Temporary tents/structures/improvements are conditional uses in the RD Zoning District and require an Administrative Conditional Use Permit (ACUP).² Tents are considered a

¹ LMC [§ 15-1-8\(E\)](#)

² LMC [§ 15-2.13-2\(B\)\(30\)](#)

Temporary Structure under the International Fire Code.

Department Review

The Planning Department reviewed this report, the Final Action Letter, and the application.

Notice

Staff published notice on the City's website and posted notice to the property on December 21, 2023. Staff mailed courtesy notice to adjacent property owners on December 21, 2023.³

Public Input

Staff did not receive any public input at the time this report was published.

Alternatives

- The Planning Director may approve the temporary tent from January 17-20, 2024;
- The Planning Director may deny the temporary tent and direct staff to make Findings for the denial; or
- The Planning Director may request additional information and continue the discussion to January 11, 2024.

Exhibits

Exhibit A: Draft Final Action Letter
Exhibit B: Proposed Site Plan
Exhibit C: The Lodges at Deer Valley HOA Letter of Consent

³ LMC [§ 15-1-21](#)



Planning Department

January 4, 2024

Brand Storytelling
32932 Pacific Coast Highway #14-129
Dana Point, CA 92629
(760) 470-1970

CC: Mike Pubentz

NOTICE OF PLANNING DEPARTMENT ACTION

Description

Address: 2900 Deer Valley Drive East

Zoning District: Residential Development

Application: Administrative Conditional Use Permit

Project Number: PL-23-05982

Action: APPROVED WITH CONDITIONS (See Below)

Date of Final Action: January 4, 2024

Project Summary: The Lodges at Deer Valley proposes to install a temporary tent for use as a reception venue during the 2024 Brand Storytelling event. The tent will be installed in a private plaza area while the event runs January 17-20, 2024.

Action Taken

On January 4, 2024, the Planning Director conducted a public hearing and approved the installation of a temporary tent according to the following Findings of Fact, Conclusions of Law, and Conditions of Approval:

Findings of Fact

1. The Lodges at Deer Valley is located at 2900 Deer Valley Drive East.
2. The site is in the Residential Development (RD) Zoning District.
3. The Applicant proposes to install a temporary tent in a private plaza area for a private event held by Brand Storytelling that runs January 17-20, 2024.
4. The temporary tent is 40 feet by 60 feet, or 2,400 square feet.

5. The Planning Department approved an Administrative Conditional Use Permit (ACUP) to install a temporary tent of the same size and dimensions in 2020, 2022, and 2023.
6. The proposal to install a temporary tent complies with the RD Zoning District requirements in Land Management Code (LMC) Chapter 15-2.13.
7. The event is held at the Lodges at Deer Valley which is near Deer Valley Resort.
8. Temporary tents/Structures/improvements are conditional uses in the RD Zoning District and require an Administrative Conditional Use Permit (ACUP).
9. Tents are considered a Temporary Structure under the International Fire Code.
10. The Proposal, as conditioned, meets the standards of LMC § 15-4-16 *Temporary Structures, Tents, and Vendors*.
 - a. **The Applicant shall provide written notice of the Property Owner's permission.**
Complies – The Lodges at Deer Valley HOA provided written approval.
 - b. **The proposed Use should not diminish existing parking. Any net loss of parking shall be mitigated in the Applicant's plan.**
Complies – The temporary tent will not impede any existing on-site parking due to the location of installation – a private, interior plaza. The event manager plans up to 200 attendees per day. All attendees are invite-only and will stay at the Lodges or nearby properties. Deer Valley will assist with shuttling to The Lodges for any attendees staying off-site.
 - c. **The Use shall not violate the Noise Ordinance, Municipal Code Chapter 6-3.**
See Condition of Approval 3.
 - d. **The Use shall comply with the LMC, the signage shall comply with the Sign Code, Title 12, and the lighting shall comply with LMC Section 15-5-5(J).**
Complies – The proposal does not include temporary signs or outdoor lighting.
11. The Planning Department shall approve a Conditional Use if reasonable conditions are proposed, or can be imposed, to mitigate the reasonably anticipated detrimental effects of the proposed Use in accordance with applicable standards.
12. The Planning Department may deny the Conditional Use if the proposed Use cannot be substantially mitigated by the proposal or imposition of reasonable conditions to achieve compliance with applicable standards.
13. The proposal, as conditioned, complies with the Conditional Use Permit criteria outlined in LMC § 15-1-10(E).
 - a. **Size and Location of the Site** – The site is developed and used as a Condominium Hotel. The Applicant proposes no permanent physical changes to the site.

