

**PARK CITY COUNCIL MEETING
SUMMIT COUNTY, UTAH
OCTOBER 13, 2011**

PUBLIC NOTICE IS HEREBY GIVEN that the City Council of Park City, Utah will hold its regularly scheduled meeting at the Marsac Municipal Building 445 Marsac Avenue, Park City, Utah for the purposes and at the times as described below on Thursday, October 13, 2011.

Closed Session

2:00 p.m. Litigation and property

Field trip

3:30 p.m. Co-housing field trip to 1450 and 1460 Park Avenue properties Pg. 4 - 167

Work Session

4:15 p.m. Debrief on field trip and discussion of potential sale of Park Avenue properties
5:00 p.m. Main Street branding P. 168 – 173
5:20 p.m. New budget proposal P. 174 - 175
5:50 p.m. Break

Regular Meeting

6:00 p.m.

I ROLL CALL

II COMMUNICATIONS AND DISCLOSURES FROM COUNCIL AND STAFF

Leadership Class Civility Awards – John Davis

III PUBLIC INPUT (*Any matter of City business not scheduled on agenda*)

IV WORK SESSION NOTES AND MINUTES OF MEETING OF SEPTEMBER 29, 2011
P. 176 - 182

V CONSENT AGENDA (*Items that have previously been discussed or are perceived as routine and may be approved by one motion. Listed items do not imply a predisposition for approval and may be removed by motion and discussed and acted upon under “Additional Discussion – Agenda Items”*)

1. Consideration of authorizing the City Manager to execute an amended contract for the Balanced Growth Management Study with czb LLC in the amount of \$36,000 for a total amount of \$74,683 P. 183 - 186

2. Consideration of the appointment of Election Judges for the Municipal General Election to be held November 8, 2011 P. 187 - 188

VI NEW BUSINESS (*New items with presentations and/or anticipated detailed discussions*)

1. Consideration of a Resolution proclaiming October 25, 26 and 27, 2011 as “Cares Enough to Wear Pink Days” in Park City, Utah P. 189 - 190

2. Consideration of a Master Festival License for Schirf Brewing for amplified music and use of City Park on October 15, 2011 from 11 a.m. to 6 p.m. P. 191 - 198
 - (a) Public hearing
 - (b) Action
3. Consideration of a Resolution commemorating the Wasatch Brewery 25th Year Anniversary in Park City, Utah P. 199 - 200
4. Consideration of an Ordinance approving the Second Amendment to the Shadow Ridge Condominiums Record of Survey Plat, located at 50 Shadow Ridge Drive, Park City, Utah P. 201 - 224
 - (a) Public hearing
 - (b) Action
5. Consideration of an amendment to the Fee Resolution, Section 1, Construction and Development Related Fees, adding a planning service for determining non-conforming uses/non-complying structures and associated fees and repealing and replacing Resolution No. 15-11 in its entirety P. 225 - 229
 - (a) Public hearing
 - (b) Action

VII ADDITIONAL DISCUSSION – AGENDA ITEMS

VIII ADJOURNMENT

A majority of members may meet socially after the meeting. If so, the location will be announced by the Mayor. City business will not be conducted. Pursuant to the Americans with Disabilities Act, individuals needing special accommodations during the meeting should notify the City Recorder at 435-615-5007 at least 24 hours prior to the meeting. Wireless internet service available in the Marsac Building on Wednesdays and Thursdays – 4 p.m. to 9 p.m.

Posted: 10/10/11

See: www.parkcity.org

Note: This future meeting schedule is TENTATIVE and subject to change.

October 2011

20 **No meeting - UEA**

27 Council photos – Library read posters (10 min)

Retention schedules – work

Annual Library report - work

Donation policy McPolin Farm nature trail – work/action

Co-housing RFP - action

Early start for regular meeting

Ordinance amending the Land Management Code adding Historic Preservation Board review and approval for historic reconstruction and disassembly processes in Park City, Utah – old business

MOU and City Services Contract extension – KAC

CAST Dinner after meeting

28 *Bonanza Tunnel ribbon-cutting*

November 2011

3 Open space and conservation easement update (1 hour)

County-wide TDR program – (1 hour)

PC Foundation resolution

10 GRAMA resolution - action

17

24 **Thanksgiving**

December 2011

1

8

15

22 **Holiday recess**

29 **Holiday recess**

Pending Items:

Inter-local agreement with Summit County for police database integration

Resolution establishing a strategic plan for City-owned property with development potential in Park City, Utah and repealing and replacing Resolution No. 22-05 in its entirety



City Council Staff Report

Subject: Cohousing Tour
Author: Michael Kovacs, Assistant City Manager
Department: Executive
Date: October 13, 2011
Type of Item: Administrative

Summary Recommendations:

Review the attached request for proposal (RFP) and alternative RFP, take a tour of the properties, and discuss competing City interests for City owned properties at 1450 and 1460 Park Ave. Direct staff to return to proceed with one of the RFPs, with modifications as warranted, particularly regarding the preservation plans.

Topic/Description:

Property disposition in the Lower Park Ave. RDA. Return of RDA invested funds, attainable housing, and historic preservation.

Background:

On August 25th, City Council requested informational documents pertaining to the existing historic homes at 1450 and 1460 Park Ave. and expressed an interest in looking at the homes. Staff offered to prepare a draft RFP to aid Council in discussing potential adaptive reuses of the property for a type of cohousing project aimed at creating new housing choices for attainable level housing within the City, in addition to other potential proposal alternatives.

Council and community members toured a cohousing development in downtown Fort Collins during this year's City Tour.

Building Official Chad Root conducted an inspection of the buildings a week prior to the Historic Preservation Board (HPB) visit. Here is part of his summary: "The structure is actually sinking into the earth along the exterior walls and the floor joist are sitting on the ground. There are areas of extensive mold on both homes. Little to no insulation in the walls with asbestos siding. The homes could be considered Dangerous Buildings due to the amount of Rot, structural issues and would also be in violation of the Uniform Housing Code."

On Oct. 5th, the HPB toured the Park Ave. properties and made a recommendation to City Council per their board's mission pursuant to LMC 15-11-5(B-C):

"(B) To identify as early as possible and resolve conflicts between the preservation of cultural resources and alternative land Uses;" and

"(C) To provide input to...the City Council towards safeguarding the heritage of the City in protecting Historic Sites, Buildings or Structures."

A letter from the HPB is expected to include the following recommendations:

- Preserving buildings and significant pieces of buildings.
- Similar size and scale to houses to not dwarf them.
- Properly mothball them like any private citizen and the board is not happy with the City's stewardship.
- Save the old trees.
- Consider TDRs to keep the 2 houses there, use a TDR multiplier to incentivize moving density to a receiving zone or use a preservation matching grant.

The Council will tour the historic homes at 1450 & 1460 Park Ave. during your work session on October 13th.

Analysis:

There are at least four competing City interests in this potential property use and sale. First, the RDA has an interest in recovering the \$800,000 in RDA funds that were invested into acquiring the property. Second, the City/RDA is interested in creating more attainable housing in the Lower Park Ave. area. Third, the City is interested in promoting historic preservation and there are existing historic structures on the property. Forth, from an overall perspective, the City is interested in appropriately using staff time, insuring RDA tax increment funds are used appropriately as viewed by all stakeholders currently giving up tax increment revenues to the Lower Park RDA, and in boosting the in-City population while discouraging development in currently undeveloped areas in Summit County (such as along/behind Highway 40).

Two draft RFPs have been created for you to consider over the next couple of weeks. The first takes a balanced approach to address concerns regarding creating attainable housing, protecting the historic structures, and returning funds to the RDA/City. The second proposes a market based sale of the properties to include non-binding information on intended uses of the historical properties and limits future City partnering involvement.

****Neither RFP requests specific performance elements beyond those required in the LMC. Should a majority of Council wish to require proposals go beyond the LMC, Council should provide that direction now. That is the purpose of this work session.**

The first RFP discusses the need for attainable housing and asks potential respondents to describe what they can bring to the City in the number of attainable units, their size, quality, value, and approximate sale points (\$250,000 - \$350,000 for example). The RFP also asks respondents to describe what they would propose for the historic structures as far as exterior and structural restoration, and indoor adaptive reuse. It is also possible that the homes could remain residential in nature. The RFP finally addresses a purchase price. It is anticipated that these three competing interests would be graded equally during the scoring and evaluation process. Whoever the successful proposer is, they will have significant planning challenges to address the historic homes, comply with the requirements of conditional use permits, if they should desire to pursue

them (the Cohousing alternative is sure to need such a permit due to its multi-unit nature and parking requirements); and address special area planning issues such as density, parking, access, and layout. We can expect proposals to come in with a variety of ideas and purchasing structures that may delay the transfer of the bulk of the funds until certain planning actions are completed. The road forward is difficult and challenging.

The second RFP is a straight property sale, but does ask what the purchaser intends to do with the historic homes, mostly because people will ask us and we should have an answer for them. Based on a review of these competing requirements, the level of regulation, the significant interest centered around historic preservation in the community, and the nature and likely outcomes of the process for moving forward, we wanted to give the City Council an alternative for a more hands-off posture that will minimize monetary losses, staff and Council time investments, and hard feelings among many in the community. Whatever the City does, we must make a decision quickly and move forward. The houses continue to deteriorate and must be secured against the coming winter weather by either the City or the new owner(s).

Disclosure: Cohousing group member Rhoda Stauffer is an employee in the Sustainability Department, and Sara Werbelow is a City official serving as a Historic Preservation Board member.

Department Review:

This report was reviewed by the Executive, Legal, Planning, Building, and Sustainability departments.

Alternatives:

A. Approve:

Discuss RFP alternatives and direct staff to bring back one for action in two weeks.

B. Deny:

Approach the properties with different uses and/or methods to move forward.

C. Modify:

Craft your own solution. One may be to wait until the General Plan and subsequent code rewrites for this area are completed which may make it easier to do a cohousing project or another multi-family attainable housing project in the future.

D. Continue the Item:

Consider the matter further at a subsequent meeting.

E. Do Nothing:

Always an option, but the buildings must be secured against the weather.

Significant Impacts:

The properties along Park Ave. have significant value to the RDA/City.

Consequences of not taking the recommended action:

Without a plan or taking action on the properties along Park Ave. that the City owns, we will continue to get public requests for competing uses and the buildings will continue to deteriorate.

Recommendation:

Review the attached request for proposal (RFP) and alternative RFP, take a tour of the properties, and discuss competing City interests for City owned properties at 1450 and 1460 Park Ave. Direct staff to proceed with one of the RFPs and specify modifications as warranted, particularly for the preservation plan.

Exhibits:

- A. HPB staff report and supporting condition documents for 1450 & 1460 Park Ave.
- B. 1st RFP – Balanced approach
- C. 2nd RFP – Market sale approach

Historic Preservation Board Staff Report



Application #: GI-09-00068
Subject: 1450 & 1460 Park Avenue
Author: Kayla Sintz – Architect/Planner
Department: Planning Department
Date: October 5, 2011
Type of Item: Policy

Summary Recommendations:

Staff recommends the Historic Preservation Board review their Purposes (B) and (C) as identified below, discuss, and consider forwarding a recommendation to City Council in regards to the Historic Sites located at 1450 & 1460 Park Avenue in light of those purposes.

Background: The City owns property at 1450 and 1460 Park Avenue. Both sites, are identified as 'Significant' on the Historic Sites Inventory (Exhibits A and B). The two properties had a previous residential use and are located in the HRM district (Historic Residential Medium). The properties have been vacant since the City's purchase in 2008. Physical Condition Reports for both properties have been completed (Exhibits C and D) as well as, a certified survey, as-built drawings and a photograph streetscape. The City, as owner, is currently considering options for these properties and is preparing to issue an RFP to receive proposals for the properties.

As identified in the Land Management Code Section 15-11-5 HPB: the purposes of the HPB are:

(B) To identify as early as possible and resolve conflicts between the preservation of cultural resources and alternative land Uses;

(C) To provide input to staff, the Planning Commission and City Council towards safeguarding the heritage of the City in protecting Historic Sites, Buildings, and/or Structures;

As City Council discusses the potential future use and preservation of these properties on October 13, 2011, and possible future dates, the HPB should consider making a recommendation to Council regarding any "conflicts between the preservation of cultural resources and alternative land Uses " and "safeguarding the heritage of the City in protecting Historic Sites " and authorizing the Chair of the HPB to write a letter reflecting any such recommendations. Any such recommendation shall not remove the HPB's role as a regulatory body on these locations.

Exhibits:

Exhibit A - 1450 Park Avenue Historic Site Form – Historic Sites Inventory

Exhibit B - 1460 Park Avenue Historic Site Form – Historic Sites Inventory

Exhibit C - 1450 Park Avenue Physical Conditions Report and property analysis

Exhibit D - 1460 Park Avenue Physical Conditions Report and property analysis

HISTORIC SITE FORM - HISTORIC SITES INVENTORY

PARK CITY MUNICIPAL CORPORATION (10-08)

1 IDENTIFICATION

Name of Property:

Address: 1450 Park Avenue

AKA:

City, County: Park City, Summit County, Utah

Tax Number: RPS-2

Current Owner Name: Lindy Point Properties, LLC

Parent Parcel(s): SA-240 & SA-241

Current Owner Address: c/o VSN Properties, 1567 SW Chandler, Ste 101, Bend, OR 97702

Legal Description (include acreage): 0.21 acres; LOT 2 THE RETREAT AT THE PARK SUBDIVISION.

2 STATUS/USE

Property Category

- ☒ building(s), main
☐ building(s), attached
☐ building(s), detached
☐ building(s), public
☐ building(s), accessory
☐ structure(s)

Evaluation*

- ☐ Landmark Site
☒ Significant Site
☐ Not Historic

Reconstruction

- Date:
Permit #:
☐ Full ☐ Partial

Use

- Original Use: Residential
Current Use: Residential

- *National Register of Historic Places: ☒ ineligible ☐ eligible
☐ listed (date:)

3 DOCUMENTATION

Photos: Dates

- ☐ tax photo:
☒ prints:
☐ historic: c.

Drawings and Plans

- ☐ measured floor plans
☐ site sketch map
☐ Historic American Bldg. Survey
☐ original plans:
☐ other:

Research Sources (check all sources consulted, whether useful or not)

- ☐ abstract of title
☐ tax card
☐ original building permit
☐ sewer permit
☒ Sanborn Maps
☐ obituary index
☐ city directories/gazetteers
☐ census records
☐ biographical encyclopedias
☐ newspapers
☒ city/county histories
☐ personal interviews
☐ Utah Hist. Research Center
☐ USHS Preservation Files
☐ USHS Architects File
☐ LDS Family History Library
☐ Park City Hist. Soc/Museum
☐ university library(ies):
☐ other:

Bibliographical References (books, articles, interviews, etc.) Attach copies of all research notes and materials.

Blaes, Dina & Beatrice Lufkin. "Final Report." Park City Historic Building Inventory. Salt Lake City: 2007.

Carter, Thomas and Goss, Peter. *Utah's Historic Architecture, 1847-1940: a Guide*. Salt Lake City, Utah:

University of Utah Graduate School of Architecture and Utah State Historical Society, 1991.

McAlester, Virginia and Lee. *A Field Guide to American Houses*. New York: Alfred A. Knopf, 1998.

Roberts, Allen. "Final Report." Park City Reconnaissance Level Survey. Salt Lake City: 1995.

Roper, Roger & Deborah Randall. "Residences of Mining Boom Era, Park City - Thematic Nomination." National Register of Historic Places Inventory, Nomination Form. 1984.

4 ARCHITECTURAL DESCRIPTION & INTEGRITY

Building Type and/or Style: "L" Cottage or "T" Cottage

No. Stories: 1

Additions: ☒ none ☐ minor ☐ major (describe below) Alterations: ☐ none ☒ minor ☐ major (describe below)

Number of associated outbuildings and/or structures: ☐ accessory building(s), # ____; ☐ structure(s), # ____.

General Condition of Exterior Materials:

Researcher/Organization: Dina Blaes/Park City Municipal Corporation

Date: November 08

- ☒ Good (Well maintained with no serious problems apparent.)
☐ Fair (Some problems are apparent. Describe the problems.):
☐ Poor (Major problems are apparent and constitute an imminent threat. Describe the problems.):
☐ Uninhabitable/Ruin

Materials (The physical elements that were combined or deposited during a particular period of time in a particular pattern or configuration. Describe the materials.):

Foundation: Not visible and therefore its material cannot be verified

Walls: Aluminum siding, with porch roofing and supports of aluminum material as well

Roof: Asphalt shingle

Windows/Doors: Aluminum sliding windows, and aluminum screen door

Essential Historical Form: ☒ Retains ☐ Does Not Retain, due to:

Location: ☒ Original Location ☐ Moved (date _____) Original Location:

Design (The combination of physical elements that create the form, plan, space, structure, and style. Describe additions and/or alterations from the original design, including dates—known or estimated—when alterations were made): Form retains its essential character to the earliest tax photo, with the most noticeable changes being in the evolution of materials used. Decorative shingle patterns, porch details, drop-novelty wood siding, and window awning evident in the earliest tax photo have all been altered in material or physical presence by the "unknown date" photo (likely within the mid-20th century) and changes are still evident in later photographs provided. Sheathing and replacement of structure materials by aluminum and metal applications have compromised the character of the original, but still leave hints of essential form. Small side addition to the rear and right of front elevation view is first evident in the "date unknown" photo.

Setting (The physical environment—natural or manmade—of a historic site. Describe the setting and how it has changed over time.): Small building lot on fairly flat terrain, with the structure recessed at least 20-30 feet from the city roadway. Mature trees and shrubs encase the landscape. Most recent photo (2006) shows an unkempt yard with weeds and overgrown grass, and the beginnings of disrepair to the structure, mainly seen in the loose shingles and chimney cap bricks, and chipped aluminum siding. Lillac bush to the left of the front elevation view is also visible in earliest tax photo.

Workmanship (The physical evidence of the crafts of a particular culture or people during a given period in history. Describe the distinctive elements.): Though the distinctive elements that define the typical Park City mining era home—simple methods of construction, the use of non-beveled (drop-novelty) wood siding, the plan type ("L" cottage), the simple roof form, the informal landscaping, the restrained ornamentation, and the plain finishes—have been altered, the building retains its essential historical form.

Feeling (Describe the property's historic character.): The physical elements of the site, in combination, do not effectively convey a sense of life in a western mining town of the late nineteenth and early twentieth centuries.

Association (Describe the link between the important historic era or person and the property.): The "T" or "L" cottage (also known as a "cross-wing") is one of the earliest and one of the three most common house types built in Park City during the mining era; however, the extent of the alterations to the main building diminishes its association with the past.

The extent and cumulative effect of alterations to the site render it ineligible for listing in the National Register of Historic Places.

5 SIGNIFICANCE

Architect: ☒ Not Known ☐ Known: (source:)

Date of Construction: c. 1904¹

Builder: ☒ Not Known ☐ Known: (source:)

¹ Summit County Tax Assessor.

The site must represent an important part of the history or architecture of the community. A site need only be significant under one of the three areas listed below:

1. Historic Era:

- ☐ Settlement & Mining Boom Era (1888-1893)
- ☒ Mature Mining Era (1894-1930)
- ☐ Mining Decline & Emergence of Recreation Industry (1931-1962)

Park City was the center of one of the top three metal mining districts in the state during Utah's mining boom period of the late nineteenth and early twentieth centuries, and it is one of only two major metal mining communities that have survived to the present. Park City's houses are the largest and best-preserved group of residential buildings in a metal mining town in Utah. As such, they provide the most complete documentation of the residential character of mining towns of that period, including their settlement patterns, building materials, construction techniques, and socio-economic make-up. The residences also represent the state's largest collection of nineteenth and early twentieth century frame houses. They contribute to our understanding of a significant aspect of Park City's economic growth and architectural development as a mining community.²

2. Persons (Describe how the site is associated with the lives of persons who were of historic importance to the community or those who were significant in the history of the state, region, or nation):

3. Architecture (Describe how the site exemplifies noteworthy methods of construction, materials or craftsmanship used during the historic period or is the work of a master craftsman or notable architect):

6 PHOTOS

Digital color photographs are on file with the Planning Department, Park City Municipal Corp.

- Photo No. 1: West elevation (primary façade). Camera facing east, 2006.
- Photo No. 2: West elevation (primary façade). Camera facing east, 1995.
- Photo No. 3: West elevation (primary façade). Camera facing east, date unknown.
- Photo No. 4: West elevation (primary façade). Camera facing east, tax photo.

² From "Residences of Mining Boom Era, Park City - Thematic Nomination" written by Roger Roper, 1984.









HISTORIC SITE FORM - HISTORIC SITES INVENTORY

PARK CITY MUNICIPAL CORPORATION (10-08)

1 IDENTIFICATION

Name of Property:

Address: 1460 Park Avenue

AKA:

City, County: Park City, Summit County, Utah

Tax Number: RPS-1

Current Owner Name: Lindy Point Properties, LLC

Parent Parcel(s): SA-240 & SA-241

Current Owner Address: c/o VSN Properties, LLC, 1567 SW Chandler, Ste 101, Bend, OR 97702

Legal Description (include acreage): 0.21 acres; LOT 1 THE RETREAT AT THE PARK SUBDIVISION.

2 STATUS/USE

Property Category

- ☒ building(s), main
- ☐ building(s), attached
- ☐ building(s), detached
- ☐ building(s), public
- ☐ building(s), accessory
- ☐ structure(s)

Evaluation*

- ☐ Landmark Site
- ☒ Significant Site
- ☐ Not Historic

Reconstruction

- Date:
- Permit #:
- ☐ Full ☐ Partial

Use

- Original Use: Residential
- Current Use: Residential

- *National Register of Historic Places: ☒ ineligible ☐ eligible
☐ listed (date:)

3 DOCUMENTATION

Photos: Dates

- ☐ tax photo:
- ☒ prints:
- ☐ historic: c.

Drawings and Plans

- ☐ measured floor plans
- ☐ site sketch map
- ☐ Historic American Bldg. Survey
- ☐ original plans:
- ☐ other:

Research Sources (check all sources consulted, whether useful or not)

- ☐ abstract of title
- ☐ tax card
- ☐ original building permit
- ☐ sewer permit
- ☒ Sanborn Maps
- ☐ obituary index
- ☐ city directories/gazetteers
- ☐ census records
- ☐ biographical encyclopedias
- ☐ newspapers
- ☒ city/county histories
- ☐ personal interviews
- ☐ Utah Hist. Research Center
- ☐ USHS Preservation Files
- ☐ USHS Architects File
- ☐ LDS Family History Library
- ☐ Park City Hist. Soc/Museum
- ☐ university library(ies):
- ☐ other:

Bibliographical References (books, articles, interviews, etc.) Attach copies of all research notes and materials.

Blaes, Dina & Beatrice Lufkin. "Final Report." Park City Historic Building Inventory. Salt Lake City: 2007.

Carter, Thomas and Goss, Peter. *Utah's Historic Architecture, 1847-1940: a Guide*. Salt Lake City, Utah:

University of Utah Graduate School of Architecture and Utah State Historical Society, 1991.

McAlester, Virginia and Lee. *A Field Guide to American Houses*. New York: Alfred A. Knopf, 1998.

Roberts, Allen. "Final Report." Park City Reconnaissance Level Survey. Salt Lake City: 1995.

Roper, Roger & Deborah Randall. "Residences of Mining Boom Era, Park City - Thematic Nomination." National Register of Historic Places Inventory, Nomination Form. 1984.

4 ARCHITECTURAL DESCRIPTION & INTEGRITY

Building Type and/or Style: "L" cottage or "T" cottage

No. Stories: 1

Additions: ☐ none ☒ minor ☐ major (describe below) Alterations: ☐ none ☒ minor ☐ major (describe below)

Number of associated outbuildings and/or structures: ☐ accessory building(s), # ____; ☐ structure(s), # ____.

General Condition of Exterior Materials:

Researcher/Organization: Dina Blaes/Park City Municipal Corporation

Date: November 08

- ☒ Good (Well maintained with no serious problems apparent.)
☐ Fair (Some problems are apparent. Describe the problems.):
☐ Poor (Major problems are apparent and constitute an imminent threat. Describe the problems.):
☐ Uninhabitable/Ruin

Materials (The physical elements that were combined or deposited during a particular period of time in a particular pattern or configuration. Describe the materials.):

Foundation: Not visible and therefore its material cannot be verified.

Walls: Aluminum siding

Roof: Asphalt shingle

Windows/Doors: Aluminum sliding windows, and aluminum screen doors.

Essential Historical Form: ☒ Retains ☐ Does Not Retain, due to:

Location: ☒ Original Location ☐ Moved (date _____) Original Location:

Design (The combination of physical elements that create the form, plan, space, structure, and style. Describe additions and/or alterations from the original design, including dates—known or estimated—when alterations were made): Form of "L" cottage type is readily evident, although the materials have been drastically altered from original state. Aluminum in siding, windows, porch roof and supports all suppress the original appearance of this structure. Material alterations were likely made in mid-20th century.

Setting (The physical environment—natural or manmade—of a historic site. Describe the setting and how it has changed over time.): Narrow building lot on fairly flat terrain. House is recessed at least 20 feet from city roadway on the lot. Grounds are surrounded in mature trees and simple grasses with pedestrian access to structure being through a single car width driveway.

Workmanship (The physical evidence of the crafts of a particular culture or people during a given period in history. Describe the distinctive elements.): Though the distinctive elements that define the typical Park City mining era home—simple methods of construction, the use of non-beveled (drop-novelty) wood siding, the plan type ("L" cottage), the simple roof form, the informal landscaping, the restrained ornamentation, and the plain finishes—have been altered, the building retains its essential historical form.

Feeling (Describe the property's historic character.): The physical elements of the site, in combination, do not effectively convey a sense of life in a western mining town of the late nineteenth and early twentieth centuries.

Association (Describe the link between the important historic era or person and the property.): The "T" or "L" cottage (also known as a "cross-wing") is one of the earliest and one of the three most common house types built in Park City during the mining era; however, the extent of the alterations to the main building diminishes its association with the past.

The extent and cumulative effect of alterations to the site render it ineligible for listing in the National Register of Historic Places.

5 SIGNIFICANCE

Architect: ☒ Not Known ☐ Known: (source:)

Date of Construction: c. 1901¹

Builder: ☒ Not Known ☐ Known: (source:)

The site must represent an important part of the history or architecture of the community. A site need only be significant under one of the three areas listed below:

¹ Summit County Tax Assessor; appears on the 1907 Sanborn Insurance Map.

1. Historic Era:

- ☐ Settlement & Mining Boom Era (1868-1893)
- ☒ Mature Mining Era (1894-1930)
- ☐ Mining Decline & Emergence of Recreation Industry (1931-1962)

Park City was the center of one of the top three metal mining districts in the state during Utah's mining boom period of the late nineteenth and early twentieth centuries, and it is one of only two major metal mining communities that have survived to the present. Park City's houses are the largest and best-preserved group of residential buildings in a metal mining town in Utah. As such, they provide the most complete documentation of the residential character of mining towns of that period, including their settlement patterns, building materials, construction techniques, and socio-economic make-up. The residences also represent the state's largest collection of nineteenth and early twentieth century frame houses. They contribute to our understanding of a significant aspect of Park City's economic growth and architectural development as a mining community.²

2. Persons (Describe how the site is associated with the lives of persons who were of historic importance to the community or those who were significant in the history of the state, region, or nation):

3. Architecture (Describe how the site exemplifies noteworthy methods of construction, materials or craftsmanship used during the historic period or is the work of a master craftsman or notable architect):

6 PHOTOS

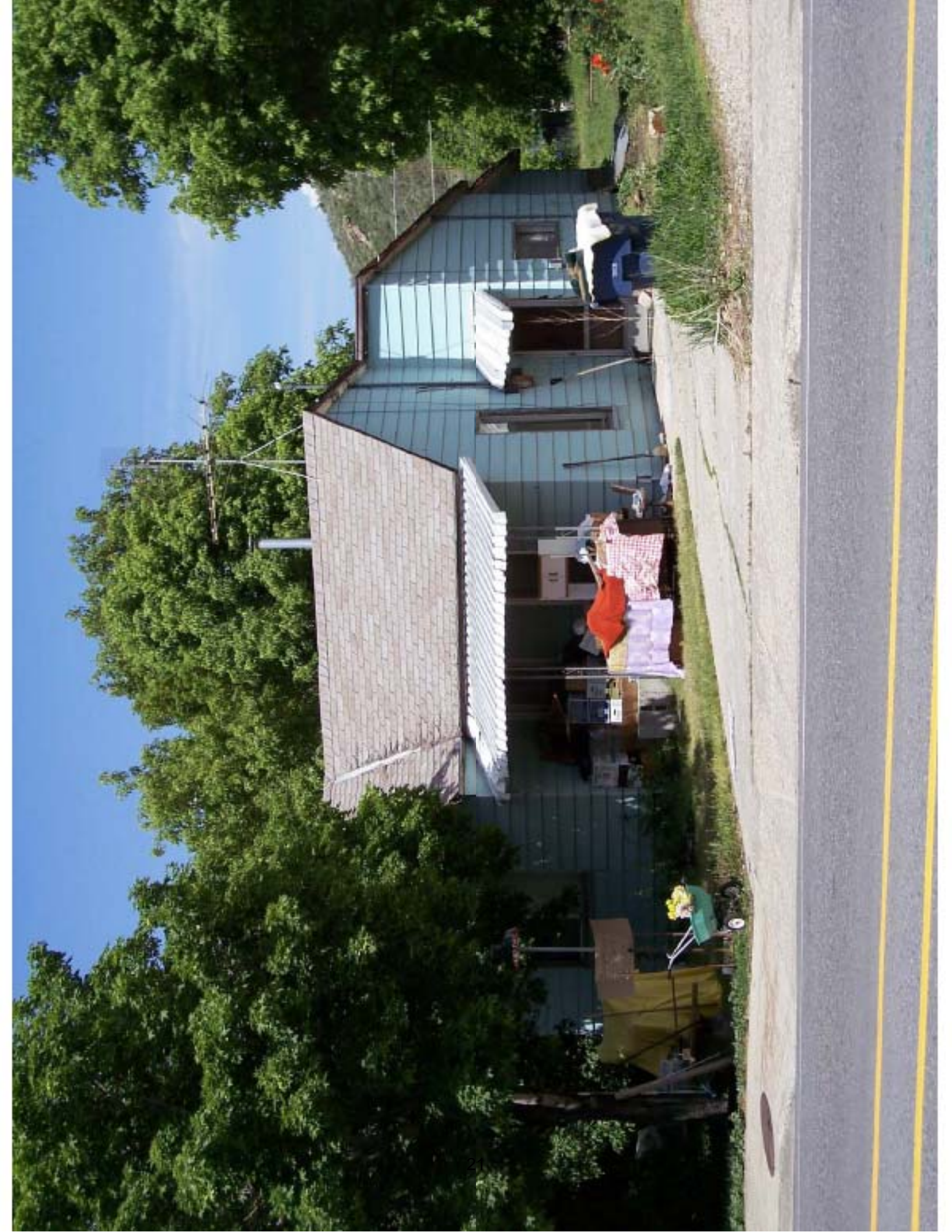
Digital color photographs are on file with the Planning Department, Park City Municipal Corp.

Photo No. 1: Southwest oblique. Camera facing northeast, 2006.

Photo No. 2: Southwest oblique. Camera facing northeast, 1995.

² From "Residences of Mining Boom Era, Park City - Thematic Nomination" written by Roger Roper, 1984.





PARK CITY MUNICIPAL CORPORATION
PLANNING DEPARTMENT
445 MARSAC AVE ° PO BOX 1480
PARK CITY, UT 84060
(435) 615-5060 ° (435) 615-4906 FAX



(08-09)

PHYSICAL CONDITION REPORT

For use with the *Historic District/Site Design Review Application*

PROJECT PLANNER _____	<i>For Office Use Only</i>	APPLICATION # _____
		DATE RECEIVED _____

PROJECT INFORMATION

HISTORIC SITE? ☐ NO ☒ YES: ☐ LANDMARK ☐ SIGNIFICANT DISTRICT: _____

NAME: Doe Residence

ADDRESS: 1450 Park Ave.
Park City, Utah 84040

TAX ID #: RPS-2 OR

SUBDIVISION: _____ OR

SURVEY: _____ LOT #: _____ BLOCK #: _____

CONTACT INFORMATION

NAME: Jack and Jane Doe

PHONE #: _____ FAX #: _____

EMAIL: _____

Instructions for Completing the PHYSICAL CONDITION REPORT

The purpose of the PHYSICAL CONDITION REPORT is to document the existing conditions of the site, its buildings and structures. All sites, historic or otherwise, that are the subject of a Historic District/Site Design Review application are required to complete a PHYSICAL CONDITION REPORT. This form should be completed and submitted to the Planning Department prior to your Pre-Application Conference.

WRITTEN DESCRIPTION

The features listed below, if extant on your site, must be described in full. If the scope of your project is limited (window replacement, porch rehabilitation, etc.) describe only those elements directly impacted by your proposal and write "not applicable" in other sections. Descriptions should be concise and detailed and should include materials, dimensions, present condition, and approximate date (if known). If your descriptions require additional space, please attach a continuation sheet OR you may create a separate document by restating each numbered item followed by your full response. Documentation from a licensed professional must be submitted to support claims regarding severely deteriorated or defective conditions.

PHOTOGRAPHS

Digital photographs must be included with this report. Specifications and a template for organizing and labeling photographs are provided on the last page of this report.

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

SITE FEATURES

A.1. TOPOGRAPHY - Describe the topography of the site, including any unusual conditions.

Describe the existing feature(s) and condition:

The topography is basically flat. Changes in topography run north to south. On the north side the topography begins at 6872. There is a one foot, or 6873, change that runs towards the front door on the west elevation and then appears midpoint on the northeast gable addition. The finished floor elevation is designated to be 6873.4. There is a circular area on the southwest corner of the root cellar that is 6874. This increase in elevation appears to be due to an accumulation of debris and fill. There is a 5" elevation change in between the root cellar and the northeast gable on the east elevation.

A.2. LANDSCAPING - Describe the natural and/or planted materials, paths, decks, patios or other elements that are part of the existing landscaping scheme, including approximate dates.

Describe existing feature(s) and condition:

The majority of the landscaping is not historic. The trees and scrubs all appear to be volunteers. There are some nice hollyhocks under the front, west elevation window however it is very unlikely that they originally were part of the landscape. The tax photographs show a couple of lilac bushes on either side of the front façade close to the street(1) (2). The two bushes are still part of the landscape.(3) The front porch is concrete and is elevated 3" above grade. This concrete slab is not original to the house and was probably poured when the metal awning was added in the late 40's early 50's. The slab is cracked and deteriorating. There is no evidence what the original material might have been.



Park City Historic Photo 1



Park City Historic Photo 2

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5080.



3.Lilac bushes

A.3. RETAINING WALL(S) - Describe any functional or decorative walls on the site, including approximate dates of construction.

Describe the existing feature(s) and condition:

New railroad tie retaining wall on the south property line in the west front yard.(1)



1.Railroad tie retaining wall

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5080.

A.4. EXTERIOR STEPS - Describe any exterior steps on the property including location, dimensions, materials, and approximate dates of construction.

Describe the existing feature(s) and condition:

Not applicable

A.5. FENCE(S) - Describe any fences on the property including location, dimensions, materials, and approximate dates of construction.

Describe the existing feature(s) and condition:

New 6'-0" wood fence along the south property line.(1)

Chain link fence in the rear northeast corner of the lot.(2)



1.South property line wood fence



2. Chain link fence rear northeast

A.6. OTHER SITE FEATURES (SPECIFY): _____

Describe the existing feature(s) and condition:

There are no unique site features. Excavation in the rear yard may unearth evidence of a variety of outbuildings. There is an old utility pole in the middle of a volunteer tree just east of the root cellar. (1)(2)



1. Utility pole 1

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5080.



2. Utility pole 2

MAIN BUILDING

B.1. ROOF - Describe the existing roof materials, roof framing, pitch and elements such as skylights, vents or chimneys along with the approximate dates of the features.

Describe the existing feature(s) and condition:

The roof is the feature that most clearly describes the progression of additions on the house.

The original (1904) east/west gable and cross north/south gable roofs both with a 12/12 pitch is in the best shape. Materials are determined by looking at the ends. Wood shingles were most likely the original roofing material.(1) The roof was originally sheathed with 1X6 wood. (2) Some metal panels have been added to the eaves particularly noted on the north elevation. Finally, there is a 3-tab asphalt shingle roof (1954). At the ridge on the north side there is a bump and some waviness where the cross gables intersect. This indicates that there probably was no new sheathing applied to the roof when the 3-tab asphalt was installed. The roof of the metal porch awning comes in under the original north/south gable. It can be assumed that the original porch intersected in a similar way.(3) There is one chimney in this original section at the top of this area at the intersection of the two gables. The chimney is varied/blond brick and steps out midpoint. The brick is loose particularly near the top. There is no evidence of this chimney on the interior. After further investigation it was discovered that this chimney stops in the attic and is supported on a framed platform. Without further investigation it is unclear where and how this chimney was used. The chimney is poorly flashed at the roof level but of all the chimneys it is flashed the best.(4)

The first addition appears to be the northeast gabled addition. Interior investigation and the partial exposure of the east/west gable on the east side show the original exterior wall.(5) The roof on this addition is 10/12; slightly less than the original roofs. The similar roofing materials indicate that this was an early addition perhaps 20's or 30's. Most of this roof is in fair condition however,

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5080.

the section of overbuilt roofing is patchy and bad. There is a lot of slapped on tar and generally unprofessional leak control.(6)

Part of the kitchen addition could have occurred around the same time as the northeast gable. The entry area may be part of the original house. The chimney located between the dining room and the kitchen is similar to the chimney in the center of the original house. Depending on excavation some part of the kitchen may have been part of the original house. The kitchen addition appears in both tax photos. The roof pitch is 4/12. The roofing from the intersection of the kitchen and the original roofs is really deteriorated with excessive patching and decay from water damage. All the interior spaces from the east wall of the kitchen, the mechanical space, the bathroom, the covered stairs to the root cellar, and the root cellar have significant moisture damage and mold. The soffits and fascias in these areas are rotted and moldy.(7) There is a variety of roofing materials, metal panels and tar piled on in an attempt to stop leaking.(8)

The only roof penetrations on this house are the three chimneys. The one vent pipe seen in the above photo is from the root cellar. The two chimneys: one between the dining room and the kitchen and the other between the kitchen and the mechanical space are in disrepair. There is missing mortar, structural issues, and sloppy, inadequate flashing.(9) Both of the rear chimneys extend through the interior and sit on a 2X4 platform at the floor level.



1.Original wood shingle



2.Soffit detail northwest corner



3.Original south gable roof and porch roof intersection

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5080.



4.Original roof valley and chimney



5.East elevation original gable

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5080.



6. East elevation overbuild at bathroom



7. Fascia at southeast corner

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5080.



8. East elevation roof condition and chimneys



9. Chimneys

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5080.

B.2. EXTERIOR WALL - PRIMARY FAÇADE - Describe the exterior façade including materials, dimensions, finishes and approximate dates of construction.

Describe the existing feature(s) and condition:

The primary façade, front façade, faces to the west. This is the documented façade in the historic tax photos. The house built in 1904 was comprised of the two cross gable structures and a shed porch with decorative columns. All these elements are present on this primary façade although the original porch has been replaced with a metal awning and metal columns.(1)(2) The west facing gable is 13 feet wide and 17 feet high at the ridge. The walls are 9'-7" high. There is one centered aluminum slider window, 5'-0"W X 4'-0" H. (windows will be dealt with separately). This gable projects 4'-11" further west than the cross gable.(3) The porch occupies the space created by this projection. The cross gable which faces south is 12'-10" approx. across facing west; is also 17'-0" high at the ridge and the walls are 9'-7" high. This face includes a beautiful 32"W X 6'-9"H front door (doors will be dealt with separately) and a 4'-4"W X 4'-6"H wood frame picture window.(4) There is a 4'-5" projection 13'-0" east of the southeast corner of the porch. There is an entry door into the kitchen. The wall is 9'-7" high. This projection appears in both historic tax photos and it is possible this is part of the original house. Further demolition would need to be done to determine the date of construction.(5) Modifications have occurred over time 30's, 40's, 50's, and 60's. The wall construction varies throughout the house but the exterior materials in this original section are pretty consistent. The original wood 1X7 lap siding is under a layer of ¾" masonite and ¼" X 73/4" asbestos shingle. In the excavation on the south corner of the west gable does not show any building paper. The condition of the original wood siding looks precarious at this point but appears better in other areas. A complete demolition of the asbestos shingle (hazardous material) and masonite is the only way to really ascertain the condition of the original wood.(6)



1.Park City historic photo 1



2.Park City historic photo 2



3.Original west gable

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5080.



4. West elevation



5. West kitchen door

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5080.



6.Siding detail

B.3. EXTERIOR WALL - SECONDARY FAÇADE 1 - Describe the exterior facade including materials, dimensions, finishes and approximate dates of construction. Describe the existing feature(s) and condition:

The original part of the north elevation extends 30'-4" west to east. The wall height is 9'-7" at the northwest corner and 9'-6" at the intersection with the northeast addition. The ridge is 17'-0" high. (1) There are two windows on the façade. Both are 4'-10" off the ground and are 4'-11"W and 2'-8"H (windows dealt with separately). The exterior wall materials the same as on the primary façade.(2) The siding extends to the ground with little or no signs of the stone foundation. Only complete demolition of the asbestos shingle and masonite will expose the nature of the original siding material. The soffit and fascia are in fair condition. The 1X4 trim is incomplete in sections and the paint is peeling.(3) There is a 10'-2" addition on the northeast end of the north elevation. This addition intersects with the original north section of this façade.(4)(5) The wall height is 8'-2" high and the ridge is at approximately 13'-0".(6) The overhang is larger (10") and the roof framing is larger. This is further evidence that is an addition of not part of the original house.

The corner of the root cellar is visible on the north elevation (root cellar described on the east and south elevation).(7)



1. North elevation (chimney and roof of project to the south seen)



2. Siding detail northwest corner

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5080.



3.Fascia north elevation



4.Soffit and fascia north elevation intersection original and addition

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5080.



5.Soffit and fascia northwest corner



6.Fascia detail northeast corner

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5080.



7. Northeast elevation of root cellar

B.4. EXTERIOR WALL - SECONDARY FAÇADE 2 - Describe the exterior facade including materials, dimensions, finishes and approximate dates of construction.

Describe the existing feature(s) and condition:

The south elevation is difficult to photograph in totality since it is too close to the property line, a fence, and a sizable new residential building. A drawing of this elevation gives a better look at the entire elevation.

The porch and the 4'-11" projection of the main original west gable are on the southwest corner of the south façade. The metal awning sheds from 9'-0" to 7'-0" east to west. The porch awning replaced the original porch in the 1950's or 1960's.(1) The south gable is part of the original house. It is 13'-0" wide and 17'-0" to the ridge. The wall height on the west and east sides of this gable section is 9'-7". There is a 10" overhang and the soffit and fascia are in fair condition. These elements are very simple 1X wood trim. There is quite bit of raw wood.(2) The siding is the same as has been described previously. There is one centered window on this gable end.(3) There are similar windows on the north elevation. (window details will be described separately). The gas meter is on the west corner. The electrical service drop occurs of the east end of the gable. (electrical will be described separately).

At the east end of the south gable there is a 9'-7" high X 4'-5" wide projection which extends further to the south. This forms the west corner of a shed roofed area that extends 16'-0" to the east. The wall height at the west corner is 9'-7" and the wall height at the east end is 5'-4". Interior evidence as well as the location of the chimneys gives some evidence that the first 9'-8" of this area might have been original. Complete demolition of the exterior layers of siding and demolition of layers of interior finishes should provide some conclusive evidence regarding the age of this area. There are two windows: one double hung window over the kitchen sink and one long fixed window in the mechanical room.(4) The fascia is a simple 1X4 that gets progressively more

damaged west to east. There is significant evidence of the poorly repaired roof in this area. Tar and fiberglass patching material drip over the edges of the fascia.(5)

There is a 4'-7" wide gap between the 5'-2" high east end of the mechanical room and the root cellar. Approximately 9'-8" north of the mechanical room corner is shed connection that internalizes the steps to the root cellar. This area is poorly constructed and the roof is layered with poorly executed patching.(6) While the root cellar is probably original to the house. It was an outbuilding and the connection a much later addition.

The root cellar is 8'-8" wide. It is built of concrete.(7) The side wall height is 1'-6" and ridge is 5'-0" high. There is a small center window. The root cellar will be dealt with later.

All the roofs and there relationship to each other are visible when looking at this south façade. All three chimneys are also visible.



1.Original porch intersection-southwest corner



2. South gable end



3. South original gable with electrical drop and gas meter

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5080.



4. South kitchen window elevation

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5080.



5. Southeast corner mechanical room



6. South elevation space between mechanical and root cellar. Covered stairs to root cellar to north.

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5080.



7.South elevation root cellar

B.5. EXTERIOR WALL - REAR FAÇADE - Describe the exterior facade including materials, dimensions, finishes and approximate dates of construction.

Describe the existing feature(s) and condition:

The rear façade faces east. The heights of the walls on this façade are low so the entire progression of roof systems is visible from the east. The above section on the roofs indicates the extent of the roofing issues visible from this elevation.(1) For the sake of clarity the root cellar and the covered stair to the root cellar will be eliminated from the description of the east elevation and will be dealt with separately.

The southeast corner is 5'-2" high and is the end of a long, 16'-1" shed roof.(2) The wall extends north approx. 13'-0" with the last 5'-0" being intersected by the stair cover. There is a long casement window that has been boarded up 30" north of the southeast corner. The wall is covered with the 73/4" asbestos shingle. The shingle is poorly applied; sagging and gaping across the wall. There doesn't appear to be any building paper. This has significant water damage. Just north of the covered stair is a small gable structure that forms the bathroom.(3) The exterior dimension of this little gable is 5'-5" however the roof extends over the shed roof to the south. The wall height at the south end is 5'-4" and 5'-7" at the north end. The ridge is 8'-0" high. There is an odd shed roof extension from the ridge of the small gable to the larger gable to the north.(4) There is a boarded up casement window centered on this small gabled structure. The toilet is vented on the outside. This will be dealt with in the plumbing section. The asbestos shingle is in better condition and the moisture issues aren't quite as pronounced as they are on the surfaces to the south. There is a northeast gable structure that projects 6'-6 1/2" to the east of the small bathroom gable. There is a window facing south in this projected area. This northeast gable is 11'-0" wide. The wall height varies from 7'-11" on the south corner to 8'-2" on the north corner. The ridge of the approximately 10/12 pitch is 13'-0".(5) There is a slight built up area between the northeast gable and the root cellar which accounts for the wall height variation. There is a 30"X6'-8" door (boarded) on the south corner, a window similar to the windows on the north elevation (boarded), and a boarded vent or window in the upper gable. This structure has more in common with the original house; the pitched roof has seen less moisture damage and the siding materials and fascia are in similar

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5080.

condition.(6) This supports the thinking that the northeast gable is an early addition. The east gable end of the original east/west gable structure is visible above this northeast gable structure. It is the best indication of original siding and fascia detail on the whole house.(7) The television antennae is visible on the northeast gable roof.

The progression of additions on the east elevation seems to be (conjecture without demolition of historic materials) northeast gable, small bathroom gable, mechanical addition to the kitchen shed and the covered stair to the root cellar.



1. East elevation



2. East elevation mechanical room shed

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5080.



3. East elevation-small bathroom gable



4. East elevation-extension overbuild to northeast gable from small gable

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5080.



5. Northeast gable-north façade



6. Siding detail-northwest gable north elevation

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5080.



7. East elevation- original east/west gable

B.6. FOUNDATION - Describe the existing foundation noting the current materials, evidence of previous upgrades as well as evidence and probable cause of failure or deterioration and approximate dates of construction.

Describe the existing feature(s) and condition:

Excavation and investigation of the foundation occurred on the north exterior side of the house and on the corresponding interior space. Another exterior excavation was done on the south side of the house by the kitchen window. The foundation in both of these locations is stone rubble.(1) There is very little stone exposed on the exterior and it only extends about 12 " below the ground. On the interior the exposed floor joists sit directly on the dirt.(2). There is some concrete foundation wall on the rear east additions.(3) Without excavation the extent of the footing/foundation is unclear. A thorough investigation of the foundations will further substantiate the construction history of the house.



1.Foundation rubble-north elevation



1.Look at interior excavation north wall

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5080.



2. East elevation-concrete

B.7. PORCH(ES) - Describe the current porch(es) including materials, finishes, dimensions, evidence of changes and the approximate date of construction.

Describe the existing feature(s) and condition:

The only evidence of a historic porch is the historic tax photo.(1). The existing metal awning porch cover and metal posts have been in place for a long time. It was probably added in the 40's or 50's. The concrete pad 4'-7"X12'-10" was added at the same time. The metal roof is beginning to fail but the posts are in good shape. The 3" concrete is cracked and damaged.(2)(3)(4)



1. Park City historic photo 1



2. Porch-west elevation

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5080.



3. Porch- south elevation



4. Porch roof

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5080.

B.8. DORMER(S) / BAY(S) - Describe any projecting dormers or bays noting the location, materials, finishes, dimensions and approximate date of construction.

Describe the existing feature(s) and condition:

Not applicable

B.9. ADDITION(S) - Describe any additions to the original building in a chronological order of development (if known) and include information on the construction methods, materials, finishes, dimensions, condition and approximate dates of each addition. For Historic Sites, this description should correspond to the measured as-built drawings of the buildings/structures.

Describe the existing feature(s) and condition:

Additions and their material finishes and dimensions have been described in the elevation sections. To summarize: The west/east gable structure and the north/south cross gable form the primary elements of the 1904 original house. The kitchen shed east of the north/south gable may have also been part of the original house. The root cellar was probably original and was a stand alone structure with an exterior stair. The northeast gable on the east elevation was an early addition possibly as early as the 1920's. The small bathroom gable and the shed extensions on the southeast side of the east elevation were probably added later in the 30's, 40's and 50's. This later area has significant water damage.

B.10. MECHANICAL SYSTEM

Describe the existing mechanical system and condition:

Heating is provided by a forced air furnace. There are no working fireplaces. The furnace is located next to the chimney in the mechanical room. It is vented through this chimney.(1)(2). The water damage and mold is significant in this room. This type of exposure and the general poor construction makes the heating system unusable. There is nothing historic about the heating system. The return air is located just on the other side of the wall from the furnace which is not the optimal location. The duct work is smashed into areas dug out under the floor joist and sits directly on the ground.(3) There are registers located in most of the rooms. The Honeywell thermostat is located on the east wall of the dining room. This heating system did more damage than good to the historic materials in this house.

The plumbing is equally as disfunctional. The water heater is located next to the furnace. In its present condition and location it is also unusable. The gas connection is questionable. There is no evidence of venting. There are washer and dryer hookups on the east wall of the mechanical room. The plywood floor in the mechanical room is moldy,warped and probably sitting on the ground.

The other two plumbed areas are the kitchen sink and the bathroom. The kitchen sink is a combination of galvanized and pvc piping. The kitchen sink is a metal combination sink and cabinet. It is a 1940's or 50's piece and is in fairly nice and repairable condition.(4) The venting for the sink is located just above the ground outside.(5) The water turnoff for the house is located outside in this same area.(6)

The bathroom fixtures; a sink, a toilet, and a missing but plumbed tub are all plumbed using galvanized piping. There may also be some lead piping. None of the fixtures are properly vented. The toilet is vented outside through a 4" PVC pipe.(7)

The total lack of venting indicates that plumbing was all added to this house in the 40's, 50's. and never done to meet any building codes.



1.Mechanical room-furnace and water heater



2. Chimney-furnace vent



3. Duct work in foreground under floor joist

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5080.



4. Metal kitchen sink and cabinet unit



5. Sink venting

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5080.



6. Water turnoff



7. Toilet plumbing vent.

B.11. ELECTRICAL SYSTEM

Describe the existing electrical system and condition:

The electrical service is 110 and the panel is located on the exterior of the house next to the electrical drop.(1)(2). There is no power to the house at this time so it was not possible to determine whether individual switches or lights were working. Most of the electrical wiring was covered however, it is assumed that there is a lot of combinations of wiring spanning the lifespan of the house. There are no smoke alarms. The ceilings in the east portions of the house are

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5080.

significantly water and mold damaged. None of the wiring in this area should be considered safe. Refer to the as-built reflected ceiling plan for existing locations of lights, switches, and outlets.



1. Electrical service



2. Closeup electrical service

B.12. STRUCTURAL SYSTEM

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5080.

Describe the existing structural system, including the foundation, floors, walls, and roof structure. Park City will allow very limited and non-structural disassembly of a structure to investigate these conditions.

Describe the existing structural system and condition:

Since there was limited demolition of the existing structure there have been educated assumptions made about the structural framing members.

For most of the structural members on the framing plans are specified as the percentage of the members capacity to meet current building code requirements-2006 International Building Code (2006 IBC). This gives a good indication of the strength of the existing framing materials. This building is a historic building and based on the historic building code if the framing member has more than 50% of capacity of what the 2006 IBC requires than the member is considered okay.

1. The existing building does not have any footings. There is some rubble stone under the exterior walls. There are some concrete foundations on the rear additions. See section on foundations for photos.
2. The existing floor is 2-1/8"X6" Douglas Fir @ 24"o.c. The analysis shows this framing to be at 52.7% capacity and according to the historic code this meets the structural criteria.
3. The exterior wall construction varies in the house. There are areas where there is only 1X12 vertical planks and siding material.(1) Most of the walls are 2X2 Douglas Fir#2@16" o.c. with the 1x12 vertical planks and siding. These walls are not strong enough for wind, seismic, or gravity loads.
4. The existing headers are inadequate.
5. The east/west front gable roof is framed with 2X4's @ 28"o.c. The roof framing for the north/south gable is 2X10's @ 48" o.c. The rest of the house is 2X4 framing @ 24"o.c. Only the roof framing for the north/south gable meets the 50% capacity of the code.
6. The existing roof sheathing is 1X6 wood planks installed perpendicular to the existing joists. It does not have any capacity for shear diaphragm value.

The framing members in the original areas, with high pitched roofs, are dry and intact (from what is visible). The roof framing particularly in the rear shed area is water saturated and failing. A 2X8 beam in the existing kitchen is completely bowed. In time this structure will completely fail.



1. 1X12 wall construction. 2 1/8"X6" floor joist.

B.13. HAZARDOUS MATERIALS

Provide a statement regarding the presence of hazardous materials including, but not limited to, lead-based paint, asbestos and mold. Describe the materials' location on the site, the test methods used to verify the hazardous material, and the extent of the problem:

The exterior siding is an asbestos shingle. Asbestos in this application is pretty encapsulated, there isn't much airborne asbestos. The siding will need to be removed using approved techniques for hazardous materials removal. Testing for asbestos needs to be done before the demolition of the roofing materials. There is such a build up of materials particularly on the east elevations, the rear of the house that it should be assumed that there are some potentially hazardous materials.

All the old painted surfaces in the house probably contain lead paint. This is particularly true of the wood exterior siding. There may also be some lead piping in the house. This piping may not be in use but may be buried under the floor system. Proper care needs to be taken to remove and dispose of these materials.

Mold is a significant issue in this house. The smell of mold is strong. When it rains the roof over the east section of the kitchen, the mechanical room, and the stair to the root cellar leaks. The ceiling and roof joist in this area are water logged. The ceiling is collapsing and black mold is every where. These areas are not salvagable and should be removed. The bathroom ceiling is also collapsing and there is some mold. There is carpeting in every room. It should be removed immediately if any part of this house is going to be saved. This carpeting retains moisture and in the areas mentioned above it is contributing to the type of damage in the floor seen in the ceiling.

B.14. OTHER (SPECIFY): _____

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5080.

Describe the existing feature(s) and condition:

MAIN BUILDING - DETAILS

C.1. WINDOWS - Describe the number of windows, dimensions, configuration of panes, types, whether the windows are original to the building (if known) and approximate dates.

Describe the existing feature(s) and condition:



The front, west elevation is an aluminum slider. It is 3'-31/2" off the ground and is 5'-0"W X 4'-0" H. This window replaced historic windows. The frame has also been altered. Interior investigation shows that there was originally two windows and the windows were 6" taller, closer to the ground. The evidence is a sawed off 6" wood piece at the sill. There is an awning over the window in the older tax photograph so it is hard to tell if the windows were intact at that time. The second historic tax photograph shows that the window has been altered although the sill hasn't been raised. The change from double wood window to aluminum slider took place in the 50's or 60's. The present window was added in the 70's or early 80's.

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5080.



The west elevation picture window is under the porch adjacent to the front door. There is the same evidence as the front window that this was originally two windows. These would have been original windows. This window is a single fixed pane 2'-21/2" off the porch floor and 4'-41/2"W X 4'-6" H. The paint on the wood frame is peeling. The detailing of the frame matches that of other windows in the house.



Typical wood frame details.

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5080.



Typical window frame details.



If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5080.

South facing window in north/south cross gable. Three fixed panes of glass 4'-4" off the ground 4'-11" W X 2'-3" H. The side windows might have originally opened although there is no present evidence. The small side panes of glass are 11" wide and the divider between the window is 5" wide. The larger center pane of glass is 2'-3" wide.

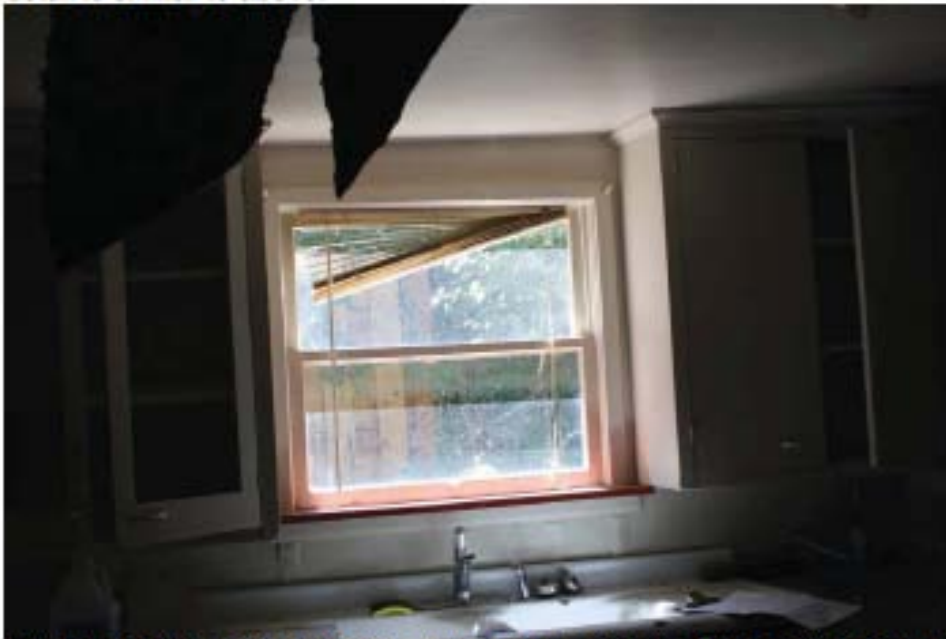


Interior of window detail.

This style of window appears on the north side of the house and in the northeast gable on the east rear elevation. There are a total of 4 similar windows. These may be original windows. The south window is the only window that isn't boarded up. Without interior light photos are hard to get.



The kitchen window is a wood, single-pane, double hung window. This window is 3'-8 1/2" off the ground and is 3'-0"W X 2'-8"H. The paint is peeling and there is some raw wood. The window detail is similar to above.



Interior of kitchen window with surrounding cabinets. Note ceiling damage.

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5080.



There is a large fixed single pane window in the mechanical room. It is 3'-3" off the ground and 4'-8" W X 2'-2" H. It has similar jamb and sill detail shown above.



This is a double hinged, single pane window manual casement window on the east side of the mechanical room. It is 2'-10" off the ground and is 4'-6" W (2@ 2'-3" each) X 1'-5"H. There is a similar window in the small east bathroom gable.

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5080.



This window 3'-8" off the ground and is 5'-0"W (2@ 2'-5" ea.) X 13"H



Window at stair to root cellar.

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5080.



These two small windows are opposite each other in the space between the root cellar stairs and the northeast gable. The window in the root cellar stair area is a fixed window 3'-1" off the ground and 2'-4"W X 13"H. The window in the northeast gable structure faces south and is 3'-10" off the ground and is 1'-8"W X 2'-1"H. This window appears to swing open. All these windows are single pane and have same exterior jamb and sill detail.

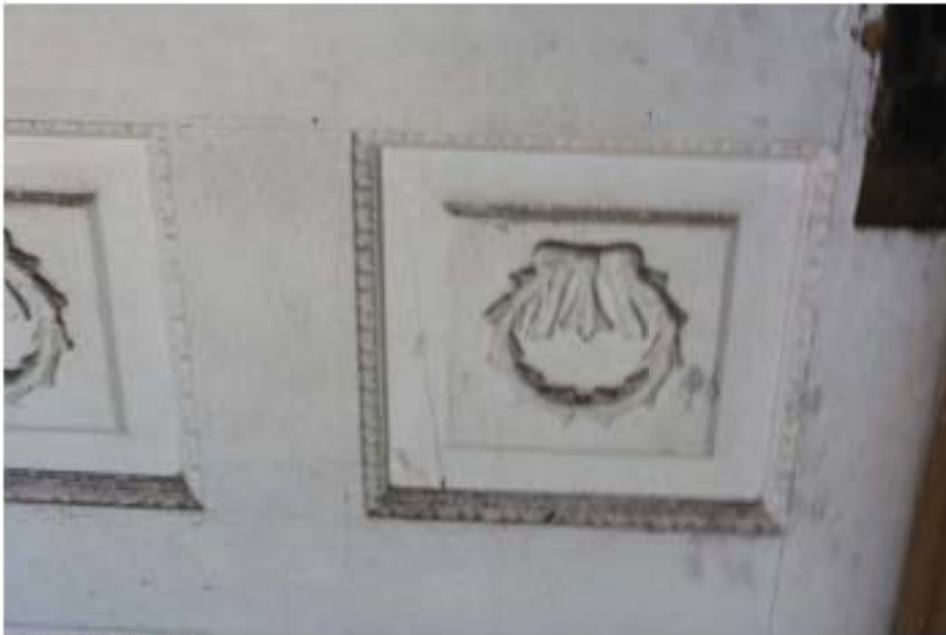
C.2. DOORS- Describe the number of doors, dimensions, types, and whether they are original to the building and approximate dates.

Describe the existing feature(s) and condition:

There are three doors on the house. The front west entry door. The west kitchen entry door. And a door in the northeast gable on the rear, east elevation.



The west facing, wood front door is one of the nicest features on this house. It is 32"W X 6'-9"H. It has Victorian detailing typically found in the 1904. It has a 34"H single pane glass panel in the upper section of the door. There is an aluminum screen. The door hardware is missing and a new deadbolt locks the door. This door's detail is in good condition and could be restored.



Front door detail.



Front door detail.



Kitchen door

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5080.

The kitchen door is 2'-4"W X 6'-8"H. It is a wood, 3 recessed panel, and 1/3 single pane glass window. It is a door that might have been found in a 1904 house. There is new hardware. The wood is pretty chewed up. This is not a remarkable door.



This wood door is the northeast gable in the east rear elevation. It is 30"W X 6'-8" H. It is an unremarkable door and appears to be a later addition to this elevation. It is sandwiched tightly against the window and the window casing forms the casing of the door.

C.3. TRIM - Describe the trim (window and door, eaves and soffits, corner boards, pilasters, etc.) including location, dimensions, and approximate dates.

Describe the existing feature(s) and condition:

The trim on this house is very simple and functional. The structure is expressed and straight forward. Locations, dimensions, and dates are dealt with in other areas of this report.

C.4. ARCHITECTURAL ORNAMENTATION - Describe the architectural ornamentation that is applied or integrated into the exterior facades including the location, dimensions, materials and approximate dates.

Describe the existing feature(s) and condition:

No ornamentation other than the front door.

C.5. OTHER (SPECIFY): _____

Describe the existing feature(s) and condition:

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5080.

ACCESSORY BUILDING(S)

D.1. ACCESSORY BUILDING(S) - Mark all the boxes below that apply to your property.

Describe each accessory building including location on the site (should correspond to the existing site plan), materials, and approximate dates.

Type(s): ☐ Garage ☒ Root Cellar ☐ Shed ☐ Other (specify):

Describe existing accessory building(s) and condition:

The root cellar is located in the rear yard on the east side of the house. The walls are concrete and the roof is 2X4 wood framing. The side walls are 18" off the ground. There is a small boarded window centered on the south elevation. This structure was probably original to the property and the stairs were outside and not internalized. The roofing is a mess and there is water damage. The ceiling height inside is about 6'-6". There is a dirt floor.



South elevation-root cellar



Root cellar roof in foreground.

STRUCTURE(S)

E.1. STRUCTURE(S) - Mark all the boxes below that apply to your property. Describe each structure including location on the site (should correspond to the existing site plan), materials and approximate dates.

Type(s): ☐ Tram Tower ☐ Animal Enclosure ☐ Other (specify):

Describe existing structure(s) and condition:

Not applicable

ACKNOWLEDGEMENT OF RESPONSIBILITY

I have read and understand the instructions supplied by Park City for processing this form as part of the Historic District/Site Design Review application. The documents and/or information I have submitted are true and correct to the best of my knowledge.

Signature of Applicant: _____ Date: _____

Name of Applicant: _____

PHYSICAL CONDITION REPORT - PHOTOS

CONTACT SHEETS (sample shown at right)

Digital photographs illustrating the descriptions provided in this report must be presented on contact sheets that accommodate two photos with captions per page. A template of the contact sheet is provided on the following page.

- Each feature described in this report must include *at least* one corresponding photograph. More than one photograph per description is encouraged.
- Contact sheets should be printed in color on high-quality paper (photo paper is preferred).
- To avoid creating a large and unmanageable file, it is recommended that you use an image file compressor when importing images into the contact sheets.
 - Microsoft offers a free download of Image Resizer for Windows XP at www.microsoft.com.
 - iPhoto provides the option to resize an image (while maintaining the aspect ratio) when the image is exported from the photo library.
 - Other resizing options are available in Adobe Photoshop or in a free download from VSO Software at www.vso-software.fr
- The photograph contact sheets should be organized in the same order as the written descriptions above; beginning with TOPOGRAPHY, LANDSCAPING, RETAINING WALLS, continuing with each of the features listed and finally ending with STRUCTURES.



IMAGES ON DISC

Digital copies of photographs used in the contact sheets that accompany this report should be saved separately on a CD-R and submitted to the Planning Staff with the report. Do not submit a disc with original images. Materials submitted with the form will not be returned to the applicant.

- The image size should be at least 3,000 x 2,000 pixels at 300 ppi (pixels per inch) or larger (if possible).
- It is recommended that digital images be saved in 8-bit (or larger) format.
- TIFF images are preferred, but JPEG images will be accepted.
- The CD-R should be labeled as follows: **PCR Form "Property Address" "Date"**.

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5080.

PHYSICAL CONDITION REPORT - PHOTOS

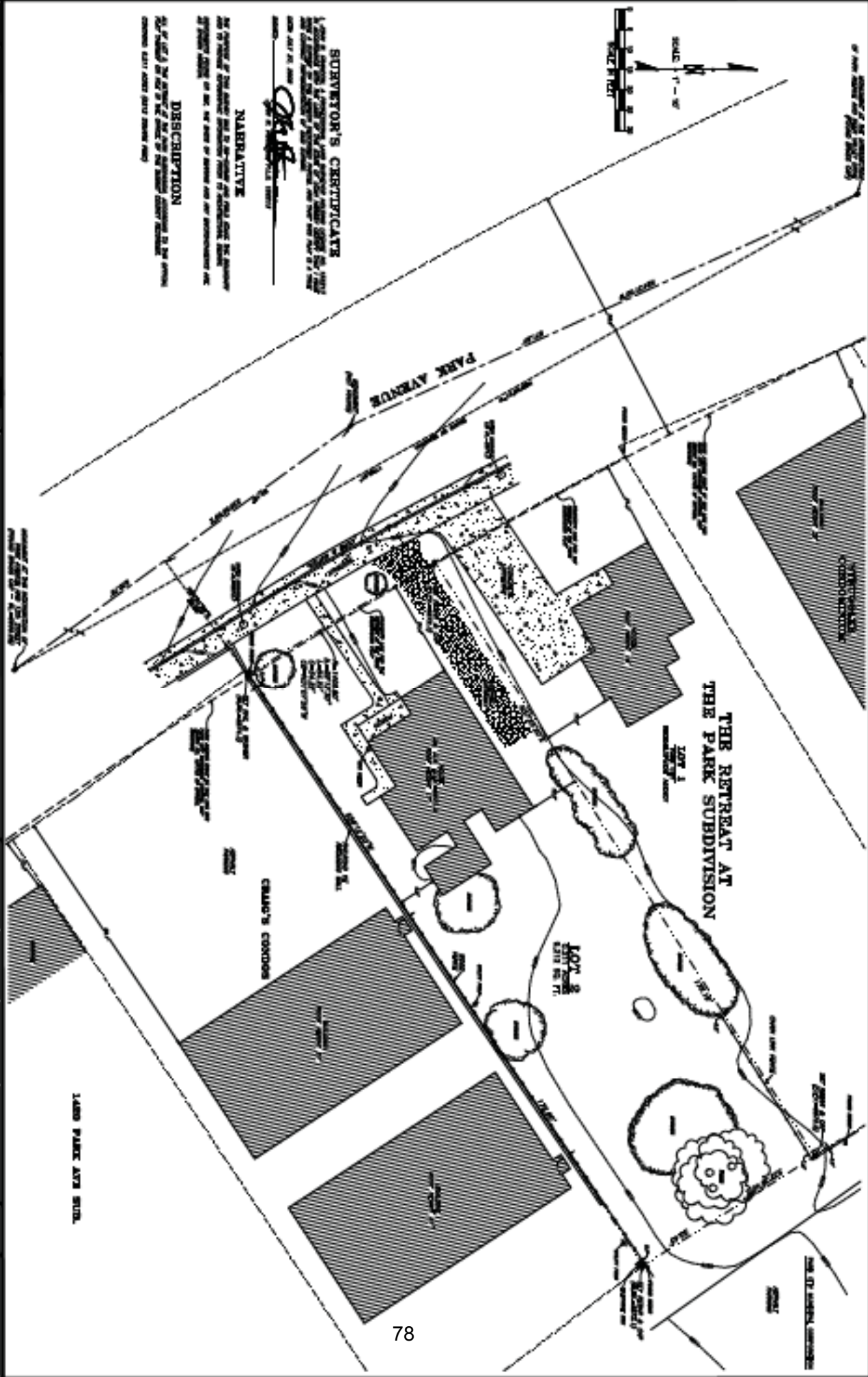
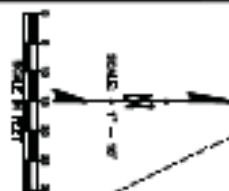
<FEATURE NAME>

Insert Photo Here

<FEATURE NAME>

Insert Photo Here

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



JOHN W. FRANCON & ASSOCIATES
LAND SURVEYORS
 SURVEYING, ENGINEERING & CONSULTING SERVICES
 1000 PARK AVENUE
 SUITE 100
 PARK CITY, UTAH 84302
 (801) 225-1111
 WWW.FRANCON.COM

PARK CITY REDEVELOPMENT AGENCY
 1000 PARK AVENUE
 SUITE 100
 PARK CITY, UTAH 84302
 (801) 225-1111
 WWW.PARKCITY.UTAH.GOV

BOUNDARY & TOPOGRAPHIC SURVEY

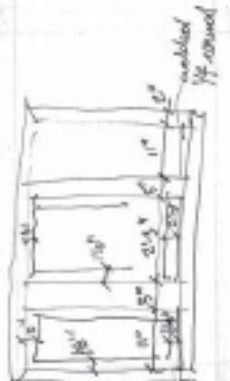
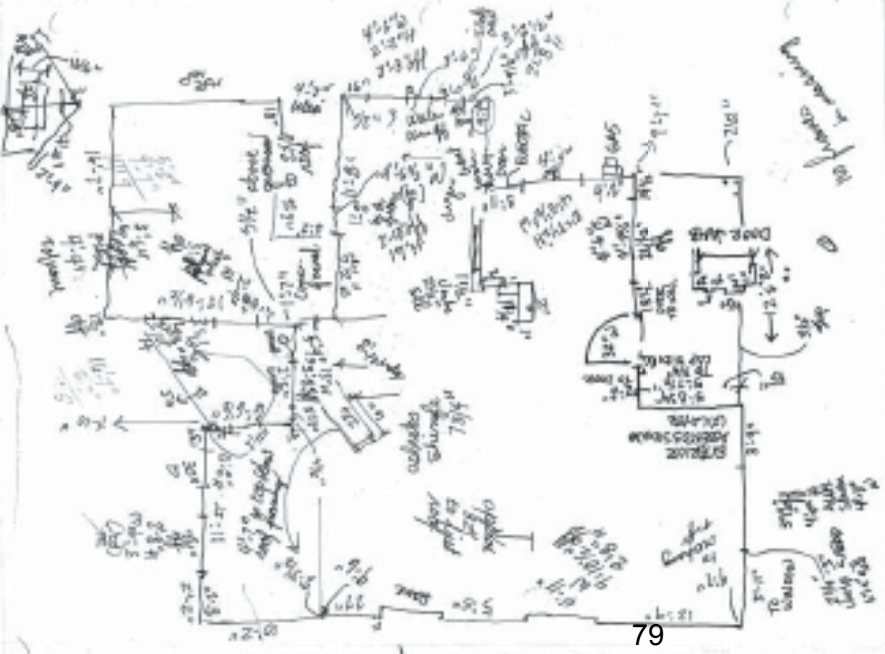
1

AS-BUILT DRAWING FOR DOB PROPOSAL 1400 PAPER AVE. PAPER CITY, OHIO 44130

PREPARED BY UNLICENSED ARCHITECT



Notes:
FIELD NOTES HAVE PROVIDED ORIGINAL MEASUREMENTS
VERIFICATIONS TO COMPLETE AS-BUILT'S.