- b. **Traffic** – The tent is located within a private plaza area, internal to the site, and will not impact traffic flow on any public Rights-of-Way. The event manager plans up to 200 attendees per day. All attendees are invite-only and will stay at the Lodges or nearby properties. Deer Valley will assist with shuttling to The Lodges for any attendees staying off-site. Programming starts at 10:00 AM and finishes at 7:00 PM. Attendees will not arrive at the same time.
- c. **Utility Capacity** – On December 19, 2023, the Development Review Committee reviewed the proposal and did not identify impacts to utility capacity.
- d. **Emergency Vehicle Access** – The Park City Fire District reviewed the proposed temporary tent and requires a fire permit prior to tent installation and an inspection prior to the event.
- e. **Off-Street Parking** – Because attendees of the event will stay at The Lodges, additional parking is not anticipated. Those attendees staying at nearby properties will arrive by shuttles run by Deer Valley. See Condition of Approval 4.
- f. **Internal Vehicular and Pedestrian Circulation** – The temporary tent will not impact vehicle circulation, and pedestrians can access the site's existing Structures surrounding the tent.
- g. **Fencing, Screening, and Landscaping** – The tent is temporary and will be screened by the site's existing Structures.
- h. **Building Mass, Bulk, and Orientation** – The temporary tent is 40 feet by 60 feet or 2,400 square feet. No mitigation is required.
- i. **Useable Open Space** – The temporary tent will not impact any public Open Space.
- j. **Signs and Lighting** – The Applicant does not propose temporary or permanent signs or outdoor lighting.
- k. **Physical Design and Compatibility with Surrounding Structures** – Not applicable to the proposal.
- l. **Noise, Vibration, Odors, Steam, or Other Mechanical Factors** – See Condition of Approval 3. The site will not emit vibration, odors, steam, or other mechanical elements installed.
- m. **Control of Delivery and Service Vehicles, Loading and Unloading Zones, and the Screening of Trash and Recycling Pickup Areas** – The temporary tent will not block delivery or service vehicle loading zones. The site had established trash and recycling locations. The temporary tent does not make any changes to the site's established services.
- n. **Expected Ownership and Management** – The installation of the temporary tent is overseen by Mike Pubentz of Brandy Storytelling.

- o. **Within and Adjoining Environmentally Sensitive Lands, Physical Mine Hazards, Historic Mine Waste, Park City Soils Ordinance, and Steep Slopes** – Not applicable.
 - p. **Reviewed for Consistency with the Goals and Objectives of the Park City General Plan** – The Use is consistent with the Sense of Community Goal 10, to create a world-class, multi-seasonal destination resort community.
14. On December 19, 2023, the Development Review Committee reviewed the proposal and finds it complies with required development standards.
 15. Staff published notice on the City’s website, City Hall, and the property on December 21, 2023. Staff mailed courtesy notice to adjacent property owners on December 21, 2023.

Conclusions of Law

1. The Application, as conditioned, is consistent with LMC Chapter 15-2.13 *Residential Development (RD) District*, LMC § 15-1-10(E) *Conditional Use Review Process*, and LMC § 15-4-16 *Temporary Structures, Tents, and Vendors*.
2. The proposed Use, as conditioned, will be compatible with the surrounding Structures in Use, scale, Mass, and Circulation.
3. The effects of any difference in Use or scale have been mitigated through careful planning.

Conditions of Approval

1. Final plans shall reflect substantial compliance with the plans reviewed on January 4, 2024, by the Planning Department. Any changes, modifications, or deviations from the approved design that have not been approved in advance by the Planning Department may result in denial of a final Fire Permit.
2. The Applicant shall notify the Planning Department, in writing, prior to making any changes to these plans.
3. Speakers and general event noise shall comply with the City Noise Ordinance, Municipal Code of Park City Chapter 6-3.
4. The event manager shall ensure that all attendees staying at neighboring properties to The Lodges prioritize utilizing the shuttles provided by Deer Valley or encourage walking to ensure parking is reserved for guests of The Lodges.
5. The tent shall be installed no earlier than January 15, 2024, and shall be removed by January 22, 2024.