EXISTING REPEATED CEILING
ELECTRICAL PLAN

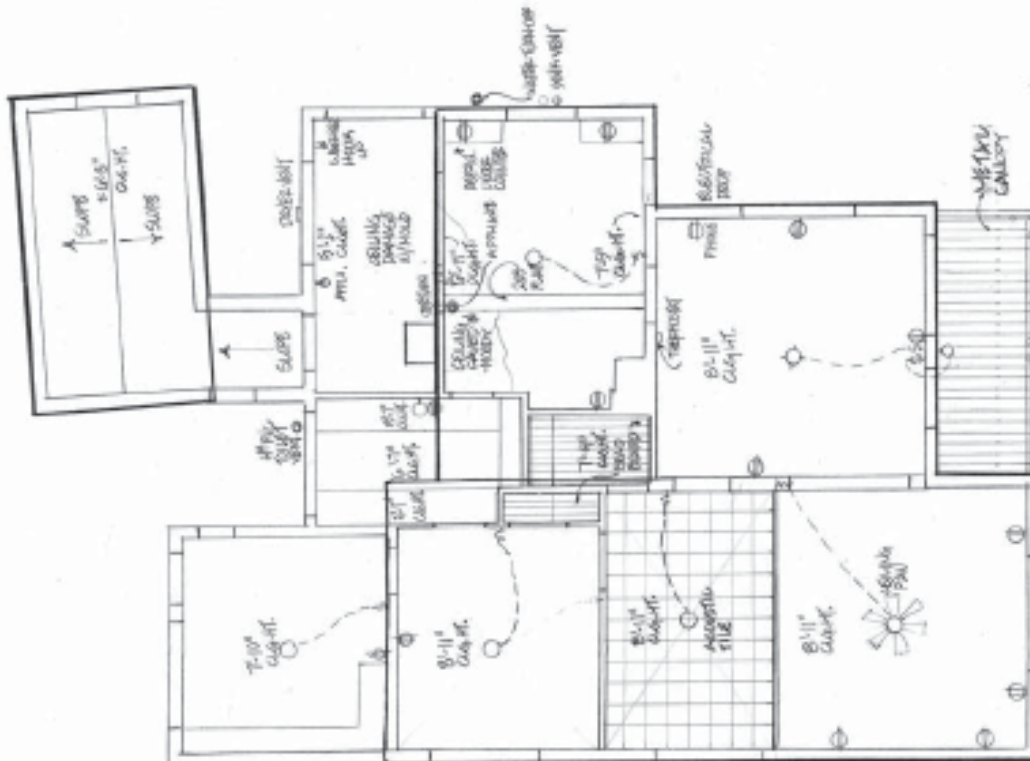
ARCHITECT: DR. J. J. J. J. J.

DATE: 1950

PROJECT: 1950

DRAWING: 1950

1950



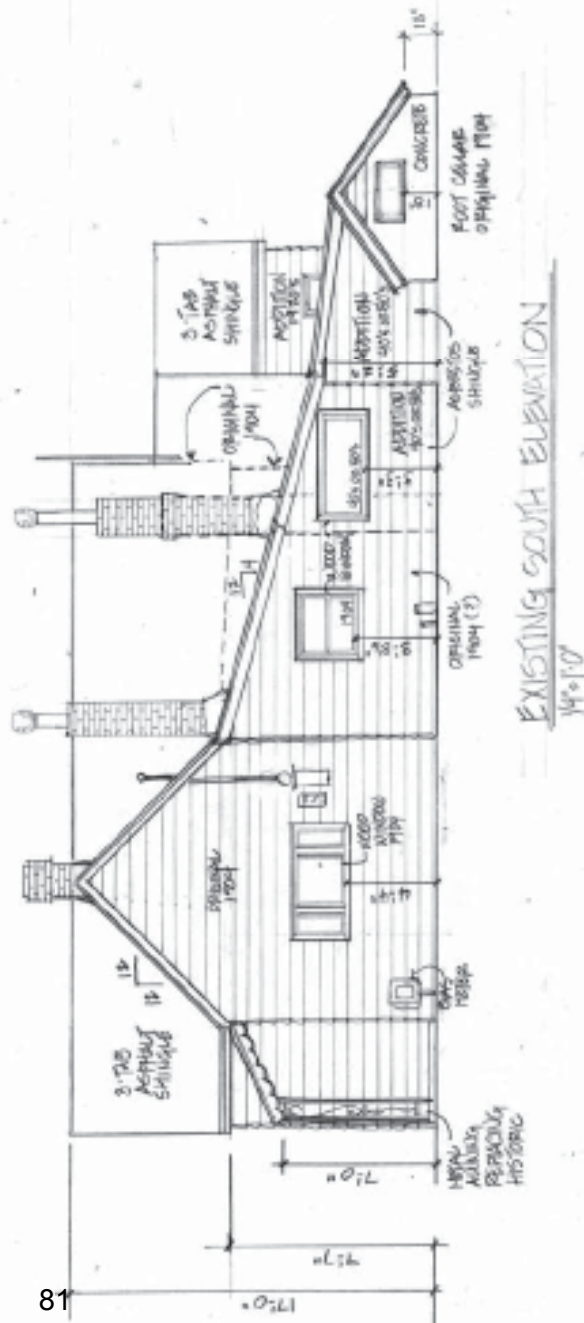
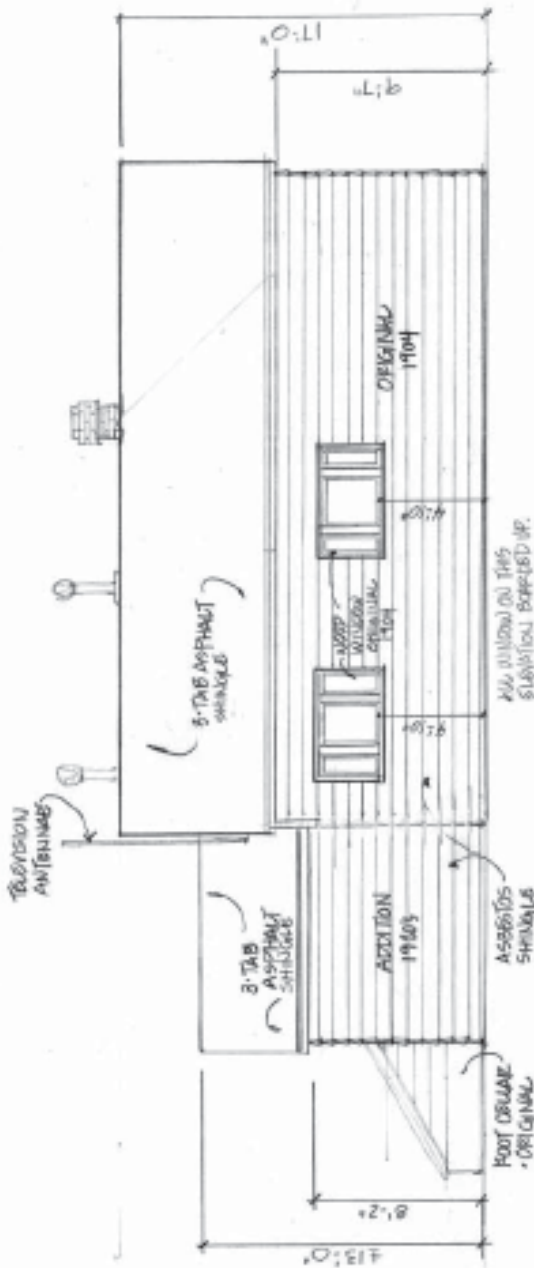
EXISTING REPEATED CEILING ELECTRICAL PLAN

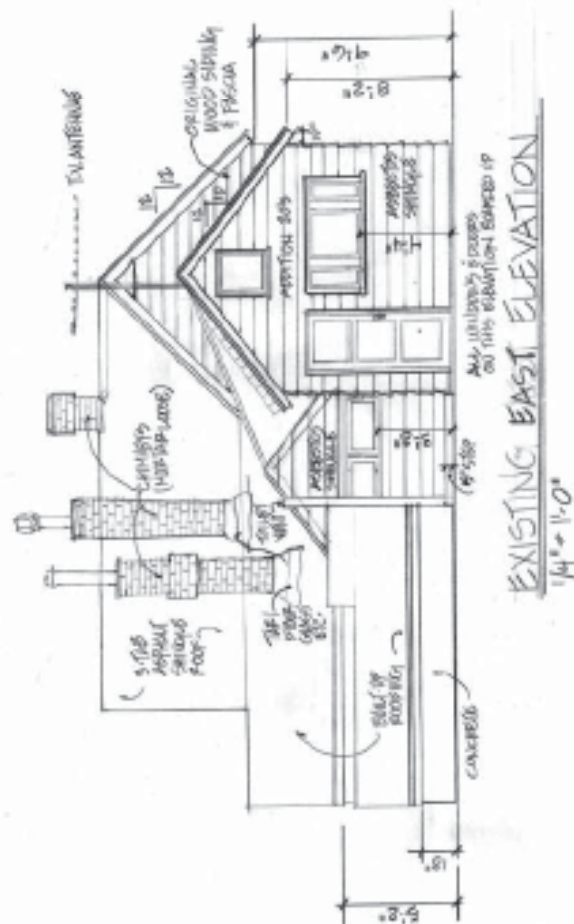
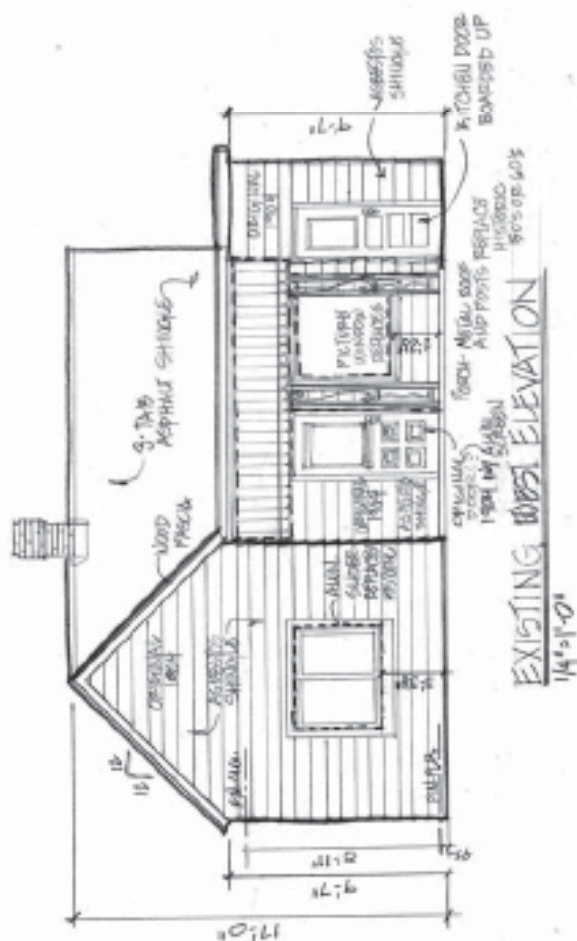
1/4" = 1'-0"

DASH LINE INDICATES ORIGINAL 1904

Prepared by
LACEN/ST/SP/00000000[illegible]

EXISTING ELEVATIONS





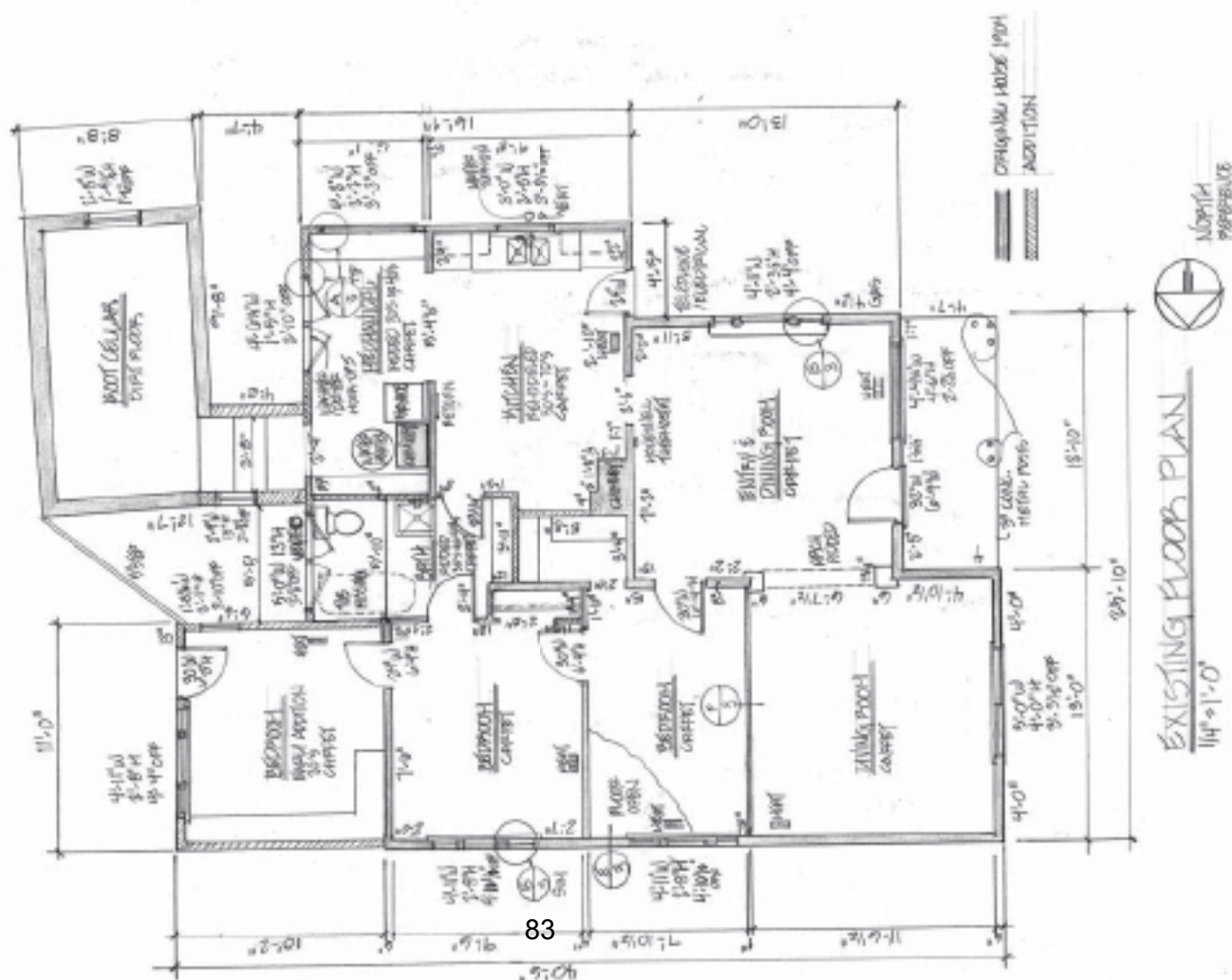
EXISTING ELEVATIONS

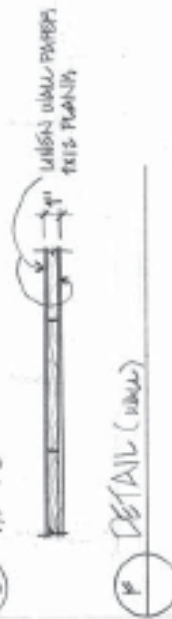
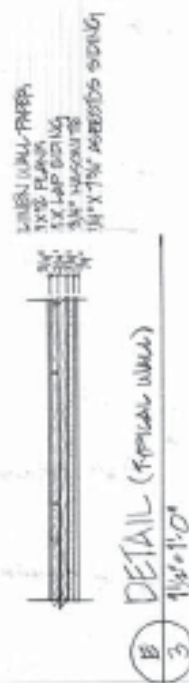
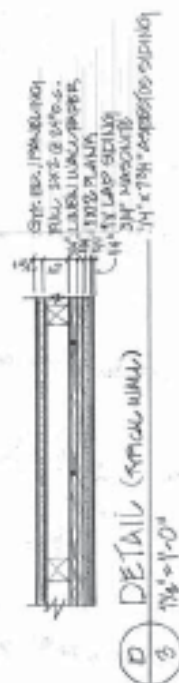
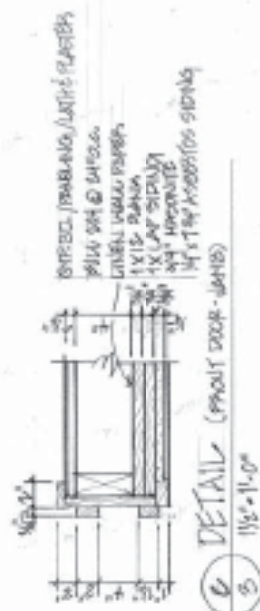
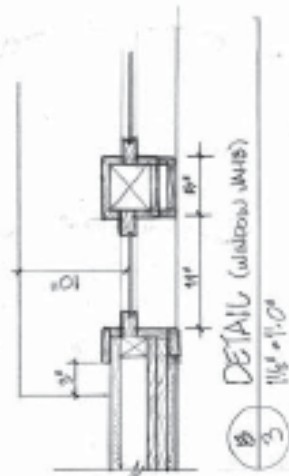
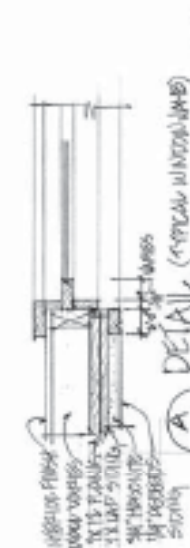
As a result, patients

FOR
2016 FÉLIX DEBOS
1400 PARK AVE.
SPRING CITY, TN 37146
615-440-1210

[illegible]

5





EXISTING 1904 FLOOR PLAN

10-10-2011



14154276

EXISTING 1904 FLOOR PLAN & DETAILS

Chomsky, J. 1963. *CA*

DOE RESIDENCE
1450 PARKS AVE.
PARK CITY, UTAH
84040

PREPARED BY
UNIVERSITY OF ALABAMA

3



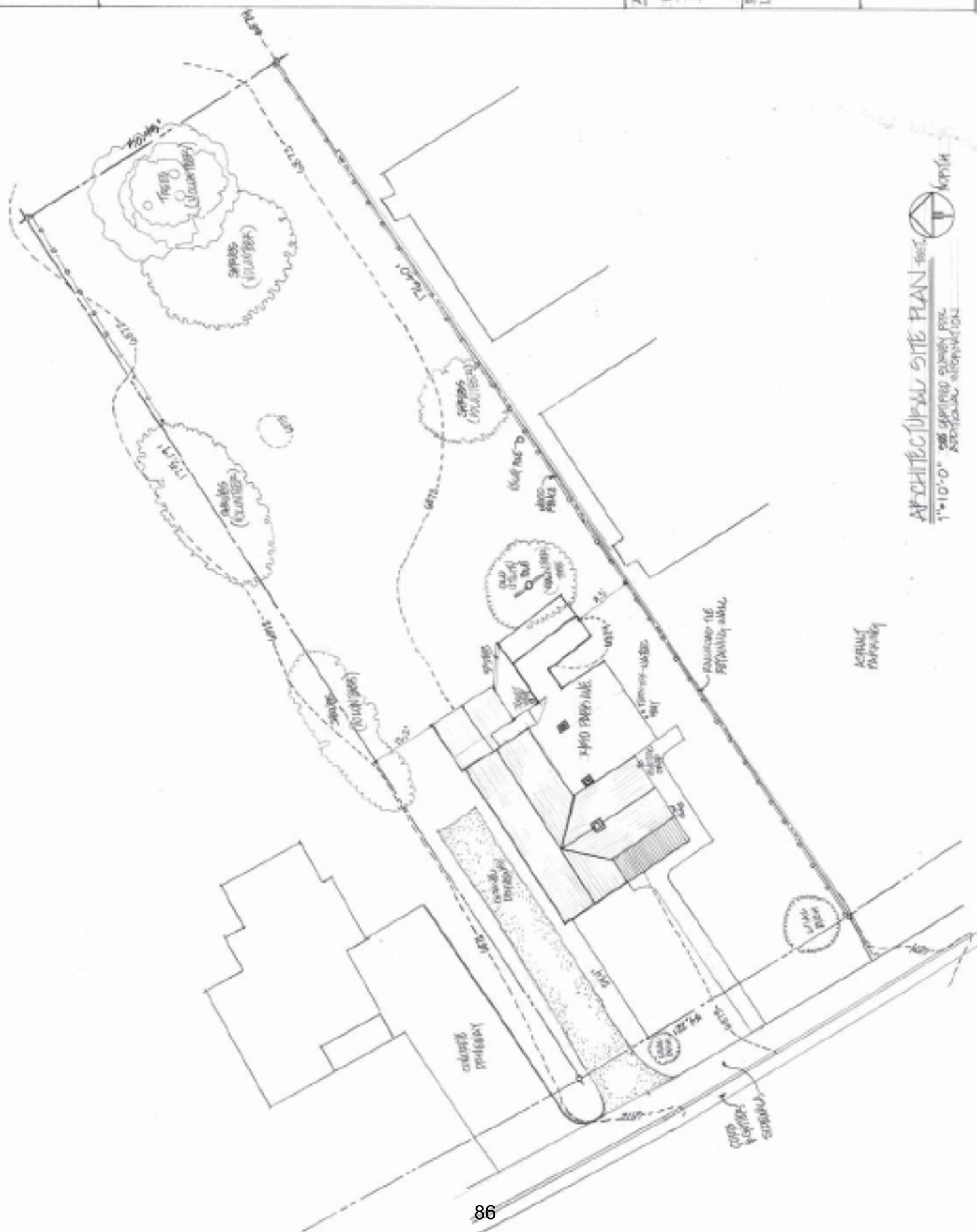
↑
1000 PARK AVE.

EXISTING STREETSCAPE

NO SCALE - SEE CERTIFIED SURVEY FOR ADDITIONAL INFORMATION

2	PREPARED BY LICENSED ARCHITECT FOR THE ASSISTANCE OF THE PARK AVE. PARK CITY, UTAH 84040	<u>EXISTING STREETSCAPE</u>
---	--	-----------------------------

	ARCHITECTURAL SITE PLAN - EXISTING	AS-BUILT DRAWINGS NOT FOR PROPOSALS 11450 PARK AVE. BAYVIEW CITY, MI 48040	DESIGNED BY LACROIX ARCHITECT	1
--	------------------------------------	--	----------------------------------	---



ARCHITECTURAL SITE PLAN - EXISTING
1"=10'-0" SEE GEOMETRIC SURVEY FOR
ADDITIONAL INFORMATION

PARK CITY MUNICIPAL CORPORATION
PLANNING DEPARTMENT
445 MARSAC AVE ° PO BOX 1480
PARK CITY, UT 84060
(435) 615-5060 ° (435) 615-4906 FAX



(08-09)

PHYSICAL CONDITION REPORT

For use with the *Historic District/Site Design Review Application*

PROJECT PLANNER _____		APPLICATION # _____
		DATE RECEIVED _____

PROJECT INFORMATION

HISTORIC SITE? ☐ NO ☒ YES: ☐ LANDMARK ☒ SIGNIFICANT DISTRICT: _____

NAME: _____
ADDRESS: _____
Park City, Utah
TAX ID #: _____
RPS-1
OR
SUBDIVISION: _____ OR
SURVEY: _____ LOT #: _____ BLOCK #: _____

CONTACT INFORMATION

NAME: _____
PHONE #: _____ FAX #: _____
EMAIL: _____

Instructions for Completing the PHYSICAL CONDITION REPORT

The purpose of the PHYSICAL CONDITION REPORT is to document the existing conditions of the site, its buildings, and structures. All sites, historic or otherwise, that are the subject of a Historic District/Site Design Review application are required to complete a PHYSICAL CONDITION REPORT. This form should be completed and submitted to the Planning Department prior to your Pre-Application Conference.

WRITTEN DESCRIPTION

The features listed below, if extant on your site, must be described in full. If the scope of your project is limited (window replacement, porch rehabilitation, etc.) describe only those elements directly impacted by your proposal and write "not applicable" in other sections. Descriptions should be concise and detailed and should include materials, dimensions, present condition, and approximate date (if known). Documentation from a licensed professional must be submitted to support claims regarding severely deteriorated or defective conditions.

PHOTOGRAPHS

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

Digital photographs must be included with this report. Low-resolution digital photographs should be inserted into the document to illustrate the written descriptions and high-resolution photographs should be submitted on a disk. Specifications for organizing and labeling photographs are provided on the last page of this report.

SITE FEATURES

A.1. TOPOGRAPHY - Describe the topography of the site, including any unusual conditions.

Describe the existing feature(s) and condition:

The site is relatively flat. The finished floor elevation is approximately 2-3" above grade. The northeast corner of the house and the yard has been dug out to provide access to a mechanical crawlspace. This hole begins at grade on the east and northeast corner of the house and drops to 6'. There is a lot of vegetation in this corner and a photograph is difficult to show this artificial topographical condition.



Northeast corner hole



Topographical change at northeast corner



Relatively flat topography

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

A.2. LANDSCAPING - Describe the natural and/or planted materials, paths, decks, patios or other elements that are part of the existing landscaping scheme, including approximate dates.

Describe existing feature(s) and condition:

Unfortunately there are no historic photos of this property. The only photos available show the exterior modifications already present. This is particularly true of the paths and patios. There are many trees and bushes on this property. These landscape features exist on predominantly the north side of the property however, there are some bushes and trees on the south side of the property as well. There is a beautiful big tree in the front, west yard. The center of the property is flat, open and grassy. There is a concrete driveway. Without changing elevation the concrete extends to form the porch and a path to the side kitchen door. All these landscape features don't seem to be historic. The house to the south at 1450 Park Ave. is similar to this house at 1460 Park Ave. They were most likely built at the same time. There is more historic information about 1450 Park Ave. and this information can be used to analyze 1460.



Older photo showing vegetation and concrete areas



1958 photograph shows immature tree in front and driveway is not finished.



West elevation mature trees and vegetation-2010

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



East and north side vegetation

A.3. RETAINING WALL(S) - Describe any functional or decorative walls on the site, including approximate dates of construction.

Describe the existing feature(s) and condition:

There are no retaining walls on the site.

A.4. EXTERIOR STEPS - Describe any exterior steps on the property including location, dimensions, materials, and approximate dates of construction.

Describe the existing feature(s) and condition:

No exterior steps.

A.5. FENCE(S) - Describe any fences on the property including location, dimensions, materials, and approximate dates of construction.

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

Describe the existing feature(s) and condition

There is a chain link fence at the rear of the property.



Chain link fence rear and partial north and south sides of the property.

A.6. OTHER SITE FEATURES (SPECIFY): _____

Describe the existing feature(s) and condition:

None

MAIN BUILDING

B.1. ROOF - Describe the existing roof materials, roof framing, pitch and elements such as skylights, vents or chimneys along with the approximate dates of the features.

Describe the existing feature(s) and condition:

The roof form is a typical cross gable with an intersecting shed roof. There is a west to east gable with 12/12 pitch. The construction of this gable is visible through the attic access on the east end. There are 2X4 rafters at 24" o.c. with 1X6 skip sheathing. The roof was originally a wood shingle roof. Now it has a red, asphalt shingle roof. The asphalt shingle roofing is losing its granules and needs to be replaced.

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

The north to south gable has a 12/12 pitch on the west side and a 4.5/12 pitch on the east side. It is assumed the roof framing construction is the same as the east to west gable. At the intersection of two gable forms on the west front elevation is an aluminum porch roof supported by two, wrought iron, decorative posts. This roof shows on the 1958 photo of the house. Since the adjacent property is so similar and there is a older photo of 1450 Park Ave. showing an original porch structure; for purposes of restoration this porch design can be replicated on 1460 Park Ave.

The rest of the roof sheds to the east-rear with a 4.5/12 pitch from 16 feet at the ridge of the north-south gable to 6 feet at the east-rear elevation. The roof extends 4 feet to the south to form the kitchen door entrance. There is an aluminum roof over this side door.

The east shed portion of the roof shows some damage. The asphalt shingle is missing on southeast corner and replaced haphazardly with a membrane and sheet metal. The northeast section of the shed roof waves and sags indicating structural problems. This area may be an addition and have inadequate connection to the original structure and inadequate foundation support. (See foundation)

The only roof penetrations are an electrical mast, a plumbing vent, a t.v. antennae, and the furnace vent. There are no chimneys and no evidence there ever were any chimneys.

Soffit and fascias are all formed from extension of 2X4 framing. They are in various stages of disrepair and all need attention.



East-west gable roof



East-west gable framing



Intersecting cross gable roof with aluminum shed porch roof

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Intersection-valley east-west gable and north-south gable



Historic front porch structure on 1450 Park Ave.

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Shed roof forms from 16 foot ridge to 6 foot rear



Damage on east-rear portion of shed roof. Roof penetrations.

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Damaged roof.



Soffit and fascia at northwest corner.

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Original soffit and fascia on east side of north-south gable. Intersecting shed roof and soffit and fascia has water damage and layers of makeshift repairs.



Original soffit, fascia and trim. Sheet metal drip edge.

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Soffit and fascia south elevation



Soffit and fascia southeast corner kitchen/bathroom

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Soffit and fascia east- rear elevation. Roof penetrations.



Detail soffit and fascia corner southeast 10"

B.2. EXTERIOR WALL - PRIMARY FAÇADE - Describe the exterior facade including materials, dimensions, finishes and approximate dates of construction.

Describe the existing feature(s) and condition:

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

The west, primary, front façade runs 25'-1 ½" north to south. The wall height is 9'-4". The ridge height is 16'-0". Beginning at the northwest corner gable end moving 3'-7" to the south is a 4'-10"W X 3'-11"H aluminum slider window 4'-3" off the ground. The primary gable ends 3'-10" south of the window. The entire gable end is 12'-7" long. The elevation is covered to the ground with ¼" x 8" blue, pressed, artificial siding. Testing is required to ascertain the asbestos content in this siding. Underneath this siding is the original 1X8 wood lap siding. The artificial siding is shown in a 1958 photograph.

The soffit-overhang is 6" and the fascia is a wood 1X4 reflecting the 2X4 roof framing. The roof is asphalt shingle.

The façade drops to the east 4'-6" and then extends 12'-2 ½" to the south to form the front porch. This porch is covered with an aluminum awning type roof supported by two, wrought iron, decorative posts. The porch floor is concrete.

The entry wall, under the porch roof is formed by the 9'-4" side wall of the north-south gable. The 2'-6"W X 6'-7"H front entry door is located 12 ½" south of the intersecting corner of the two gables. 2'-11" to the south of the door is a 2'-7"W X 5'-8"H fixed window. The end of this wall is 3'-4" south of the window.

12'-2" east of the southwest corner of the porch is a 4'-2" projection with the 2'-6"W X 6'-8"H kitchen door. This is a 13'-0" high wall.

Although the materials and fenestration on this façade have been modified the basic historic 1901 form has not changed.



1958 Photograph-shows many of the modifications made to the historic house
West primary façade



West primary façade 2006 photograph



West primary façade- 2010 photograph

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

B.3. EXTERIOR WALL - SECONDARY FAÇADE 1 - Describe the exterior facade including additions, materials, dimensions, finishes and approximate dates of construction.

Describe the existing feature(s) and condition:

The north façade extends west to east 24'-5", drops 11'-10 ½" to the south, and continues east with a shed roof 12'-4". The 24'-5" wall is 9'-4" high and is covered with 8" blue artificial siding that extends soffit to ground. The red asphalt shingle roof ridge with sheet metal drip edge is 16'-0" above the ground. There are no windows on this section. There is a gas meter on the northwest corner.

The area formed by the intersection of the east-west gable and the shed roof is a difficult area to get accurate measurements from and is a precarious area to work around because debris covers holes. Most of the measurements were taken from the inside or squaring up the house. This area has been excavated to provide access to the mechanical space under this corner of the house. An awkward shed covers the access. It is built out of lap siding, scrap wood and metal and corrugated metal. The mechanical area has probably evolved over time however it is a contemporary addition to this house. This corner elevation is interesting to study because it is the only place that the original wood, lap siding hasn't ever been covered. It is a good example of the original construction of the cross-plan house.

Starting at the northwest corner of the shed is a 1X wood batten that covers the intersection of the east-west gable and the shed. 1'-4" east of the corner is a 1'-5"W X 2'-3"H fixed window in an unpainted wood frame. This window is 4'-4" off the finished floor. 1'-3" east of the window there is an unpainted 1X6 vertical batten. This appears to be a division between two different shed sections. The northwestern shed that was just described is at a right angle to the east-west gable and the remainder of the shed section 8'-4" to the west is at a slightly different angle from the northwestern section. This area appears to have been problematic for water damage. Corrugated metal was installed from the edge of the roof to just over the window to help divert water focused to the corner from the valley created by the east-west gable and the shed roof. There is mold on the interior wall at the intersection of the two shed sections.

There is a window 3'-3" east of the previously described window. The window is 2'-8"W X 2'-2"H and is 3'-8" off the floor. This window is boarded up.

The lower section the shed wall is covered with unpainted horizontal 1X8" lap siding and the upper section is covered with siding applied vertically. The north elevation ends at the northeast corner 6'-0" off the ground.

The east-west gable structure and the first 4'-0" of the shed structure are part of the original 1904 house. The 8'-4" section of the shed and the mechanical access appear to have been added at a later date.



North façade



North elevation-shed access to mechanical

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Corner- original 4'-0" shed structure



Mechanical shed roof- original siding material- north elevation

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Intersection-sheds north elevation

B.4. EXTERIOR WALL - SECONDARY FAÇADE 2 - Describe the exterior facade including additions, materials, dimensions, finishes and approximate dates of construction.

Describe the existing feature(s) and condition:

The south elevation extends west to east 37'-2 1/4". Starting at the southwest corner and 12'-2 1/2" to the north is a 4'-6 1/4" section of the east-west gable with a 9'-4" wall height and roof ridge at 16'-0". The wall is covered with the 8" blue, artificial siding typical of this house. South of this wall and visually bisecting this area is the aluminum porch awning roof with wrought iron posts.

The façade continues east with a 12'-2" modified gable wall. The western part of this wall has a 12/12 pitch reaching 16'-0". The eastern section extends from the ridge at a 4.5/12 pitch. The entire south façade is covered with the 8" of blue, artificial siding. 4'-8" east of southwest corner is a fixed window 2'-3"W X 5'-8"H and 24" off the ground. The wire for a television antenna extends up the wall on the east side of the window. The wall continues east 4'-11" from the window. The electrical service and meters occur in this section. There is an aluminum awning over the kitchen door.

The next section of the south façade begins 4'-2" south of the wall described above. It extends east 12'-2" and begins at a height of 13'-0" at the southwest corner and ends at a height of 9'-0" on the southeast corner. This area forms the kitchen. The telephone drop occurs on the southwest corner. 2'-10" east of the corner is an aluminum slider window 4'-11"W X 2'-0"H and 3'-7" off the ground. Below this window are a hose bib and the water turn off for the house. At the east corner of the window is an exterior vent for the kitchen sink. Some of the original siding has been exposed under the window illustrating the original exterior wall construction. The wall ends 4'-5" east of the window.

If the evidence on the north elevation of an 8'-4" addition is accurate; the original house possibly ended at the east end of the kitchen wall. There is a 1'-4" turn to the north at the east side

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

of the kitchen wall and the shed wall continues 8'-4" to the east corner of the south elevation. There is a change from a 6" overhang to a 10" overhang as the kitchen wall turns the corner to the bathroom south wall. The southeast end of this facade is 6'0" off the ground.



South facade



Transition from 6" overhang to 10" overhang

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Exposed original wood lap siding, building paper, masonite, siding



Overhang at west end of kitchen wall-south elevation

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

B.5. EXTERIOR WALL - REAR FAÇADE - Describe the exterior facade including additions, materials, dimensions, finishes and approximate dates of construction.

Describe the existing feature(s) and condition:

The rear east façade is characterized by the short end of a long shed form terminating a wide expanse of roof and the east side of the east-west gable. At the south end of this elevation the 1'-4" corner of the kitchen is visible. The rear 6'-0" high wall extends south to north 15'-2". 1'-1" north of the south corner is an aluminum slider window 3'-1"W X 12"H and 4'-0" off the ground. Adjacent to the north corner of the window is a cast iron vent for the bathroom. This area does not have the stability of the rest of the house and appears to be an addition.

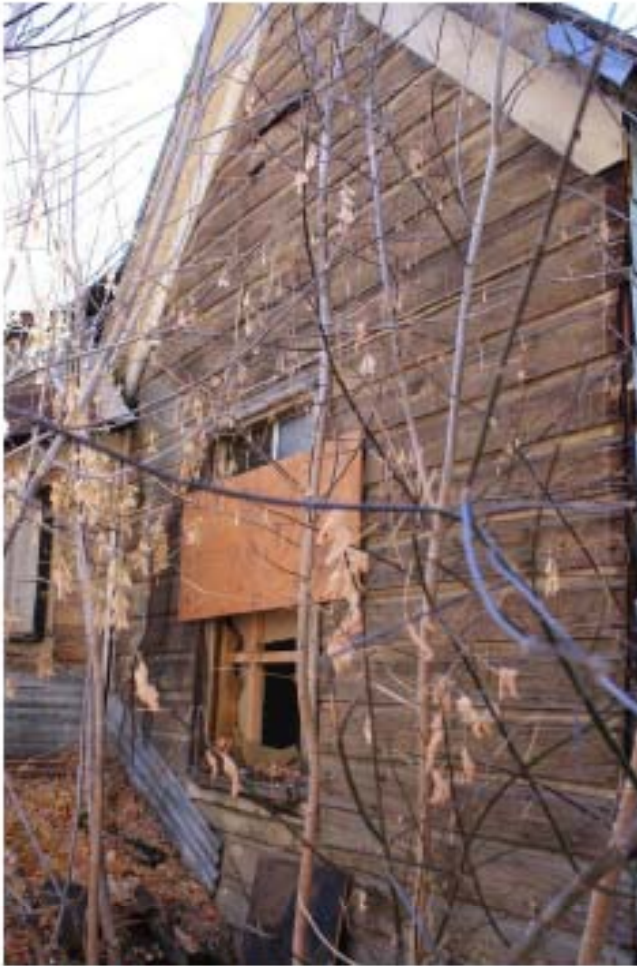
The rear-east gable end is 12'-4" west of the rear shed form. This area was discussed extensively above in the north façade section. The exposed gable has a dimension of 11'-10 ½". Interior inspection shows a 3 ½" jog in the wall of the closet off the kitchen. This dimension plus the wall depth makes the entire actual horizontal dimension 12'-7". The shed structure laps the gable structure 8 ½". The wall is covered with unpainted, wood 1X8 lap siding. The siding is trimmed at the roof with 1X trim which appears to be original. There is a rectangular wood attic access door centered on the gable. The shed access to the mechanical area makes it difficult to obtain the exterior measurements. The window on this elevation has been altered but the original is still visible and has been boarded up. The existing aluminum slider window is 4'-4" from the southeast corner of the bedroom. It is 2'-11"W X 2'-0"H and 6'-1" off of the floor. The historic window is 2'-8"W X 5'-0"H and 2'-5" off the floor.



East-rear facade



Northeast corner- roof damage and different wood siding



East elevation gable end

B.6. FOUNDATION - Describe the existing foundation noting the current materials, evidence of previous upgrades as well as evidence and probable cause of failure or deterioration and approximate dates of construction.

Describe the existing feature(s) and condition:

The siding extends to the ground on every elevation with the exception of the excavated area in the northeast corner of the house. There is one open area in the house which shows rubble stone foundation with the 2 1/8" X 6" floor joist resting on this stone or resting on the dirt.

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

When the northeast area under the house was excavated to accommodate mechanical equipment and duct work a lot of damage was done to the foundation. No thought went into replacement of bearing points 2/3 of the east gable wall has no foundation. The corner intersection between the east gable and the perpendicular shed has no support. Excavation for the duct work is haphazard. This is a potentially dangerous situation and should be stabilized before any other work is done on the house.



Dirt and rubble foundation-typical



Foundation excavation



Unsupported corner

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Unsupported corner



Excavation

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Damage to existing foundation-rubble fallen

B.7. PORCH (ES) - Describe the current porch (es) including materials, finishes, dimensions, evidence of changes and the approximate date of construction. Describe the existing feature(s) and condition:

There is very little other than position that is original about the existing porch. The 4'-6 1/4" X 12'-2 1/2" area is located similarly to the porch on the adjacent property 1450 Park Ave. There is a historic photo of that porch and it can be assumed that the porch at 1460 Park Ave. was similar. The earliest photo available of 1460 is from 1958 and the present materials were seen in this photo. The aluminum awning roof and the wrought iron decorative posts were all present in 1958.



West porch-2010

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Concrete slab porch floor



West front porch-2010

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



West front porch-1958



1450 Park Ave. Historic porch

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

B.8. DORMER(S) / BAY(S) - Describe any projecting dormers or bays noting the location, materials, finishes, dimensions and approximate date of construction.

Describe the existing feature(s) and condition:

No dormers or bays on this house.

B.9. DEVELOPMENT HISTORY - Briefly describe the development history of the site in a chronological order of development including changes to the site, original building, accessory buildings, and structures. For Historic Sites, this description should correspond to the measured as-built drawings of the buildings/structures:

There is very little primary documentation for this house. The best information comes from comparing this house to other cross plan houses in Park City. The site inventory states that the house was originally built in 1901. The historic form is still evident as is the fenestration pattern (even though the actual windows have been modified). There is a 12/12 pitch gable structure with the gable end facing the front elevation. A window is centered on the gable wall. Historically this was typically a pair of windows. A single fixed window is shown in the 1958 photograph and the height was not modified. In the 1995 photograph the sill of the window has been raised and in the 2006 the aluminum slider replaced the fixed window. All these photos show the placement of the blue artificial siding over original wood lap siding.

4'-6" back from this gable form is a perpendicular modified gable that has a 12/12 pitch on the first half and a 4.5/12 pitch on the second. In the space formed by the intersection of the two cross gables is the covered porch. Only the location of this porch is original; the aluminum roof, wrought iron posts and the concrete slab have replaced the historic materials. This alteration occurred on or before 1958.

The modified gable turns 4'-0" to form a 13'-0" wall that contains the kitchen door. The rest of the house consists of a shed form that terminates at the rear of the house. These are forms found in other cross plan houses and are original to house. Variations occur in the additions that occur on the rear of the house. This is true of 1460 Park Ave.

The northeast corner of the house has an interesting development history. The original wood lap siding hasn't been covered. Other than the windows this corner has the feeling that it hasn't changed since 1901. Someone dug a huge hole underneath this area to accommodate mechanical probably sometime in the 1960's.



House in 1958



House in 1995

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



House in 2006



House-2010

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Northeast corner

B.10. MECHANICAL SYSTEM

Describe the existing mechanical system and condition:

Mechanical area location is under the northeast corner of the home. An 8'X8' hole was dug under the house with 2 trenches about 30" X 30" both 8-10 feet long running in two directions for heating and plumbing. The heating unit set on a concrete pad and the water heater is not on a pad and is sinking into the dirt. There is a 2 sided shed with a roof and no insulation. The condition of the equipment is very poor. The duct work lies haphazardly on the ground.

The plumbing supply lines are galvanized iron pipe and drains are cast iron. The vents are on the exterior of the house. The fixtures are varying ages and it can be assumed that nothing is code complying. It should be assumed that there is some lead piping given the age of the structure.



Gas-northwest corner

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Water heater and furnace in excavated crawl space



Duct work-exposed no insulation

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Duct work through excavated dirt



Hot water heater-venting?

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Return air

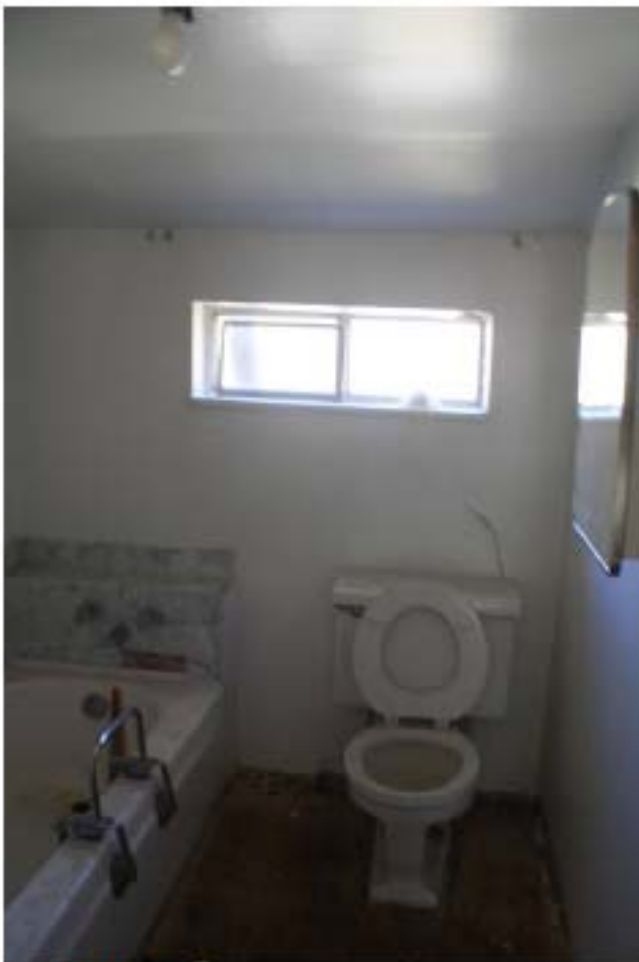


Kitchen sink south wall

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Water turn off, hose bib, and sink venting



Tub and toilet

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Bathroom-sink

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Toilet vent

B.11. ELECTRICAL SYSTEM

Describe the existing electrical system and condition:

The supply lines are cloth wire. There is no inside breaker panel. The service panel is on the outside with two fuse boxes. The electrical system is not grounded. It will require complete replacement.

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Electrical service-south elevation



Knob and tube cloth wire-typical

B.12. STRUCTURAL SYSTEM

Describe the existing structural system, including the foundation, floors, walls, and roof structure. Park City will allow very limited and non-structural disassembly of a structure to investigate these conditions.

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

Describe the existing structural system and condition:

Based on the historic building code , if the framing member has more than 50% of the capacity of what the code requires than it is structural adequate. Most of the existing roof joists (except the 12/12 pitch framing) are less than 50% capacity of the code. They need to be upgraded by either sistering them with additional roof joist or replacing them with new.

The existing roof deck is 1X wood plank installed perpendicular to the existing joists. This roof decking doesn't have any capacity of shear diaphragm value.

The existing headers over windows and doors are inadequate to transfer roof loads to the ground.

The exterior walls consist of ¼" artificial siding, masonite, 1X8 wood, horizontal lap siding, 1X12 vertical planking, and 2X2 or 2X4 flats @ roughly 16" o.c. installed for gyp.bd. attachment. None of the walls are mechanically fastened to the foundation and floor or to the roof structure. The walls are not strong enough for wind, seismic or gravity loads.

The original ceiling framing is 2x4 framing @ 24" o.c. with perpendicular 1X12 planks. The ceiling has been lowered throughout the house.

The existing building doesn't have any footings. The floor joists sit on a small pile of rubble stone or directly on the dirt. The house has been even further compromised by the type of excavation that has occurred under the house.



Foundation-floor joist on rubble stone

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Wall structure- wallpaper on 1X12 vertical plank typical



Wall structure

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Wall structure



Roof Framing

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Roof and ceiling framing



Ceiling lowered throughout house

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

B.13. HAZARDOUS MATERIALS

Provide a statement regarding the presence of hazardous materials including, but not limited to, lead-based paint, asbestos and mold. Describe the materials' location on the site, the test methods used to verify the hazardous material, and the extent of the problem:



Test materials siding and roofing for asbestos. Assume age of house there will be lead paint.



Possible lead piping

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Visible mold-probably hidden mold

B.14. OTHER (SPECIFY): _____

Describe the existing feature(s) and condition:

MAIN BUILDING - DETAILS

C.1. WINDOWS - Describe the number of windows, dimensions, configuration of panes, types, whether the windows are original to the building (if known) and approximate dates.

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

Describe the existing feature(s) and condition:

All windows have been altered. They appear in their original location. They have been replaced with aluminum sliders and fixed single pane. 2" exterior wood casing or modified is a typical detail. This may be an original casing. All the interior casing has been recently modified to stock 1/2"X2" casing.



Front west window-aluminum slider 4'-10"W X 3'-11" and 4'3" off ground. Head and jamb original 2" wood. Sill new. 1958 window sill was lower and fixed. 1995 window sill raised.



Front-west window interior-casing modified

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

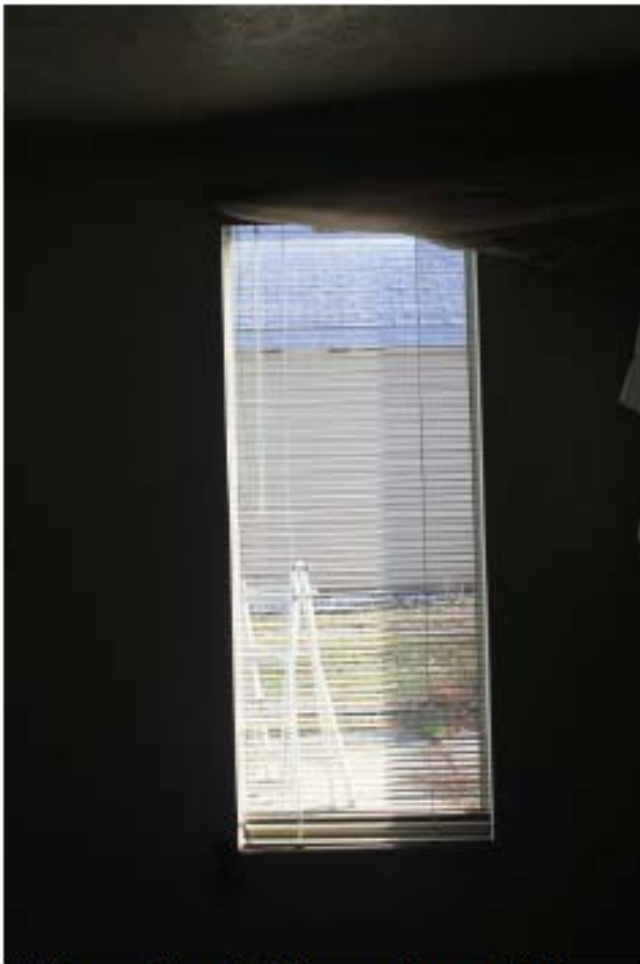


West porch window-2'-7"W X 5'-8"H fixed 24" off porch 2" historic wood casing exterior, interior modified



South windows-southwest 2'-7"W X 5'-8"H fixed 24"off slab. Center kitchen window 4'-11"W X 2'-0"H aluminum slider 3'-7" off ground. 2" historic wood casing

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Interior southwest window- casing modified



Typical 2" historic wood casing. This particular one is on the kitchen window.

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

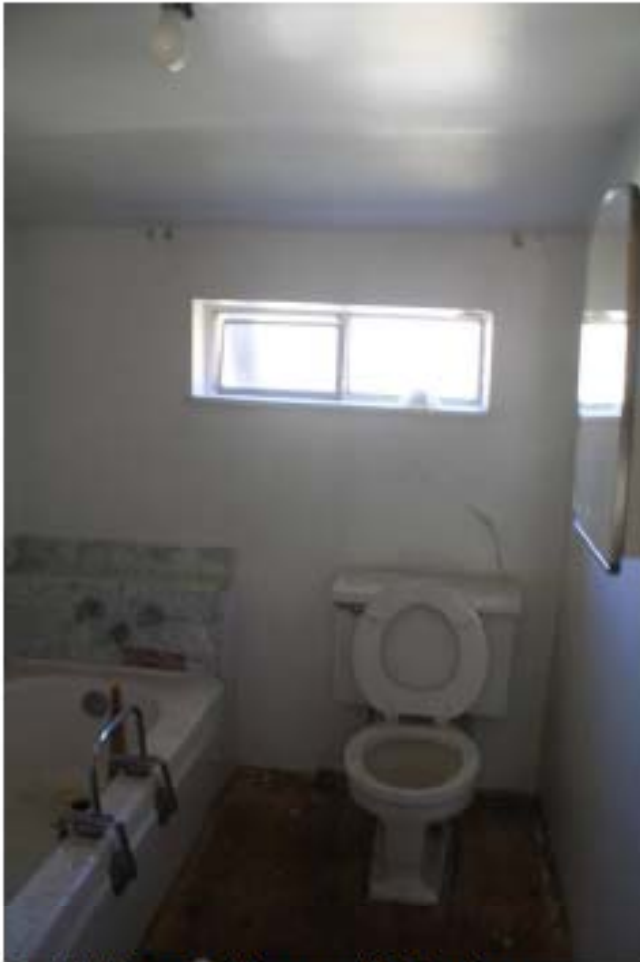


Interior kitchen window casing modified



East bathroom aluminum slider 3'-1\"W X 12\"H and 48\" off the ground-patched together casing

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



East bathroom window-modified casing



Northeast window fixed 2'-8"W X 2'-2"H 3'-8" off floor-casing unknown
Northwest window fixed 1'-5"W X 2'3"H 4'-4" off floor-casing 1X4 wood

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Northeast window-modified frame



Interior northwest window

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



East bedroom window-existing aluminum slider 2'11"W X 2'-0"H and 6'-0" off floor
Casing unknown. Historic window 2'-8"W X 5'-0"H 2'-5" off the floor- window style and casing unknown.



Interior east bedroom window

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

C.2. DOORS - Describe the doors including materials, dimensions, types, whether the doors are original to the building (if known) and approximate dates.

Describe the existing feature(s) and condition:

There are two exterior doors. The front door is a wood door with a third light and three raised panels. It is 32"W X 6'-7"H and has the typical 2" casing. It has an aluminum screen door. This door may be original and shows on the 1958 photograph. The interior casing like all the interior trim has been changed. The kitchen door is not original. It is a 30"W X 6'-8" H and is a solid core wood door with three small lights stepped along the upper half of the door. The exterior casing is the typical 2" casing to interior is stock 1/2" wood trim.

None of the interior doors are historic. They are all hollow core wood doors with stock 1/2" casing.



Front door

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Interior front door

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

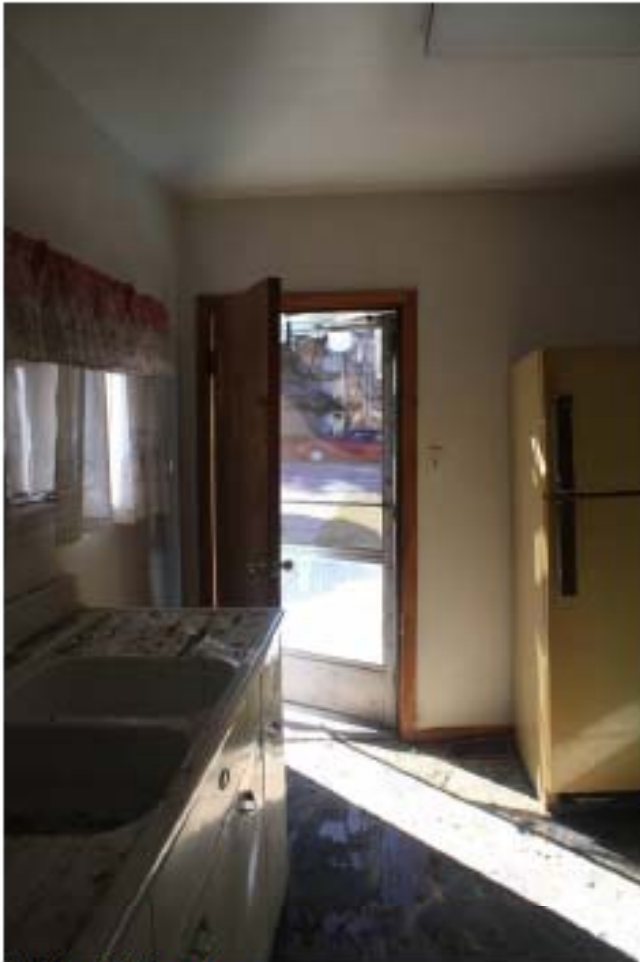


1958 photograph showing existing front door-possibly showing kitchen door as well



Kitchen door

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Interior kitchen door



Typical interior door and casing

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

C.3. TRIM - Describe the trim (window and door, eaves and soffits, corner boards, pilasters, etc.) including location, dimensions, and approximate dates.

Describe the existing feature(s) and condition:

The only original trim on this house would be the 2" window and door exterior trim and the 1x10 trim on the east elevation in the northeast corner of the house. Trim is generally functional and simple.



Typical 2" wood casing



Wood 1X trim on east elevation



Typical soffit and fascia-functional and simple

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

C.4. ARCHITECTURAL ORNAMENTATION - Describe the architectural ornamentation that is applied or integrated into the exterior facades including the location, dimensions, materials and approximate dates.

Describe the existing feature(s) and condition:

No architectural ornamentation. Detailing is simple and functional.

C.5. OTHER (SPECIFY): _____

Describe the existing feature(s) and condition:

ACCESSORY BUILDING(S)

D.1. ACCESSORY BUILDING(S) - Mark all the boxes below that apply to your property. Describe each accessory building including location on the site (should correspond to the existing site plan), materials, and approximate dates.

Type(s): ☐ Garage ☐ Root Cellar ☐ Shed X ☐ Other (specify):

Describe existing accessory building(s) and condition:

Although the accessory building no longer exists it does show up in older photographs.



1958 photograph showing accessory building

STRUCTURE(S)

E.1. STRUCTURE(S) - Mark all the boxes below that apply to your property. Describe each structure including location on the site (should correspond to the existing site plan), materials and approximate dates.

Type(s): ☐ Tram Tower ☐ Animal Enclosure ☐ Other (specify):

Describe existing structure(s) and condition:

No additional structures.

ACKNOWLEDGEMENT OF RESPONSIBILITY

I have read and understand the instructions supplied by Park City for processing this form as part of the Historic District/Site Design Review application. The documents and/or information I have submitted are true and correct to the best of my knowledge.

Signature of Applicant: _____ Date: _____

Name of Applicant: _____

PHYSICAL CONDITION REPORT - PHOTOS

Low Resolution Photos Inserted into the Body of the Report:

Digital photographs illustrating the descriptions must be included with this report.

Each feature described in this report must include *at least* one corresponding photograph. More than one photograph per description is encouraged.

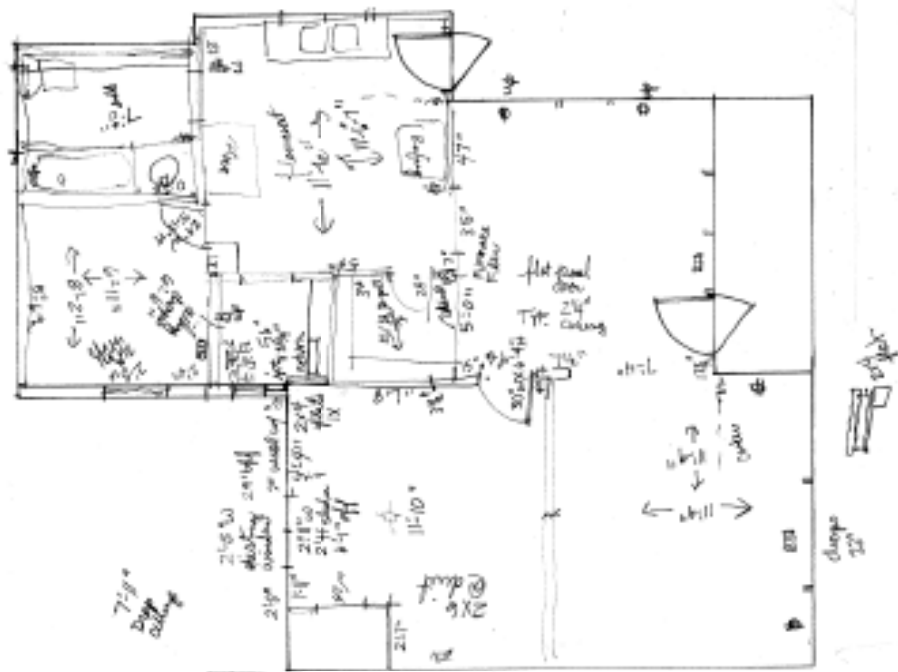
To avoid creating a large and unmanageable file, it is recommended that you use an image file compressor when importing images into the report.

- Microsoft offers a free download of Image Resizer for Windows XP at www.microsoft.com.
- iPhoto provides the option to resize an image (while maintaining the aspect ratio) when the image is exported from the photo library.
- Other resizing options are available in Adobe Photoshop or in a free download from VSO Software at www.vso-software.fr

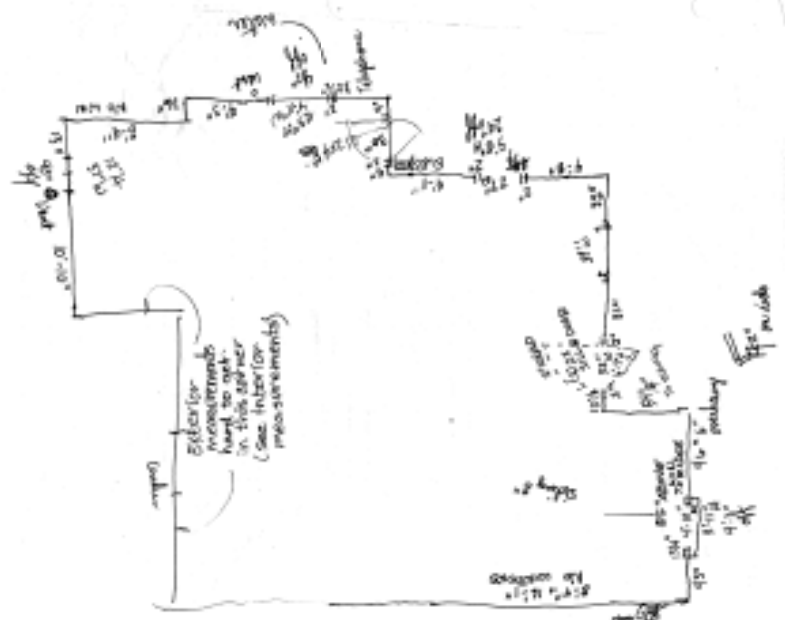
High Resolution Photos Submitted on a Disc:

Digital copies of photographs used in the report should be saved separately on a CD-R and submitted to the Planning Staff with the report. Do not submit a disc with original images. Materials submitted with the form will not be returned to the applicant.

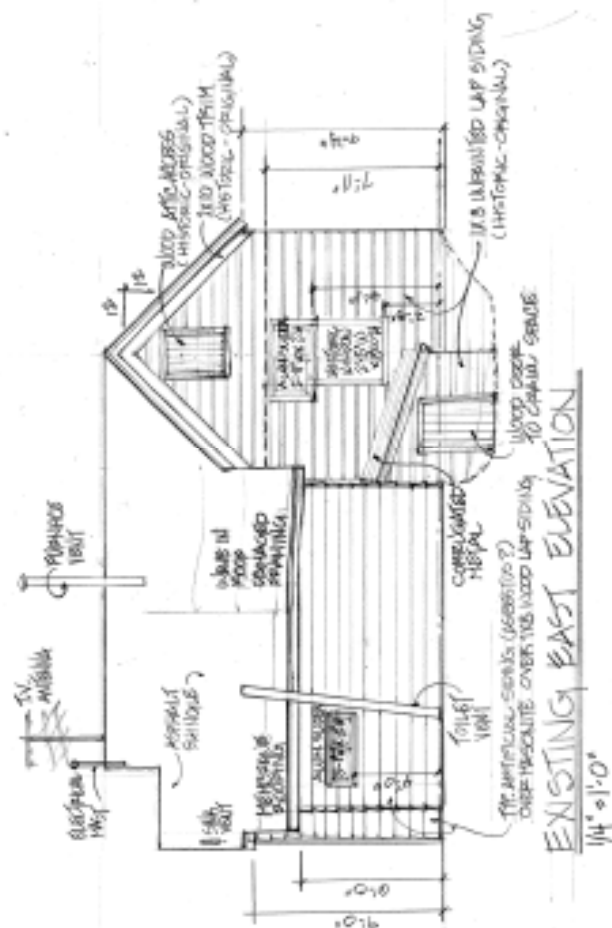
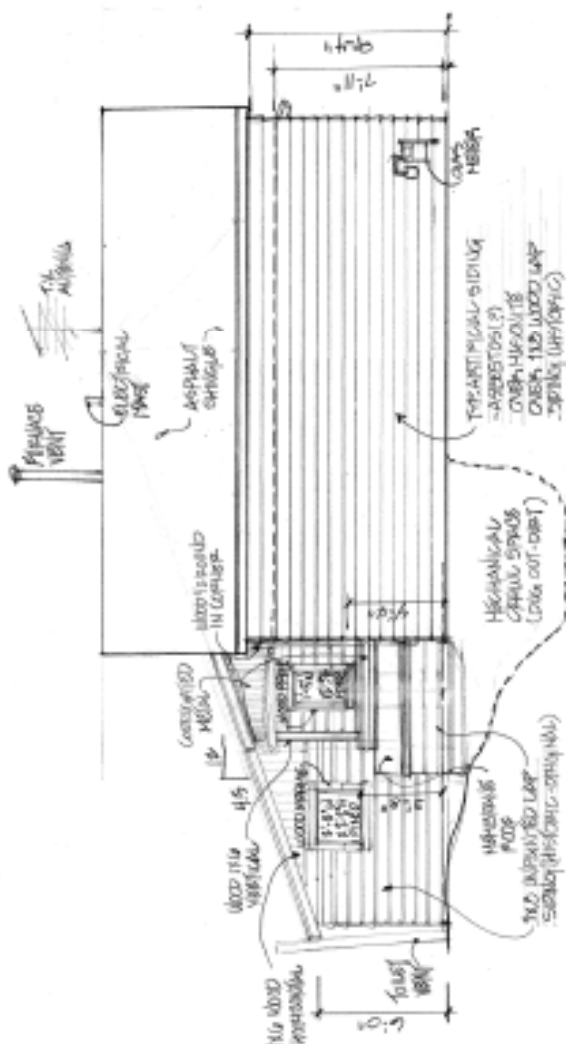
- The image size should be at least 3,000 x 2,000 pixels at 300 ppi (pixels per inch) or larger (if possible).
- It is recommended that digital images be saved in 8-bit (or larger) format.
- TIFF images are preferred, but JPEG images will be accepted.
- The CD-R should be labeled as follows: PCR Form "Property Address" "Date".

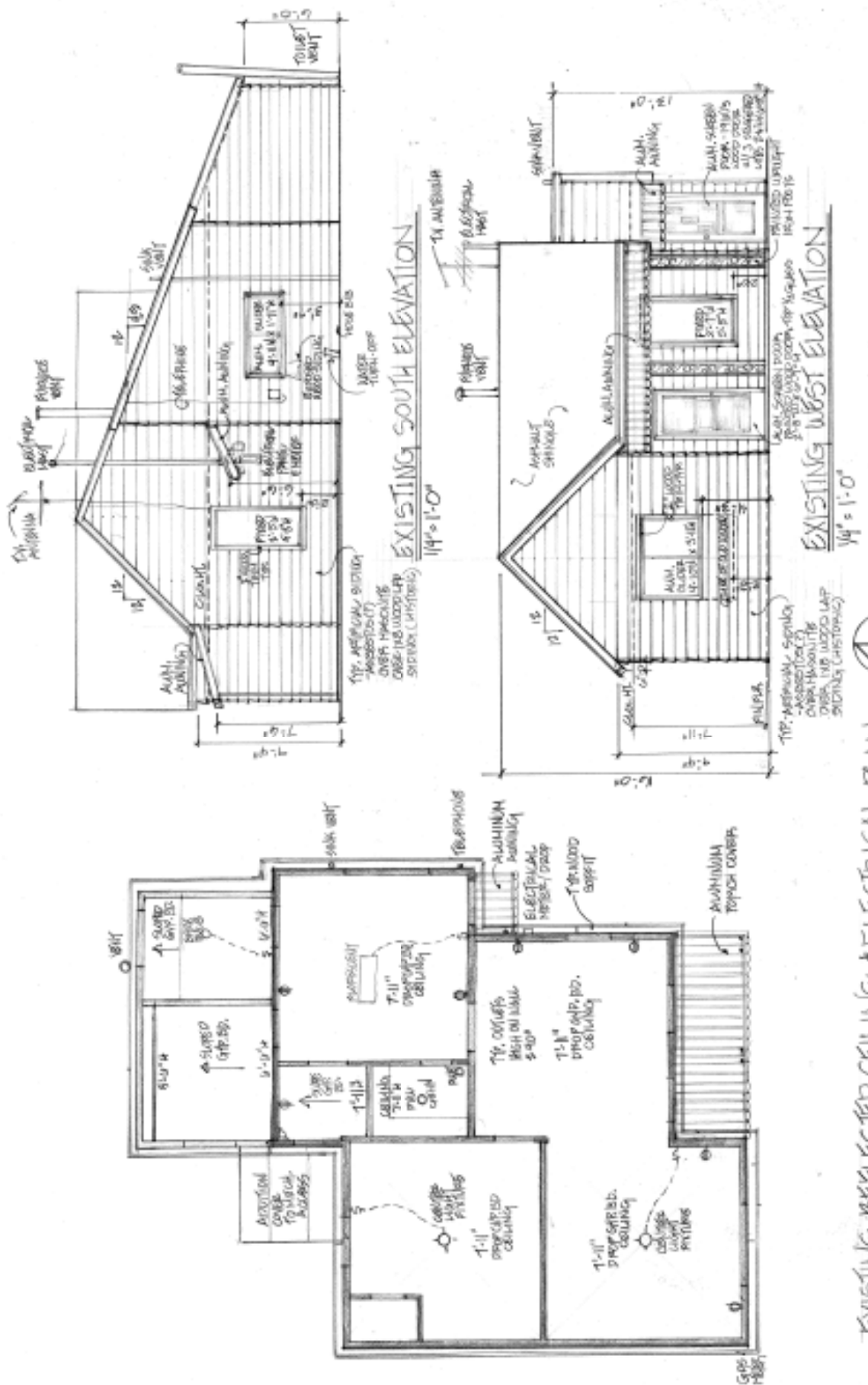


FIELD NOTES - INTERIOR



FIELD NOTES - EXTERIOR







↑ MIDWINTER AVE.