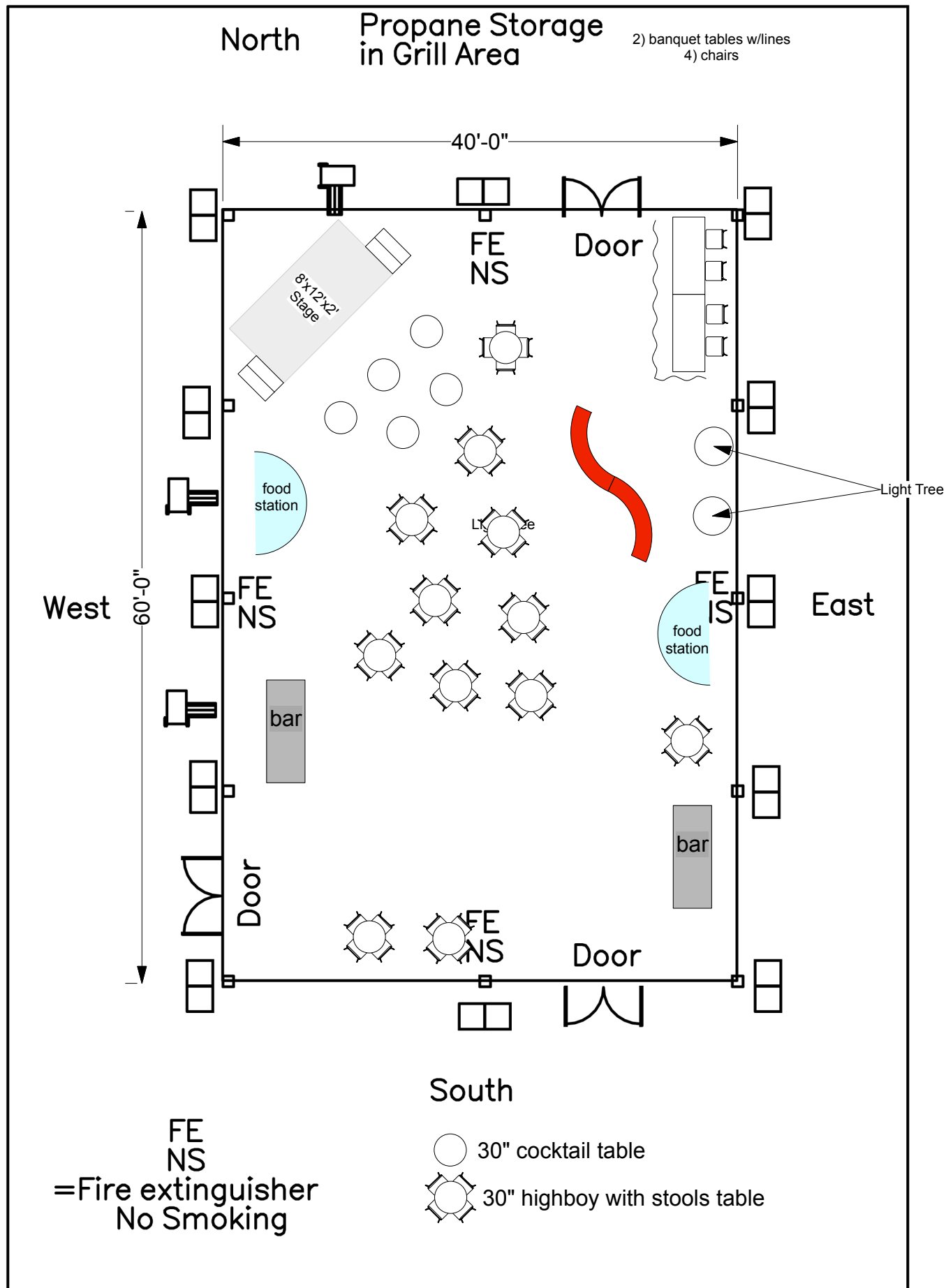
If you have questions or concerns regarding this Final Action Letter, please call (435) 615-5065 or email spencer.cawley@parkcity.org.

Sincerely,

Rebecca Ward
Planning Director

CC: Spencer Cawley, Project Planner

DRAFT





Cherie Wellmon

J.J. Trussell

Planner-Park City Municipal Corporation
445 Marsac Avenue, P.O. Box 1480
Park City, UT 84060
435-615-5068

This letter will serve as confirmation that the Lodges at Deer Valley Home Owners Association (HOA) has been notified of the following event:

The Brand Storytelling event being held at The Lodges at Deer Valley, 2900 Deer Valley Drive East, Park City, UT 84060 on January 17, 2024– January 20, 2024 requiring a courtyard tent (Admin CUP Permit Application number is PL-23-05982) January 16- January 22, 2024.

Sincerely,

Anthony Bartholomew
General Manager, The Lodges at Deer Valley
Office Phone Number: 435-615-2602

State of Utah

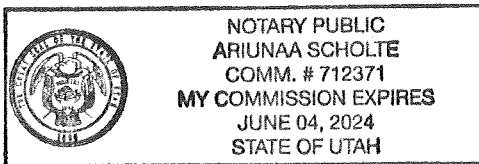
County of Summit

Subscribed and sworn/affirmed before me this

13 day of December, 2023 by

Anthony Bartholomew

Ariunaa Scholte
Notary Public



The Lodges at Deer Valley
2900 Deer Valley Dr. East, Park City, UT 84060