↑ MIDWINTER AVE.

EXISTING STREETSCAPE

NO SOURCE OF CERTIFIED SURVEY FOR ADDITIONAL INFORMATION

	EXISTING STREETSCAPE	AS-BUILT DRAWINGS FOR THE RECONSTRUCTION MIDWINTER AVE. PARK CITY, UTAH 84040	PREPARED BY LICENSED ARCHITECT	2
--	----------------------	--	-----------------------------------	---



Exhibit B

REQUEST FOR PROPOSAL (1st RFP Draft)

Lower Park Avenue RDA/Park City Municipal Corporation

City-owned property sale, 1450 & 1460 Park Ave.

10/28/11

All proposals must be received by 11/23/11 at 5 pm Mountain Time by Assistant City Manager Michael Kovacs, michael.kovacs@parkcity.org.

Park City reserves the right to reject any or all proposals received. Furthermore, the City shall have the right to waive any informality or technicality in proposals received when in the best interest of the City. All submittals shall be public records in accordance with government records regulations ("GRAMA") unless otherwise designated by the applicant pursuant to UCA §63G-2-309, as amended.

City Property Sale – 1450 & 1460 Park Ave.

Park City owns parcels within the Lower Park Avenue RDA and anticipates the development of an attainable housing development on these lands. The proposer will provide a proposal for purchasing and developing land at 1450 and 1460 Park Ave.

The proposal should address the following three core City interests for the property and be consistent with the City's development regulations and historical guidelines. Any zoning amendments or variances from code or guidelines required for the proposal, if any, must be identified. Respondents are encouraged to inspect the property and public files. The property is being offered "as is," with no warranties for particular use or purpose. No proposal shall be accepted from, or contract awarded to, any person, firm or corporation that is in arrears to the City, for taxes, fees, debt or contract or that is a defaulter, as surety or otherwise, upon any obligation to the City, or that may be deemed irresponsible or unreliable by the City. Respondents may be required to submit satisfactory evidence that they have the necessary financial resources to perform and complete the work outlined in this RFP.

City Interest 1 – Attainable Housing:

Please describe how many units of attainable housing you would construct on these properties, their size, quality level, layout, and overall value to the end purchaser. Identify type of ownership (Co-Housing, Condominium or Subdivision) Are there any value-added or other unique advantages to your plan, such as monetary, social or in relation to City public policy and goals? Identify your intended price ranges and price points for the different number and sized units proposed.

City Interest 2 – Historic Preservation:

Please describe your approach to the historic structures on the parcels. If you intend to restore them, please tell us about your exterior restorations and the type of adaptive reuse that you propose for the interior of the structures. Please briefly describe your intended methods and alternatives you would

consider.

City Interest 3 – Purchase Price:

Please indicate an offer price for both properties, or one of the properties. Offers to purchase the total property will be considered more favorably under the evaluation criteria. Identify proposed closing date, payment terms and source of financing, if any.

An evaluation committee will evaluate proposals, and enter into negotiations for a purchase agreement with the selected proposal. If an agreement cannot be reached, the City may proceed to the next highest ranked proposal at its discretion. Any purchase agreement must be authorized by the City Council at a public meeting. Price may not be the sole deciding factor.

For additional background information on the overall project, contact michael.kovacs@parkcity.org

It is Park City Municipal Corporation's policy, subject to Federal, State, and local procurement laws, to make reasonable attempts to support Park City businesses by purchasing goods and services through local vendors and service providers.

Park City Municipal Corporation reserves the right to change any dates and deadlines. Park City Municipal Corporation reserves the right to cancel or modify the terms of this RFP and/or the project at any time and for any reason preceding contract award and reserves the right to accept or reject any or all proposals submitted pursuant to this request for proposals. Park City will provide respondents written notice of any cancellation and/or modification.

Exhibit C

REQUEST FOR PROPOSAL (2nd RFP Draft)
Lower Park Avenue RDA/Park City Municipal Corporation
City-owned property sale, 1450 & 1460 Park Ave.
10/28/11

Please provide a proposal by 11/23/11 at 5 pm Mountain Time to Assistant City Manager Michael Kovacs, michael.kovacs@parkcity.org.

City Property Sale – 1450 & 1460 Park Ave.

Park City owns parcels within the Lower Park Avenue RDA and anticipates the development of an attainable housing development on these lands. The proposer will provide a proposal for purchasing and developing land at 1450 and 1460 Park Ave.

The proposal should detail the purchase price and intended uses of the historic homes on the parcels. Respondents are encouraged to visit the site and research public records.

City Interest 1 – Purchase Price:

Please indicate an offer price for both properties, or one of the properties. Offers to purchase the total property will be considered more favorably under the evaluation criteria. Identify proposed closing date, payment terms and source of financing, if any.

An evaluation committee will evaluate proposals, and enter into negotiations for a purchase agreement with the selected proposal. If an agreement cannot be reached, the City may proceed to the next highest ranked proposal at its discretion. Any purchase agreement must be authorized by the City Council at a public meeting. Price may not be the sole deciding factor.

It is Park City Municipal Corporation's policy, subject to Federal, State, and local procurement laws, to make reasonable attempts to support Park City businesses by purchasing goods and services through local vendors and service providers.

Park City Municipal Corporation reserves the right to change any dates and deadlines. Park City Municipal Corporation reserves the right to cancel or modify the terms of this RFP and/or the project at any time and for any reason preceding contract award and reserves the right to accept or reject any or all proposals submitted pursuant to this request for proposals. Park City will provide respondents written notice of any cancellation and/or modification.

City Interest 2 – Historic Preservation:

Please describe your approach to the historic structures on the parcels.

For additional background information on the overall project, contact michael.kovacs@parkcity.org

To: Park City Council

From: Park City Historic Preservation Board

Re: Requests For Proposals for RDA/Park City owned properties at 1450 & 1460 Park Avenue

On October 5th 2011 the Park City Historic Preservation Board took a tour of the two properties owned by the RDA located at 1450 & 1460 Park Avenue. The HPB then met in regular session to discuss the RFPs and provide recommendations to the Park City/RDA regarding the RFPs which are getting ready to drafted. Current HPB Chair Sara Werbelow recused herself during this portion of the HPB's meeting. The remainder of the Board's findings are unanimous.

Both of the properties listed at 1450 & 1460 Park Avenue are currently listed on Park City's Historic Sites Inventory (HIS). The HPB was shocked to see the conditions that these properties are currently in; these properties are not currently moth-balled and protected from the elements correctly. The City has shown a strong desire to preserve our city's historic sites. Our expectations of the City in regards to moth-balling these properties are the same as what would be required by any other property owner. The fact that the City has owned these properties for two and a half years and has still failed to properly moth-ball these facilities is very disturbing and shows a lack of communication, coordination and respect to the preservation of Park City's mining heritage and Park City's goal of Historic Preservation. The appropriate city departments should immediately review required moth-ball procedures for historic/vacant properties and take action to bring these properties into code. We have already received our first snowfall of the winter and this action should be taken before the city begins to draft RFPs. Failure to properly moth-ball these properties before the height of winter risks further damage to these properties, not to mention additional costs to any future development taking place on these properties.

When the City begins to draft RFPs for these properties this board wants to ensure that as much of the Significant portion of these properties are preserved as possible. These properties are currently listed as Significant on the Historic Sites Inventory and that should not be permitted to change under any RFP the city considers. These properties are on the entry corridor of Park Avenue in the HRM (Historic Residential Medium) zoning district. The visibility of these Significant properties along this corridor should be maintained. This Board would endorse any RFP which permits non significant features to be removed while keeping all significant features. The City should also encourage in it's RFPs for these properties to have work done that would allow them to be moved on to the City's Landmark status once work is completed.

Any RFP which is sent should require a Preservation Easement for each of the Significant structures at 1450 & 1460 Park Avenue respectively.

Any proposal which is going to be seriously considered should ensure that any new buildings be of similar size and scale of the current properties at 1450 & 1460 Park Avenue. New

structures/development should not be permitted to dwarf the current structures. With such large pieces of land to work with any new structures should be required to be free standing away from the current significant properties.

Under LMC Section 15-11-5 HPB: one of the purposes of the HPB is:

B) To identify as early as possible and resolve conflicts between the preservation of cultural resources and alternative land uses.

It is under this section that the HPB would want any RFP to safeguard the apple trees located on these lots. These HPB feels that losing these trees would be an unacceptable loss. These trees do not grow overnight. These trees enhance the character and charm of these properties. These apple trees also embody the miner spirit by still thriving despite apparently receiving no care or attention for some time. This Board is not concerned with saving the Box Elders.

The City should consider alternative land uses ranging from affordable housing to community gardens to a park for the vacant land. The HPB would like the City to consider items such as an increased multiplier for TDRs on these sites. A multiplier is warranted in this case as this is not just vacant land. These properties are Significant properties on the Historic Sites Inventory. These properties are also along one of two main entry corridors to Historic Main Street. Finally, these properties are also adjacent to City Park. A multiplier of at least 3x the normal TDR seems reasonable to this board as a result of their unique circumstances (eg. The future developer could sell 3x the credits currently available based on the SF analysis and earn more for utilizing the TDR tool). Allowing a multiplier would help the bottom line of any development and could be used to encourage a mix of development as well as the preservation of open space.

The HPB is encouraged to see that the City is taking action to preserve these Significant properties and would like to offer any additional insight, thoughts or clarity regarding these properties that the City is interested in.

Thank you
Park City Historic Preservation Board

Puggy Holmgren
Katherine Matsumoto-Gray
Dave McFawn
Judy McKie
Alex Natt
David White

City Council Staff Report



Author: Jonathan Weidenhamer
Subject: Historic Park City Alliance (HPCA) Branding
Date: October 16, 2011
Type of Item: Informational

Summary Recommendations:

Provide direction on the City Council's preferred role related to rebranding of the Historic District. Staff recommends we take a balanced approach; formally recognizing HPCA's desire to rebrand the District while not undermining or jeopardizing our formal recognition and listing on the National Register of Historic Places. Staff does not recommend changing current wayfinding signs to remove "Main Street".

Background:

During their visioning sessions in March of 2010, the Historic Main Street Business Alliance determined that there continued to be confusion and lack of identity for the district. The Visioning Workgroup, made up of the Board and other merchants decided to investigate the ability to rebrand the district with a more descriptive name. The group reviewed a number of possibilities that included Historic Park City and Old Town. Ultimately, the group decided that *Historic Park City* kept with the tradition of many towns identifying their downtown as the "Historic" area of town. It also provided the group with a unique and searchable name for internet queries that was distinctive of other "main streets."

Discussions with two local marketing firms, Flashpoint and Kirwin Communications confirmed that *Historic Park City* was a good approach. In July of 2010 the HMBA Board voted to officially change the name of the organization to the Historic Park City Alliance. In August of 2010, Paul Kirwin worked with the HPCA Board identifying potential tag lines to help reinforce the brand. The HPCA identified "the main attraction" as the best tag line for marketing.

At this time the HPCA formally seeks City support in rebranding by formally recognizing their name change, and furthermore by actively taking efforts to reinforce that commitment when possible; in particular with our wayfinding signs. Staff seeks Council direction on what level of partnership they prefer.

Analysis

Since the 2010 visioning sessions the HPCA has become an active, consistent and reliable partner with City. They have clearly stated their goals, worked with us on events and offered a unified voice related to political issues. All of which have made for a dynamic and successful relationship that has benefited the community on the whole.

The HPCA does not believe we should attempt to officially rename the National Register Historic District or in any way jeopardize the formal listing. However, in addition to simply approving a resolution recognizing their name change and desire to rebrand, the HPCA has formally requested we take a more active role reinforcing their new brand where and when possible.

The following matrix represents from left to right, level of commitment with potential

pros/cons of each level. One of the categories, which we believe frames the discussion best is, “Do we want to update the City’s big blue wayfinding signs that currently say, “Historic Main Street →” to “Historic Park City →”? Additional Relevant pictures are attached as Exhibit B.



	Approach			pros	cons
	Separate	Interfaced/ balanced	Integrated/ partner		
Resolution to support name change	n	y	y	Reinforcing the name change intellectually is simple, provided we support their desire to self brand.	none foreseen
Change wayfinding signs	n	?	y	A more supportive role would be to allow this	staff believes this may confuse our guests
Change official designations:	n	n	y	full partner level, putting HPCA desires above potential risk	May jeopardize listing on Historic Register. Inconsistent with Dept. of Interior standards that prioritize "Main Streets".

The City has responded to similar requests in the past. For example our response to a private request to rename the Park Bonanza District to Bonanza Park, did involve formally changing the name of a portion in the General Plan. However, the Main Street National Register District name cannot be changed without possible loss of designation.

While staff firmly believes in partnering with the HPCA and reciprocating for the progress and strong partner they’ve become, we are conflicted because we believe some of their requests will cause confusion at a most basic wayfinding level for our guests and residents. While we believe in reinforcing the “Historic Park City” brand when possible, we do not support changing the wayfinding signs to remove “Main Street”.

Other Stakeholders Input

- Chamber – A brief discussion with Chamber representatives indicate support for HPCA’s desire and effort to brand themselves. They believe they can “sell” whatever message or brand to prospective clients; but seemed to feel firmly that any effort to define the district’s uniqueness and separate and distinguish themselves from the rest

of Park City as a unique destination is incredibly valuable.

- Staff's Historic Preservation Consultant – Dina Blaes's comments included, *"the name of the registered historic district, "Park City Main Street National Register Historic District," cannot be changed. We shouldn't change it in the design guidelines, because the guidelines do not refer to a business district, but rather the National Register District. The brown sign posted near the barn coming into town is a standard state sign and I think it says "National Historic District," but doesn't refer specifically to the Main Street district."*
- Historic Preservation Board and Historical Society – This issue has not been discussed with either of these groups.

Council should consider if a broader dialogue is desired to help them be more informed, they may consider directing staff to seek input from the Historic Preservation Board and Historical Society at minimum.

Department Review

This report was reviewed by Executive, Planning and Legal Departments.

Recommendation:

Provide direction on the City Council's preferred role related to rebranding of the Historic District. Staff recommends we take a balanced approach; formally recognizing HPCA's desire to rebrand the District while not undermining or jeopardizing our formal recognition and listing on the National Register of Historic Places. Staff does not recommend changing current wayfinding signs to remove "Main Street".

Exhibits

A - HPCA Creative Strategy Position Statement

B – Existing Signs

Exhibit A – HPCA Creative Strategy Position Statement

Product Description: Main Street is Park City's top destination and the hub for Deer Valley and Park City Mountain resorts. Formerly the hub of a booming mining town, it is now a world-class cultural destination and the focal point of our year-round resort town. It is comprised of over 250 unique businesses, including retail, restaurants, bars, galleries, lodging, and offices that span the valley floor. It is known for its quaint historic charm but also as host to international events such as the 2002 Winter Olympics and the Sundance Film Festival. It has a reputation for lively nightlife, music, art, events, fine dining, and boutique establishments.

Challenges: Local businesses are concerned that new commercial expansion—in outlying areas—will drain business and dilute the Park City brand. 'Main Street' also lacks national brand recognition. Additionally, the HPCA faces occasional criticism for not being more inclusive of its Park Ave and Swede Alley members.

Objective: The HPCA wishes to better define and promote its brand to maintain a long-term competitive advantage. They are seeking a distinct brand message that is inclusive, descriptive, and immediately recognizable.

Approach: The HPCA plans to re-define the 'Main Street district' as 'Historic Park City' to capitalize on national brand recognition and to better contrast their destination from the less authentic competition in new Park City. They plan to lobby their marketing partners to promote this fresh identity. They also plan to utilize PR, their website, limited print advertising, and event partners to further reinforce the Historic Park City message. HPCA businesses must also embrace this change to ensure the message is clear, consistent and unassailable as the iconic Park City.

Target Audience: Historic Park City's target audience is all residents of, and visitors to, greater Park City. The draw is both geographic (central location) and cultural, but the HPC wishes to maintain its prominence as bed-base expands away from the center of Park City. Local support is considered critical, both economically and to reinforce the HPC's appeal as a destination. Additionally, Historic Park City hopes to capitalize on their partners' marketing efforts to draw from the Wasatch Front—particularly during the summer and shoulder seasons.

Our Customer: Historic Park City businesses want to appeal to a broad base of customers seeking distinct products in a unique atmosphere. Although increased traffic is important, merchants prioritize bringing the 'right' customers to the district: the one's seeking to spend money on shopping, food, entertainment or services.

Desired Perception:

1. Vibrant, fun, friendly
2. Historic, unique, iconic
3. Diverse, engaging, entertaining
4. Local, authentic, real
5. Easy to access, navigate, and enjoy
6. A destination to visit again and again

Communication Strategy: The HPCA will lobby its partners to reinforce the 'Historic Park City' brand in their marketing. Hosted events will also be required to promote this brand message. The HPCA will invest in public relations to increase Historic Park City's prominence and to additionally reinforce the message. Community outreach and promoting our role in the community will be a priority. Other communication tools to be incorporated are social media, a redesigned website, updated brochures, and local-specific promotions.

Competitive Analysis: Historic Park City's main competitors are modern mall-style developments mostly outside of the City limits. They are NOMA, The Canyons, Kimball Junction (New Park, Redstone, Outlet Malls), and on the horizon, Quinn's junction. The competition offers convenient shopping and commodity products and services, intermixed with a few boutiques. They have ample space, parking, and are anchored by national chains. Historic Park City has a geographic advantage—with its proximity and physical connections to PCMR and DV—and an established reputation as Park City's cultural destination. However, Historic Park City also fights the perceived barriers of: access, parking and high prices.

Competitive Positioning: A concerted promotion of Historic Park City's unique character and offerings will continue to differentiate it from the competition. Effective PR and targeted events can address exaggerated perceptions about access and parking and high prices.

Ultimate Objective: *To get the right people (the one's looking to spend), to the right place (Historic Park City), and make their experience fun, friendly and memorable (what's good for the customer).*

Exhibit B – Existing Signs





City Council Staff Report

Subject: Park City Budget Process
Author: Bret Howser, Budget Manager
Department: Budget, Debt & Grants
Date: October 13, 2011
Type of Item: Information/Discussion

Summary Recommendations:

Staff will present draft modifications to the City's budget process. No Council action is required. Staff is seeking Council input and direction regarding potential changes to the budget process for FY 2013.

Topic/Description:

Revamping Park City's Budget Process

Background:

Park City has operated using an incremental style of budgeting for many years. During the most recent recession, that budget process was put to the test and a series of modifications were used in the short term to facilitate needed cuts. This past year, the City used a process recommended by Government Finance Officers Association, called Budgeting for Outcomes (BFO), to prioritize City programs in preparation for the budget process. Certain concepts and framework derived from the BFO process were incorporated into the budget process itself, but the basic structure of incremental budgeting remained intact, and a budget was adopted for FY 2012 in largely the same way it had been in the many years preceding.

Analysis:

On October 13, the Budget Department will present a conceptual rendering of a new operating budget process for the City. This new process draws on the lessons learned from recent budget processes, the Budgeting for Outcomes exercise last year, the experience of Fort Collins, CO, that we learned about on City Tour, the collaborative budget process implemented in the City of Papillion, Nebraska, the City's long-range financial planning, as well as prior and current performance measure and benchmarking efforts by the City, the Colorado Association of Ski Towns, and the International City/County Management Association's Center for Performance Measurement (CPM).

The new budget process is intended to fulfill several goals, including:

- 1) More collaboration and ownership of the budget process at the Council, staff and community levels
- 2) Perpetuation of the more helpful principles of Budgeting for Outcomes
- 3) A framework for priority-based decision making
- 4) Integration & Enhancement of performance measurement
- 5) Accountability & Efficiencies built into the process

6) Bridging short-term decisions to long-range strategies

Many of these goals are similar to those which BFO sought to achieve. However, BFO was run in addition to or parallel to the City's budget process. The new process would integrate principles of BFO and expand upon them. Fort Collins showed an example of the potential success of such an approach. Members of staff and Council met with the Assistant City Manager of Fort Collins to discuss their success with using BFO as their budget process during City Tour in September. What follows are some of the takeaways from that discussion:

- 1) A true 2-year budget cycle is critical for handling the workload BFO entails and allows for sufficient evaluation of success or failure of policy decisions made through the BFO process
- 2) A "Stop Doing" list should be recommended by staff in order to spur the policy debate and focus discussions during the budget hearings
- 3) Earlier, more focused Council participation is key
- 4) BFO is more likely to produce ongoing cuts when the City is faced with immediate budget deficits. Using BFO to make proactive decisions for potential long-term issues remains challenging.

During work session on October 13, the Budget Department will present a timeline illustrating a proposed process for the FY 2013 and FY 2014 budget biennium. Staff has been refining this timeline for several weeks, and the timeline was discussed in depth during the quarterly management team meeting on October 7. At the time this report was written, the timeline was not yet finalized, so details of the timeline will be presented and discussed on October 13.

Department Review:

Budget, Debt & Grants, City Manager, Legal

Alternatives:

- A. **Approve:** This item is informational. There is no Council action required.
- B. **Deny:**
- C. **Modify:**
- D. **Continue the Item:**
- E. **Do Nothing:**

Significant Impacts:

This item is informational. There is no Council action required.

Consequences of not taking the recommended action:

This item is informational. There is no Council action required.

Recommendation:

Staff will present draft modifications to the City's budget process. No Council action is required. Staff is seeking Council input and direction regarding potential changes to the budget process for FY 2013.

**PARK CITY COUNCIL WORK SESSION NOTES
SUMMIT COUNTY, UTAH
SEPTEMBER 29, 2011**

Present: Mayor Dana Williams; Council members Alex Butwinski; Joe Kernan; Cindy Matsumoto; Dick Peek; and Liza Simpson

Tom Bakaly, City Manager; Mark Harington, City Attorney; Kathy Lundborg, Water Manager; Tommy Youngblood, Special Events Coordinator; Jon Weidenhamer, Economic Development Manager; and Matt Cassel, City Engineer

Matt Ripken, InterPlan

1. Council questions/comments. Liza Simpson discussed the interagency meeting and the new Milepost in the *Park Record*. The height clearance posts installed at China Bridge were described as a way to control access to oversized vehicles. Alex Butwinski stated that the Public Art Advisory Board held a special meeting to approve *graffiti* art for the Bonanza Tunnel and he thanked the Planning staff for organizing the Old Town tour last night. Cindy Matsumoto reported on the Chamber's marketing campaign with Ski Utah, the Job Fair, the Fall Forum, and the visitors survey indicating that 48% come to Park City for an event. She thanked staff for installing the no parking signs in the Park Meadows neighborhood near the trailhead to Round Valley. Discussion ensued on the Bonanza Drive median project. Mayor Williams announced that today is the kick-off for the Salt Lake City bus service and he personally thanked Kent Cashel for his work to accomplish this. He looked forward to future regional service to Wasatch County and the Wasatch Front.

The Mayor asked about the status of the complaints on water impact fees, specifically for outdoor dining. The Mayor felt it would be interesting to compare Park City's water impact fees with other communities. Kathy Lundborg emphasized that water impact fees are designed to cover the costs of future development, not the distribution system. The cost to develop new water sources is expensive and driving the amount of impact fees. The Mayor agreed that new growth should pay for new infrastructure but suggested that everyone may need to pay more to cover the burden. He relayed that the impact fee to add an eight seat table on an existing deck is \$5,000 which seems really high. Joe Kernan stated that he did not want to discourage outdoor dining. It was pointed out that the Main Street temporary dining decks are exempt from the charge which creates some inequity. Tom Bakaly suggested providing information in a manager's report which can be followed with a work session, if needed.

2. 3rd quarter updates. The Mayor guided the discussion by reviewing each category in order. Cindy Matsumoto recommended that maintenance of Old Town improvements be added as a goal and Tom Bakaly explained that maintenance is part of normal operations and probably doesn't need to be a specific goal. After some discussion, a majority of members were comfortable leaving maintenance off the list

and the City Manager stated that the status of maintenance issues on Main Street will be provided in a manager's report. There were no changes to the goal table.

3. Special event overhaul. Tommy Youngblood acknowledged that there is a lot of information presented in the staff report and staff will be returning to Council over the next few months with direction and/or action on individual items, specifically event fees, cost recovery, fee waivers, trail policy and code changes to provide better tools to more efficiently review events with Council goals. Staff is looking for guidance with respect to the temporary licensing provisions in the Municipal Code including the definition of engaging in business to include charging for individual gifting and promotional activities. He asked if staff should take a more aggressive approach in this regard and pointed out that the HPCA and Sundance Institute provided written input on this matter.

He summarized that Sundance feels that current direction does not go far enough to incentivize potential Film Festival sponsors. Companies can rent a space on Main Street through current temporary business licensing which facilitates these activities too much. The HPCA is concerned that further limitations of restrictions on temporary licensing may limit rentals and the free enterprise system during the Festival when many locations make a substantial amount of income by renting to official Sundance sponsors and other parties. He pointed out that both agree that vendors who purchase temporary licenses should pay their own way for the costs and impacts created. The Mayor invited public input.

Teresa deWilde, stated that she helps produce these events and relayed that some businesses feel they don't get *their bang for the buck* from Sundance so they look outside to promote their product. Renting space on Main Street is attractive to many companies who do not want to be under the umbrella of Sundance. She discussed Stella's involvement; it is a Sundance sponsor and it also produces separate events. If business licenses are based on square footage, they are going to have to pay for 20 different business licenses for each space. She stated that she needs more clarification so she can inform her clients who may not have the money to be a Sundance sponsor but can generate income for Park City. These companies may go to Kimball Junction.

Dick Carl, marketer, spoke about his experience with events like the Super Bowl, Kentucky Derby, etc. He worked the last Festival and feels there are things that could be done better. He suggested a better dialog with marketers and is willing to organize a working group.

Alison Butz, HPCA, expressed that members feel that many of these activities are trying to fit under the current code but the City should look into a new type of license for these types of events.

Liza Simpson referred to licensing each venue which requires an inspection. Jon Weidenhamer noted that staff understood that fees would be applied to every gifting venue from the Sweeney/Hughes appeal. Staff is looking for direction on the level of

facilitation of temporary licensing. Joe Kernan supported facilitating temporary business and felt fees should be fair and based on the cost of services. There may be some way to further support Sundance sponsors through better signage, for example, instead of penalizing them.

Ms. Simpson stated her priority is protecting the Sundance MFL and making sure that brick and mortar businesses can rent their buildings. She highly supports an accelerated fee schedule for temporary businesses and this conversation is taking place far enough in advance so everyone is on notice. Every location should be charged but she is unsure if every vendor in a swag bag has to pay a fee, which is open to discussion. There also needs to be discussion about the types of *donated* products that should be licensed. Mayor Williams agreed with Ms. Simpson's comments. Sundance sponsors should have priority and none of the marketers would be here if it wasn't for the Film Festival. He felt Sundance has been very generous for all of these years in allowing temporary business activities and he wants to make sure that this Festival stays in Park City. Sundance may be open to other levels of sponsorship but businesses should have to pay a premium to participate and make a profit off of someone else's event.

Alex Butwinski referred to the letter from the Sundance Institute which demonstrates its willingness to work with people. He agreed with the Mayor's comments and at the time of the appeal a couple of months ago, Council members expressed that fees need to be examined for business activities outside the MFL. Separate locations require inspections which should be covered by fees. Joe Kernan stated that he also appreciates Sundance's effort to work with the HPCA and promoters. He pointed out that some businesses really benefit from the event, like restaurants, but not necessarily retail. The Council should be sensitive to the ability of businesses to make money during Sundance. Cindy Matsumoto stated that she understands both sides but Sundance should be supported. Dick Peek expressed that the MFL holder is number one and he explained the importance of business models not depending on events to be successful for the year. Ms. Simpson felt criteria for engaging in business needs to be clarified and suggested that if the gift is worth more than \$50, that a license is required. She supports the direction staff is going and is not worried about losing gifting salons to Redstone. The Mayor liked the idea of City departments working better as a team on licensing. He doesn't want Sundance to turn into a parasitic event but acknowledged that other businesses may bring vibrancy enhancing the Festival. It is a delicate balance with regard to fees but the City needs to recover its costs.

The marketing value realized by the City through the advertising of the Park Silly Sunday Market and other events was discussed. In response to a question from the Mayor, members indicated that they accept the definitions as drafted. It was pointed out that fees have not changed in seven years and Ms. Simpson requested that fee prices be rounded to the next dollar. Tommy Youngblood addressed venues and suggested setting parameters for use. The Mayor expressed confusion with some aspects of the guidelines and Mr. Youngblood explained that they directly relate to Council's concern

for public access to facilities. The Mayor pointed out the difficulty in predicting attendance at City Park concerts and Mr. Youngblood agreed but believed having some guidelines in place will be helpful. Discussion ensued on having the criteria applied as guidelines and not policy so there is some flexibility. Jon Weidenhamer believed there could be exemptions for community events like the 4th of July and Dick Peek compared special event review to conditional use permits where impacts need to be considered, addressed and mitigated. The Mayor stated that he likes the direction of these modifications and providing more definition. Ms. Simpson felt the City Park 500 number creates some conflict and language in the guidelines could denote that the area is appropriate for a high number of attendees, for instance.

4. Transportation Master Plan. Matt Cassel introduced consultant Matt Ripken from InterPlan. The purpose of the work session is to review Chapters 4, 5 and 6 of the Master Plan. Ms. Simpson suggested that future road mile projections be based on potential annexations and that associated data be checked to make sure PC Heights is included. Mr. Ripken noted that this point will be clarified and explained that the direction of the study is discouraging *building your way out of problems* but rather capping building as a solution. Multi-use trails were discussed and Ms. Simpson suggested contacting Aspen for more information on the zip car program. Matt Cassel described the *report card* section of the report which will illustrate the progress of goals on an annual basis. Mayor Williams pointed out the success of the zip car in Portland, Oregon. The City Engineer advised that the Master Plan is scheduled for public hearing and action on October 6, 2011.

Prepared by Janet M. Scott, City Recorder

**PARK CITY COUNCIL MEETING
SUMMIT COUNTY, UTAH
SEPTEMBER 29, 2011**

I ROLL CALL

Mayor Dana Williams called the regular meeting of the City Council to order at approximately 5:30 p.m. at the Marsac Municipal Building on Thursday, September 29, 2011. Members in attendance were Dana Williams, Alex Butwinski, Joe Kernan, Cindy Matsumoto, Dick Peek, and Liza Simpson. Staff present was Tom Bakaly, City Manager; Mark Harrington, City Attorney; Brooks Robinson, Transportation Planner; and Tommy Youngblood, Special Events Manager.

II COMMUNICATIONS AND DISCLOSURES FROM COUNCIL AND STAFF

III PUBLIC INPUT (*Any matter of City business not scheduled on agenda*)

Bonanza Drive medians - Bob Wilkinson, PC Printink, pointed out that we should learn from history. The medians on SR248 did not work for a number of reasons and he questioned why medians are being installed on Bonanza Drive. They will create snow removal, emergency access problems and are a waste of taxpayer money. There is not enough room on the road for this kind of stuff and he is surprised the plan was approved. In five years, it will probably be removed. The Mayor offered to meet with Mr. Wilkinson to explain the reason for the design.

IV WORK SESSION NOTES AND MINUTES OF MEETING OF SEPTEMBER 15, 2011 AND JOINT WORK SESSION NOTES OF AUGUST 25, 2011

Liza Simpson, "I move we approve the work session notes and minutes of the meeting of September 15 and the joint work session notes of August 25". Alex Butwinski seconded. Motion unanimously carried.

V CONSENT AGENDA (*Items that have previously been discussed or are perceived as routine and may be approved by one motion. Listed items do not imply a predisposition for approval and may be removed by motion and discussed and acted upon under "Additional Discussion – Agenda Items"*)

Liza Simpson, "I move we approve the Consent Agenda". Joe Kernan seconded. Motion unanimously carried.

1. Consideration of authorization to the City Manager to enter into a construction contract, in a form approved by the City Attorney, with Northridge Construction, Inc. in the amount of \$119,000 – Staff recommends approval.

2. Consideration of a Resolution adopting the Mountainlands Association of Governments Pre-Disaster Hazard Mitigation Plan as required by the Federal Disaster

Mitigation and Cost Reduction Act of 2000 – Staff recommends approval.

VI NEW BUSINESS (*New items with presentations and/or anticipated detailed discussions*)

1. Consideration of a Resolution adopting a Short Range Transit Development Plan for Park City, Utah – Brooks Robinson explained that the plan is a blueprint for transit operations. The Mayor opened the public hearing; there was no input from the audience and the public hearing was closed. Liza Simpson, “I move we approve a resolution adopting the Short Range Transit Development Plan”. Joe Kernan seconded. Motion unanimously carried.

2. Consideration of a Master Festival License for the Tubbs Romp-to-Stomp Out Breast Cancer Snowshoe Series, as conditioned, to be held on Saturday, February 11, 2012 at the Round Valley Trail System, Quinn’s Sports Complex Parking Lots – Tommy Youngblood explained that this is a first time event in Park City and staff recommends approval. The Mayor opened the public hearing. There was no input and the public hearing was closed. Liza Simpson, “I move we approve the Master Festival License for the Tubbs Romp-to-Stomp Out Snowshoe Series on February 11th at the Quinns Sports Complex”. Joe Kernan seconded. Motion unanimously carried.

VII ADDITIONAL DISCUSSION – AGENDA ITEMS

VIII ADJOURNMENT

With no further business, the regular meeting of the City Council was adjourned and members convened with the Planning Commission for a work session on redevelopment.

MEMORANDUM OF CLOSED SESSIONS

The City Council met in closed session at approximately 2 p.m. Members in attendance were Mayor Dana Williams, Alex Butwinski, Joe Kernan, Cindy Matsumoto, Dick Peek, and Liza Simpson. Staff present was Tom Bakaly, City Manager; Michael Kovacs, Assistant City Manager; Jonathan Weidenhamer, Economic Development Manager; Thomas Eddington, Planning Manager; Diane Foster, Sustainability Manager; Joan Card; Environmental Regulation; Jason Christensen, Environmental Attorney, Phyllis Robinson, Public Affairs Manager; and Mark Harrington, City Attorney. Alex Butwinski, “I move to close the meeting to discuss property and litigation”. Dick Peek seconded. Motion carried unanimously. The meeting opened at approximately 3:45 p.m. Alex Butwinski, “I move to open the meeting”. Dick Peek seconded. Motion unanimously carried. The City Council again met in closed session between the work session and the regular meeting. Liza Simpson, “I move to close the meeting to discuss property and litigation”. Cindy Matsumoto seconded. Motion unanimously carried. Liza Simpson, “I move to open the meeting”. Alex Butwinski seconded. Motion unanimously carried.

The meeting for which these minutes were prepared was noticed by posting at least 24 hours in advance and by delivery to the news media two days prior to the meeting.

Prepared by Janet M. Scott, City Recorder

City Council Staff Report



Subject: City's Role in Redevelopment
– Consulting Services to Facilitate Joint Meetings
Author: Jonathan Weidenhamer, Economic Development Manager
Department: Sustainability
Date: October 13, 2011
Type of Item: Administrative

Summary Recommendations:

Authorize the City Manager to amend a contract for the Balanced Growth Management Study with CZB, LLC (Charles Buki) in the amount of \$36,000 for a total amount of \$74,583.

Topic/Description:

Following a public RFP selection process, the City Council authorized the Planning Department to enter into a contract with Charles Buki of czb, LLC on September 15, 2011 to complete a balanced growth study that reflects the Community Vision results from 2009. The following description is from the publicly distributed request for proposal:

The Balanced Growth Study will be based on the Park City Municipal Corporations data of current build-out and future redevelopment. Additional data must be collected on the external growth influences to Park City. The study will include growth projections for Park City in ten year increments until 2050. Park City Planning Department had completed research on current trends and will provide this to the chosen firm.

Once the growth projections are documented, balanced growth strategies for Park City will be proposed. The Balanced Growth Strategies must be geared toward achieving the Communities Vision and protecting the City's Core Values as defined in the Visioning Process. The Balanced Growth Study will create growth management strategies to achieve the Park City Vision and protect the Core Values. The recommended growth strategies will be further analyzed to outline the benefits, shortcomings, and costs associated with each (infrastructure and social).

Previously, in 2009, the City contracted with Buki/CZB for consulting services related to the original visioning process. As a follow up, Charles has been assisting with joint City Council/Planning Commission meeting facilitation. Due to the success of these meetings, both the Council and Commission requested additional services and meetings. Since these services relate to the broad scope of the recent RFP, staff recommends adding the requested services to the recently awarded contract by Council approved change order.

Analysis:

Within the proposal, czb acknowledges the difficulty communities have coming to agreement on balanced growth strategies. The proposal emphasizes that CZB has the experience with asking communities the difficult questions and “creating a client and community relationship where emotional resilience to handle hard tradeoff discussions can constructively occur.” Charles Buki’s ability in working with communities to make implementation strategies, his knowledge of Vision 2009, and his expertise in balanced growth and housing, made him the top candidate for this project.

Part of the exercise to balance the frame the hard tradeoff discussions between balanced growth and redevelopment includes a series of facilitated meetings between the City Council and Planning Commission. This contract amendment will allow for up to 5 joint meetings. The four meetings held so far have been instrumental so far in gaining clarity, specifically:

- Completion of the General Plan is a priority;
- Neighborhood level approach to redevelopment strategies is necessary. Each neighborhood should have different goals, implementation strategies and projects, thus balancing a broader “portfolio” or balanced approach for the entire community;
- Redevelopment is inevitable and the City should take a pro-active role in shaping preferred outcomes to ensure our sense of community and to maintain competitiveness in the destination tourism market;
- That a specific neighborhood plan for Bonanza Park is the top priority.

We originally anticipated 2-3 meetings to complete this process. A fourth meeting was held on September 29, 2011, and staff recommends including flexibility in the CZB contract to allow a fifth meeting if necessary.

The cost per meeting, including preparation of presentations, written summaries, background meetings with staff, surveys and interviews with Council, Planning Commission and affected stakeholders is \$6,000. Inclusion of an additional 20% is necessary to cover reimbursables such as hotel, lodging and airfare. Therefore to allow for five meetings the contract amount is for \$36,000.

Department Review:

This report has been reviewed by the City Manager and the Legal Department. All issues have been appropriately resolved.

Alternatives:**A. Approve the Request:**

This is the staff’s recommendation.

B. Deny the Request:**C. Continue the Item:**

D. Do Nothing.

Consequences of not taking the recommended action:

The consultant would not return to finalize our redevelopment role at the Park City Mountain Resort base area.

Significant Impact:

The Joint meetings facilitated to date have been instrumental in gaining consensus on the role the City should play in redevelopment.

Recommendation:

Authorize the City Manager to amend a contract for the Balanced Growth Management Study with CZB, LLC (Charles Buki) in the amount of \$36,000 for a total amount of \$74,583.

Attachments:

Exhibit A - Scope of Services – bullet 6 is the amendment

Exhibit A: Scope of Services

1. Growth trends
 - o Review the Growth trends as provided by the Park City Planning Department from 1990 to present.
 - o Utilize the data from Park City to project future Growth trends from present – 2050
 - o Project growth trends from influences outside the City Boundary from present to 2050.
2. Identify Growth Trends that will Impact the City's Core Values. This portion of the Report must be very thorough. The report should rate the threat and timing of the trend. Identify positive and negative trends.
3. Create Balanced Growth Strategies to address the identified growth trends that will impact the City's Core Values. The Balanced Growth Strategies must be specific to provide guidance to the City on implementing the strategies. Balanced Growth strategies must be in compliance with Utah Law.
4. One area of focus within the Trends and Balanced Growth Strategies should be focused on primary and secondary home owners. Park City's demographics have been changing from a majority primary homeowner to majority secondary homeowners. Over the past ten years the amount of primary homeowners has stayed almost constant at approx. 7000.
5. With each recommended strategy identify the benefits, shortcomings, and cost associated with the strategy.
6. The consultant will facilitate public meetings with the City Council and Planning Commission with the goal of informing the current General Plan updates and Neighborhood redevelopment planning. This exercise is intended to gain clarity from elected and appointed officials on "implementing" the community visioning exercise originally conducted by czb through defining their position on redevelopment as part of the Balanced Growth General Plan exercise. There may be up to 5 meetings.

City Council Staff Report

Subject: 2011 Election Poll Worker Appointments
Author: Sharon Bauman, Election Official
Department: Executive
Date: October 13, 2011
Type of Item: Administrative

Summary Recommendations:

Approve appointment of 2011 Election Poll Workers as recommended for the Municipal General Election on November 3, 2009.

Topic/Description:

Pursuant to Utah Code Section 20A-5-602, at least 15 days before the election date, City Council shall appoint poll workers and alternates for each consolidated voting precinct. Poll workers must be registered voters at least 18 years old or 17 years old who will be 18 years old by the date of the regular municipal election, and reside within Summit County. The City Council may not appoint any candidate's parent, sibling, spouse, child, or in-law to serve as a poll worker in the voting precinct where the candidate resides. The persons appointed shall serve as poll workers for each voting precinct, or as an alternate.

Poll workers will receive compensation for their services at a rate established by Summit County which is currently \$10.00 per hour. There are no changes in consolidated voting precincts and the polling locations for Consolidated Voting Precincts 2 and 3 will again be in the Park City High School, Eccles Center lobby.

Poll Worker appointments are recommended as follows:

Consolidated Voting Precinct 1 – Marsac City Hall

Precinct # 1 Deer Valley

Precinct # 2 Old Town S

Precinct # 3 Old Town N

Ruth Gezelius, Carol Sletta, Jeff Smith, Joyce Smith; Tania Knauer, Alternate

Consolidated Voting Precincts 2 and 3 – Park City High School, Eccles Center Lobby

Precinct # 3 Prospector

Precinct # 4 Thaynes Canyon

Precinct # 33 Sidewinder

Precinct # 5 Park Meadows S

Precinct # 6 Quarry Mountain

Precinct # 35 Park Meadows N

Gerd Holmsen, Emily Elliott, Linda Dolan, Rich Dolan; Mary Demkowicz

Pursuant to Utah State Code §20A-5-602(3), the Election Official shall prepare and file a list containing the name, address, voting precinct, and telephone number of each person appointed and this list shall be available in the Executive Department for inspection, examination, and copying during business hours.

Background:

Park City has benefited each municipal election from continued support of citizens who serve as poll workers/election judges and Park City sincerely appreciates the time and service of these citizens on election days.

Analysis:

The Election Official has verified that each person recommended to serve as a poll worker meets the qualifications outlined in the state code.

Department Review:

This report has been reviewed by the City Attorney and City Manager.

Alternatives:

A. Approve the Request:

This is staff's recommendation.

B. Reject One or More Officials and Direct Replacement:

Could be done if necessary.

C. Continue the Item:

The appointment must be made no later than 15 days prior to an election.

D. Do Nothing:

Not an option

Significant Impacts:

In the event poll workers were not appointed, the election would be impacted to such an extent it could not be held.

Consequences of not taking the recommended action:

Poll workers are a necessary component for the conduct of the City's primary and general municipal elections.

Recommendation:

Approve poll worker appointments as recommended.



City Council Staff Report

Subject: Resolution proclaiming October 25, 26 and 27, 2011
As "Cares Enough to Wear Pink Days"
Author: Jan Scott
Department: Executive Department
Date: October 13, 2011
Type of Item: Legislative

Summary Recommendations:

Adopt the Resolution proclaiming October 25, 26 and 27, 2011 as "Cares Enough to Wear Pink Days" in Park City, Utah.

Background:

Heidi Hewitt, Park City Chapter President, contacted the Mayor's Office requesting that a Resolution be considered and adopted by the City Council. By wearing pink on October 25, 26 and 27, in conjunction with the Park City Fire District, Pink Heals hopes to create awareness for ALL cancers that affect women. All funds raised by Park City Pink Heals stays in the community to help local victims and survivors.

Ms. Hewitt will be in attendance with Eric Gomm, Vice President. For more information about the national Pink Heals movement see www.pinkfiretrucks.org

Department Review:

City Manager and City Attorney.

Alternatives:

- A. Approve:**
This is staff's recommendation.
- B. Deny:**
Not recommended.
- C. Modify:**
Modifications can be made by Council.
- D. Continue the Item:**
Not practical because of the timing of the event.
- E. Do Nothi**
Not recommended.

Recommendation:

Adopt the Resolution proclaiming October 25, 26 and 27, 2011 as "Cares Enough to Wear Pink Days" in Park City, Utah.



**RESOLUTION PROCLAIMING OCTOBER 25, 26 AND 27, 2011
AS "*CARES ENOUGH TO WEAR PINK DAYS*" IN
PARK CITY, UTAH**

WHEREAS, Guardians of the Ribbon Park City, Utah Chapter is a non-profit organization consisting of firefighters, police officers, educators and members of our community whose sole purpose is raising awareness for the fight against cancer; and

WHEREAS, in 2007 the Pink Heals Tour began encouraging public safety professionals, local leaders and citizens throughout the community to wear pink in honor of all women and to join forces to help them in their fight against all cancer; and

WHEREAS, cancer affects millions of people all over the world and the fact that there is a proven correlation between firefighting and cancer, confirm both the need to eradicate the terrible disease and, until a cure is found, help alleviate the suffering of its victims; and

WHEREAS, the spirit of this campaign is to fight for those who can no longer fight for themselves, asking the public for support and raising understanding and awareness to all citizens; and

WHEREAS, much can be accomplished when devoted people work together for a cause that benefits so many;

NOW, THEREFORE, BE IT RESOLVED that the Mayor and City Council hereby proclaim October 25, 26, and 27, 2011 in Park City, Utah as

Cares Enough to Wear Pink Days in Park City, Utah



Honoring all women while reminding future generations that people who are not affected by an illness can come together for those who are.

PASSED AND ADOPTED this 13th day of October, 2011.

PARK CITY MUNICIPAL CORPORATION

Mayor Dana Williams

Attest:

Janet M. Scott, City Recorder



City Council Staff Report

Subject: Schirf Brewing 25th Anniversary Bash
Author: Max J. Paap
Department: Sustainability
Date: October 13, 2011
Type of Item: Administrative – Master Festival License

Summary Recommendations:

Review the Master Festival License application, conduct a public hearing, and approve the license for the Schirf Brewing 25th Anniversary Bash, as conditioned, on October 15, 2011 to be held at South City Park.

Description:

Topic:

Schirf Brewing 25th Anniversary Bash

Background:

Greg Schirf, on behalf Schirf Brewing and the Wasatch Brewery submitted an application to hold a community celebration commemorating the 25th Anniversary of Schirf Brewing. This one day event would program the Gazebo area which is the same space utilized by the Children's Fair, 4th of July, and Miner's Day that take place at the South end of City Park. The organizer expects attendance maximum to be around 500 – 750. The space would be programmed from 11:00 am to 6:00 pm on Saturday, October 15, 2011.

Analysis:

This application is being reviewed as a Master Festival License due to the request for amplified music, attraction of large crowds, and use of City property.

The Wasatch Brewery first opened its brewing operations at 1450 Iron Horse in 1986 and two years later, the Park City Redevelopment Agency sold vacant property at 250 Main Street to him in order to construct the Wasatch Brew Pub. This partnership with PCMC has been incredibly successful and the Brew Pub has been an anchor tenant and primary drivers for both residents and destination tourism. Celebrating 25 years is a major milestone and recognizes the importance of this business to the community.

The organizer has met with Special Events staff to go over any logistical challenges or other issues. The following areas were scrutinized by the Events Team when creating findings supporting consideration of the recommendation to approve this event.

City Park Activities

The event organizers would begin to take over South City Park at 9:00 am to facilitate the build out the green space between the BBQ area and the music pavilion. Planned activities are live music, an inspired selection of food, various adult and children's games, and a variety of Wasatch beers. Admission is free. Music will be oriented towards Deer Valley Drive to minimize sound impacts to the neighborhood. The event is scheduled to be finished no later than 6:00 pm.

Parking

Parking for the anticipated crowd of 500-750 can be accommodated with the public parking in City Park, the Mahwhinney lot and street parking along Park Avenue. The applicant currently has a parking request for use of the private lots at PCMR which would also be available as a satellite parking option with Park City Transit. Attendees will also be encouraged to use alternative means of transportation such as walking, carpooling, and biking.

Department Review:

Police, Sustainability, Streets, Parks, and Legal departments have reviewed the application for the Schirf Brewing 25th Anniversary Bash and their comments have been incorporated into the report.

Alternatives:

Approve the Request:

Approve the Master Festival License allowing the Schirf Brewing 25th Anniversary Bash as described. **This is staff's recommendation.**

Deny the Request:

Deny the Master Festival License, preventing the addition of the Schirf Brewing 25th Anniversary Bash to Park City's schedule of events.

Continue the Item:

The City Council may continue the discussion in order to receive additional information.

Significant Impacts:

Park City has held many similar events to the Schirf Brewing 25th Anniversary Bash. Impacts that could be caused by parking inventories are of some concern. By actively addressing those Public Safety impacts should be kept to a manageable level.

Consequences of not taking the recommended action:

The Schirf Brewing 25th Anniversary Bash would not take place on public property.

RECOMMENDATION:

Staff recommends the City Council conduct a public hearing and approve a Master Festival for the Schirf Brewing 25th Anniversary Bash on October 15, 2011 based on the following Findings of Fact, Conclusions of Law and Conditions of Approval.

Findings of Fact:

1. The Schirf Brewing 25th Anniversary Bash will be held on Saturday, October 15, 2011. The event will last from 11:00 am to 6:00 pm and will occur at South City

Park.

2. Parking for the anticipated crowd of 500 - 750 people can be accommodated within the existing public parking lots in and around the venues. The organizers have contacted PCMR for additional parking. The conduct of the Schirf Brewing 25th Anniversary Bash will not substantially interrupt or prevent the safe and orderly movement of public transportation or other vehicular and pedestrian traffic in the area of its venue.
3. The events associated with the Schirf Brewing 25th Anniversary Bash will not require the diversion of so great a number of police, fire, or other essential public employees from their normal duties as to prevent reasonable police, fire, or other public services protection to the remainder of the City.
4. The event will be held at South City Park. The concentration of persons, vehicles, or animals will not unduly interfere with the movement of police, fire, ambulance, and other emergency vehicles on the streets or with the provision of other public health or safety services.
5. There is no other Master Festival or Special Event license that has been granted for October 15, 2011. The 25th Anniversary Bash will not substantially interfere with the logistics and venue for any event for which a license has already been granted and with the provision of City services in support of other such events or governmental functions.
6. The size of the crowd and nature of the event will not create an imminent possibility of violent disorderly conduct likely to endanger public safety or cause significant property damage.
7. The applicant has been working with City Staff and applicable departments to address all event concerns. The Applicant demonstrates an ability and willingness to conduct the event pursuant to the terms and conditions of this Chapter and has not failed to conduct a previously authorized event in accordance with the law or the terms of a license, or both.

Conclusions of Law:

1. The application is consistent with the requirements of the Park City Municipal Code, Title 4, Chapter 8.

Conditions of Approval:

1. The applicant, at its' cost, shall incorporate such measures as directed by Staff in order to ensure that any safety, health, or sanitation equipment, and services or facilities reasonably necessary to ensure that the event will be conducted with due regard for safety are provided and paid for by the applicant.
2. Applicants shall provide proof of liability insurance in the amount of two million dollars (\$2,000,000) or more as may be required by the Special Events Manager or the City Attorney's Office, and shall further name Park City Municipal Corporation as additional insured. All Applicants shall further indemnify the City from liability occurring at the event except for any claim arising out of the sole negligence or intentional torts of the City or its employees.
3. All amplified music/sound may not begin prior to 11:00 am and shall cease by 6:00 pm on Saturday, October 15, 2011 in South City Park.

4. The applicant will work with City Staff to orient the music/demonstration stage so as to minimize sound impacts to the neighborhood and the applicant shall monitor the following:
 - (A) The program manager, or his/her designee, shall provide on-site management for the event.
 - (B) A sound technician shall provide on-site monitoring for the event with music, amplified or otherwise, and any amplified event.
 - (C) The program manager shall be responsible to ensure that the sound system maintains the sound at an A-weighted sound level adjustment and maximum decibel level of 90, as measured twenty-five feet (25') in front of the stage.
5. All plans for tents, fireworks, stages, signs and other temporary structures shall be submitted to the Building Department for review and permitting by October 11, 2011.

Attachments

Exhibit A- Applicant's Summary of Activities



Master Festival & Special Event Application

Submit by Email

Special Events
435.615.5150
specialevents@parkcity.org

Master Festival (MFL) & Special Event Applications **MUST** be complete and submitted to the Special Events Department no Less than **90 Days Prior** to a MFL and no less than **60 Days Prior** to a Special Event for staff review. Applications not submitted within that timeframe may not be granted approval. Refer to Park City Special Event Planning Guide for answers to the most frequently asked event related questions
This application **DOES NOT** constitute a valid permit until approved by the Special Events Department and/or Park City Council

APPLICATION FEES

All new applications require a \$100.00 non-refundable application processing fee
All applications for returning events require a \$50.00 non-refundable application processing fee
Additional fees for other services, including Health Department, Fire Department, and City Services will be estimated and provided to the applicant.

EVENT INFORMATION

MASTER FESTIVAL CRITERIA (PUBLIC EVENT) (If one box is checked the event is automatically an MFL)	☐ Attraction of crowds over 500 participants and or spectators	☐ Requires Partial or Full Street Closure or use of Public Right of Way	☒ Use of City park, buildings or other properties	☐ Use of off-site parking facility	☒ Use of Amplified Music
SPECIAL EVENT CRITERIA (PUBLIC OR PRIVATE EVENT)	☐ Causes significant public impacts via disturbance, crowd, traffic, and or parking	☐ Disruption of the normal routine of the community or affected neighborhood	☒ Necessitates temporary business or liquor licensing	☐ Event signs visible from public property or right of way	☐ Temporary structures, including inflatable's

EVENT TYPE

☐ Street Fair/Festival	☐ Run - Walk	☐ Parade	☐ Trail Event	☒ Concert	☐ Road Bike Event
---	-------------------------------------	---------------------------------	--------------------------------------	---	--

Other Type of Event (Please Specify):

APPLICANT AND SPONSORING ORGANIZATION INFORMATION

NAME: <u>Schirf Brewing Co. dba Wasatch Brewery - Greg Schirf</u>		POSITION: <u>Brewery</u>
STREET ADDRESS: <u>2000 250 Main</u>		CITY, STATE, ZIP CODE: <u>Park City, Utah 84060</u>
MAILING ADDRESS: <u>P.O. Box 459</u>		CITY, STATE, ZIP CODE: <u>Park City, Utah 84060</u>
TELEPHONE (WORK): <u>435-645-9500</u>	MOBILE PHONE: <u>435-602-9613</u>	OTHER: <u></u>
EMAIL ADDRESS: <u>gregschirf@schirfbrewingco.com</u>		FAX NUMBER: <u>435-649-</u>
SPONSORING ORGANIZATION: <u>Schirf Brewing Co</u>		Is organization a registered non-profit? ☐ Yes ☐ No (If yes, please provide copy of registration paperwork)
ONSITE CONTACT: <u>Greg Schirf</u>	MOBILE PHONE: <u>435-602-9613</u>	
NAME OF EVENT: <u>25th Anniversary Bash</u>		
☒ FIRST TIME EVENT	☐ ANNUAL EVENT (How many years?)	Will a fee be charged for attendance or participation? ☐ Yes ☒ No

Overall Event Description (Briefly explain event and activities):

EVENT DATES AND TIMES

EVENT DATE(S): <u>Oct. 15, 2011</u>	EVENT HOURS - START TIME: <u>11:00-6:00</u>	END TIME: <u>6:00</u>
SET-UP DATE/S: <u>Oct. 15</u>	TIME/S: <u>9:00 a.m.</u>	BREAKDOWN DATE/S: <u>Oct. 15</u>
ESTIMATED ATTENDANCE - PARTICIPANTS: <u>500</u>	SPECTATORS: <u></u>	TOTAL: <u>500-750</u>
EVENT LOCATION: <u>Park City City Park - Gazebo AREA</u>		

EVENTS WITH ATTENDANCE HIGHER THAT 500 REQUIRES A SUMMIT COUNTY MASS GATHERING PERMIT

Master Festival & Special Event Application

Special Events
435.615.5150
specialevents@parkcity.org

OPERATIONAL - PART B

WASTE MANAGEMENT & RECYCLING

The Park City Municipal Corporation encourages sustainable efforts in Waste Management including the recycling of as much event waste as possible. Please refer to the Park City Event Planning Guide for a list of local recyclers to find out how they may assist you.

All applications must include a waste management plan that includes pre and post event details

FOOD AND MERCHANDISE SALES

Will there be sale of Merchandise? YES ☒ NO ☐ Will there be sale of or complimentary food? YES ☒ NO ☐

Describe Items for sale :

Will food items be pre-packaged? YES ☒ NO ☐

Will food items be cooked at event? YES ☒ NO ☐

Will food items be prepared off site? YES ☒ NO ☐

**All individual vendors must obtain a Park City Business License & Summit County Temporary Food Service Permit
If cooking onsite a permit may be required for use of appliances**

Will there be beer, wine, and/or liquor sales during the event? YES ☒ NO ☐

The Park City Finance Department requires application for a Beer & Liquor License.

The Utah Dept. of Alcoholic Beverage Control (UDABC) may require application for a Single Event Liquor License or other state permit.

TEMPORARY SIGNS

Will there be Temporary signs at the event? YES ☐ NO ☒ If yes, attach sign plan describing sign content, sizes and locations

ANIMALS AT EVENT

Will there be animals at the event? YES ☐ NO ☒ If yes, attach plan to address nuisances or health hazards associated with the animals.

COMMUNICATIONS NEEDS

Will there be installation of antenna for communications? YES ☐ NO ☒ If yes, attach site plan and specifications of antenna.

SAFETY - SECURITY

A Operational Plan is required for all events outlining : Security and Crowd Control specifics, Fire District and Access Information, First Aid & EMT requirements (**Refer to Park City Special Event Planning Guide for more information**)

Does your event require Law Enforcement services beyond routine periodic patrol? YES ☐ NO ☒

Upon review the Park City Police Department may require additional on-site personnel for event approval

MARKETING OF EVENT

Proper marketing your event is vital to its success. Please contact the Park City Chamber Bureau (www.parkcityinfo.com) as a resource.

Who is the target market for this event? *Park City residents*

Where is the target market for this event? Local ☒ Regional ☒ National ☐ International ☐

Will this event be televised? YES ☐ NO ☒ Local ☐ Regional ☐ National ☐ International ☐
Describe coverage:

Please list print advertisements including newspapers and magazines:

Please list range of marketing budget < \$100 ☐ \$100 - \$500 ☒ \$500 - \$1000 ☐ > \$1000 ☐

Refer to Park City Special Event Planning Guide for answers to the most frequently asked event related questions



Special Events
435.615.5150
specialevents@parkcity.org

Master Festival & Special Event Application

OPERATIONAL - PART A

PARADE / STREET CLOSURES – * SITE MAP MUST BE INCLUDED WITH APPLICATION*

Will this be a Complete Road Closure? YES ☐ NO ☒	Will this be a Partial Road Closure? YES ☐ NO ☒	Will this be a Rolling Road Closure? YES ☐ NO ☒
--	---	---

Names of Streets to be Closed : * SITE MAP, with proposed route if applicable, MUST BE INCLUDED WITH APPLICATION *

Street:	Between:	And:
Street:	Between:	And:
Street:	Between:	And:
Street:	Between:	And:

Description of reason for closure:

Days of Closure: (including setup and breakdown)	Start Date:	Reopen Date:	Time Of Closure:	Start:	End:
--	-------------	--------------	------------------	--------	------

Parade Information

Assembly Area:	Disbanding Area:	# of anticipated Entrants:
----------------	------------------	----------------------------

Does the event cross over city boundaries? YES ☐ NO ☐ Into Summit County ☐ Into Wasatch County ☐

PUBLIC FACILITY USE – * SITE MAP MUST BE INCLUDED WITH APPLICATION*

ADDITIONAL FEES MAY APPLY

Check any or all that apply :	☐ Miners Hospital	☐ Main Street - Miner's Park	☐ McPolin Barn
	☐ City Park Softball Field	☐ Library Field	☐ Dirt Jump Park
	☐ City Park Rugby Field	☐ Sports Complex Fields	☐ Skate Park
	☒ City Park Gazebo Area	☐ Ice Arena	
	☒ City Park Covered Picnic Area	☐ Rotary Park	

EVENT PARKING – * SITE MAP MUST BE INCLUDED WITH APPLICATION*

ADDITIONAL FEES MAY APPLY

Request for Closure of or Access to any public parking, This includes any activity that will remove public parking: YES ☐ NO ☐

If yes, you must complete a **Request for Special Use of Public Parking Application**

Will event parking be on Private property? YES ☐ NO ☒ (Written Permission from Owner of Private Parking Area is Required)

Will there be transportation services to and from Parking Lots? YES ☐ NO ☒

If yes, who is the provider? Name : Contact Information:

TEMPORARY STRUCTURES & IMPROVEMENTS – * SITE MAP MUST BE INCLUDED WITH APPLICATION*

All temporary structures must be approved and inspected by the Park City Building Department at 435-615-5100. Check all that apply

☐ Bleachers	☐ Inflatable's	☐ Canopies
☐ Stage/s	☐ Temporary Lighting	☐ Tent/s < 200 sq ft
☐ Trailer/s	☐ Structures over 6' in height	☐ Tent/s > 200 sq ft

Will you have electrical needs? YES ☐ NO ☐ Do you propose to use generators? YES ☐ NO ☐

What is the purpose of the structures:

Will you be using flammable materials, including fuels and gasses? YES ☐ NO ☐

Will you be requesting permits for fireworks? YES ☐ NO ☐

If yes to either above question, a **Fire Permit Application** must be submitted 20 days prior to the event.

Toilet Facilities – Depending on the size, scope and location of this event the SUMMIT COUNTY HEALTH DEPARTMENT may require additional public facilities. **Site plan must include the location of public facilities**

Refer to Park City Special Event Planning Guide for answers to the most frequently asked event related questions



Master Festival & Special Event Application

Special Events
435.615.5150
specialevents@parkcity.org

INFORMATIONAL - PART A

INSURANCE REQUIREMENTS

MUST BE SUBMITTED AT LEAST 10 DAYS PRIOR TO EVENT

Park City Municipal Corporation requires proof of liability Insurance in the minimum amount of two million dollars (\$ 2,000,000) and the applicant shall name Park City Municipal Corporation, 445 Marsac, P.O Box 1480, Park City, Utah 84060 as additionally insured

RULES AND REGULATIONS

To insure prompt and accurate processing of your application, ensure that ALL relevant support materials and documentation accompanies application. Failure to do so will constitute an incomplete application and may delay review.

A complete application must include a event site plan that includes, but may not be limited to the following: street closures, signs, operational vehicles, barricades, tents and other temporary structures, activity locations, bleachers, portable and fixed toilets, water stations, event headquarters, solid waste & recycle containers, entrances/exits, walkways, fire lanes, event route, operational plan, security / crowd control plan, power sources, cooking facilities, etc.

Upon application the Park City Special Event Department may set up a meeting to discuss your event

The Applicant(s) shall assume and reimburse the city for any and all costs and expenses determined by Park City Municipal Corporation such as City's staff's time if required at event, additional garbage or waste in city receptacles, providing, erecting or moving equipment such as barricades, directional or event signs, garbage and waste receptacles. Park City Municipal Corporation may require a deposit that shall not exceed one thousand dollars (\$ 1,000.00) to cover such expenses.

AGREEMENT AND SIGNATURE

I, the undersigned representative have read the rules and regulations with reference to this application and am duly authorized by the organization to submit this application on it's behalf. The information contained herein, including supporting documentation is complete and accurate.

Name (Printed)	J. Gregory Schirf	
Signature:	J. Gregory Schirf	Date: 8.30.11

Refer to Park City Special Event Planning Guide for answers to the most frequently asked event related questions



City Council Staff Report

Subject: Resolution Commemorating the Wasatch Brewery
25th Anniversary in Park City, Utah

Author: Jan Scott

Department: Executive Office

Date: October 13, 2011

Type of Item: Legislative

Summary Recommendations:

Adopt the Resolution commemorating the Wasatch Brewery's 25th Anniversary.

Background:

Owner Greg Schirf requested a proclamation from the City Council memorializing this special occasion as part of his Master Festival License application to host a free community celebration at City Park on Saturday, October 15, 2011.

Greg was instrumental in changing the liquor laws to allow breweries to operate in the state of Utah which triggered the proliferation and popularity of micro-breweries in Salt Lake City years ago once it became legal. The Wasatch Brewery first opened its brewing operations at 1450 Iron Horse in 1986 and two years later, the Park City Redevelopment Agency sold vacant property at 250 Main Street to him in order to construct the Wasatch Brew Pub.

Analysis:

It should be pointed out, although obvious to anyone who is familiar with Greg's wit and humor, that he authored the proclamation. Staff simply added pictures and graphics as his message couldn't be better delivered.

Department Review:

City Manager, Special Events Manager, and City Attorney.

Alternatives:

- A. Approve:**
This is staff's recommendation.
- B. Deny:**
Not recommended unless the MFL is denied for some unforeseen reason.
- C. Modify:**
Modifications can be made by Council.
- D. Continue the Item:**
Not practical because of the timing of the celebration.
- E. Do Nothing:**
Not recommended.

Recommendation:

Adopt the Resolution commemorating the Wasatch Brewery's 25th Anniversary.



RESOLUTION COMMEMORATING THE WASATCH BREWERY 25TH YEAR ANNIVERSARY IN PARK CITY, UTAH

WHEREAS, Wasatch Brewery, the oldest active brewery in Utah, established in Park City on October 26, 1986, is celebrating its 25th Anniversary as a local business; and

"We Drink Our Share And Sell The Rest"



Wasatch Beers
Fresh-brewed in Park City, Utah
Now Available Here!



WHEREAS, the Wasatch Brewery is commended for its steadfast commitment to its Mission Statement: The Wasatch Brewery pledges to make the highest quality of Ales and Lagers possible -- to achieve commercial viability, while maintaining an honorable level of social responsibility. *And to have as much fun as we can legally get away with;* and

WHEREAS, for the last 25 years the Wasatch Brewery, and its founder, Greg Schirf, have unwaveringly provided liquid solace and comfort to the down-trodden, to the minority imbibers, to the discriminated against, and to the thirsty masses; and

WHEREAS, in overcoming the unlikely odds of operating a successful brewery in a sometimes hostile environment, the Wasatch Brewery has employed hundreds of Park City workers over the years while supporting the image of Park City as a hospitable and fun loving place where visitors from all over the world are welcome, Wasatch Brewery is applauded; and

WHEREAS, no matter the temptation, its founder Greg Schirf and his loyal band of brewers never wavered from their obligation and slogan of *"drinking only their share and selling the rest"*. For this blessing, the community of Park City expresses its less than sobering gratitude;

NOW, THEREFORE BE IT RESOLVED that Mayor Dana Williams and the Park City Council are honored to recognize the 25th Year Anniversary of the Wasatch Brewery and encourage the citizenry to think global but drink local. And to always celebrate responsibly; and

BE IT FURTHER RESOLVED that all members of the Park City community are invited to the Wasatch Brewery 25th Anniversary Beer Bash, to be held at City Park on Saturday, October 15th, from 11:00 a.m. to 6:00 p.m. The festivities will include live music, kids Bounce House, an inspired selection of foods and yes . . . a list of seven Wasatch Beers, including the inaugural beer, Wasatch Premium Ale . Admission is free.

PASSED AND ADOPTED this 13th day of October, 2011.

PARK CITY MUNICIPAL CORPORATION

Mayor Dana Williams

Attest:

Janet M. Scott, City Recorder



City Council Staff Report



Subject: 50 Shadow Ridge Drive
Shadow Ridge Condominiums-
Second Amended plat
Author: Kirsten A. Whetstone, AICP
Date: October 13, 2011
Project Number: PL-10-00938
Type of Item: Administrative – Condominium Plat Amendment

Summary Recommendations

Staff recommends the City Council hold a public hearing, consider any input and consider approving the Shadow Ridge Condominiums Second Amended plat based on the findings of fact, conclusions of law, and conditions of approval stated in the attached ordinance.

Topic

Applicant: Shadow Ridge Condominiums Owners Association
Zoning: Recreation Commercial (RC)
Adjacent Land Uses: Condominiums, Park City Mountain Resort and parking lots, single family home.
Reason for Review: Amendments to condominium plats require Planning Commission review and recommendation to City Council with final action by the City Council.

Proposal

The Second Amended Shadow Ridge Condominium plat application requests five (5) changes to the current plat.

The first change is a request to divide existing Unit 4119 into 4 separate units, namely Unit 4119A, 4119B, 4119C and 4119D (see Exhibit A- sheet 1). The existing Unit 4119 is a 6,217.4 sf non-residential condominium Unit designated as private area and located on the first floor and Level A of the Shadow Ridge Condominiums building. Unit 4119 is currently physically divided into four spaces and utilized by four (4) separate tenants. The plat amendment would create four private units from one existing private, non-residential unit and would allow separate ownership of each unit. No new floor area is created and there are no exterior changes to the building proposed with this plat.

The second change is to combine existing Unit 4119A, a 110 sf non-residential condominium unit located on Level A (lower level) and directly below Unit 4119D, with proposed Unit 4119D (2,761 sf) (see Exhibit A- sheet 2). Unit 4119D would then consist of 2,871 sf (110sf plus 2,761 sf).

The third change is to convert from private area to common area four (4) smaller existing units, namely Units 4120, 4121, 4122, and 4123. These units are located on the first floor. These Unit areas are currently being used for common area for circulation, lobby, check-in desk, closets, and restrooms and would continue to be owned and

maintained by the HOA and utilized for common area uses (see Exhibit A- sheet 1 and Exhibit B).

The fourth change is to convert from private area to common area the condominium units 4004, 4005 and 4006. These units are located on the lower level A and are already currently utilized as common area for the Shadow Ridge condominium association (see Exhibit A- sheet 2 and Exhibit B).

The fifth change is to show the location of the 90 existing parking spaces within the limited common area on the two lower levels (see Exhibit A- sheets 2 and 3).

The plat amendment does not change the allowed uses within the building. Only support commercial use is permitted in the Condominium, as allowed by the RC Zone. No residential units are being amended and the floor area of the building does not change. There are no exterior changes as part of this plat amendment. No common area or limited common area is being converted to private area; however, 3,621 sf of private non-residential area on the Level A (Units 4004, 4005, 4006) is being converted to common area and 887.5 square feet of private area on the First Floor (Units 4120, 4121, 4122, and 4123) is being converted to common area. The total amount of square footage being converted from private area to common are is 4,508.square feet. No changes are proposed or required to the existing 90 underground parking spaces, however the location of the striping of the parking stalls is being indicated in that limited common area.

On September 28, 2011, the Planning Commission voted to forward to City Council a positive recommendation on the Shadow Ridge Condominiums second amended plat.

Background

Shadow Ridge Condominiums are located at 50 Shadow Ridge Drive adjacent to the Park City Mountain Resort. The property is located in the Recreation Commercial (RC) zoning district.

The Shadow Ridge Condominiums project was approved as a Conditional Use Permit on December 3, 1979. The CUP included 15,000 sf of non-residential uses, identified in the CUP only as “commercial uses”. The residential units were approved as part of the CUP as a “condominium/hotel”.

The original Shadow Ridge Condominiums plat created 56 residential units on 4 floors; convertible space on the first floor (10,980 sf) and convertible space on the lower level (9,770 sf); 30,000 sf of limited common parking area (the actual spaces were not designated on the plat); limited common area for decks, balconies, and other common area for circulation, access, entry, lobby, etc. The first plat was approved by City Council and recorded at Summit County on May 1, 1980.

In June of 1984 a first amended plat was approved and recorded at Summit County on June 21, 1984. The first amended plat created from the convertible space, eight non-residential condominium units (units 4116 to 4123) on the first floor and six non-residential condominium units (units 4001 to 4006) on the lower level. These units were all designated as private area for non-residential uses. There were no changes to the 56

residential units. Approximately 10,000 sf of support commercial area was condominiumized in the first floor in Units 4116, 4117, 4118, and 4119. Approximately 5,000 sf of support commercial area was condominiumized on Level A. The remaining units were used for back of house uses. The first amended plat also amended notes regarding assignment of limited common areas to various units.

The Shadow Ridge Condominium building was constructed in 1981. The property is subject to the Shadow Ridge CUP and the First Amended Shadow Ridge Condominium plat and recorded Declaration of Condominium, the First Supplement to the Declaration of Condominium of the Shadow Ridge Condominiums, and the Bylaws and Articles of Incorporation of the Shadow Ridge Condominiums Owners Association. Shadow Ridge Condominiums are not part of the Park City Mountain Resort Master Planned Development.

Currently, there are 56 existing residential condominium units ranging in area from 1,072 sf to 1,824 sf. The support commercial area is divided into 11 units ranging in area from 41.6 sf to 6,217 sf. The building also includes limited common area for exclusive use of the residential units, support commercial units, common area for use by the HOA and occupants, and 90 parking spaces in a two level underground parking structure. Access to the parking structure is off of Empire Avenue with the main condominium entrance and check in area accessed from Shadow Ridge Drive.

Planning Commission recommendation

On September 28, 2011, the Planning Commission conducted a public hearing and voted to forward a positive recommendation on the proposed Shadow Ridge Condominium second amended plat.

Current application

On March 25, 2010, the City received an application for the Second Amendment to the Shadow Ridge Condominiums plat. The plat amendment is a request to divide existing Unit 4119, a 6,217.4 sf non-residential condominium unit, into 4 separate non-residential units, namely Unit 4119A (985 sf), 4119B (732 sf), 4119C (1,636 sf) and 4119D (2,761 sf).

The application includes additional amendments, as described above, to convert private area to common area for use by the owners. No additional floor area or new residential units are created with the plat amendment. No additional parking is required. No exterior changes to the building are proposed.

The project was approved with 67 parking spaces per the Land Management Code at the time of approval. Ninety (90) spaces were constructed. The current Land Management Code requires 2 parking spaces for each unit greater than 1,000 sf and 3 spaces per 1,000 sf of commercial space (support commercial and common areas do not require parking). The current LMC would require 112 parking spaces for this project, (2 spaces per unit) unless a parking reduction is granted by the Planning Commission at the time of approval of a Master Planned Development. At the time of CUP approval it was determined that 67 parking spaces were required.

Analysis

Zoning for the subdivision is Resort Commercial (RC). The applicable purposes of the RC zone include the following:

- Allow for the development of hotels and convention accommodations in close proximity to major recreation facilities.
- Allow for resort-related transient housing with appropriate supporting commercial and service activities.
- Encourage the clustering of residential units to preserve natural open space and minimize site disturbance, and impacts of development and minimize cost of municipal services.
- Limit new Development on visible hillsides and sensitive view areas.
- Provide opportunities for variation in architectural design and housing types.
- Promote pedestrian connections within Developments and to adjacent areas.
- Minimize architectural impacts of the automobile.
- Promote the Development of Buildings with designs that reflect traditional Park City architectural patterns, character, and Site designs.
- Promote Park City's mountain and Historic character by designing projects that relate to the mining and Historic architectural heritage of the City, and
- Promote the preservation and rehabilitation of Historic Structures.

The proposed amendments are consistent with the purpose statements of the RC zone in that the use as residential condominiums is unchanged, there is no additional floor area created, and private area on Level A is being converted to common area for the use of the owners and guests. There are 90 parking spaces in an underground parking structure. There are no exterior changes to the building. The use is in close proximity to the Park City Mountain resort promoting pedestrian access and the resort amenities.

The plat amendment is not changing the building height, setbacks, floor area, parking, or making any exterior changes. The building complies with the rear 10' setbacks and the 20' front setbacks of the Recreation Commercial (RC) zone, with the exception that all decks and balconies extend into the 20' front yard area by 2' to 4'. These decks and balconies were permitted as an exception in the setback area with the Conditional Use permit. The building height is 40' feet from existing grade (prior to construction) and in compliance with the height permitted with the Conditional Use permit, however the building is non-complying with respect to the current 35' building height of the RC zone, as mansard roofs do not qualify for the 5' height exception in the current LMC.

The 1979 Conditional Use permit was approved with 15,000 square feet of non-residential area. The approval does not specify whether or not the non-residential area was support commercial or commercial space. In 1982, the Planning Director at the time, William C. Ligety, wrote a letter stating a proposed small-scale liquor outlet would be permissible within the Shadow Ridge Condominium project because it was a support commercial use. Ligety states, "Located within the Recreation Commercial (RC) Zone district, Section 4.10.2.2 of the Land Management Code allows retail commercial activities that are secondary to and compatible with residential uses." (Exhibit E)

The current Land Management Code allows Office and Commercial use as a Conditional Use within the RC zone as support use to primary Development or Use, subject to provisions of the LMC Chapter 15-6, Master Planned Development. The commercial areas within the Shadow Ridge condominium building are restricted to support commercial uses as allowed by the RC zone.

The current proposal is a request to divide up one of the existing non-residential condominium units into four separate units and does not create new support commercial space. Current uses are support commercial such as a ski shop, a conference room, a catering kitchen, conference room, spa and exercise area, and vacant lease space that has been used for real estate and property management offices. All uses are required to have a business license. At the time of business license review, actual uses are reviewed by Planning, Building, and Finance for compliance with the RC zone requirements.

Staff finds good cause for this plat amendment as the commercial areas can be individually sold and maintained. The plat amendment does not change the type of commercial uses that are allowed. The plat amendment also accurately reflects the uses and ownership on the first and lower levels by converting private areas to common area to allow HOA ownership and control of those areas utilized by the owners and guests. The amendment does not change the exterior of the building. The plat also formally designates parking spaces with the limited common parking garage area.

Department Review

The plat amendment application was taken before the Development Review team on April 13, 2010 and August 10, 2010. Issues were raised regarding the types of uses allowed, the parking, and the configuration of private and common area within the building. A revised plat was submitted on March 4, 2011 that addressed these issues.

Notice

The property was posted and notice was mailed to property owners within 300 feet. Legal notice was published in the Park Record.

Public Input

Staff has not received any public input at the time of this report.

Future Process

Approval of this application by the City Council would constitute Final Action that may be appealed following the procedures found in LMC 15-1-18.

Recommendation

Staff recommends the City Council hold a public hearing, consider any input and consider approving the Shadow Ridge Condominiums Second Amended plat based on the findings of fact, conclusions of law, and conditions of approval stated in the attached ordinance.

Exhibits

Ordinance

Exhibit A- Proposed plat

Exhibit B- Existing plats

Exhibit C- Existing conditions survey

Exhibit D- Applicant's letter

Exhibit E- 1982 Planning Director letter regarding commercial uses

Ordinance 11-

AN ORDINANCE APPROVING THE SECOND AMENDMENT TO THE SHADOW RIDGE CONDOMINIUMS RECORD OF SURVEY PLAT LOCATED AT 50 SHADOW RIDGE DRIVE, PARK CITY, UTAH.

WHEREAS, the owners of the property known as the Shadow Ridge Condominiums, located at 50 Shadow Ridge Drive, have petitioned the City Council for approval of plat amendments to the Shadow Ridge Condominium plat amending non-residential Units 4119, 4004, 4005, 4006, 4120, 4121, 4122, and 4123 and amending associated common and limited common areas within the plat; and

WHEREAS, the property was properly noticed and posted according to the requirements of the Land Management Code; and

WHEREAS, proper legal notice was sent to all affected property owners; and

WHEREAS, the Planning Commission held a public hearing on September 28 2011, to receive input on the proposed amendments to the Shadow Ridge Condominiums plat;

WHEREAS, on September 28, 2011, the Planning Commission forwarded a recommendation to the City Council; and,

WHEREAS, on October 13, 2011, the City Council held a public hearing on the proposed amendments to the Shadow Ridge Condominiums plat; and

WHEREAS, it is in the best interest of Park City, Utah to approve the Second Amended Shadow Ridge Condominiums plat.

NOW, THEREFORE BE IT ORDAINED by the City Council of Park City, Utah as follows:

SECTION 1. APPROVAL. The above recitals are hereby incorporated as findings of fact. The Second Amended Shadow Ridge Condominium plat as shown in Exhibit A is approved subject to the following Findings of Facts, Conclusions of Law, and Conditions of Approval:

Findings of Fact:

1. The property is located at 50 Shadow Ridge Drive.
2. The property is subject to the 1979 Shadow Ridge Conditional Use permit.
3. The proposed plat amendment amends Shadow Ridge Condominium Units 4119, 4004, 4005, 4006, 4120, 4121, 4122, and 4123 and amends associated common and limited common areas within the plat. These are non-residential private units.
4. Shadow Ridge Condominiums plat created 56 residential units on 4 floors; convertible space on the first floor (10,980 sf) and convertible space on the lower level (9,770 sf); 30,000 sf of limited common parking area (spaces were not designated on the plat); limited common area for decks, balconies, and other common area for circulation, access, entry, lobby, etc. The first plat was approved

- by City Council and recorded at Summit County on May 1, 1980
5. The plat amendment is not changing the building height, setbacks, floor area, parking configuration, or making any exterior changes. The building complies with the rear 10' setbacks and the 20' front setbacks of the Recreation Commercial (RC) zone, with the exception that all decks and balconies extend into the 20' front yard area by 2' to 4'. These decks and balconies were permitted as an exception in the setback area with the Conditional Use permit. The building height is 40' feet and in compliance with the height permitted with the Conditional Use permit, however the building is non-complying with respect to the current 35' building height of the RC zone, as mansard roofs do not qualify for the 5' height exception in the current LMC.
 6. In June of 1984 a first amended plat was approved. The plat was recorded at Summit County on June 21, 1984. The first amended plat created, from the convertible space, eight commercial condominium units (units 4116 to 4123) on the first floor and six commercial condominium units (units 4001 to 4006) on the lower level. These units were all designated as private area for non-residential uses.
 7. On January 22, 2010, the Shadow Ridge Condominium owner's association voted to approve the proposed plat amendments.
 8. On March 25, 2010, the City received a completed application for a condominium record of survey plat amendment requesting these amendments to the First Amended Shadow Ridge Condominium plat.
 9. On March 4, 2011, the City received a revised plat.
 10. There is no change to any residential unit and no change in the overall building floor area. No exterior changes are proposed with this plat amendment.
 11. Ninety (90) parking spaces exist within the parking structure and the plat amendment identifies these spaces within the limit common area on the lower levels. No additional parking is proposed.
 12. The project was approved with 67 parking spaces per the Land Management Code at the time of Conditional Use approval. The current Land Management Code requires 2 parking spaces for each unit greater than 1,000 sf and 3 spaces per 1,000 sf of commercial space (support commercial and common areas do not require parking).
 13. The current LMC would require 112 parking spaces for the 56 units, unless a parking reduction is granted by the Planning Commission at the time of approval of a Master Planned Development. At the time of CUP approval it was determined that 67 parking spaces were required for the units.
 14. No additional floor area or new residential units are created with the plat amendment and no additional parking is required.
 15. The commercial areas within the Shadow Ridge condominium building are restricted to support commercial uses. The current proposal is a request to divide up one of the existing commercial condominium units into four separate units and does not create new support commercial space.
 16. At the time of business license review, proposed uses within the Shadow Ridge condominium building will be reviewed by Planning, Building, and Finance for compliance with the Building and Fire Codes and the RC zone requirements.

Conclusions of Law:

1. There is good cause for this plat amendment.
2. The record of survey is consistent with the Park City Land Management Code and

applicable State law regarding condominium plats.

3. Neither the public nor any person will be materially injured by the proposed plat amendment.
4. Approval of the plat amendment, subject to the conditions stated below, does not adversely affect the health, safety and welfare of the citizens of Park City.

Conditions of Approval:

1. The City Attorney and City Engineer will review and approve the final form and content of the plat for compliance with State law, the Land Management Code, and the conditions of approval.
2. The applicant will record the plat amendment at the County within one year from the date of City Council approval. If recordation has not occurred within one year's time, this approval for the plat amendment will be void, unless a complete application requesting an extension is made in writing prior to the expiration date and an extension is granted by the City Council.
3. All construction requires a Building Permit and approvals from the Building and Planning Departments.
4. The commercial areas within the Shadow Ridge condominium building are restricted to support commercial uses as provided in the Recreation Commercial (RC) zone.
5. Any change of use requires a business license with review by the Planning, Building, and Finance Departments.
6. All conditions of approval of the 1979 Shadow Ridge Conditional Use Permit and the 1984 First Amended Shadow Ridge Condominium plat continue to apply.

SECTION 2. EFFECTIVE DATE. This Ordinance shall take effect upon publication.

PASSED AND ADOPTED this ____ day of October 13, 2011.

PARK CITY MUNICIPAL CORPORATION

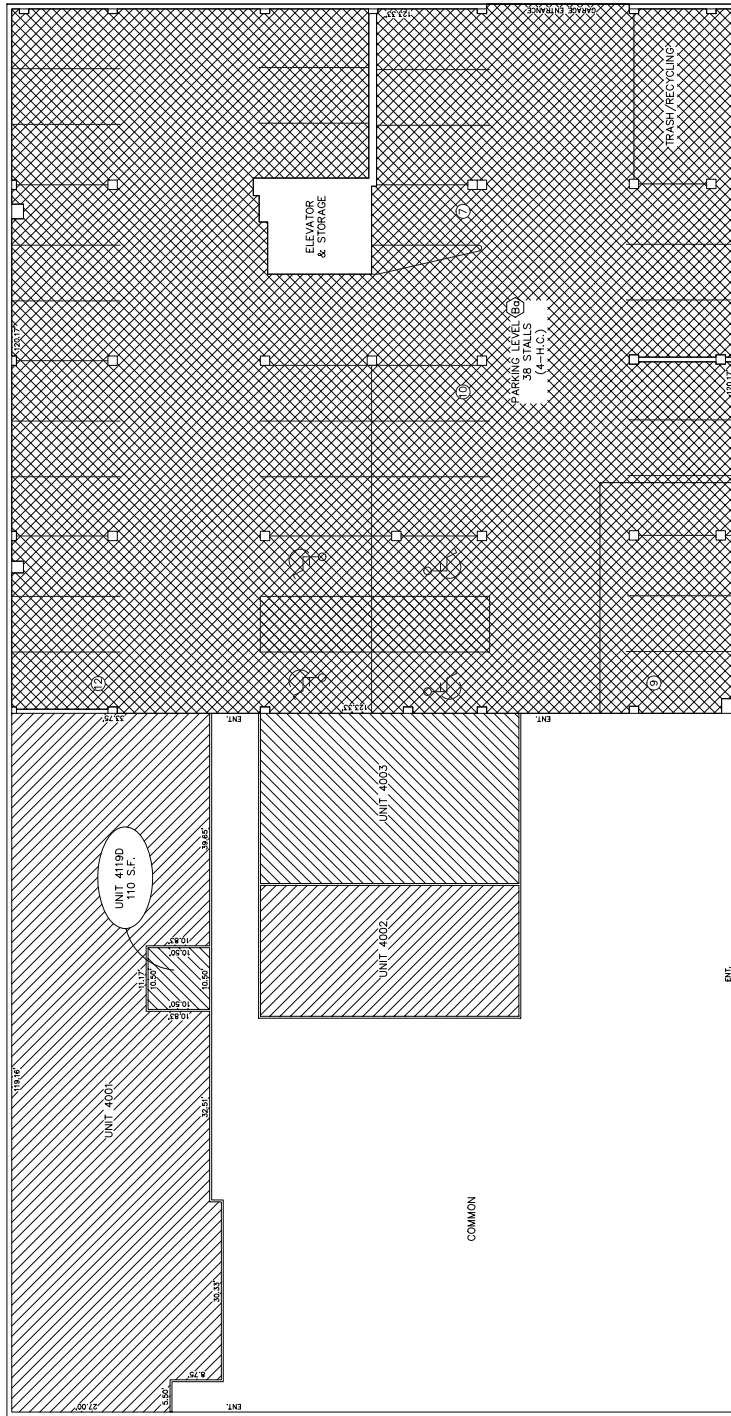
Dana Williams, MAYOR

ATTEST:

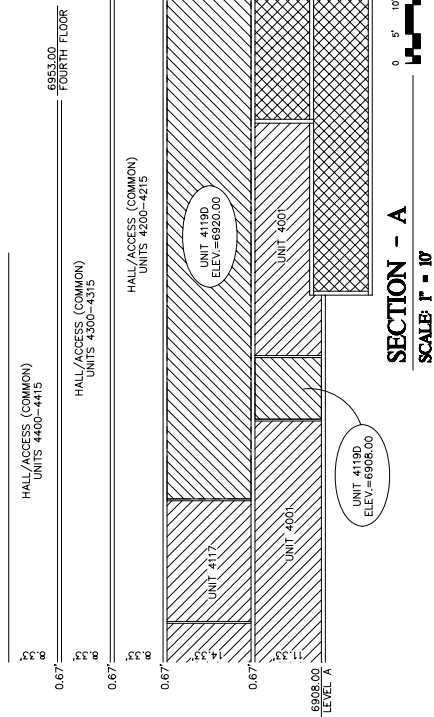
Jan Scott, City Recorder

APPROVED AS TO FORM:

Mark Harrington, City Attorney



PLAN - LEVEL A
SCALE: 1" = 10'



SECTION - A
SCALE: 1" = 10'



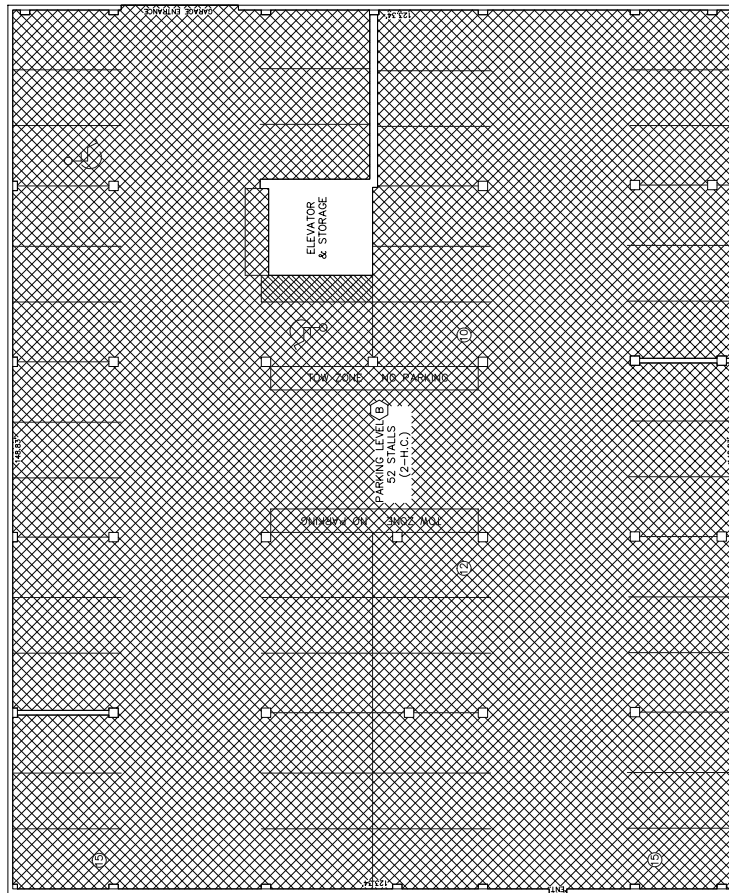
SHEET 2 OF 3

Evergreen Engineering, Inc.
Civil Engineering • Land Surveying • Land Planning
1070 Bonanza Drive • Suite 100
Provo, UT 84601
Phone: (435) 644-6607 • Fax: (435) 644-9219
E-mail: info@evergreeneng.com

HATCHING LEGEND
COMMON AREA
LIMITED COMMON AREA
PRIVATE AREA

RECORDED

STATE OF UTAH COUNTY OF SUMMIT AND FILED
AT THE REQUEST OF _____ PAGE _____
DATE _____ TIME _____ BOOK _____
FEE _____ RECORDER _____



PLAN - LEVEL B
SCALE: 1" = 10'



HATCHING LEGEND

	COMMON AREA
	LIMITED COMMON AREA
	PRIVATE AREA



SHEET 3 OF 3
Drawing Name: 20-24-Submittal

Evergreen Engineering, Inc.
Civil Engineering • Land Surveys • Land Planning
1070 Bonanza Drive • Suite 100
Provo, UT 84601 • Phone: (435) 644-6627 • Fax: (435) 644-9219
E-mail: info@evergreeneng.com

RECORDED

STATE OF UTAH COUNTY OF SUMMIT AND FILED
AT THE REQUEST OF _____
DATE _____ TIME _____ BOOK _____ PAGE _____

FEE _____ RECORDER _____

SURVEYOR'S CERTIFICATE

I, **Patrick C. Aisup**, a duly qualified and licensed Professional Engineer, State of Utah, do hereby certify that the foregoing is a true and correct copy of the original survey map made by me or under my direct supervision and that the description correctly describes the land surface upon which there has been constructed

SHADOW RIDGE CONDOMINIUMS

BEGINS AT A POINT WHICH LIES
SOUTH 122.86 FEET FROM THE NORTHWEST CORNER OF THE
SECTION 16, T.2S, R.4E, S.18.4M, AND
RUNNING THENCE
5.5400' W. 28.03' FEET, THENCE
N.54.01' E. 28.03' FEET, THENCE
S.35.51' E. 155.00' FEET TO THE POINT OF BEGINNING
CONTAINS 1.000 ACRES



CERTIFICATE OF CONSENT TO RECORD

KNOW ALL MEN BY THESE PRESENTS THAT WE THE UNDERSIGNED, OWNERS OF THE INTERESTS IN THE SHADOW RIDGE CONDOMINIUMS, DO HEREBY CONSENT TO THE RECORDATION OF THIS RECORD OF SURVEY MAP IN ACCORDANCE WITH THE UTAH CONDOMINIUM OWNERSHIP ACT.

John E. Christensen, May, Mortimer, Christensen, Papp
John E. Christensen, May, Mortimer, Christensen, Papp

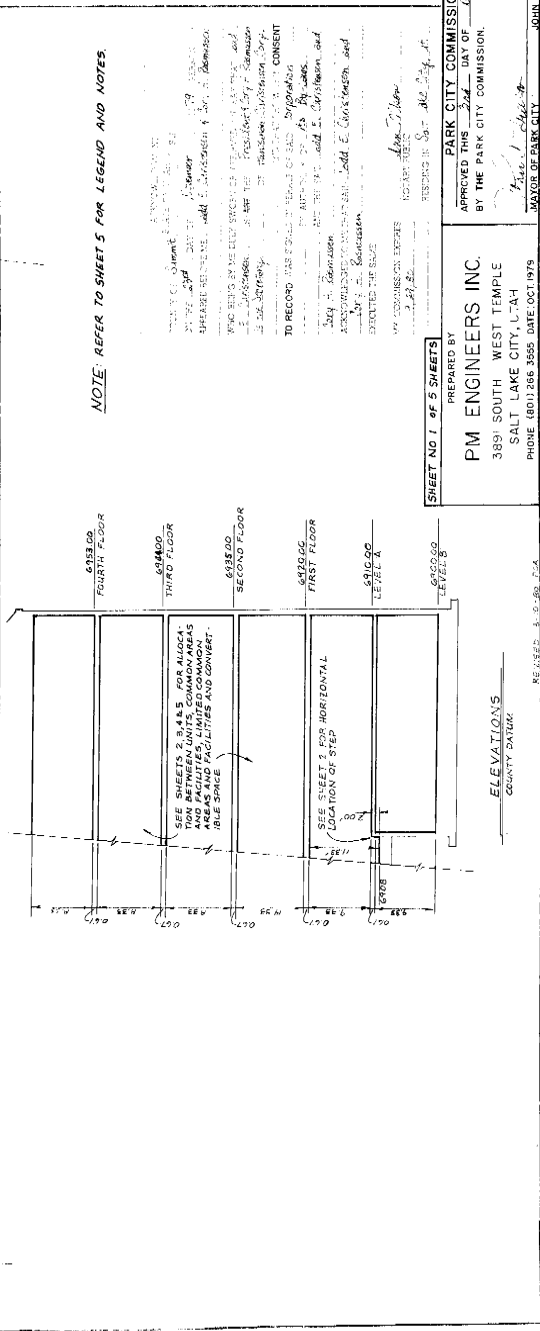
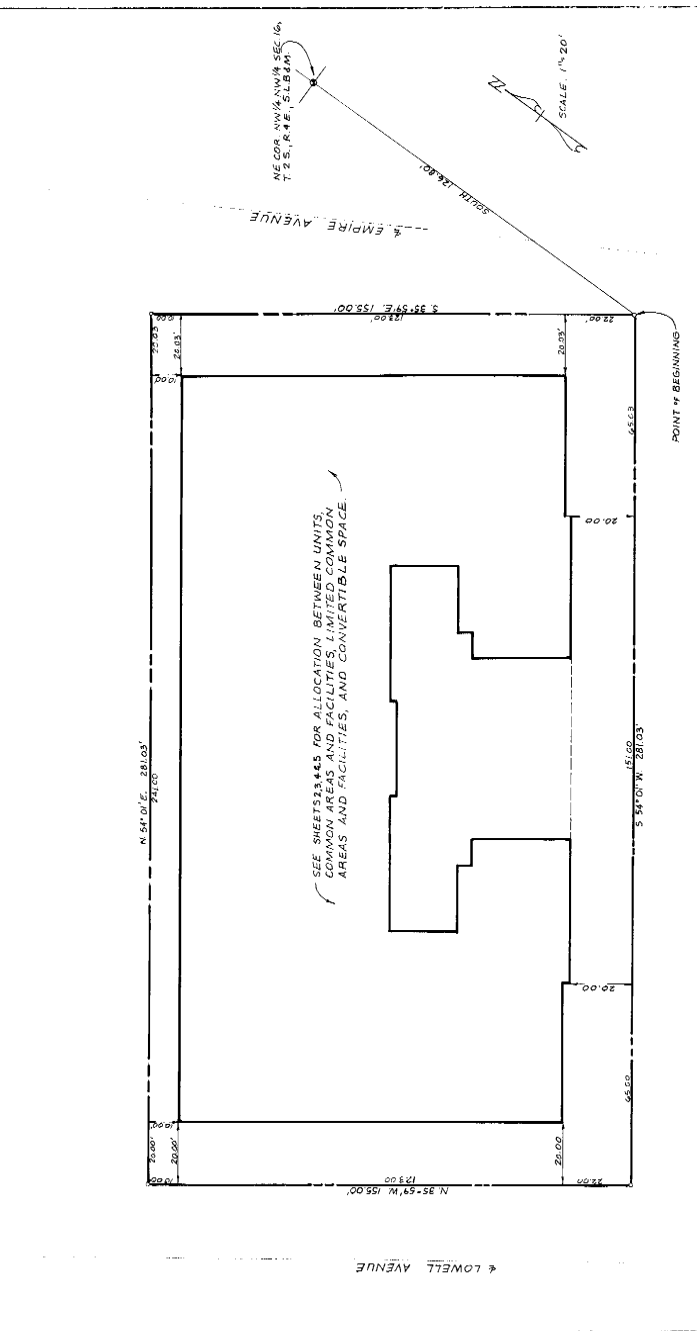
STATE OF UTAH
 COUNTY OF SUMMIT

On this 28th day of May, A.D. 1979, the undersigned, the undersigned hereby certify that the foregoing is a true and correct copy of the original survey map made by me or under my direct supervision and that the description correctly describes the land surface upon which there has been constructed

SHADOW RIDGE CONDOMINIUMS

LOCATED IN SECTION 16, T.2S, R.4E

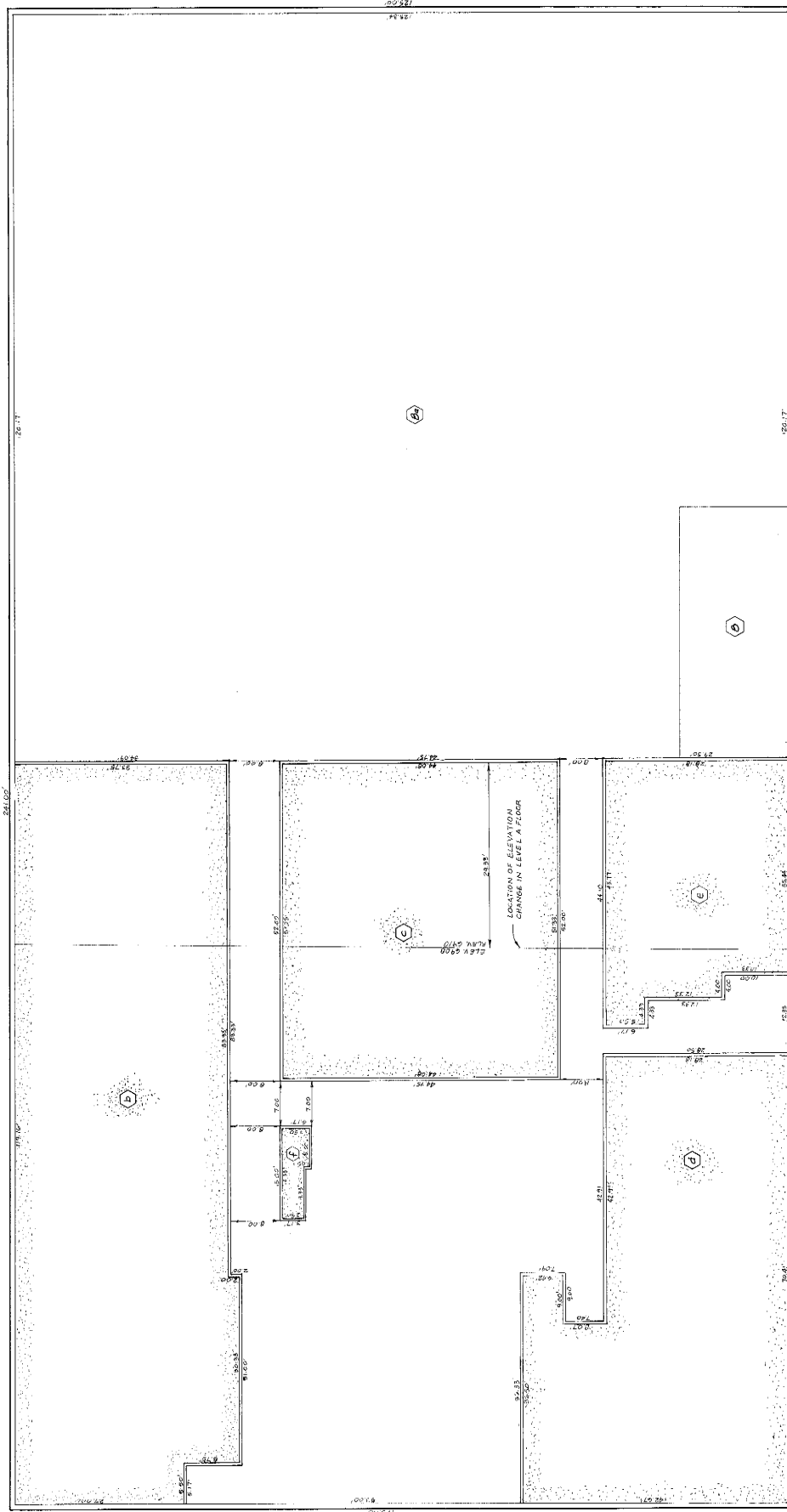
APPROVED THIS 28th DAY OF May, 1979
 BY THE PARK CITY COMMISSION
 Hinkson, Christensen, Corporation
 51-90 20-24-5
 51-90 S A 24-5
 51-90 S A 24-5



NOTE: REFER TO SHEET 5 FOR LEGEND AND NOTES.

SHEET NO. 1 OF 5 SHEETS
 PREPARED BY
PM ENGINEERS INC.
 3891 SOUTH WEST TEMPLE
 SALT LAKE CITY, UTAH
 PHONE (801) 266-3555 DATE: OCT 1979

ELEVATIONS
 COUNTY DATUM



LEVEL A FLOOR PLAN

SHADOW RIDGE CONDOMINIUMS

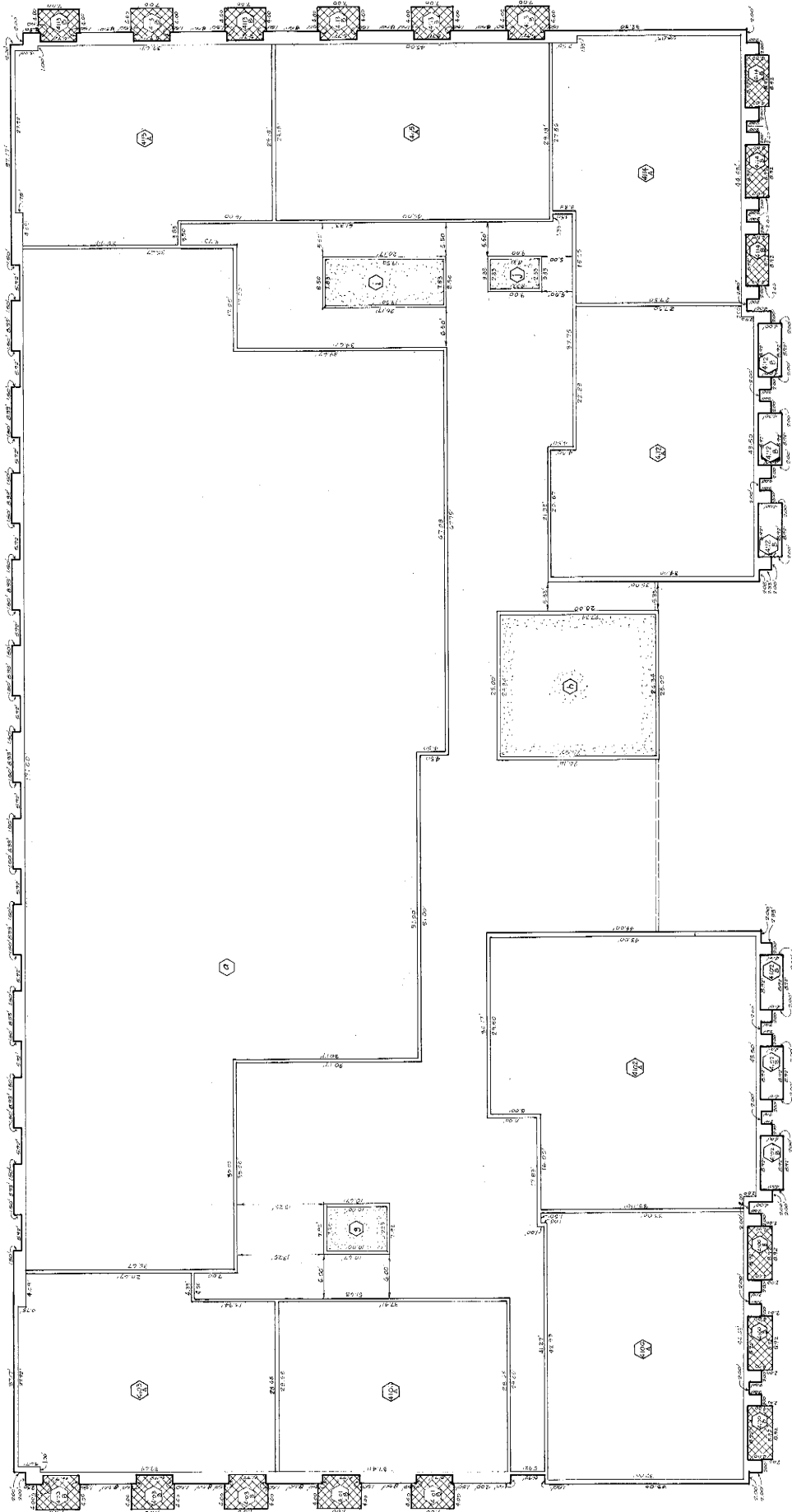
NOTE: REFER TO SHEET 5 FOR LEGEND AND NOTES.

RECEIVED: 9-11-80 KCA

PREPARED BY: PM ENGINEERS INC.
3891 SOUTH WEST TEMPLE
SALT LAKE CITY, UTAH
PHONE (801) 566-3555 DATE OCT. 1979

RECORDED: 1-14-81
STATE OF UTAH, COUNTY OF SUMMIT RECORDED AND FILED AT THE REQUEST OF: *Shadown Ridge Condominiums*
DATE: 5-7-82 TIME: 2:25 BOOK: 111 PAGE: 11
FILED: *Shadown Ridge Condominiums*
SUMMIT COUNTY RECORDER

SHEET 2 OF 5 SHEETS



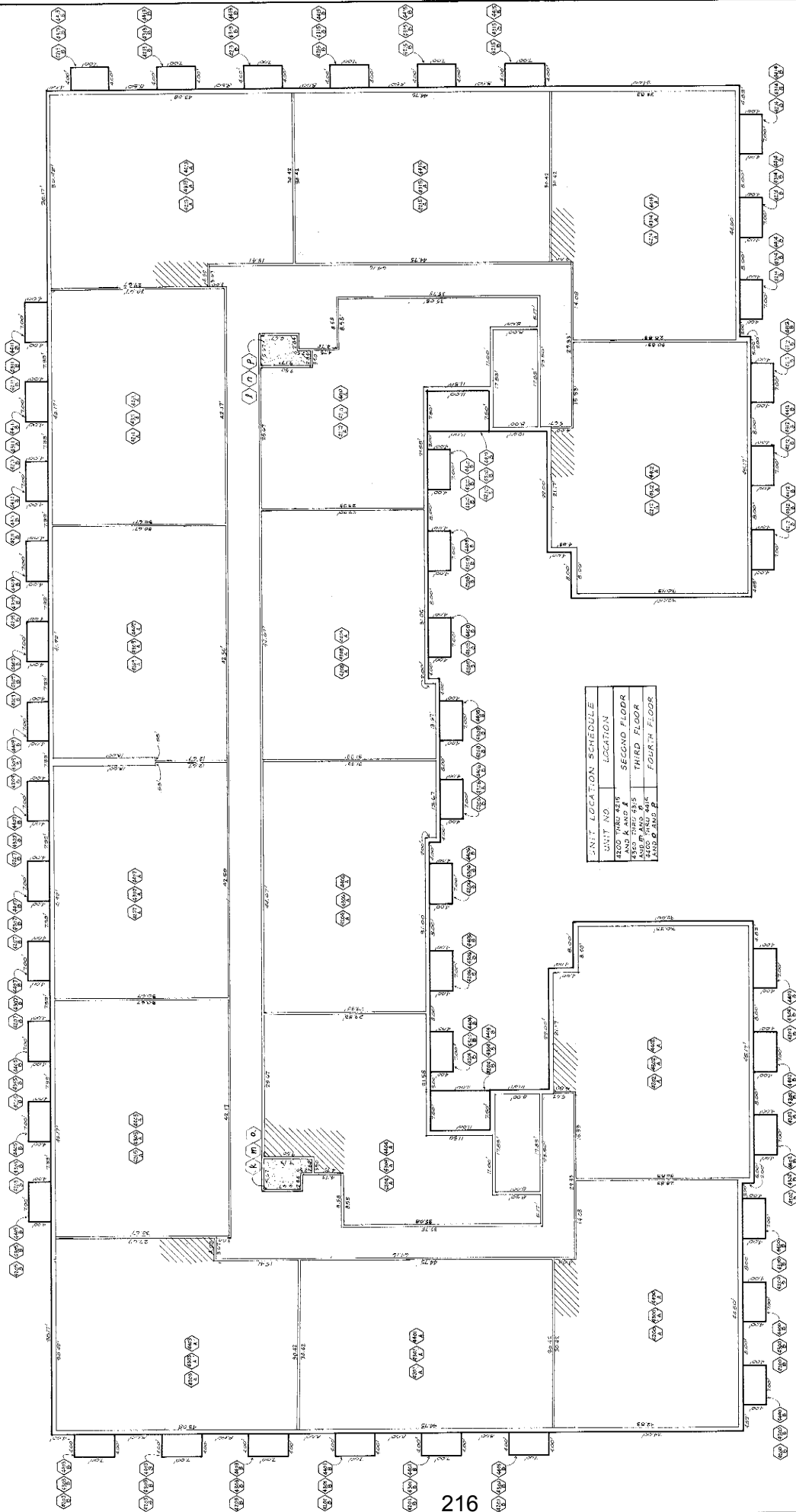
FIRST FLOOR PLAN

SHADOW RIDGE CONDOMINIUMS

PREPARED BY
PM ENGINEERS INC.
 3891 SOUTH WEST TEMPLE
 SALT LAKE CITY, UTAH
 PHONE (801) 246-3555 DATE: OCT. 1979

NOTE: REFER TO SHEET 5 FOR LEGEND AND NOTES.
 RECORDED IN 16 & 2307
 STATE OF UTAH COUNTY OF SUMMIT, RECORDED AND FILED AT THE
 REQUEST OF
Franklin - Chas. Brown Corporation
 DATE *6-1-83* TIME *2:15* BOOK *161* PAGE
87 OF *90*
Shadey & Associates
 SUMMIT COUNTY RECORDS

SHEET 3 OF 5 SHEETS



UNIT LOCATION SCHEDULE	
UNIT NO.	LOCATION
201-240	SECOND FLOOR
241-280	THIRD FLOOR
281-320	FOURTH FLOOR

SECOND, THIRD + FOURTH FLOOR PLANS

SHADOW RIDGE CONDOMINIUMS

PREPARED BY
P M ENGINEERS INC.
 3891 SOUTH WEST TEMPLE
 SALT LAKE CITY, UTAH
 PHONE (801) 266-3555 DATE: OCT. 1979

NOTE: REFER TO SHEET 5 FOR LEGEND AND NOTES.

RECORDED BY
 STATE OF UTAH, COUNTY OF SUMMIT, RECORDED AND FILED AT THE REQUEST OF
 ST. JOHNS CONDOMINIUM ASSOCIATION
 DATE: 5-27-80 TIME: 2:12 P.M.
 BY: S.C.O.
 SUMMIT COUNTY RECORDER

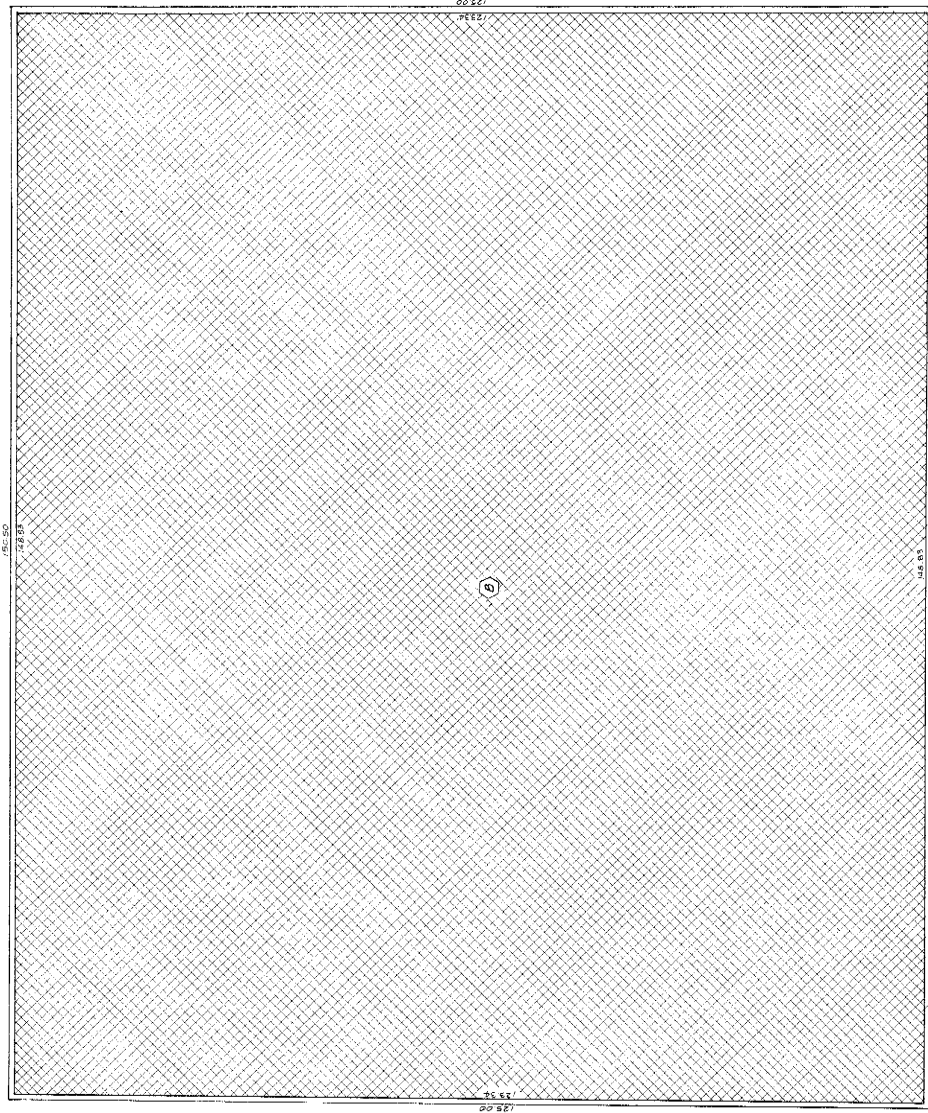
SHT. 4 OF 5 SHEETS

LEGEND:

- WALLING LINE
- PERIMETER LINE
- STREET CENTER LINE
- WALLS AND PARTITIONS
- CONVERTIBLE SPACE (ARTS a, b, c, etc. REFER TO CONVENTIBLE SPACES)
- COMMON AREAS AND FACILITIES
- UNITED STATES MARINE AND POLICE (ARTS a, b, c, etc. REFER TO UNITED STATES MARINE AND POLICE (ARTS a, b, c, etc. REFER TO THE RESPECTIVE UNITS (SEE NOTE 1, ART 1, HELIX))
- UNIT (LITTER A REFERS TO UNIT NUMBER)

NOTES:

1. (a) UNITED STATES MARINE AND POLICE (ARTS a, b, c, etc. REFER TO THE RESPECTIVE UNITS (SEE NOTE 1, ART 1, HELIX))
2. (b) UNITED STATES MARINE AND POLICE (ARTS a, b, c, etc. REFER TO THE RESPECTIVE UNITS (SEE NOTE 1, ART 1, HELIX))



LEVEL B FLOOR PLAN

SHADOW RIDGE CONDOMINIUMS

PREPARED BY
PM ENGINEERS INC.
3891 SOUTH WEST TEMPLE
SALT LAKE CITY, UTAH
PHONE (801) 264-1555 DATE: MAY, 1989

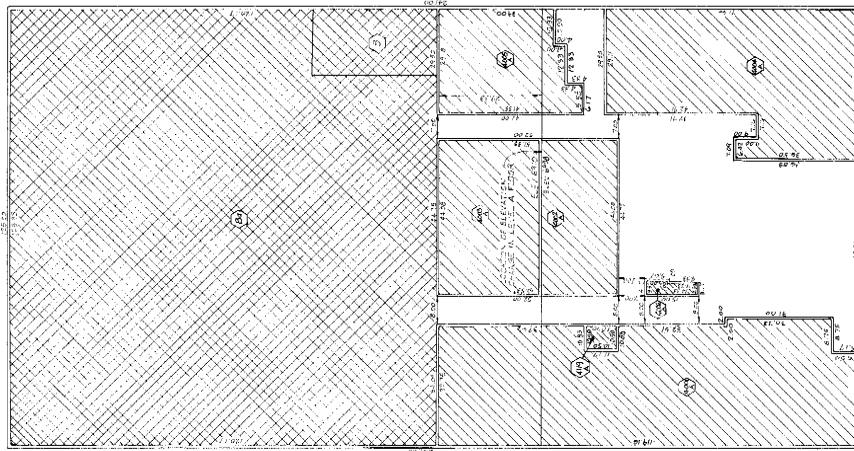
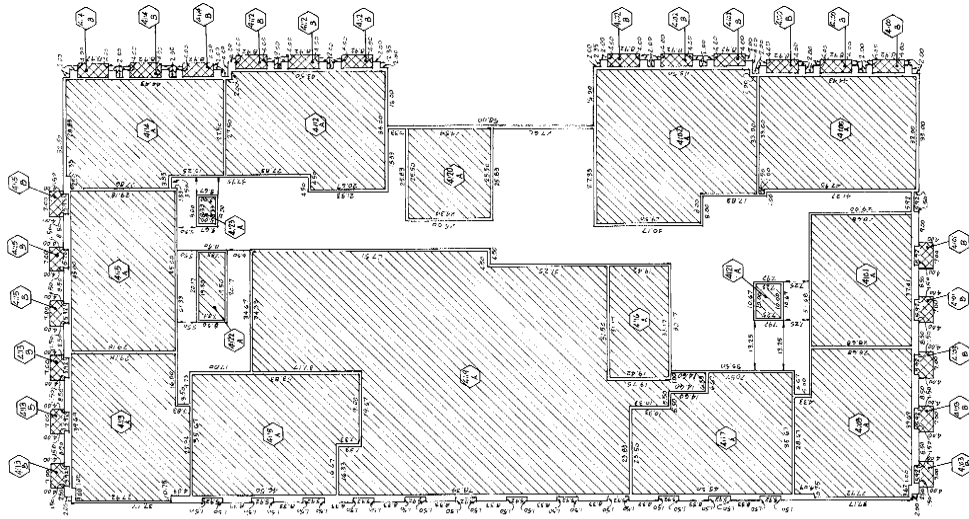
SHEET 5 OF 5 SHEETS

NOTE: REFER TO THIS SHEET FOR LEGEND AND NOTES.

RECORDED IN 11/1/89
STATE OF UTAH, COUNTY OF SUMMIT, RECORDED AND FILED AT THE
REQUEST OF
DATE 11-1-89 TIME 2:45 PM BOOK 118 PAGE 1
BY J. L. SMITH
SUMMIT COUNTY RECORDER

SECTION 14, T4N, R10E

LINE NO.	AREA	LENGTH	WIDTH	PERIMETER
1	400	13.41	1.6	423.0
2	400	13.41	1.6	423.0
3	400	13.41	1.6	423.0
4	400	13.41	1.6	423.0
5	400	13.41	1.6	423.0
6	400	13.41	1.6	423.0
7	400	13.41	1.6	423.0
8	400	13.41	1.6	423.0
9	400	13.41	1.6	423.0
10	400	13.41	1.6	423.0
11	400	13.41	1.6	423.0
12	400	13.41	1.6	423.0
13	400	13.41	1.6	423.0
14	400	13.41	1.6	423.0
15	400	13.41	1.6	423.0
16	400	13.41	1.6	423.0
17	400	13.41	1.6	423.0
18	400	13.41	1.6	423.0
19	400	13.41	1.6	423.0
20	400	13.41	1.6	423.0
21	400	13.41	1.6	423.0
22	400	13.41	1.6	423.0
23	400	13.41	1.6	423.0
24	400	13.41	1.6	423.0
25	400	13.41	1.6	423.0
26	400	13.41	1.6	423.0
27	400	13.41	1.6	423.0
28	400	13.41	1.6	423.0
29	400	13.41	1.6	423.0
30	400	13.41	1.6	423.0
31	400	13.41	1.6	423.0
32	400	13.41	1.6	423.0
33	400	13.41	1.6	423.0
34	400	13.41	1.6	423.0
35	400	13.41	1.6	423.0
36	400	13.41	1.6	423.0
37	400	13.41	1.6	423.0
38	400	13.41	1.6	423.0
39	400	13.41	1.6	423.0
40	400	13.41	1.6	423.0
41	400	13.41	1.6	423.0
42	400	13.41	1.6	423.0
43	400	13.41	1.6	423.0
44	400	13.41	1.6	423.0
45	400	13.41	1.6	423.0
46	400	13.41	1.6	423.0
47	400	13.41	1.6	423.0
48	400	13.41	1.6	423.0
49	400	13.41	1.6	423.0
50	400	13.41	1.6	423.0
51	400	13.41	1.6	423.0
52	400	13.41	1.6	423.0
53	400	13.41	1.6	423.0
54	400	13.41	1.6	423.0
55	400	13.41	1.6	423.0
56	400	13.41	1.6	423.0
57	400	13.41	1.6	423.0
58	400	13.41	1.6	423.0
59	400	13.41	1.6	423.0
60	400	13.41	1.6	423.0
61	400	13.41	1.6	423.0
62	400	13.41	1.6	423.0
63	400	13.41	1.6	423.0
64	400	13.41	1.6	423.0
65	400	13.41	1.6	423.0
66	400	13.41	1.6	423.0
67	400	13.41	1.6	423.0
68	400	13.41	1.6	423.0
69	400	13.41	1.6	423.0
70	400	13.41	1.6	423.0
71	400	13.41	1.6	423.0
72	400	13.41	1.6	423.0
73	400	13.41	1.6	423.0
74	400	13.41	1.6	423.0
75	400	13.41	1.6	423.0
76	400	13.41	1.6	423.0
77	400	13.41	1.6	423.0
78	400	13.41	1.6	423.0
79	400	13.41	1.6	423.0
80	400	13.41	1.6	423.0
81	400	13.41	1.6	423.0
82	400	13.41	1.6	423.0
83	400	13.41	1.6	423.0
84	400	13.41	1.6	423.0
85	400	13.41	1.6	423.0
86	400	13.41	1.6	423.0
87	400	13.41	1.6	423.0
88	400	13.41	1.6	423.0
89	400	13.41	1.6	423.0
90	400	13.41	1.6	423.0
91	400	13.41	1.6	423.0
92	400	13.41	1.6	423.0
93	400	13.41	1.6	423.0
94	400	13.41	1.6	423.0
95	400	13.41	1.6	423.0
96	400	13.41	1.6	423.0
97	400	13.41	1.6	423.0
98	400	13.41	1.6	423.0
99	400	13.41	1.6	423.0
100	400	13.41	1.6	423.0



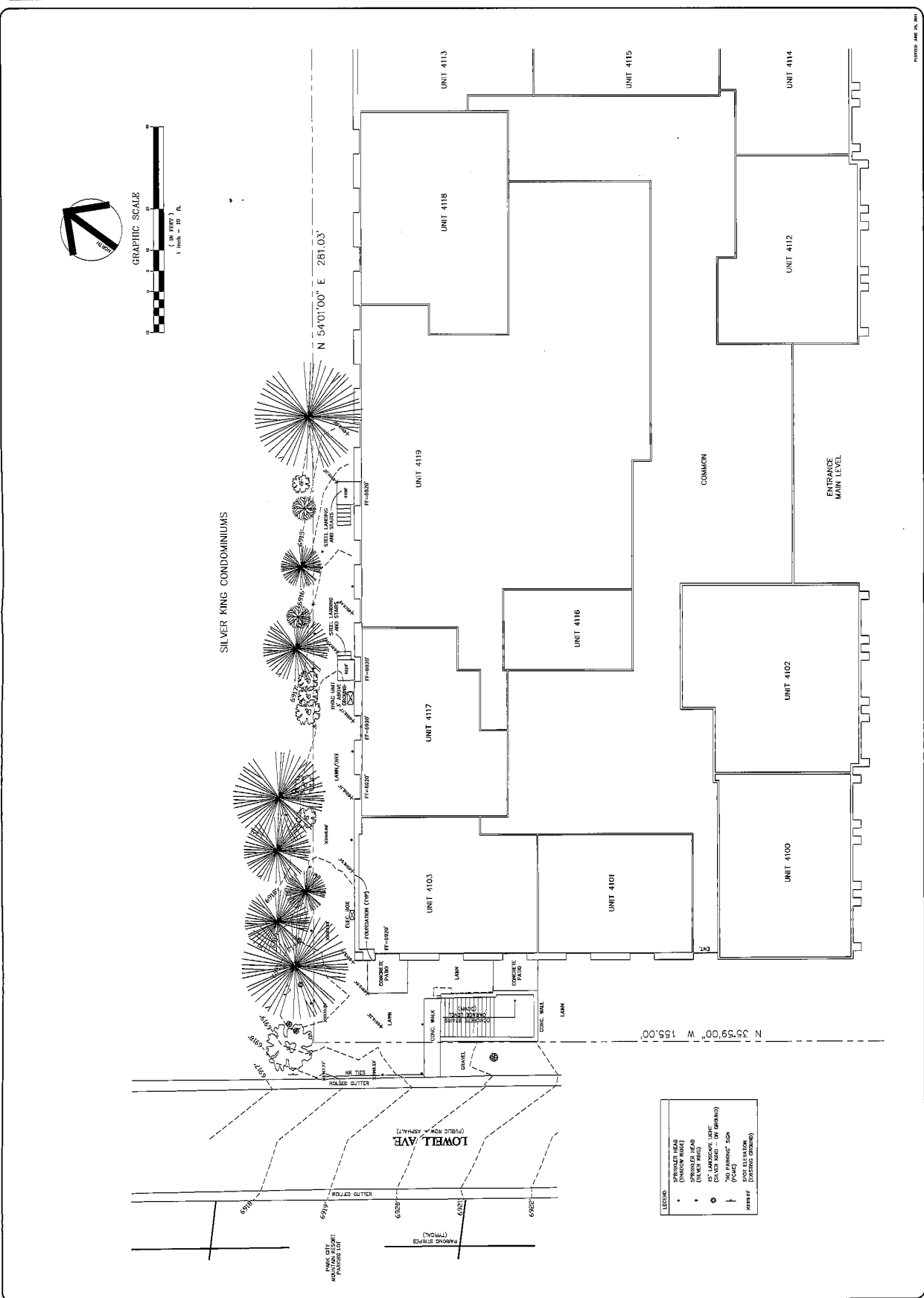
FIRST FLOOR PLAN
(AMENDS SHEET THREE)

SUPPLEMENTAL RECORD OF SURVEY MAP FOR SHADOW BIRCH CONDOMINIUMS
AMENDING SHEETS 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100

LEVEL A FLOOR PLAN
(AMENDS SHEET TWO)

RECORDED NO. 224761
STATE OF UTAH, COUNTY OF SUMMIT, RECORDED AND FILED
AT THE RECORDS DEPARTMENT
DATE 6-21-24 TIME 11:15 AM
FEE 3.00
SUMMIT COUNTY RECORDER

SHEET TWO OF TWO SHEETS



March 24, 2010

Park City Planning/Zoning
445 Marsac Ave.
Park City, Utah 84060

Re: Amendment to Record of Survey Plat – Unit 4119, Shadow Ridge Condominiums

To Whom It May Concern:

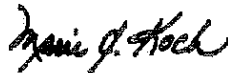
In February 2010 (last month), the Shadow Ridge Condominiums Owners Association (the "Association") and Utah Ski Rentals, Inc. ("Utah Ski") closed on their purchase of Unit 4119 at Shadow Ridge Condominiums (Park City, Utah), with each holding an undivided 50% interest as tenants in common. The Association and Utah Ski purchased Unit 4119 as tenants in common with the objective to subdivide Unit 4119 into four (4) units. This letter is submitted as part of the Application to Amend the Record of Survey Map of this condominium project.

Since this project was first created in 1980, Unit 4119 has been a single commercial-use condominium unit, containing approximately 6,100 square feet. At the present time, the unit is being used by different businesses. For instance, a portion of Unit 4119 is being used by Utah Ski to operate a ski rental business. The kitchen area of Unit 4119 is being used by a tenant, Chef Salad L.L.C. d/b/a "Savoury Kitchen" for catering services. Other areas of Unit 4119 are not being used.

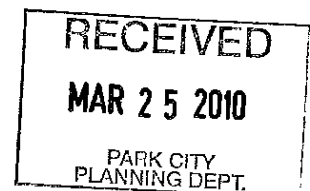
We seek to turn Unit 4119 into four units (4119-A; 4119-B, 4119-C and 4119-D), as shown on the drawings prepared by Evergreen Engineering (copy attached). Once the record of survey map has been formally amended to create these new units, title to Unit 4119-D (the kitchen area unit) will be conveyed to the Association; and title to the other three (3) units will be conveyed to Utah Ski.

The Association has designated and authorized Paxton Guymon (the Association's legal counsel) as the person authorized to sign and file all applications and documents necessary to process the Application to Amend the Record of Survey Map, and to represent the Association on all matters concerning this Application with Park City.

Sincerely,



Marie E. Koch
Association President



March 24, 2010

Park City Planning/Zoning
445 Marsac Ave.
Park City, Utah 84060

Re: *Amendment to Record of Survey Plat – Unit 4119, Shadow Ridge Condominiums*
To Whom It May Concern:

Our company, Utah Ski Rentals, Inc. ("Utah Ski"), owns an undivided 50% interest in Unit 4119 at the Shadow Ridge Condominiums in Park City, Utah. The other owner (holding the other 50% interest) is the Shadow Ridge Condominiums Owners Association (the "Association"). Together, we desire to subdivide Unit 4119 into four (4) units, as shown on the drawings prepared by Evergreen Engineering.

This letter confirms that Paxton Guymon (attorney at law) is authorized to sign the Application to Amend Record of Survey Map for Unit 4119 on behalf of our company, Utah Ski Mr. Guymon is authorized to sign and file all applications and documents necessary to process the Application to Amend the Record of Survey Map, and to represent Utah Ski and the Association on all matters concerning this Application with Park City.

Sincerely,

Utah Ski Rentals, Inc.

By: 

Its: General Manager



Community Development/Engineering
Building and Planning Departments

10 November 1982

Mr. Vic Thieling
c/o Wasatch Front
139 East South Temple
Salt Lake City, Utah 84111

✓ Re: Requested verification of zoning compliance for package
liquor agency to be located in Shadow Ridge Condominiums
1445 Empire Avenue

Dear Mr. Thieling:

This letter is intended to serve as verification that a package liquor outlet within the Shadow Ridge Condominium project would, in fact, be in compliance with local zoning codes. Located within the Recreation Commercial (RC) Zone District, Section 4.10.2.2. of the Land Management Code allows retail commercial activities that are secondary to and compatible with residential uses. A small-scale liquor outlet would be in compliance with the intent of the zoning ordinance.

If additional clarification is desired, please let me know.

Sincerely,

A handwritten signature in cursive script, appearing to read "William C. Ligety".

William C. Ligety
Planning Director

WCL/DB/eg



Community Development/Engineering
Building and Planning Departments

10 November 1982

Mr. Vic Thieling
c/o Wasatch Front
139 East South Temple
Salt Lake City, Utah 84111

✓ Re: Requested verification of zoning compliance for package
liquor agency to be located in Shadow Ridge Condominiums
1445 Empire Avenue

Dear Mr. Thieling:

This letter is intended to serve as verification that a package liquor outlet within the Shadow Ridge Condominium project would, in fact, be in compliance with local zoning codes. Located within the Recreation Commercial (RC) Zone District, Section 4.10.2.2. of the Land Management Code allows retail commercial activities that are secondary to and compatible with residential uses. A small-scale liquor outlet would be in compliance with the intent of the zoning ordinance.

If additional clarification is desired, please let me know.

Sincerely,

A handwritten signature in cursive script, appearing to read "William C. Ligety".

William C. Ligety
Planning Director

WCL/DB/eg



City Council Staff Report

Subject: Update of Fee Resolution
Author: Thomas Eddington, Planning Director
Patricia Abdullah, Analyst
Department: Planning
Date: October 13, 2011
Type of Item: Legislative

Summary Recommendations:

Staff recommends that City Council hold a public hearing and review the amendments for Section 1 of the Fee Schedule adding fees for determining non-conforming and non-complying status of properties and replace the City Fee Resolution as amended.

Topic/Description:

This modification establishes fees for determination of non-conforming status to the Planning Fees Section in the Fee Resolution by adding Section 1.1.14. Minor formatting and renumbering changes have been made.

Background:

In accordance with Land Management Code 15-9-2(B) DETERMINATION OF STATUS "The Planning Director shall determine the Non-Conforming or Non-Complying status of Properties."

In order to better facilitate the approval and appeal process of this determination, the Planning Staff has created an application to address this issue. No fee currently exists for this type of application.

The proposed additional fee is equal to the lowest current fee for Planning Applications until such time that the Determination of Non-Conforming/Non-Complying Status application can be reviewed through a fees assessment.

Department Review:

This report has been reviewed by the Planning, Legal, and City Manager departments.

Alternatives:

A. Approve:

City Council may approve the replacement Fee Resolution with changes to Section 1 of the Fee Schedule as proposed; or

B. Deny:

City Council may deny the replacement Fee Resolution with changes to Section 1 of the Fee Schedule; or

C. Modify:

City Council may proposed additional changes to the Fee Resolution; or

D. Continue the Item:

City Council may continue the discussion to a date certain or uncertain to allow Staff to respond to any additional concerns or issues raised at the City Council hearing.

Significant Impacts:

Approving the Fee Schedule change to Section 1 of the Fee Schedule will allow the Planning Department to charge a fee for the service of determining the Non-Conforming and Non-Complying Status of structures.

Consequences of not taking the recommended action:

If Council decides to forgo taking action it would delay the ability of the Planning Director to make determinations of Non-Conforming and Non-Complying status.

Recommendation:

Staff recommends that City Council hold a public hearing and adopt the City Fee Resolution for Section 1.

Attachments:

A – Fee Resolution excerpt with new fees highlighted. The entire Resolution will be attached to the executed Resolution.

Resolution No. -11

**A RESOLUTION AMENDING SECTION 1, CONSTRUCTION AND
DEVELOPMENT RELATED FEES, ADDING A PLANNING SERVICE AND FEE
AND REPLACING AND REPEALING
RESOLUTION NO. 15-11 IN ITS ENTIRETY**

WHEREAS it is necessary to update the fee resolution to reflect new applications types and their associated fees; and

WHEREAS, a public hearing was held on October 13, 2011, to receive public comments on the user fee amounts,

NOW, THEREFORE, BE IT RESOLVED by the City Council of Park City, Utah, as follows:

SECTION 1. FEE SCHEDULE AMENDMENTS. The Park City Fee Schedule is hereby re-adopted with changes as outlined in Exhibit A

SECTION 2. EFFECTIVE DATE. This resolution shall take effect upon adoption.

PASSED AND ADOPTED this 13th day of October, 2011.

PARK CITY MUNICIPAL CORPORATION

Mayor Dana Williams

Attest:

Janet M. Scott, City Recorder

Approve as to form:

Mark D. Harrington, City Attorney

EXHIBIT A - EXCERPT**PARK CITY FEE SCHEDULE (REVISED OCTOBER 13, 2011)****SECTION 1. CONSTRUCTION AND DEVELOPMENT RELATED FEES****1.1 PLANNING FEES****1.1.1 Plat/Subdivision ***

Plat Amendment	\$750 per application
Subdivision	\$250 per lot/parcel
Administrative lot line adjustment	\$300 per application
Extension of Approval	\$300 per application

Condominium

Condominium or timeshare conversion	\$450 per unit
Record of Survey	\$450 per unit
Amendment to Record of Survey	\$100 per unit affected
Extension of Approval	\$300 per application

1.1.2 Master Planned Development (MPD) Process *

Pre-Master Planned Development	\$1,000
<i>Application includes one formal staff review and Planning Commission review of compliance with General Plan that includes a public hearing. If applicant files for formal Master Planned Development the \$1,000 will apply toward the application fee.</i>	
Master Planned Development	\$500 per unit equivalent
Modification to an MPD	\$300 per unit equivalent

1.1.3 Conditional Use Permit (CUP) *

Planning Commission Review	\$1,000 per application
Steep Slope Review	\$1,000 per application
Administrative Staff Review	\$250 per application
Extension or Modification	\$300 per application

1.1.4 Zone Changes *

\$1,500

1.1.5 Board of Adjustment *

Special Exception	\$750 per application
Variance	\$750 per application

1.1.6 Architectural and Design Review**Historic District/Site**

New residential construction <1000 sf	\$200 per application
New residential construction ≥1000 sf	\$750 per application
Commercial review	\$200 per unit equivalent for the first 10 units \$15/ue after

Non-Historic District/Site

New Residential - SF/Duplex	\$200 per application
Multi-Family/Commercial	\$100 per unit equivalent up to 10 units then \$15/ue after
Residential Additions	\$100 per application
Commercial Additions	\$100 per unit equivalent up to 10 units then \$15/ue after

1.1.7 Historic Review *

Historic Design Review < 1000 sf	\$200
Historic Design Review >= 1000 sf	\$750
Determination of Significance	\$300
Certificate of Appropriateness for Demolition	\$300
1.1.8 <u>Land Management Code Review *</u>	\$2,000 per application
1.1.9 <u>General Plan Amendment *</u>	\$2,000 per application
1.1.10 <u>Sign Review</u>	
Master Sign Plan Review	\$250
Amendment to Master Sign Plan	\$100
Individual sign permit	\$100 (\$99.00 plus 1% state tax)
Sign permit under master sign plan tax)	\$100 (\$99.00 plus 1% state tax)
Temporary Sign Permit	\$50 (\$49.50 plus 1% state tax)
1.1.11 <u>Annexation *</u>	\$5,000
Annexation Fiscal Impact Analysis	\$1,550
<i>plus actual cost of City approved consultant fee</i>	
Modification to Annexation Agreement	\$4,150
1.1.12 <u>Appeals Fees *</u>	
Appeals to Board of Adjustment	\$500
Appeals to City Council	\$500
Appeals to Historic Preservation Board	\$500
Appeals to Planning Commission	\$500
1.1.13 <u>TDR – Development Credit Determination</u>	\$100
1.1.14 <u>Determination of Non-Conforming Status</u>	\$100
Modification of Non-Conforming Status	\$300
Determination of Non-Complying Status	\$100
Modification of Non-Complying Status	\$300

1.1.15 Refund of Withdrawn Planning Applications

In the case of a withdrawal of an application, the associated fees shall be refunded, less the actual cost for professional services rendered by City staff.

1.1.16 Reactivation Fee

For projects that have been inactive by the applicant for more than six months a Reactivation Fee of 50% of orig. application fee will be assessed

1.1.17 Attorney or Other Professional Services

Reimbursement for actual expense incurred

* Projects under these classifications will be assessed the additional cost of the property posting and courtesy mailing as required by Land Management Code regulations at the time of submittal.